

FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS

PHASE 1 LAND USE TABLE

Development Area - Parcel I :	12.20 Acres	69.1 %
Proposed Open Space - Parcel II :	5.46 Acres	30.9 %
Gross Project Area :	17.66 Acres	100 %

Building Program : Approx. 35,000 s.f. office space

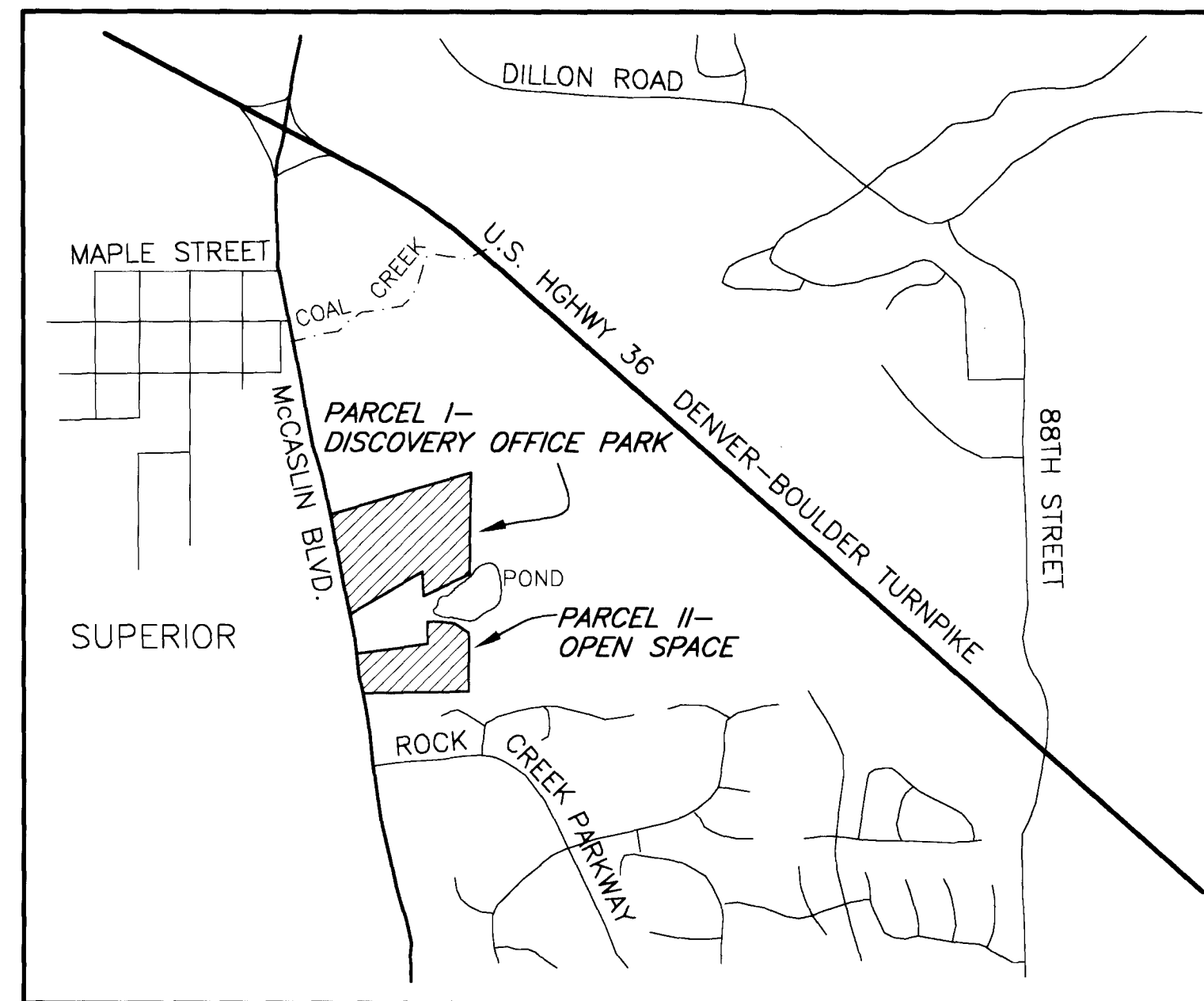
Breakdown of Parcel I Phase 1 :

Proposed Building Coverage :	0.28 Acres	2.3 %
Natural Open Space :	4.41 Acres	36.1 %
Proposed Developed Open Space :	5.55 Acres	45.5 %
Includes landscaped areas, walkways, islands, plazas, etc.		
Paved Area :		
Discovery Parkway :	0.74 Acres	6.1 %
Parking lots and access drives :	1.22 Acres	10.0 %
Total :	12.20 Acres	100 %

Parking Data :

Total Proposed # of spaces :	Approx. 148 Spaces
Estimated Water Usage :	0.004 MGD*
	0.012 MGD Peak Day*
	0.040 MGD Peak Hour*
Estimated Sewer Usage :	0.004 MGD*
	0.020 MGD Peak*

*Assumes 25 GPDP x 148 persons (1 person/250 s.f.)



VICINITY MAP

NOT TO SCALE

PROPERTY OWNERS:
Aweida Properties, Inc., a Colorado Corporation
890 W. Cherry Street, Suite 220
Louisville, Colorado 80027
(303) 664-9520
Contact: Dan Aweida

ARCHITECT / LAND PLANNER / CIVIL ENGINEER:
Downing, Thorpe & James, Inc.
1881 Ninth Street, Suite 103
Boulder, Colorado 80302
(303) 443-7533
(303) 443-7534 Fax

Contact: Dan Hunter / William P. Reilly

SURVEYOR:
Accurate Engisurv LLC
P.O. Box 690
Broomfield, Colorado 80038
(303) 665-5505

Contact: Thomas E. Cave, PLS

SHEET INDEX

- 1 COVER SHEET
- 2 LEGAL DESCRIPTIONS/BOUNDARY MAP
- 3 PARCEL I SITE PLAN
- 4 PARCEL II SITE PLAN
- 5 LOT 1 SITE PLAN
- 6 MASTER UTILITY PLAN
- 7 DISCOVERY PARKWAY PLAN/PROFILE
- 8 TREE PROTECTION NOTES
- 9 EXISTING TREE LOCATION PLAN
- 10 EXISTING TREE PROTECTION PLAN
- 11 TREE PROTECTION DETAILS
- 12 OVERALL LANDSCAPE PLAN
- 13 PLANTING PLAN-DETENTION POND
- 14 PLANTING PLAN-DISCOVERY PARKWAY
- 15 PLANTING PLAN-LOT 1
- 16 PLANTING NOTES
- 17 PLANTING DETAILS
- 18 SITE DETAILS
- 19 BUILDING ELEVATIONS
- 20 BUILDING ELEVATIONS, OVERLOOK STRUCTURE, TRASH ENCLOSURE
- 21 ELECTRICAL SITE PLAN (SITE LIGHTING PLAN)
- 22 ELECTRICAL SCHEDULE

LOT 1 LAND USE TABLE

Proposed Building Coverage :	12,000 SF	0.28 Acres	10.3 %
Paved Areas:	51,000 SF	1.17 Acres	43.9 %
Proposed Developed Open Space :	46,036 SF	1.06 Acres	39.6 %
(Includes landscaped areas, walkways, islands, plazas, etc.)			
Natural Open Space :	7,175 SF	0.16 Acres	6.2 %
Total :	116,211 SF	2.67 Acres	100 %

NOTICE OF APPROVAL - VESTED RIGHTS

This plan constitutes a site specific development plan as defined in 24-68-101, et. seq., C.R.S. and article XXVII of the Town of Superior Land Use Code. The terms and conditions of such plan approval are contained in Resolution no. 24 Series 2003 adopted by the Town Board of Trustees on April 28, 2003 and available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado, 80027.

CERTIFICATE OF OWNERSHIP

This Site Plan and any amendments hereto, upon approval by the Town of Superior and recording, shall be binding upon the applicants therefore, their successors and assigns. This Plan shall limit and control the issuance and validity of all building permits, and shall restrict and limit the construction, location, use, occupancy and operation of all land and structures within this Plan to all conditions, requirements, locations and limitations set forth herein. Abandonment, withdrawal or amendment of this Plan may be permitted only upon approval of the Town of Superior.

In witness hereof, Aweida Properties has caused this presents to be executed this 18th day of May, A.D., 2003, by Daniel J. Aweida as President and Viki S. McKinney as Secretary
NOTARIAL:
State of Colorado)ss
County of Boulder)

The foregoing instrument was acknowledged before me this 18th day of May, A.D., 2003, by Daniel J. Aweida as President and Viki S. McKinney as Secretary of Aweida Properties, Inc., a Colorado Corporation.
Witness my hand and official seal

Kathy Matteson
Notary Public

My commission expires 3/16/2004

SCHEDULE OF REQUIREMENTS

Maximum Building Height :	40'
	50' (entry elements, towers, or sloped roofs, when parking is provided under buildings) (50' to top of sloped roof proposed)
Maximum number of stories :	3 (3 proposed)
Maximum Floor Area Ratio :	1.0 (.3 proposed)
Building Setbacks :	
From Major Arterial :	50' min.
From Minor Collector :	25' min.
From Internal Property Lines :	10'
From Rear Property lines :	15'
Minimum Separation Between Freestanding Buildings :	20'
Parking Required :	1 space/ 250 S.F. = 140 required (148 proposed)
Parking Setbacks :	
From all Arterial R.O.W. :	20' min.
From Other Public ROW :	15' min.
From Other Land Uses :	10' min. (except south line of Lot 1)
Typical Parking Stall :	9' x 18'
Typical Handicap Space :	12' x 20' (includes aisle)
Typical Parking Aisle :	24' wide
Internal Arteries :	25' min. flowline to flowline Except at Landscaped median island - 18' min.
Minimum Landscaped Developed Open Space :	40 % (45.8 % proposed)

SCHEDULE OF USES

The conceptual use for this parcel is office park. The zoning is Planned Development, and generally follows the Business Office Zone Guidelines.

Parcel I	The North Developable Area Permitted Uses: Professional and Business Offices, Retail Business, Restaurant (no drive-through allowed), Commercial Recreation Facility, Dental or Medical Clinics, Public and Governmental Facilities, Utilities, Park and Recreation Areas	12.202 AC
Parcel II	Open Space	5.456 AC
TOTAL		17.658 AC

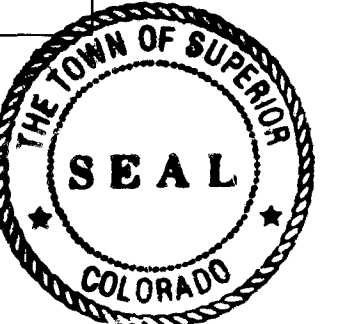
NO OTHER USES WILL BE PERMITTED WITHOUT THE APPROVAL OF THE TOWN OF SUPERIOR. ANY USES AND/OR DEVELOPMENT STANDARDS NOT SPECIFICALLY ADDRESSED HEREIN BY THE DISCOVERY OFFICE PARK PLANNED DEVELOPMENT SHALL BE SUBJECT TO AND DETERMINED BY THE MOST CURRENT PROVISIONS OF THE TOWN OF SUPERIOR LAND USE CODE.

TOWN BOARD OF TRUSTEES' CERTIFICATE

Approved this 20th day of April, A.D., 2003, by the Board of Trustees, Superior, Colorado. This approval is with the understanding that all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs, and sidewalks, shall be financed by others and not by the Town of Superior.

Phyllis L. Hardin
Town Clerk

[Signature]
Mayor



PLANNING COMMISSION CERTIFICATE

Approved this 1st day of April, A.D., 2003.

Joseph F. Curren
Chairman - Superior Planning Commission

TOWN CLERK'S CERTIFICATE

I hereby certify that this instrument was filed in my office at 10:15 o'clock A.M. this 20th day of May, A.D., 2003 and is duly recorded.

Phyllis L. Hardin
Town Clerk

SUPERIOR METROPOLITAN DISTRICT NO. 1 CERTIFICATE

Approved this 20th day of April, A.D. 2003, Superior Metropolitan District No. 1, Superior, Colorado.

[Signature]
President

[Signature]
Secretary

Memo of Record recorded on June 25, 2003 at Boulder County Clerk & Recorder's Office.
Recording # 2461365

ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

1881 Ninth Street, Suite 103
Boulder, Colorado 80302
303-443-7533

**DOWNING
THORPE
JAMES**

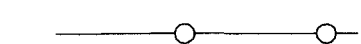
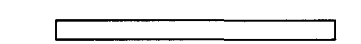










Project No. 2000049.31
ISSUED
01-17-03
02-28-03
03-12-03
04-23-03
05-14-03

FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1

GEORGE F. MENKICK
KYUNG S. MENKICK

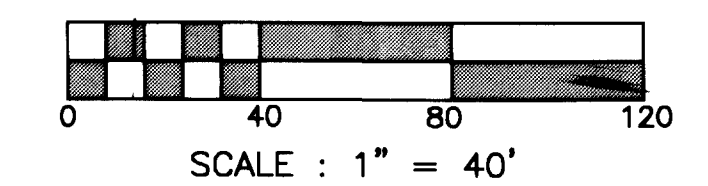
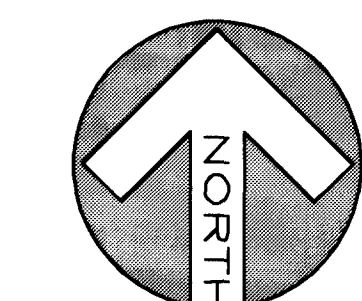
BIELLA FAMILY LTD.
PARTNERSHIP

LEGEND

-  BARRICADE FENCE
-  STONE RETAINING WALL
-  DRY STACK RETAINING WALL
-  CONCRETE PAVEMENT
-  GRAVEL PATH
-  STAMPED, COLORED CONCRETE PAVEMENT
-  TRASH RECEPTACLE
-  BIKE RACK
-  BENCH
-  WILDLIFE WATER SURFACE (RUNS ON IRRIGATION SYSTEM)
-  LIMIT OF GRADING
-  HANDICAP AISLE

NOTES

1. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED TO THE PUBLIC OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND WAYS NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY AND THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS.
2. THE OWNER OR DEVELOPER, HIS SUCCESSORS AND ASSIGNS, INCLUDING ANY PROPERTY OWNERS ASSOCIATION CONTROLLING THE PROPERTY ARE HEREBY RESPONSIBLE FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL PUBLIC SIGNS AS REQUIRED BY THE TOWN OF SUPERIOR IN PRIVATE RIGHTS-OF-WAY.
3. THE APPROVAL OF THIS DOCUMENT DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDING PLANS. CONSTRUCTION PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE DEPARTMENTS PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
4. BUILDING 1 WILL CONSIST OF 36,000 SF OF OFFICE AREA WITHIN A 12,000 SF FOOTPRINT. THE BUILDING'S 3 FLOORS WILL NOT EXCEED A HEIGHT OF 60'.
5. ALL LANDSCAPING IMPROVEMENTS INCLUDING RETAINING WALLS LOCATED WITHIN THE McCASLIN BLVD. R.O.W. AND OUTLOT A MEDIATE ARE TO BE MAINTAINED BY THE DISCOVERY OFFICE PARK OWNERS' ASSOCIATION. ANY DAMAGE TO LANDSCAPING, RETAINING WALLS RESULTING FROM NORMAL UTILITY OR OTHER WORK IN THE R.O.W. WILL BE THE RESPONSIBILITY OF THE DISCOVERY OFFICE PARK OWNERS' ASSOCIATION TO REPAIR.
6. ALL SIDEWALKS AND BIKE PATHS LOCATED WITHIN McCASLIN BLVD. R.O.W. OR DISCOVERY OFFICE PARKWAY ARE TO BE MAINTAINED BY THE DISCOVERY OFFICE PARK OWNERS' ASSOCIATION.



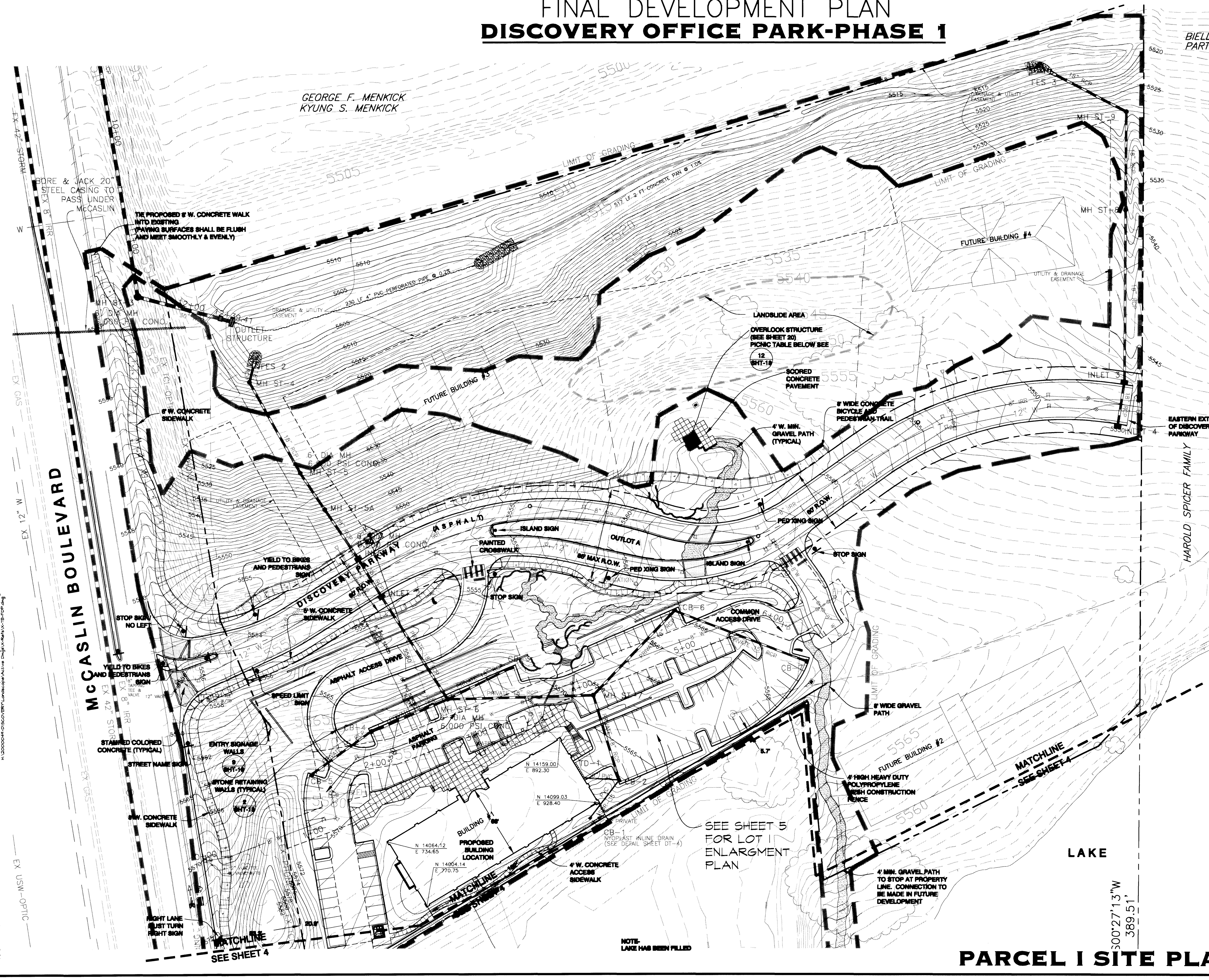
PARCEL I SITE PLAN

ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

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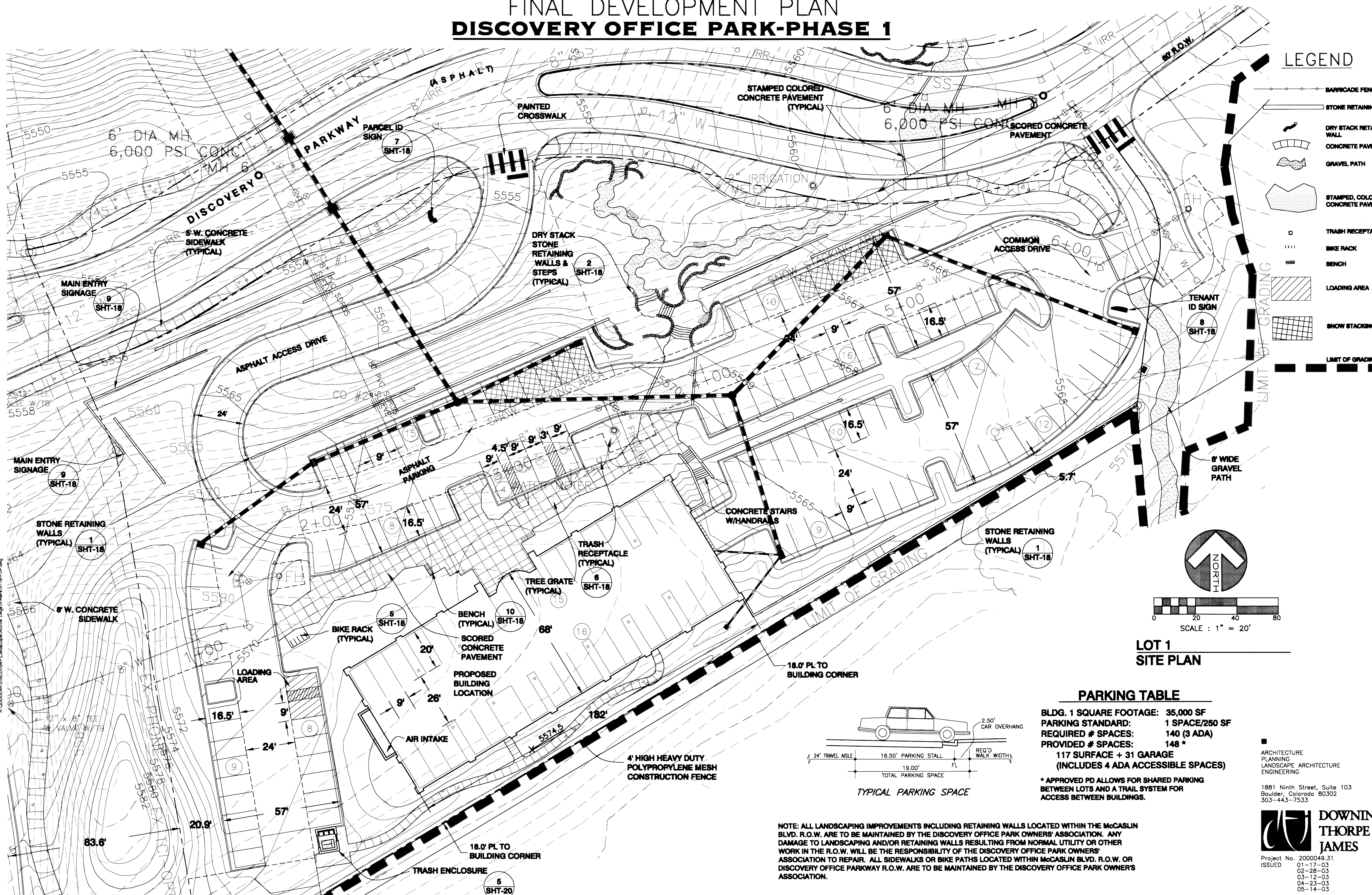
**DOWNING
THORPE
JAMES**

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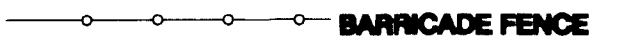













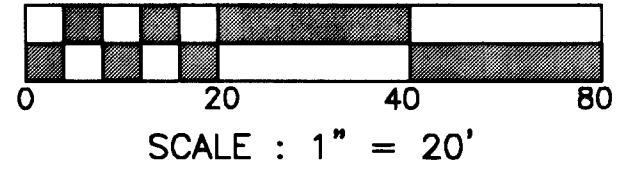
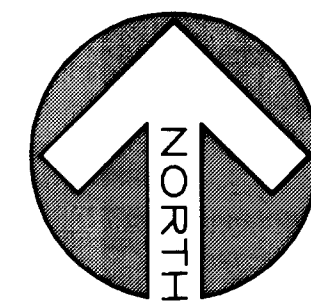
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FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1



LEGEND

-  BARRICADE FENCE
-  STONE RETAINING WALL
-  DRY STACK RETAINING WALL
-  CONCRETE PAVEMENT
-  GRAVEL PATH
-  STAMPED, COLORED CONCRETE PAVEMENT
-  TRASH RECEPTACLE
-  BIKE RACK
-  BENCH
-  LOADING AREA
-  SNOW STACKING AREA
-  LIMIT OF GRADING

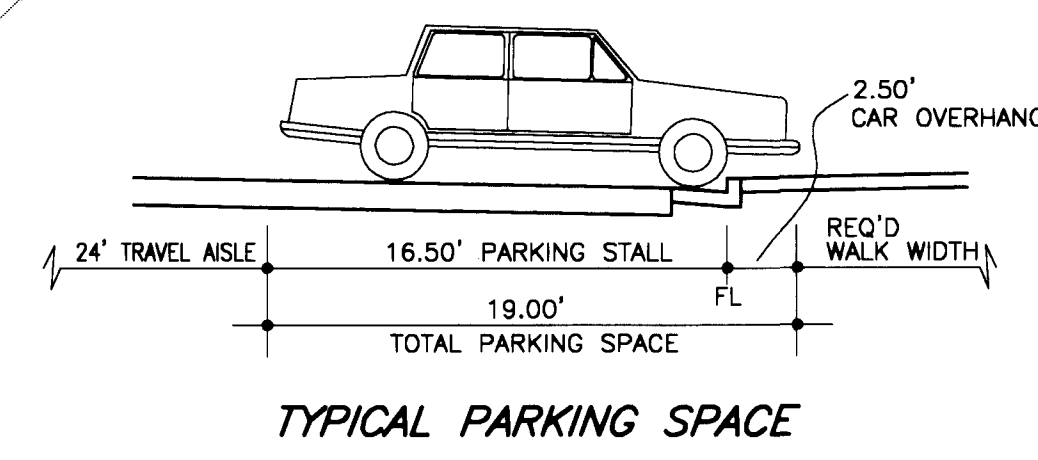


**LOT 1
SITE PLAN**

PARKING TABLE

BLDG. 1 SQUARE FOOTAGE:	35,000 SF
PARKING STANDARD:	1 SPACE/250 SF
REQUIRED # SPACES:	140 (3 ADA)
PROVIDED # SPACES:	148 *
117 SURFACE + 31 GARAGE (INCLUDES 4 ADA ACCESSIBLE SPACES)	

* APPROVED PD ALLOWS FOR SHARED PARKING BETWEEN LOTS AND A TRAIL SYSTEM FOR ACCESS BETWEEN BUILDINGS.



NOTE: ALL LANDSCAPING IMPROVEMENTS INCLUDING RETAINING WALLS LOCATED WITHIN THE McCASLIN BLVD. R.O.W. ARE TO BE MAINTAINED BY THE DISCOVERY OFFICE PARK OWNERS' ASSOCIATION. ANY DAMAGE TO LANDSCAPING AND/OR RETAINING WALLS RESULTING FROM NORMAL UTILITY OR OTHER WORK IN THE R.O.W. WILL BE THE RESPONSIBILITY OF THE DISCOVERY OFFICE PARK OWNERS' ASSOCIATION TO REPAIR. ALL SIDEWALKS OR BIKE PATHS LOCATED WITHIN McCASLIN BLVD. R.O.W. OR DISCOVERY OFFICE PARKWAY R.O.W. ARE TO BE MAINTAINED BY THE DISCOVERY OFFICE PARK OWNER'S ASSOCIATION.

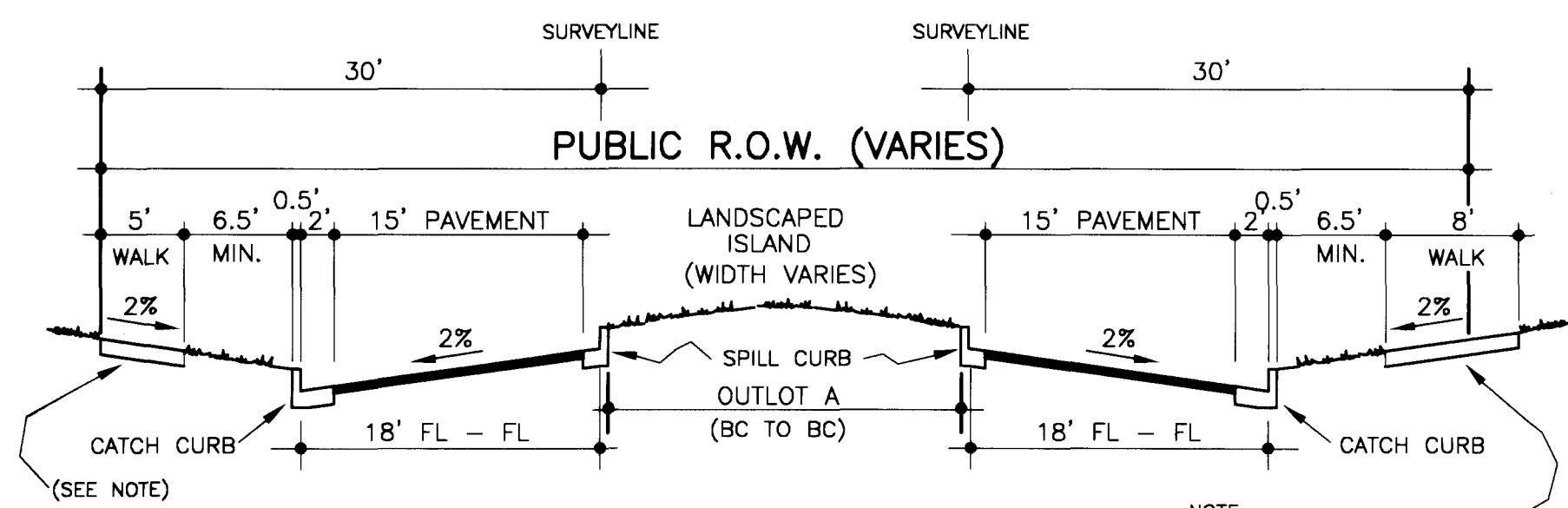
ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

1881 Ninth Street, Suite 103
Boulder, Colorado 80302
303-443-7533

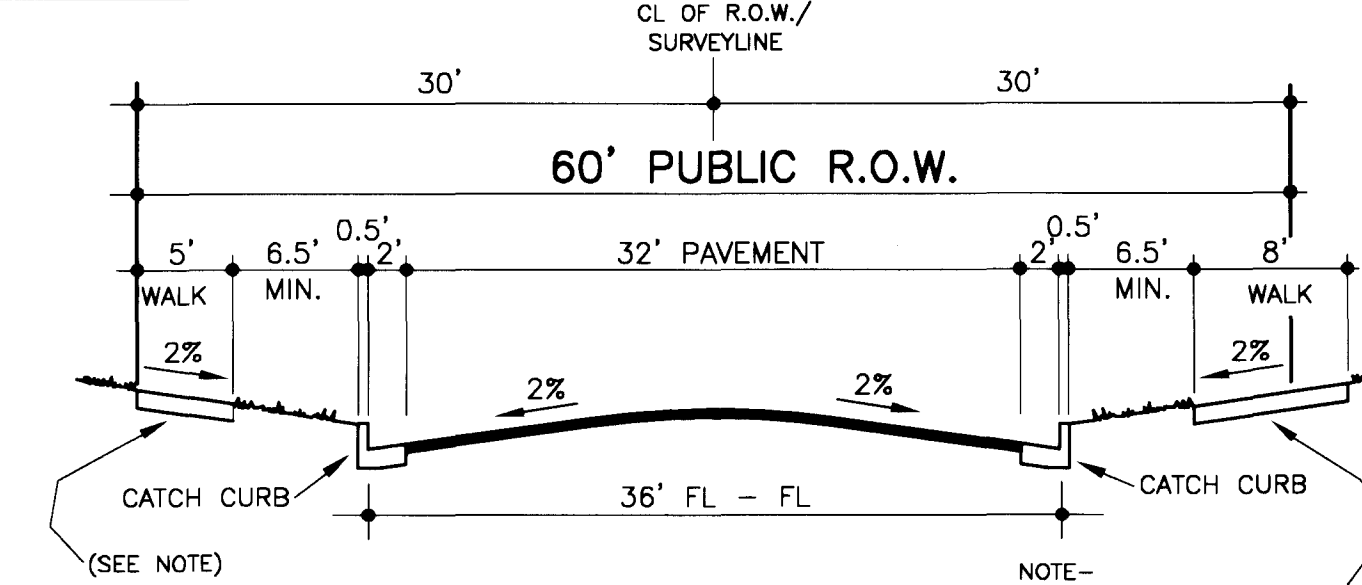


Project No. 2000049.31
ISSUED 01-17-03
02-28-03
03-12-03
04-23-03
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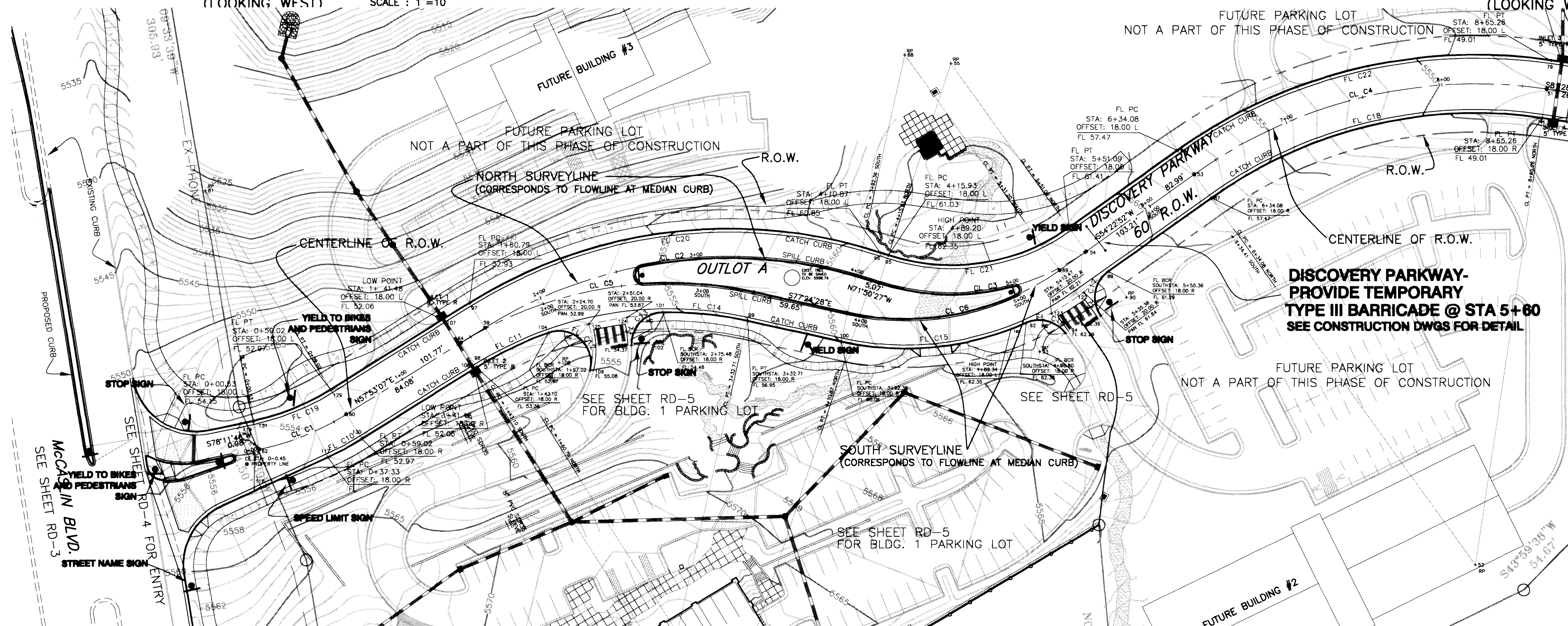
FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1



DISCOVERY PARKWAY - DIVIDED
(LOOKING WEST) SCALE: 1"=10'



DISCOVERY PARKWAY
(LOOKING WEST) SCALE: 1"=10'



CURVE TABLES

CENTERLINE CURVE TABLE

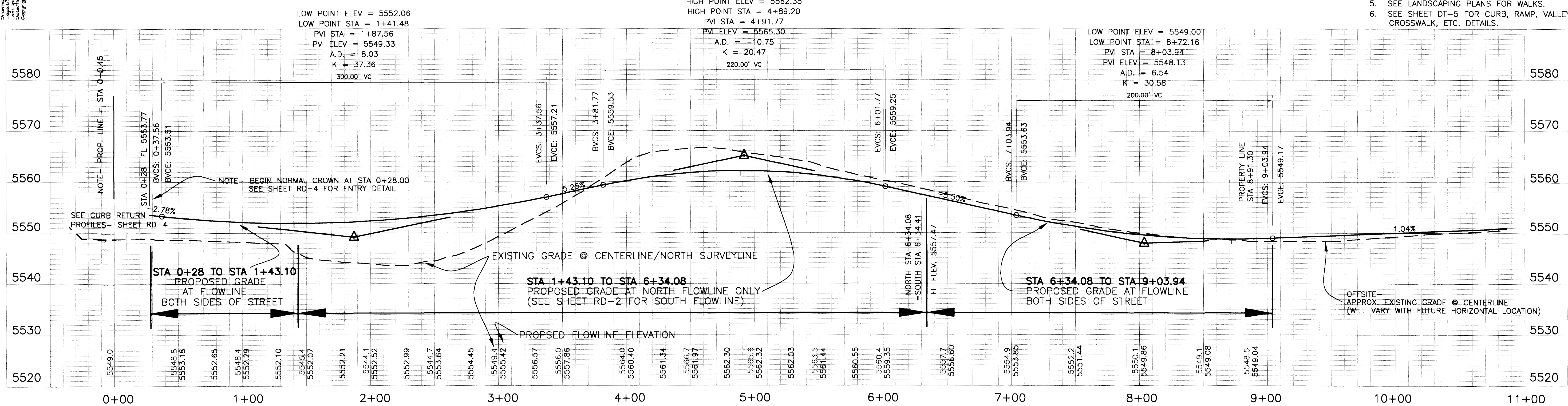
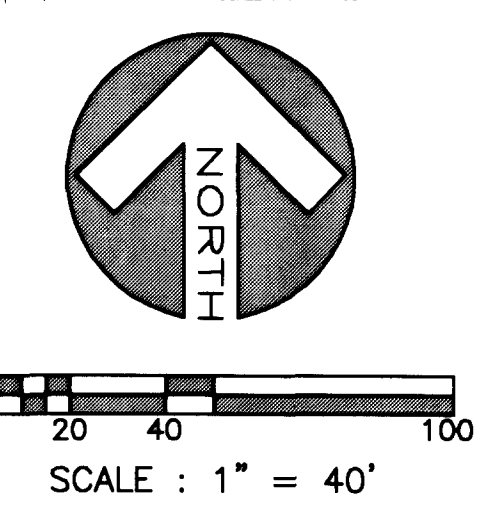
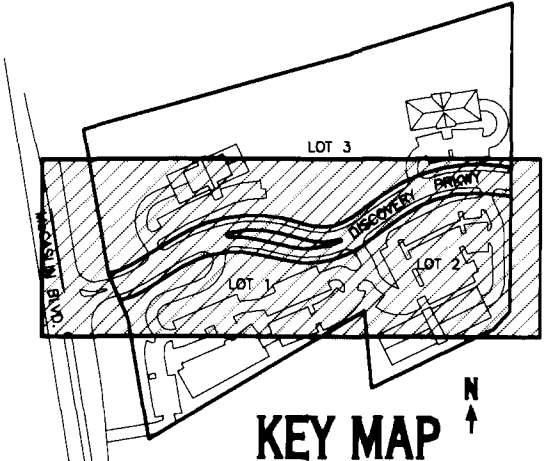
CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD
CL C1	38.49	165.00	20°18'29"	N88°02'26"W 58.19
CL C2	250.07	285.00	50°14'26"	S33°01'20"W 242.13
CL C3	136.16	144.00	53°46'41"	N81°16'12"E 130.25
CL C4	231.17	300.00	44°09'04"	S76°27'24"W 225.50
CL C5	189.61	243.00	44°22'26"	S87°14'15"W 184.84
CL C6	138.84	165.00	48°12'41"	N78°29'12"E 134.78

FLOWLINE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD
FL C10	40.19	183.00	12°35'03"	N64°19'38"E 40.11
FL C11	49.93	225.00	12°42'22"	S64°14'32"W 49.83
FL C12	42.98	20.00	123°07'53"	N47°50'05"W 35.17
FL C13	31.88	20.00	91°19'58"	S43°25'55"W 28.61
FL C14	52.99	225.00	13°28'38"	N84°09'17"W 52.87
FL C15	117.84	183.00	38°53'38"	N84°08'44"E 115.81
FL C16	27.47	20.00	78°40'56"	N74°57'36"W 25.36
FL C17	31.42	20.00	90°00'00"	S09°22'52"W 28.28
FL C18	217.30	285.00	44°09'04"	S76°27'24"W 215.97
FL C19	52.11	147.00	20°18'39"	N88°02'26"E 51.84
FL C20	265.87	303.00	50°16'26"	S63°01'20"W 257.42
FL C21	118.28	128.00	53°44'11"	N81°16'12"E 113.97
FL C22	245.05	318.00	44°09'04"	S76°27'24"W 239.03

PLAN

- NOTES**
1. PROFILE STATIONING REFERS TO THE CENTERLINE AND NORTH SURVEYLINE (THIS SHEET).
 2. PROPOSED GRADE AND ELEVATIONS AS SHOWN ON THE PROFILE REFER TO THE NORTH FLOWLINE. SEE SHEET RD-2 FOR SOUTH FLOWLINE PROFILE.
 3. SEE SHEET RD-4 FOR DETAIL OF ENTRANCE.
 4. SEE SHEET RD-2 FOR DETAIL OF OUTLOT A.
 5. SEE LANDSCAPING PLANS FOR WALKS.
 6. SEE SHEET DT-5 FOR CURB, RAMP, VALLEY PAN, CROSSWALK, ETC. DETAILS.



PROFILE- DISCOVERY PARKWAY
HORIZ. 1"= 40' VERT. 1"=10'

ARCHITECTURE
LANDSCAPE ARCHITECTURE
ENGINEERING

1881 Ninth Street, Suite 103
Boulder, Colorado 80302
303-443-7533

**DOWNING
THORPE
JAMES**

Project No. 2000049.31
ISSUED 01-17-03 06-03-03 - AMENDED
02-28-03 03-12-03
04-23-03 05-14-03

FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1

TREE PROTECTION NOTES:

Conditions Found

The site consists of old windbreak stands and randomly planted trees. Species consist of Siberian Elm, Russian Olive, Cottonwood, Ash, Boxelder, Honeylocust, numerous fruit trees, Rocky Mountain Juniper and Blue Spruce. Most of the trees were found to be growing in non-irrigated windbreaks with little or no maintenance and contained serious main trunk defect caused by storm damage, poor form or genetic defects. Numerous irrigation ditches surround the site.

Tree roots were found close to the surface over the entire site indicating clay type soils and generally shallow tree root systems.

Tree defect is the most serious problem found. Efforts to save many of them would be risky, given their potential for failure. There were only a handful of trees worthy of consideration for salvage; but only if strict guidelines are followed.

Preliminary recommendation

Many of the trees on the site are now considered "undesirable" species in some jurisdictions on the Front Range. Siberian Elm, once the backbone of any windbreak planting, has proven to be a major plant pest by invading fence-lines, back lots and landscape planting areas. Russian Olive has been outlawed in many western states due to its weed-like invasive nature into riparian areas. Cottonwoods, while a magnificent plant specimen, have been restricted for many years, by State law, to the planting of "seedless" (cottonless) varieties. Mature farmstead cottonwoods continue to be a nuisance during seed/cotton release clogging house screens, gutters and storm drains. As these trees decline or die, they should be replaced with new plantings that will provide similar form and benefit.

Recommendations for Tree Preservation:

The most important part of the tree to protect is the root system. While it is important to prevent trunk damage, the amount of root zone saved will be the determining factor in successfully incorporating the trees into the new site plan. Most of these recommendations will address this aspect.

1. PRESERVING THE EXISTING ROOT ZONE: It is estimated that roots extend well beyond the dripline (outer most branch limit) of the tree; even as far as a distance equal to the height of the tree. Roots are located in the top 24 inches of soil. Therefore, any activity in this area will have a potentially adverse impact.

A. **Preservation limits:** Use the dripline as a minimum encroachment limit. If one side must be encroached upon, then the root zone preserved on the other sides of the tree(s) will need to be increased. Encroachment into the dripline should not be more than half the distance from the dripline to the trunk. If structures and/or utility work is planned in the general vicinity, allowance for over-excavation to set forms, provide safe trench working conditions, etc., must be factored in. Barricade fencing should be installed before the first equipment arrives on site. Chainlink fencing is recommended and should be installed in a semi-permanent manner. Once fenced off, NO access to the root preservation area should be allowed for any purpose. No material stockpiling, dirt storage, trenching, overdig for trenches, building excavation and landscaping irrigation should be permitted in this area. Even lunch and rest breaks for site workers should not be permitted.

B. **Cuts and Fills:** If Preservation limits are followed, then this area of concern will not be an issue. It should be noted that fill can be as deadly to tree roots as root loss due to excavation. Fills greater than 4-6 inches will potentially change the soil atmosphere and can lead to root death. In no instance should fill be placed around a tree's trunk. If excavation is significant either above or below a tree, measures may be required to prevent drying of the root zone. Time of the year will determine the protection measures required. Undermining of the root system should also be avoided for the same reason as well as the potential threat to tree stability. Until cut slopes are covered by retaining walls, the cut slope may need protection to prevent erosion and drying. Once retaining walls are in, it should be remembered that the areas at the top of the wall will tend to be drier and more susceptible to freezing in the winter and higher temperatures in the summer. Excavation over-dig for retaining walls will need to be allowed for in order to avoid additional root loss.

C. **Drainage Patterns:** Existing drainage patterns should be maintained to prevent flooding and/or drought-like conditions within the root zone. Irrigation can be provided to the root zone, but must also be allowed to drain adequately. Area drains at low points of preservation areas should be provided as necessary.

D. **Adjacent Tree Removal:** Trees delineated for removal within the root zone of saved trees should be cut down and the stump removed by use of a stump grinder to a depth of 12-18 inches. Heavy equipment should not be used to uproot removed trees in these areas due to the disruption to potentially co-mingled and inter-connected roots. Most large tree services in the Metro Denver area have stump grinders that will remove the entire stump below ground level without disturbing the remaining tree's root system.

E. **Anticipated Die Back:** Saved trees can be expected to "die-back" to a level the remaining root system can support. This should be expected and planned for within a three to five year period after construction. An annual inspection of all trees should be performed and necessary pruning and/or removals scheduled on an annual basis.

F. **Compaction:** Any activity occurring in the root zone will cause compaction of the soil resulting in poor water absorption and poor soil atmosphere (carbon dioxide builds up in the soil causing root death). Total restriction of activity per measures mentioned in Preservation limits will reduce this impact during the construction process. However, when construction is nearing completion and landscaping is in progress, activities in the root zone may occur. If activity must occur, then mulching of travel areas with 4-5 inches of mulch will help reduce compaction.

G. **Landscaping:** All the efforts of the Planners, Engineers, Contractors and Owner can be undone in minutes by lack of planning and poor execution by the Landscape Contractor. Irrigation trenching equipment does not differentiate between soil and tree roots. No cross trenching should be permitted through the root zone. Plan the irrigation system to allow irrigation from the perimeter of the disturbed area. Plantings within the root zone should be limited to trees and shrubs placed in mulched beds with drip systems for establishment. If sod is used, soil amendments and roto-tilling should not be done, since this will cause severe root disturbance. The saved tree can benefit from a 3-4 inch layer of mulch. Removal of existing vegetation can be accomplished by use of a Glyphosate type herbicide before mulch placement. Annuals should not be permitted in the root zone areas since watering requirements are not compatible. If sod is used over an existing root system, watering will need to allow for deep, infrequent applications, versus shallow frequent watering typically applied to sod areas. Irrigated dry-land grass mixes established from seed would be preferable. In clay soils, sod watering can lead to development of a hard pan 8"-12" below the surface that will inhibit water percolation and air exchange.

2. PRUNING: All saved trees will need to have a sanitation pruning done to remove dead and weak branches. Two entries should be scheduled. The initial entry would remove all dead and weak branches as well as those at risk of damage during the development/construction process. The second entry should be done upon completion of all construction so high risk situations can be reduced or eliminated.

3. INSECT & DISEASE PREVENTION: All saved trees will need to be monitored for insect and disease pests. If infestations are found to be close to damaging levels, spraying may be required. No fertilizer applications should be done until such time as the trees are determined to be reasonably healthy (after 3-5 years). Soil treatments with Mycorrhizae can be done in areas where soils have been disturbed in order to re-inoculate the soil with beneficial soil fungi.

4. TREE DAMAGE PENALTIES: Given the amount of effort and dollars that will be spent to save the trees, all Contractors should have a clause in their contracts with the Owner regarding un-authorized tree/root damage. Several methods can be used for assessing fines/penalties. One method is a simple \$100 per inch of diameter, or a second method using actual valuation of the tree damage as determined by a tree and landscape appraiser. Without some form of financial penalty, tree protection measures will be ignored and negated within weeks.

5. OTHER SITE ISSUES: It is recommended that no more than 25% of any one species be planted on the site in order to create diversity and insulate the property from tree loss due to one biotic or abiotic event. Large groupings of the same species should also be avoided. Some foresters and arborists are still trying to get over the Dutch Elm disease type events. Species for consideration are multiple varieties of Ash and Oak, Honeylocust, Kentucky Coffee Tree, Hackberry, Linden, Cottonwoods in the wetter areas, Norway Maple, and numerous varieties of flowering ornamentals. Western Catalpa could be attempted as well as Dutch Elm disease resistant American Elms. If Aspens are planted, consider planting only on the north or northeast side of buildings where the site will be cooler and protected from the winter sun. Conifers should include Austrian Pine, Ponderosa Pine, Blue Spruce, White Fir, Douglas-Fir, and Bristlecone Pine. White pine can be used if planted in more protected micro-sites avoiding full winter sun. Unfortunately, there is no perfect fast growing insect and disease proof tree. All species listed above have host specific pests that should be inspected for on a regular basis.

6. Planting sites for new trees will need good topsoil and soil amendments. If soil can be amended to a depth of 12-18 inches, tree survival and long-term health will be significantly improved.

7. The root zone of existing trees disturbed or removed by construction activities shall be replaced with topsoil and amended to a minimum depth of 12 inches. Any portion of the root zone not disturbed shall not be amended or replaced.

8. Hazard Risk Assessment shall be performed upon completion of all construction and on an annual basis in cooperation with the Town of Superior. Trees determined to be a hazard to either life or property should be removed immediately. If disputed by either party, a second opinion should be obtained by each party selecting an ISA Certified Arborist, mutually agreed upon, having no obligation or commitment to either party. The decision of the independently selected arborist shall be used to determine requirements for removal, repair, mitigation or damage claim.

Tree Protection Enforcement

The following enforcement measures shall be administered by the Owner:

1. Fencing shall be maintained daily and posted appropriately. Trespass beyond established construction limits shall result in a fine per incident. If not paid within 30 days, the fine shall be deducted from monies due the Contractor. Contractors shall be responsible for all of their workers, subcontractors and materialmen under this requirement. No vehicle parking is allowed beyond construction limits.

2. Construction and landscaping within the root zone of trees to remain shall be restricted to agreed-upon limits with regard to excavation, access, dirt stockpiling, backfill and irrigation installation. Landscape installation shall be considered a construction activity when working within the root zone of trees to be preserved. Violation of set limits shall result in a fine per incidence and may be increased based on the percentage of root zone affected time the value of the tree established prior to construction. If more than 30% of the root zone is damaged, the fine shall be the full value of the tree. The violating party shall be responsible for any cost related to determining the value of the loss.

3. Damage to the main trunks of trees is prohibited. Damage not previously approved shall result in a fine based on the percentage of the circumference affected. Damage greater than 30% of the circumference or affecting the structural integrity of the tree will result in a fine equal to the full-appraised value of the tree.

4. Limb damage is prohibited, unless approved prior to construction or as authorized by the owner's representative. Pruning of affected branches shall be done prior to start of construction. Branches damaged during the construction process shall be pruned within 10 days of occurrence utilizing International Society of Arboriculture standards. Unauthorized branch damage or loss can result in a fine per branch as may be determined by the construction manager or its consulting arborist.

5. Concrete truck washout areas shall be in designated areas only. Washout runoff shall not flow into or across the root zone of trees.

6. Tree protection measures shall be in place prior to start of construction and be inspected and monitored by the Owner.

7. All fines collected by the Owner shall be used toward installation of additional trees on the site.

Summary

While it is important to protect tree trunks from damage, the most important part of the tree to protect is the root system. If the root system is protected, the trunks will be protected. A long-term tree inspection and maintenance program should be established for both the existing saved trees and new plantings. All parties shall cooperate in carrying out these measures and be made aware of the importance of saving existing trees.

AREA SPECIFIC TREE PROTECTION GUIDELINES:

Four Site specific prescriptions have been developed to accommodate the special construction requirements, infrastructure placement, proposed landscaping and future pedestrian and vehicular access requirements. Some will require multiple protection treatments depending on the particular phase of construction. It should be noted that landscape installation (irrigation installation, tree planting, soil amendment, sod placement, etc.) is considered a construction activity to preserving existing trees.

Area A

Area A is a cluster of trees intended to be preserved as a major tree grouping in the middle of the site. It consists of Cottonwoods, Siberian Elms, Rocky Mountain Junipers and Russian Olives and one Blue Spruce. All root zone areas should be excluded from utility easements so installation is prohibited or restricted in the future.

Preservation Task 1: Prior to overlot grading, a perimeter fence of chain link or other comparable material and durability and at least six(6) feet in height shall be placed at the outermost drip line of the root zone to be preserved. It shall be closed off and all access to the area prohibited during all infrastructure related construction. No utilities, either wet (water, sewer, storm) or dry (phone, cable, electric, gas), shall be permitted in this area. Use of this area for stockpiling of materials shall be prohibited. All workers shall be prohibited from accessing the area, except under the direct supervision of Owner or his Representative. The fence shall be inspected daily and kept in working order throughout all phases of infrastructure installation. Posting of *Prohibited Access* shall be placed on the fence. If it is necessary to temporarily access the fence placement, the Landscape Architect shall be advised and new limits agreed upon. In areas above the construction limit where grading will create a fill condition, silt fencing shall be installed outside of the rigid fencing to prevent siltation and storm water flow into the prohibited area. Positive drainage out of the protected area will be maintained at all times. In cut areas, fill material should be temporarily placed against vertical cuts to prevent excessive drying of preserved root zones. Damaged and/or broken roots shall be pruned back to the edge of cut. Evaluation of all trees shall be done to determine stability and condition prior to beginning of Preservation Task 2.

Preservation Task 2: Landscape improvement installation will require removal of the chain link fencing and installation of more flexible barricade fencing. Wood lath type snow fencing is the preferred replacement material. Plastic fencing should not be used. A pre-installation meeting shall be held on-site to set landscape construction limits, coordinate irrigation installation/tree root conflicts, and determine final cuts and fills for landscape improvements (walkways, steps, lighting, retaining walls, etc.).

Preservation Task 3: Post-construction activities will require monitoring on an annual basis to determine needs for additional pruning and/or removals due to expected dieback or deterioration from age or existing diseases and/or defects. If construction activities are on-going in adjacent or contiguous areas, the area should be fenced throughout their duration.

Area B

Area B consists of one large Cottonwood to remain in a median of a divided roadway. Due to the size of the tree and its importance to the overall site, this tree will need to be evaluated periodically through all phases of construction, including landscaping. A significant amount of the tree's root system will be impacted by placement of infrastructure. Determination of stability will be critical once tree roots on the north and south side of the tree are removed. If the tree poses a significant risk, based on the evaluation of two qualified arborists, it should be removed immediately before moving to the next level of construction. It should be acknowledged by all parties this tree is at great risk no matter how many measures are taken to protect it. The entire median area should be excluded from all utility easements in order to prevent/restrict future potential installations.

Preservation Task 1: The same measures as listed for Preservation Task 1 above shall apply for fencing material. However, the limit for fence placement shall be the back-of-curb/valley pan for the entire length of the median. It is strongly recommended that a stump pruner be used to create a cut line or narrow trench, from 12-18 inches deep, along the limit of construction in order to pre-prune roots prior to heavy construction. If a piece of heavy equipment snags and pulls a major root, the entire tree could be impacted. If wet or dry utility installation is required adjacent to the construction limit, use of vertical trench shoring shall be required to eliminate any need for over-excavation/slope layback necessary to meet safety regulations. It is critical that subject and lateral support of the tree's root system not be compromised. Dry utility installation shall be limited to areas outside the perimeter and should be clustered/joint trenched where possible. Tree roots that are broken or damaged shall be pruned back to the edge of cut. A temporary mulch layer five(5) inches in depth shall be placed on the undisturbed median area to reduce soil drying and moderate soil temperatures. The soil moisture level should be monitored on a weekly basis to determine the need for supplemental irrigation to the remaining root zone through extended warm and dry weather patterns.

Preservation Task 2: The chain link fence may be adjusted a maximum of three(3) feet for over excavation necessary to install curb and gutter and slope stabilization/retaining walls. Re-evaluation after this second cut will be required. This step may be avoided if this limit is set initially as the limit in Preservation Task 1.

Preservation Task 3: Landscape activities will be restricted to weed control, and hand-tool work. Wood lath snow fencing shall be installed and maintained on a daily basis to reduce encroachment and activities while installation is in progress. Mulch placement in this area is encouraged to a maximum depth of four(4) inches. Drainage at the low point of the median on the west end may be required. No irrigation trenching is to be permitted. All irrigation in the median will be limited to the area immediately in back of curb. All tree or shrub planting holes will be hand dug.

Preservation Task 4: Post-construction fencing may be required if development of adjacent parcels is anticipated. Annual inspection of this tree is critical. It should be considered for removal at the earliest sign of loss of structural stability.

Area C

Area C consists of three trees. One is a mature Honeylocust. The other two are clump/shrub form Ash trees developed from stump sprouts of main stems that died back a number of years ago. The Honeylocust will require sanitation pruning. The clump form ash will need to be pruned every 2-3 years and should not be allowed to exceed 30 feet in height due to their poor structural stability associated with stump sprouts. Removal of the dead main trunk is at the discretion of the Owner and his Landscape Architect. Retention of an eight to ten foot portion of the dead trunk could be considered for use by wildlife as nesting sites.

Preservation Task 1: Utilize Preservation Task 1 site protection measures outlined for Area A.

Preservation Task 2: Same as Area A.

Preservation Task 3: Same as Area A.

Area D


Area D consists of a number of large Cottonwoods, Russian Olives and fruit trees that will be on the perimeter of this phase of development and building construction. Sanitation pruning should be done with this phase of development.

Preservation Task 1: Place rigid snow fencing at the drip line of each tree. Provide silt fencing in areas where overlot grading will create fill conditions above the root zone. Leave in place through all phases of construction. Do not remove until all adjacent construction is completed and re-vegetation has become established.

Preservation Task 2: Evaluate trees after construction to determine long-term needs and consideration for incorporation into adjacent site development and landscape improvement plans.

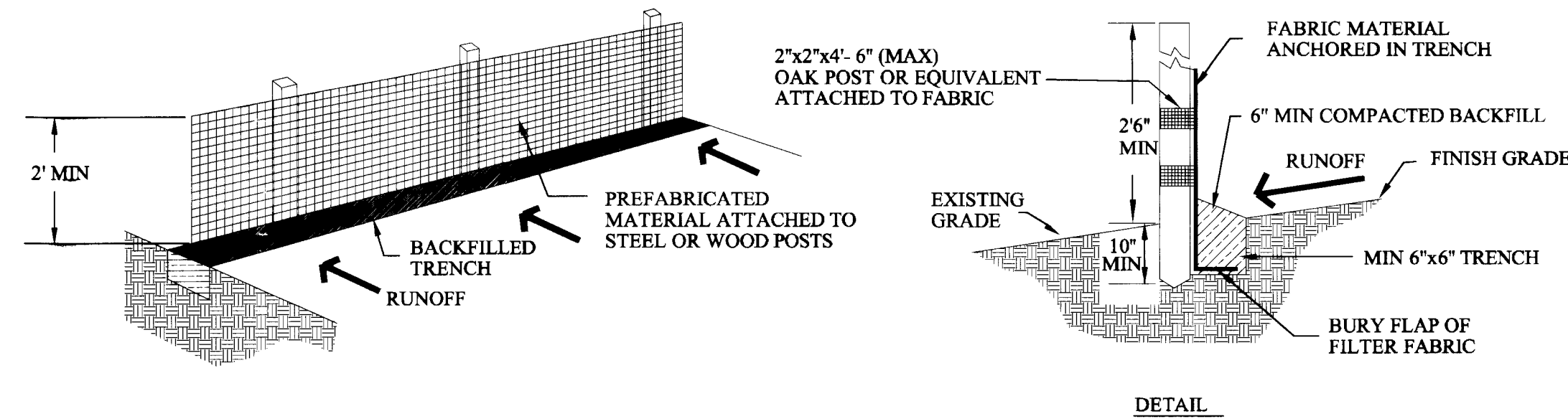
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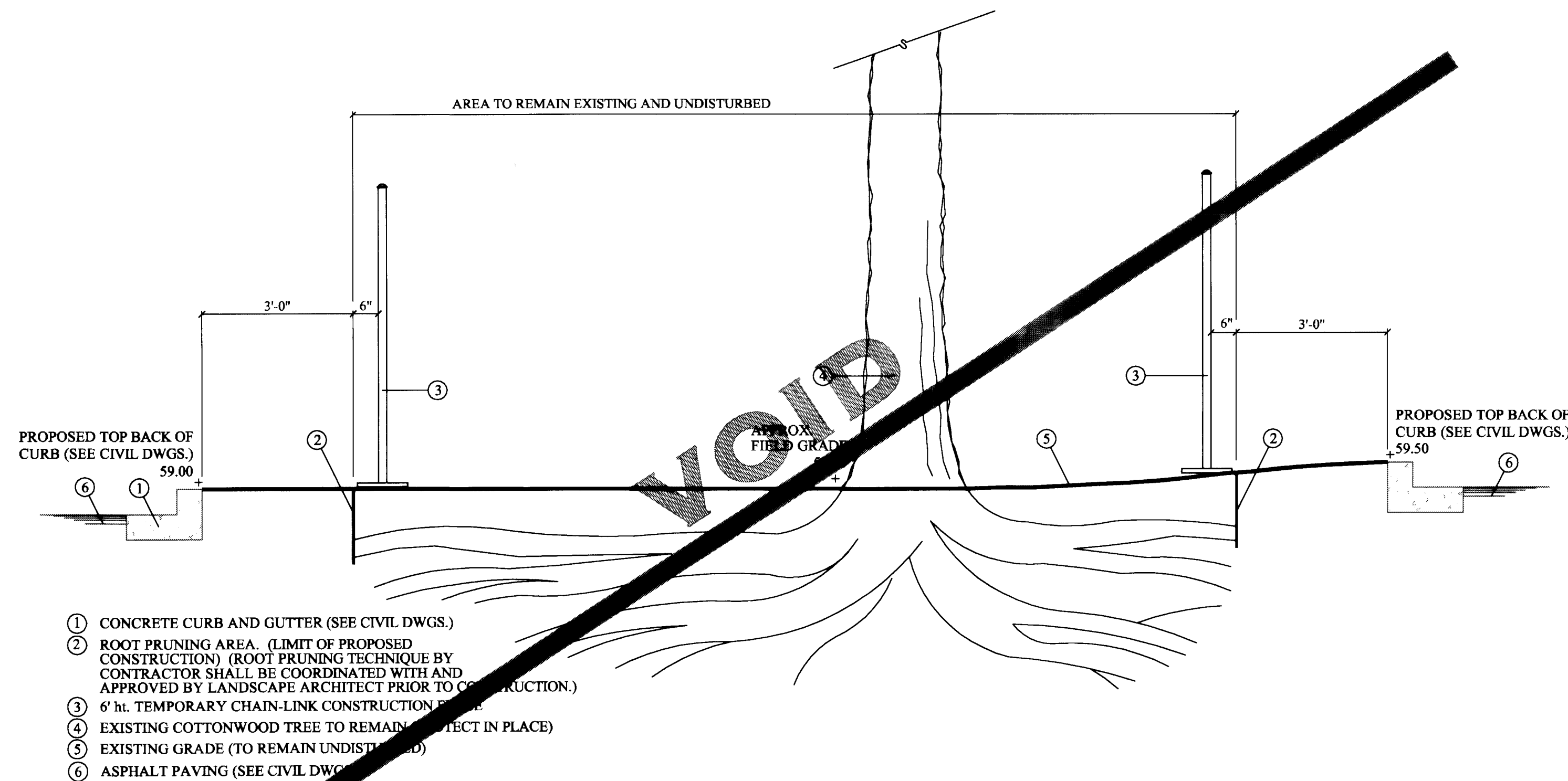
FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1



- NOTES:
- SILT FENCE SHALL BE INSTALLED BEFORE ANY EARTH REMOVAL OR EXCAVATION TAKES PLACE.
 - SET POSTS MAXIMUM 8 FEET ON CENTER AND EXCAVATE 6"x6" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
 - ATTACH FILTER FABRIC TO POSTS AND EXTEND IT INTO TRENCH.
 - BACKFILL AND COMPACT EXCAVATED SOIL.

4 PREFABRICATED SILT FENCE INSTALLATION

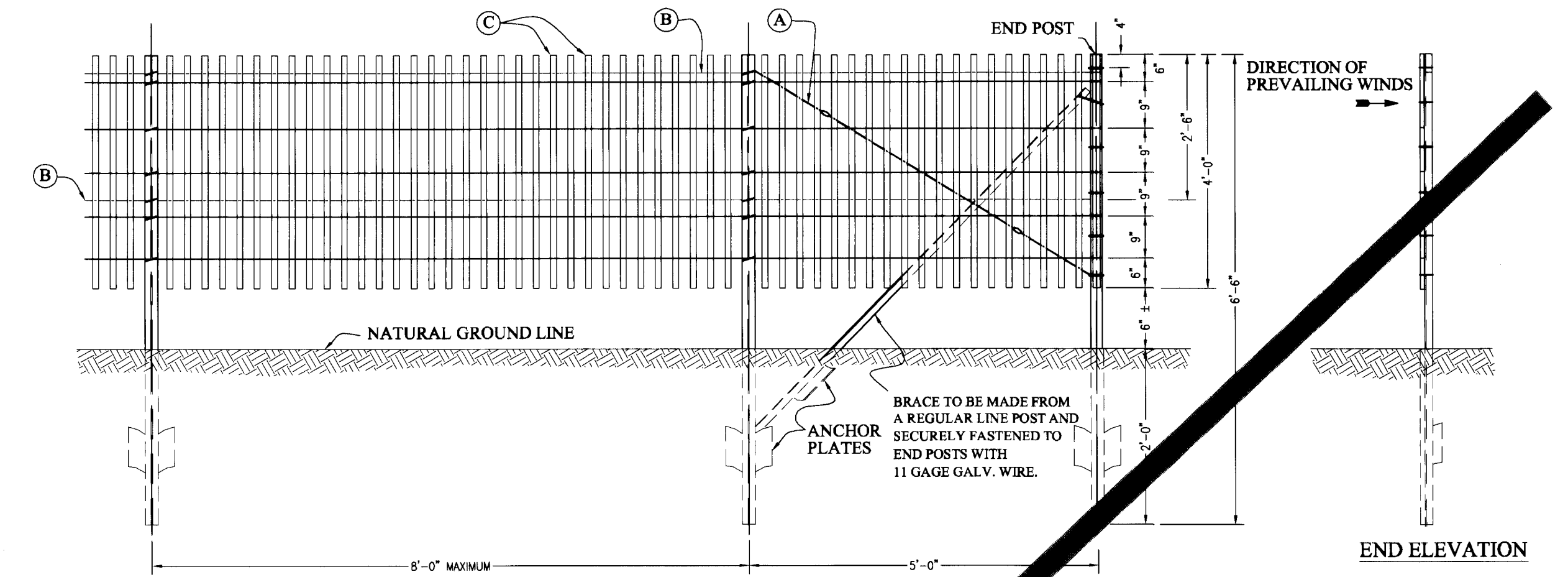
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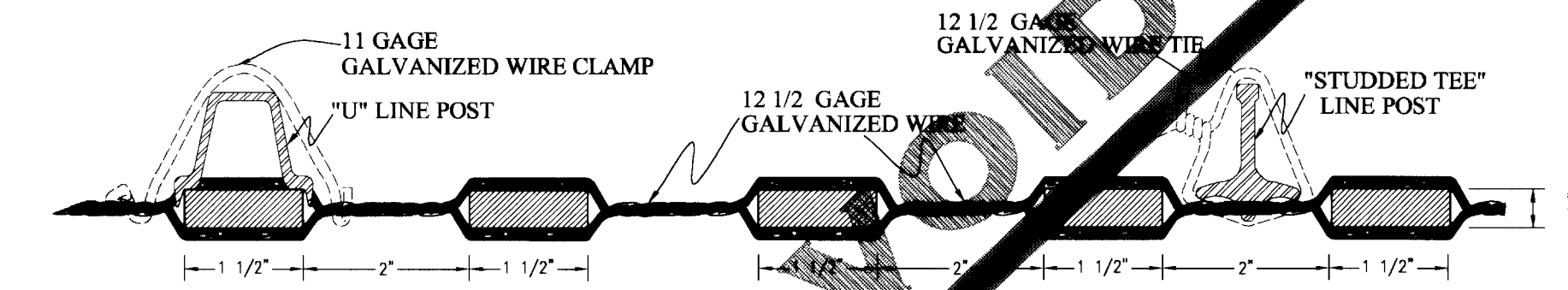
- CONCRETE CURB AND GUTTER (SEE CIVIL DWGS.)
- ROOT PRUNING AREA. (LIMIT OF PROPOSED CONSTRUCTION) (ROOT PRUNING TECHNIQUE BY CONTRACTOR SHALL BE COORDINATED WITH AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.)
- 6' ht. TEMPORARY CHAIN-LINK CONSTRUCTION FENCE
- EXISTING COTTONWOOD TREE TO REMAIN (TO BE PROTECTED IN PLACE)
- EXISTING GRADE (TO REMAIN UNDISTURBED)
- ASPHALT PAVING (SEE CIVIL DWGS.)

3 AREA CROSS SECTION

1/2" = 1'-0"



FRONT ELEVATION OF PICKET SNOW FENCE



TYPICAL SECTIONS THROUGH SNOW FENCE POST AND PICKETS

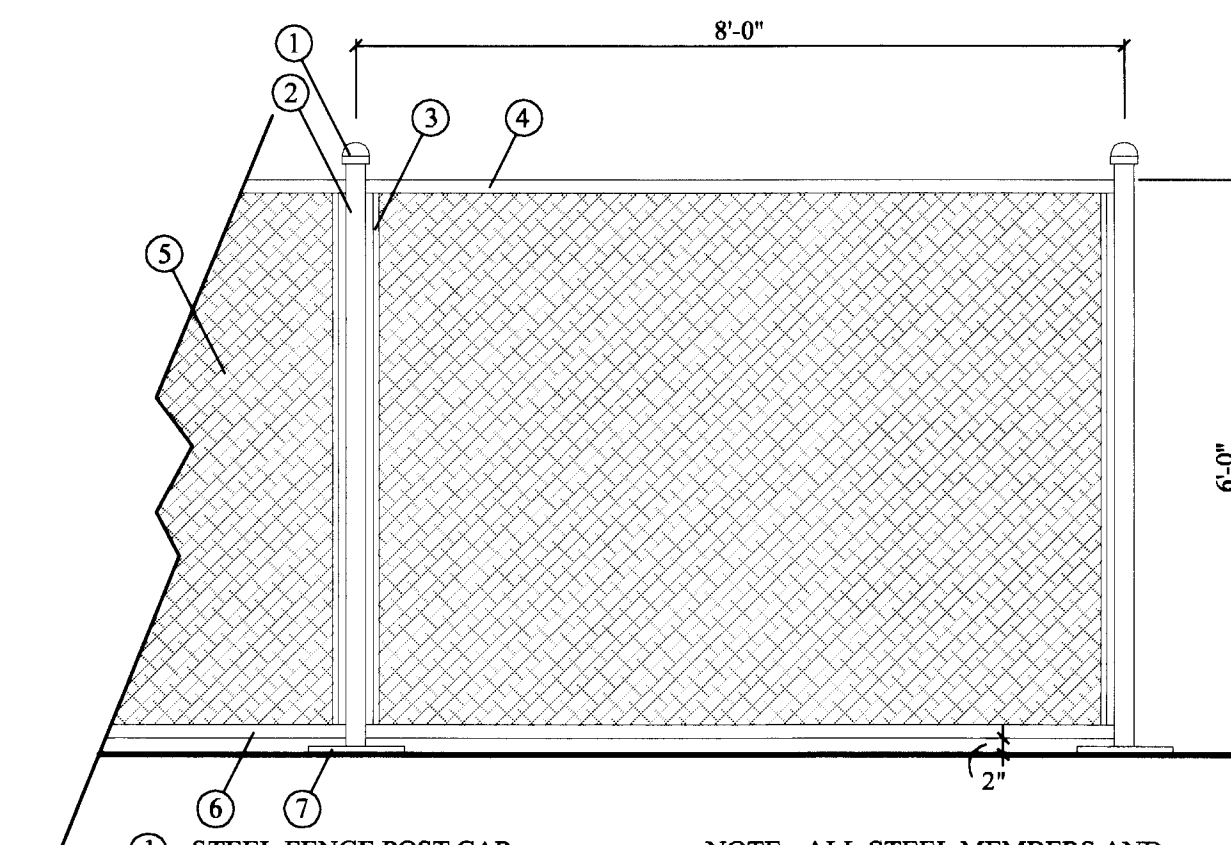
NOTE: OTHER SECTIONS OF STEEL POSTS HAVING EQUAL WEIGHT AND EQUIVALENT STRENGTH MAY BE USED IN LIEU OF EITHER OF THESE SECTIONS.

GENERAL NOTES

- WIRE-BOUND PICKET FENCE, CONFORMING TO ASTM F 537, IS TO BE STRETCHED TIGHT AND SECURELY FASTENED TO ALL POSTS WITH 11 GA. GALVANIZED STEEL WIRE CLAMPS AND 12 1/2 GA. GALVANIZED STEEL WIRE TIES.
- ALL FENCE POSTS, COMPLETE WITH ANCHOR PLATE, SHALL BE HOT-DIPPED GALVANIZED. ALL CONFORMING TO REQUIREMENTS OF AASHTO M 281. LINE POSTS (WITHOUT ANCHOR) SHALL WEIGH NOT LESS THAN 1.33 LBS. PER LIN. FT. (RAW). ANCHOR PLATES SHALL BE SECURELY FASTENED TO EACH LINE POST AND SHALL WEIGH 0.67 LB. NOMINAL.
- SNOW FENCE MAY BE BRACED IMMEDIATELY IN FRONT OF THE RIGHT-OF-WAY FENCE WHEN SUCH LOCATION IS SUITABLE. THIS WILL AVOID TRAPPING OF WIND AND DEBRIS BETWEEN THE FENCES. IN SUCH INSTALLATION THE SNOW FENCE IS NOT TO BE TIED OR FASTENED TO THE RIGHT-OF-WAY FENCE.
- IN GENERAL, SNOW FENCE SHALL BE PLACED IN LOCATIONS SHOWN ON FIELD BY LANDSCAPE ARCHITECT.
- FENCE TO BE SECURELY BRACED AT EACH END PANEL WITH A REGULAR LINE POST AND 1 DIAGONAL CABLE CONSISTING OF 2 STRANDS OF TWISTED WIRE. EACH STRAND TO CONSIST OF TWO 12 1/2 GAGE GALVANIZED WIRES. (A)
- TWO HORIZONTAL WIRES (B) SHALL BE STRUNG BEHIND THE PICKETS FOR THE FULL LENGTH OF THE FENCE. EACH HORIZONTAL WIRE TO CONSIST OF TWO 12 1/2 GAGE TWISTED GALVANIZED WIRES. EACH HORIZONTAL WIRE IS TO BE FASTENED SECURELY TO EACH FENCE POST BY MEANS OF 11 GAGE WIRE CLAMPS OR 12 1/2 GAGE WIRE TIES.
- (C) 1/2" x 1 1/2" WOODEN PICKETS SPACED 3 1/2" O.C. AND WOVEN BETWEEN 5 CABLES OF TWO STRANDS EACH OF 12 1/2 GAGE GALVANIZED STEEL WIRE.

2 PICKET SNOW FENCE

N.T.S.



- STEEL FENCE POST CAP
- 2-3/8" O.D. FENCE POST
- STRETCH BAR
- 1-5/8" O.D. TOP RAIL
- 9 GAUGE FENCE FABRIC
- 1-5/8" O.D. BOTTOM RAIL
- STEEL BASE W/ ANCHORS

NOTE: ALL STEEL MEMBERS AND FASTENERS SHALL BE GALVANIZED. FENCE SHALL BE INSTALLED TO ENSURE ENCLOSURE AROUND EXISTING TREE. NO PENETRATION WILL BE PERMITTED. SEE EXISTING TREE PROTECTION PLAN AND NOTES.

1 CHAIN-LINK CONSTRUCTION FENCE

1/2" = 1'-0"

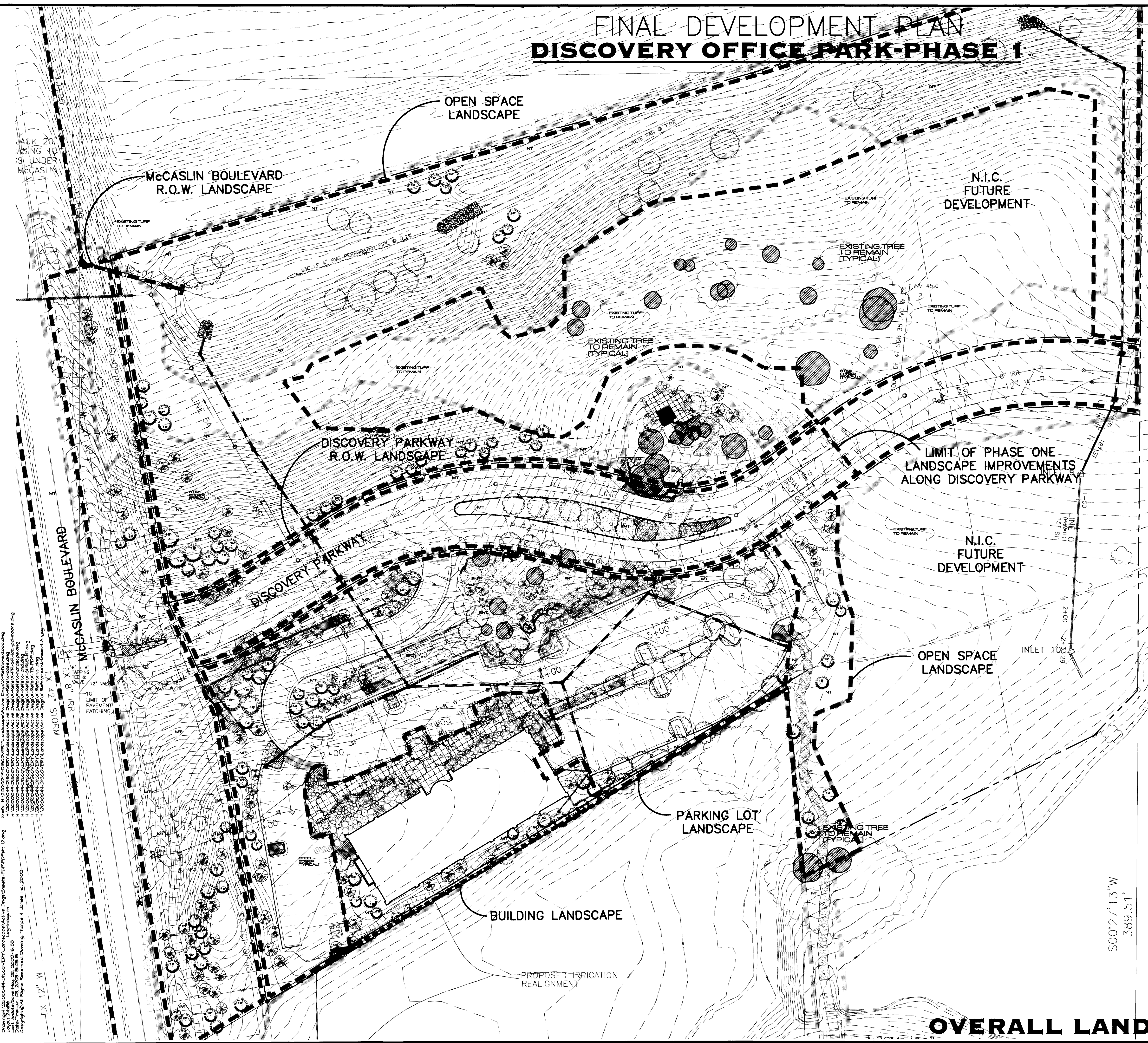
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FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1



PHASE I PLANT MATERIAL QUANTITY CHART:

ITEM	LAND USE CODE REQUIREMENT	UNIT	TOTAL UNITS	QUANTITY REQUIRED	RATIO REQUIRED	QUANTITY PROVIDED	RATIO PROVIDED	QUANTITY EXCEEDED	TOTALS
STREET R.O.W. (McCASLIN BLVD.)	1 TREE/40 LF	LF	663	17	12 EVG. 5 DECID.	50 21	40 EVG. 13 DECID.	10 DECID. 8 DECID.	
	SHRUBS: NO REQUIREMENT								
STREET R.O.W. (DISCOVERY PKWY.)	1 TREE/40 LF	LF	1,782	45	30 EVG. 15 DECID.	15*** 105	3 EVG. 31 DECID.	12 DECID. 74 DECID.	
	SHRUBS: NO REQUIREMENT								
PARKING LOTS	1 TREE/10 SPACES	SPACES	117	12	8 EVG. 4 DECID.	109 52	57 EVG. 22 DECID.	52 DECID. 220 EVG.	
	3 SHRUBS/10 SPACES	SPACES	117	36		635		415 DECID.	
**OPEN SPACE	20 TREES/ACRE	ACRE	4.10	82	54 EVG. 28 DECID.	86 68	61 EVG. 25 DECID.	26 EVG. 48 DECID.	
	SHRUBS: NO REQUIREMENT								
BLDG. LANDSCAPE	1 TREE/850 SF	SF	12,854	15	10 EVG. 5 DECID.	45 22	23 EVG. 22 DECID.		
	1 SHRUB/30 SF	SF	12,854	428		429		317 DECID.	
TOTALS: TREES				171		171		134	*305
				112		112		72	184
				59		59		62	121
TOTALS: SHRUBS				464		464		794	1258
				306		306		48	354
				158		158		746	904

- * DENOTES 134 ADDITIONAL TREES INCLUDED THROUGHOUT THE SITE FOR MITIGATION. (MITIGATED 89 TREES AT 1.5:1 RATIO FOR A TOTAL OF 134 ADDITIONAL TREES. DECIDUOUS TREES AT 3" CAL., EVERGREEN TREES AT 10' HT.).
- ** BREAKDOWN OF PHASE 1 OPEN SPACE ACREAGE:
NON-IRRIGATED OPEN SPACE 3.61 AC.
IRRIGATED OPEN SPACE 0.32 AC.
HARDSCAPE 0.17 AC.
TOTAL: 4.10 AC.
- ALL SHRUBS AND TREES WITHIN OPEN SPACE SHALL BE DRIP IRRIGATED.
- *** REPRESENTS PHASE I PLANT MATERIAL QUANTITIES ONLY. FUTURE PHASES WILL PROVIDE THE REMAINDER OF QUANTITY REQUIRED.
- **** THE LAND USE RATIO OF 1/3 DECIDUOUS, 2/3 EVERGREEN TREES REQUIRED HAS BEEN MET AND EXCEEDED AT THE SAME RATIO. THE LAND USE RATIO OF 1/3 DECIDUOUS, 2/3 EVERGREEN SHRUBS REQUIRED HAS BEEN MET. THE EXCESS SHRUBS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE TO PROVIDE YEAR ROUND INTEREST TO THE SITE LANDSCAPE.

LEGEND

6" APPROX. EXISTING TREE CALIPER

○ DENOTES TREES ATTEMPTED TO BE SAVED & INCORPORATED INTO FUTURE LANDSCAPING

○ PROPOSED SHADE TREE (3" cal. UNLESS NOTED OTHERWISE)

○ PROPOSED EVERGREEN TREE (PINES - 10' ht. MIN.)

○ PROPOSED ORNAMENTAL TREE (2.5' cal. UNLESS NOTED OTHERWISE)

▨ PROPOSED SHRUB PLANTING BED

MT MANICURED TURF

ENT ENHANCED NATIVE TURF

NT NATIVE TURF

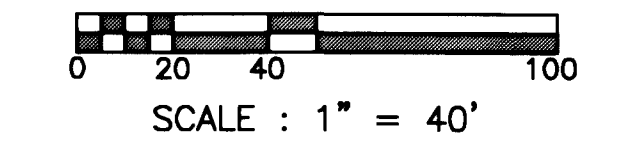
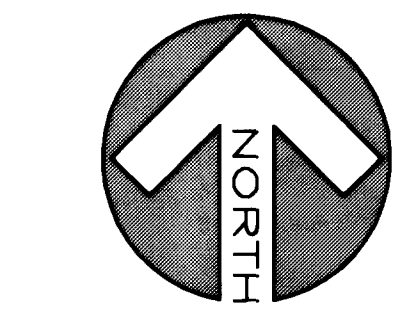
WMT WET MEADOW SEED MIX

--- LIMIT OF GRADING

--- PRIMARY PEDESTRIAN CIRCULATION ROUTE

--- PROPERTY LINE

- KEY:
- MT IRRIGATED MANICURED TURF
 - ENT IRRIGATED, ENHANCED NATIVE TURF
 - NT NON-IRRIGATED NATIVE TURF
- NOTES:
- EXISTING TURF TO REMAIN SHALL BE UNDISTURBED.
 - ALL TREES PLANTED 10' CLEAR OF ALL UTILITIES.
 - IRRIGATION SYSTEM TO BE INSTALLED WITH HUMIDITY DETECTOR DEVICE AS PART OF A WATER CONSERVATION EFFORT.



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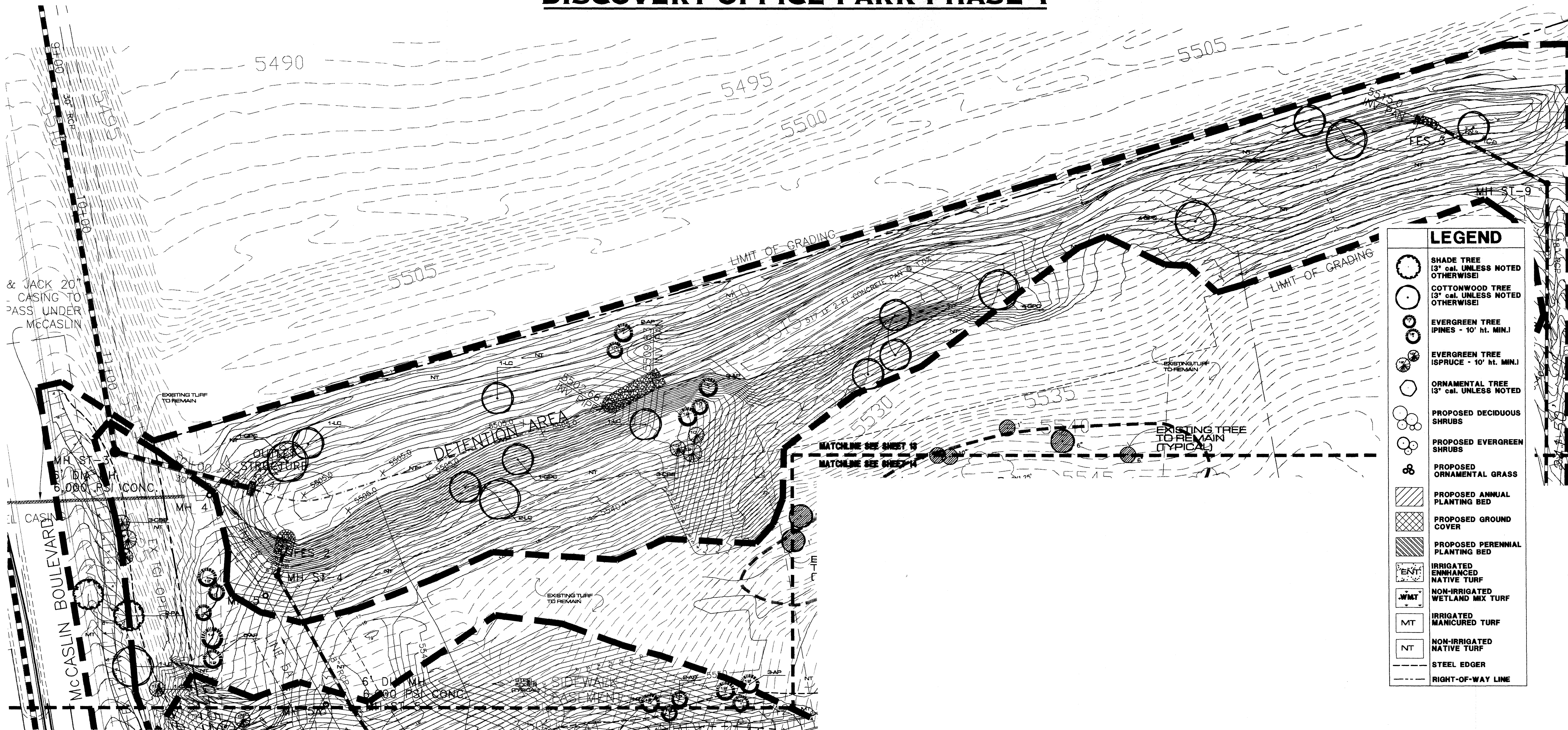
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FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1

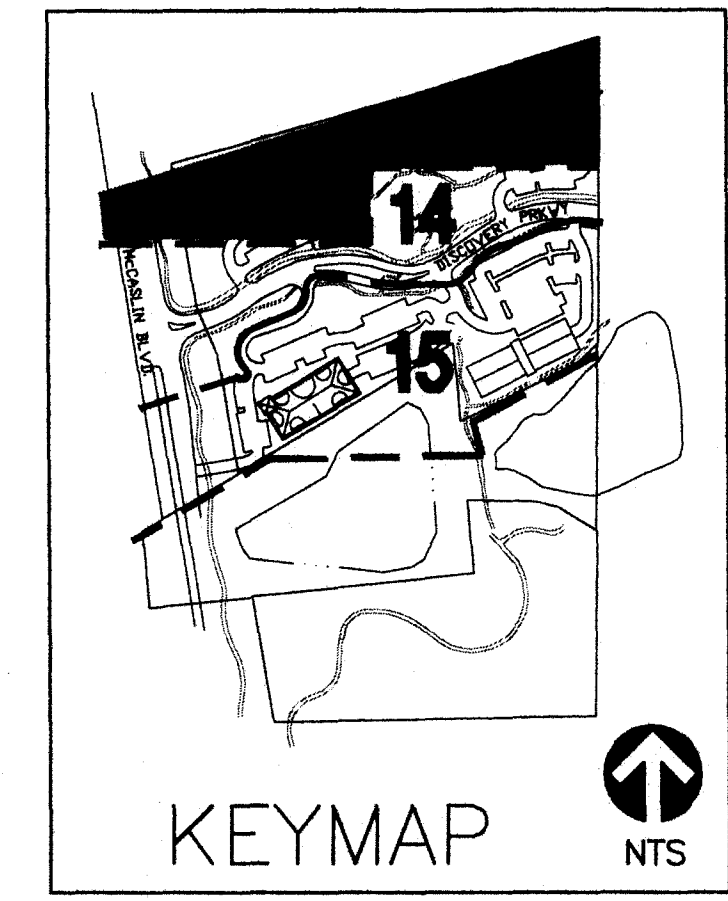
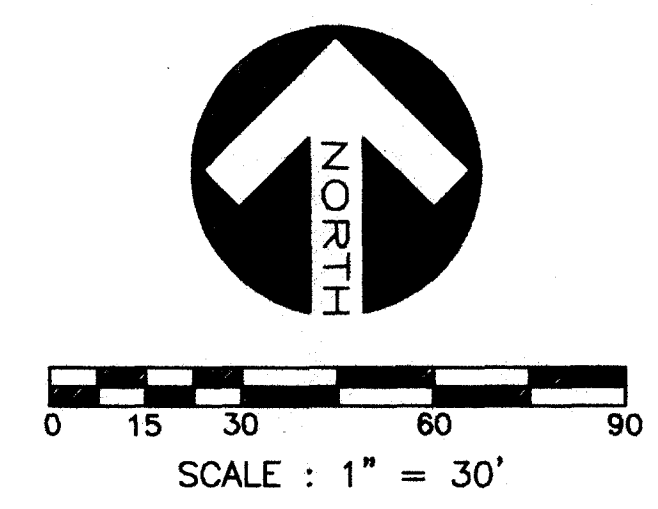


LEGEND	
	SHADE TREE (3" cal. UNLESS NOTED OTHERWISE)
	COTTONWOOD TREE (3" cal. UNLESS NOTED OTHERWISE)
	EVERGREEN TREE (PINES - 10' ht. MIN.)
	EVERGREEN TREE (SPRUCE - 10' ht. MIN.)
	ORNAMENTAL TREE (3" cal. UNLESS NOTED OTHERWISE)
	PROPOSED DECIDUOUS SHRUBS
	PROPOSED EVERGREEN SHRUBS
	PROPOSED ORNAMENTAL GRASS
	PROPOSED ANNUAL PLANTING BED
	PROPOSED GROUND COVER
	PROPOSED PERENNIAL PLANTING BED
	IRRIGATED ENHANCED NATIVE TURF
	NON-IRRIGATED WETLAND MIX TURF
	IRRIGATED MANICURED TURF
	NON-IRRIGATED NATIVE TURF
	STEEL EDGER
	RIGHT-OF-WAY LINE

& JACK 20" CASING TO PASS UNDER McCASLIN

MCCASLIN BOULEVARD

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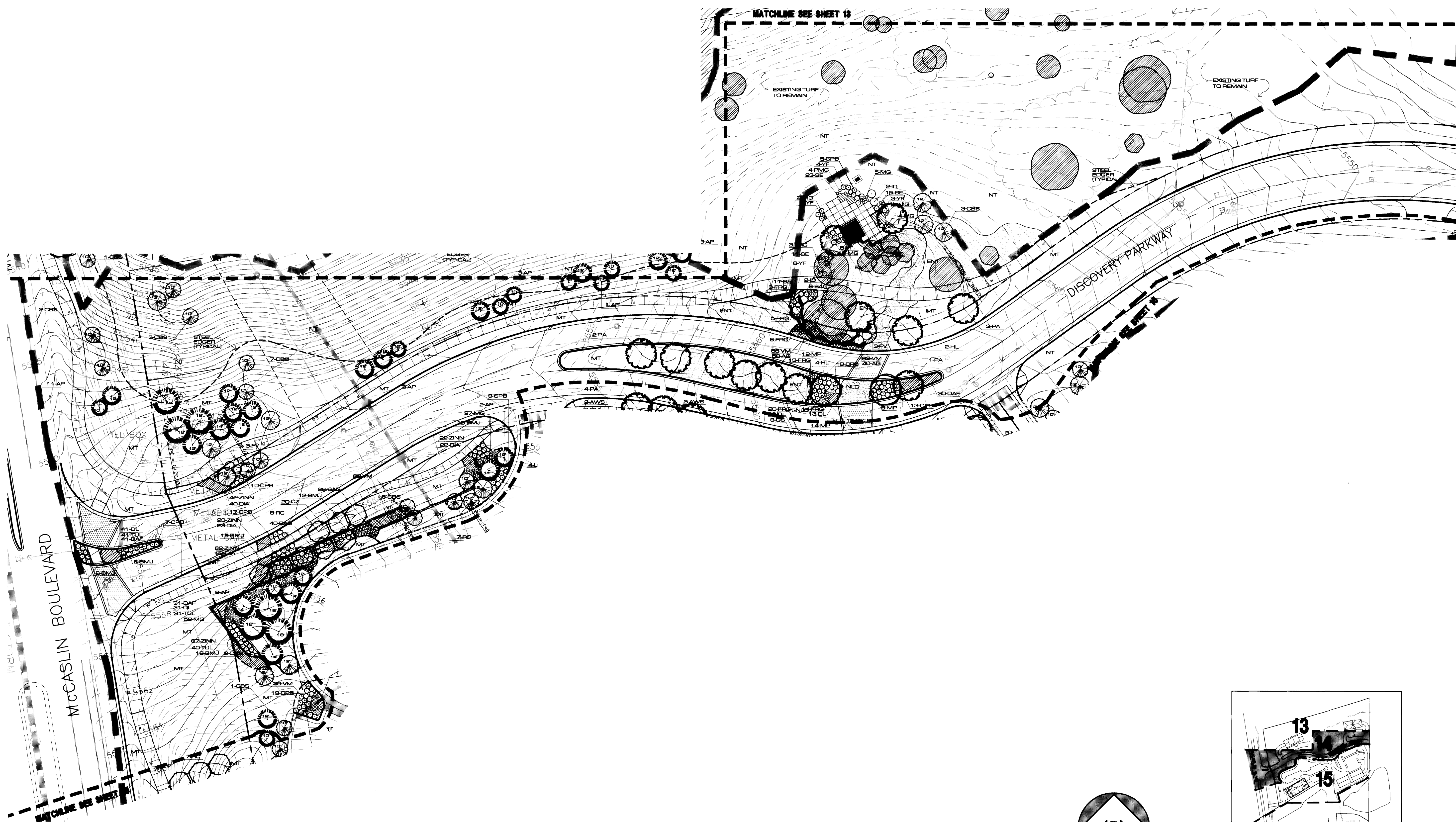
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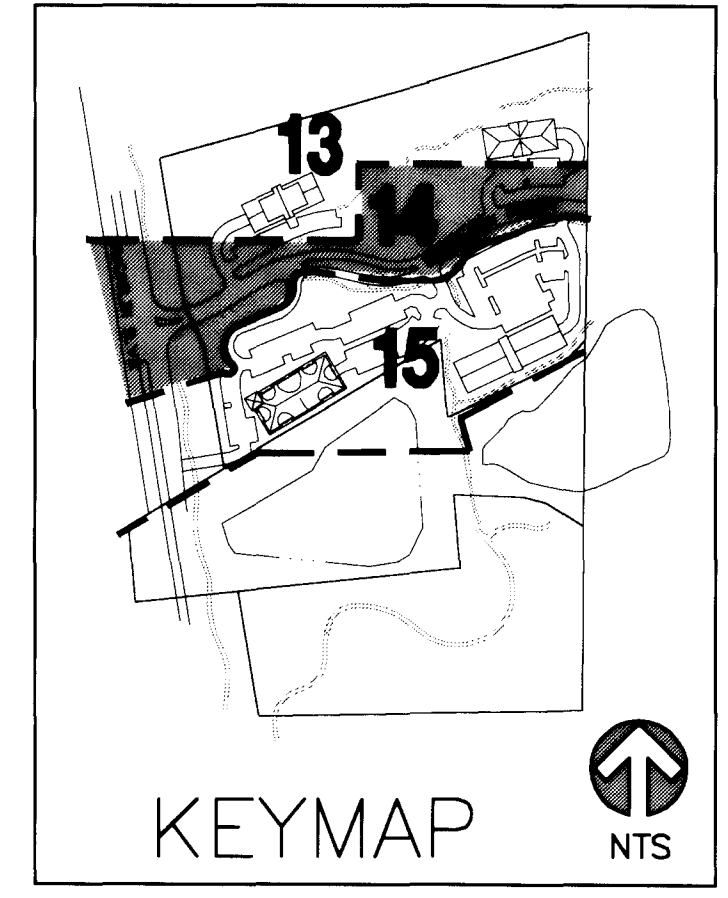
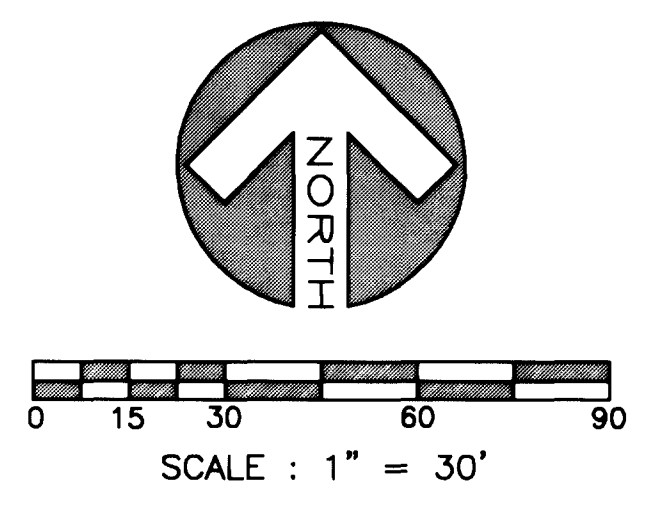
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LEGEND	
	SHADE TREE (3" cal. UNLESS NOTED OTHERWISE)
	COTTONWOOD TREE (3" cal. UNLESS NOTED OTHERWISE)
	EVERGREEN TREE (PINES - 10' ht. MIN.)
	EVERGREEN TREE (SPRUCE - 10' ht. MIN.)
	ORNAMENTAL TREE (3" cal. UNLESS NOTED OTHERWISE)
	PROPOSED DECIDUOUS SHRUBS
	PROPOSED EVERGREEN SHRUBS
	PROPOSED ORNAMENTAL GRASS
	PROPOSED ANNUAL PLANTING BED
	PROPOSED GROUND COVER
	PROPOSED PERENNIAL PLANTING BED
	IRRIGATED ENHANCED NATIVE TURF
	NON-IRRIGATED WETLAND MIX TURF
	IRRIGATED MANICURED TURF
	NON-IRRIGATED NATIVE TURF
	STEEL EDGER
	RIGHT-OF-WAY LINE

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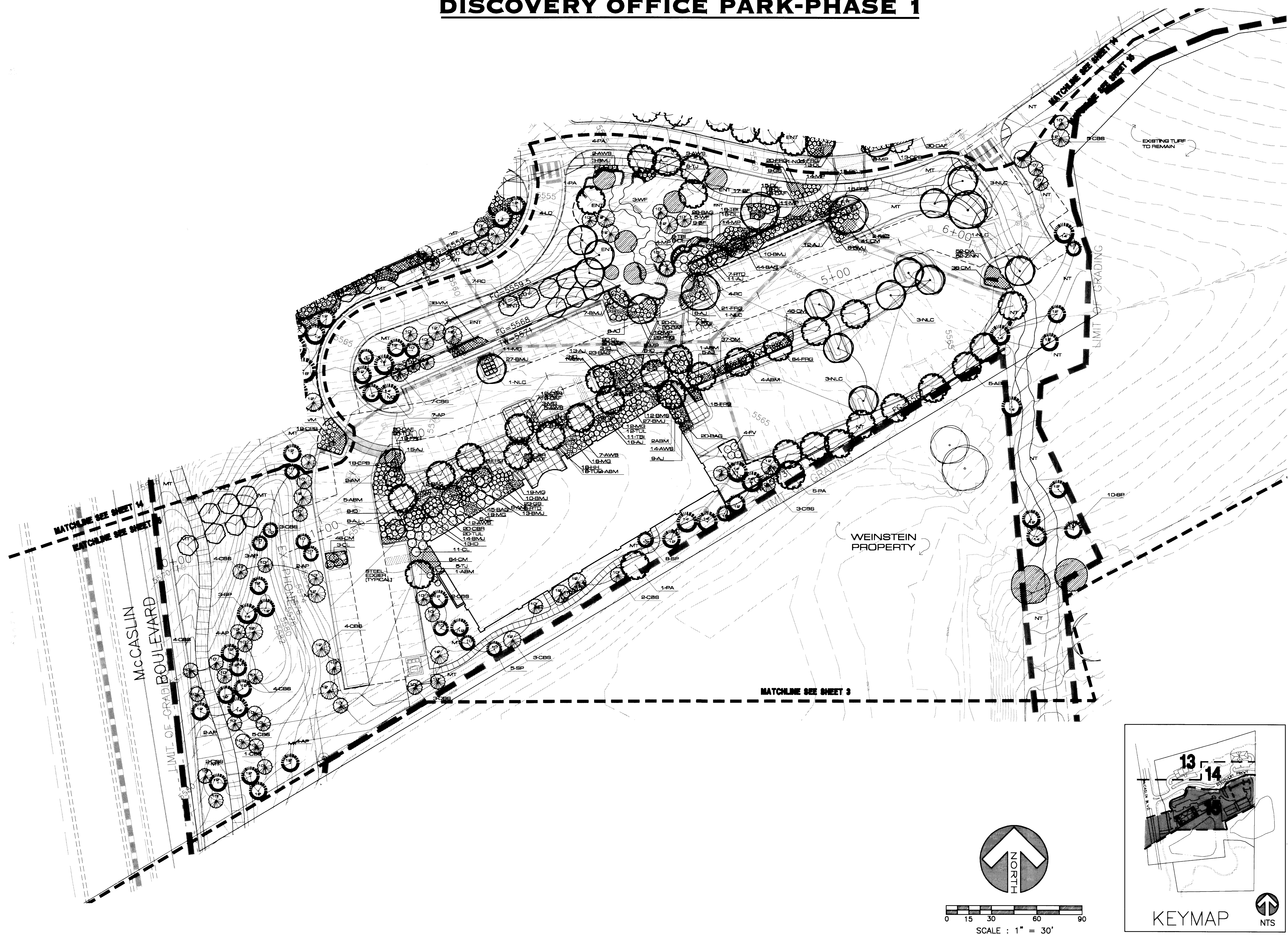
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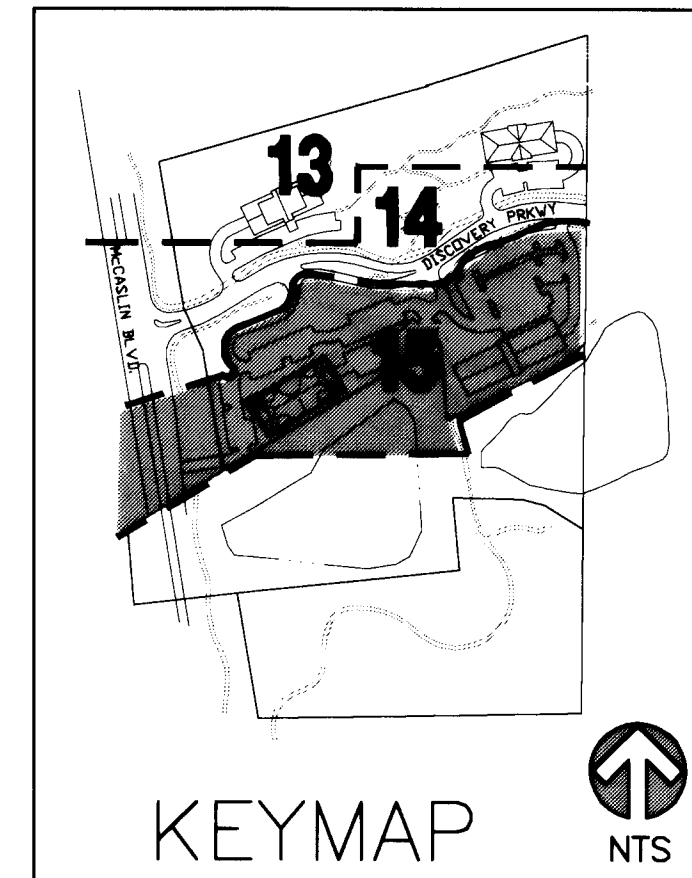
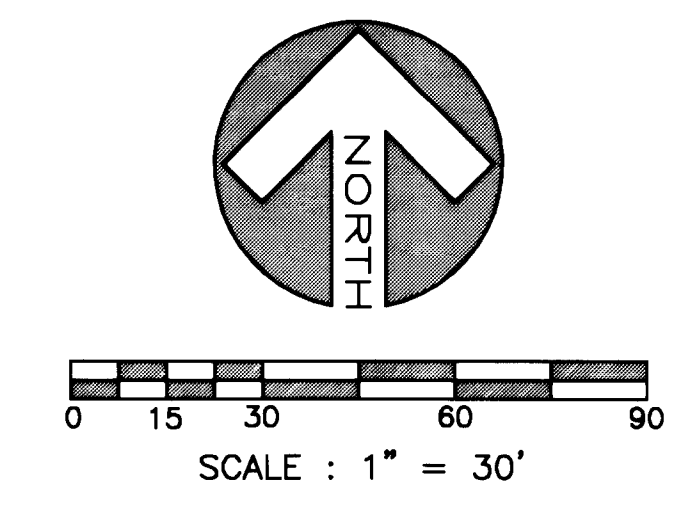
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LEGEND	
	SHADE TREE 13' cal. UNLESS NOTED OTHERWISE!
	COTTONWOOD TREE 13' cal. UNLESS NOTED OTHERWISE!
	EVERGREEN TREE PINES - 10' ht. MIN.
	EVERGREEN TREE SPRUCE - 10' ht. MIN.
	ORNAMENTAL TREE 13' cal. UNLESS NOTED
	PROPOSED DECIDUOUS SHRUBS
	PROPOSED EVERGREEN SHRUBS
	PROPOSED ORNAMENTAL GRASS
	PROPOSED ANNUAL PLANTING BED
	PROPOSED GROUND COVER
	PROPOSED PERENNIAL PLANTING BED
	IRRIGATED ENHANCED NATIVE TURF
	NON-IRRIGATED WETLAND MIX TURF
	IRRIGATED MANICURED TURF
	NON-IRRIGATED NATIVE TURF
	STEEL EDGER
	RIGHT-OF-WAY LINE




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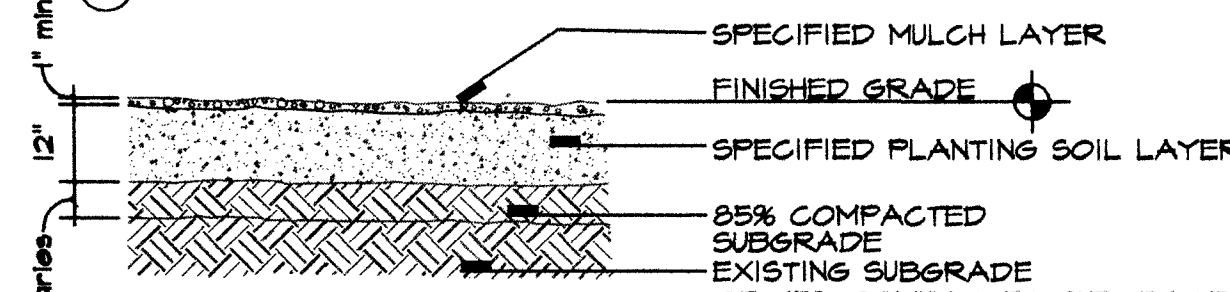
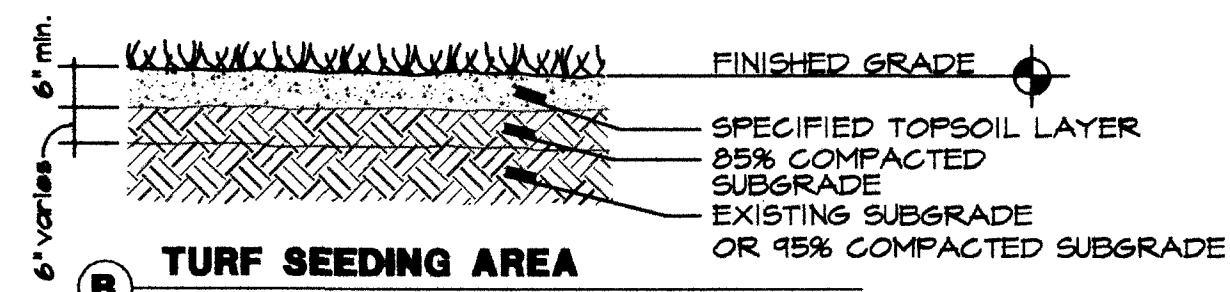
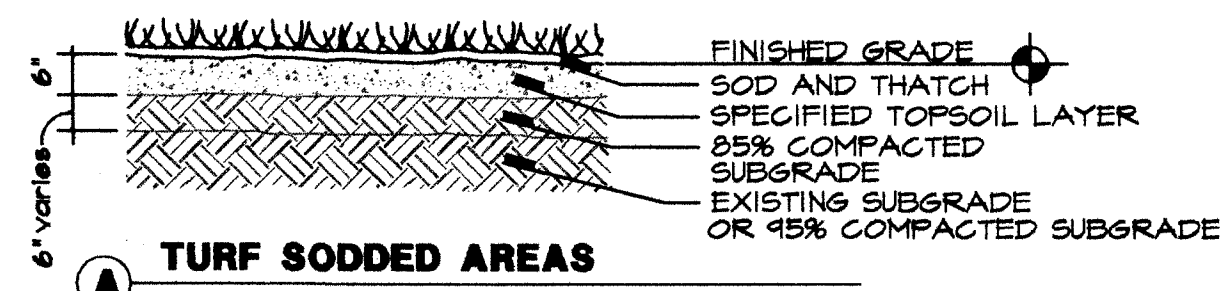
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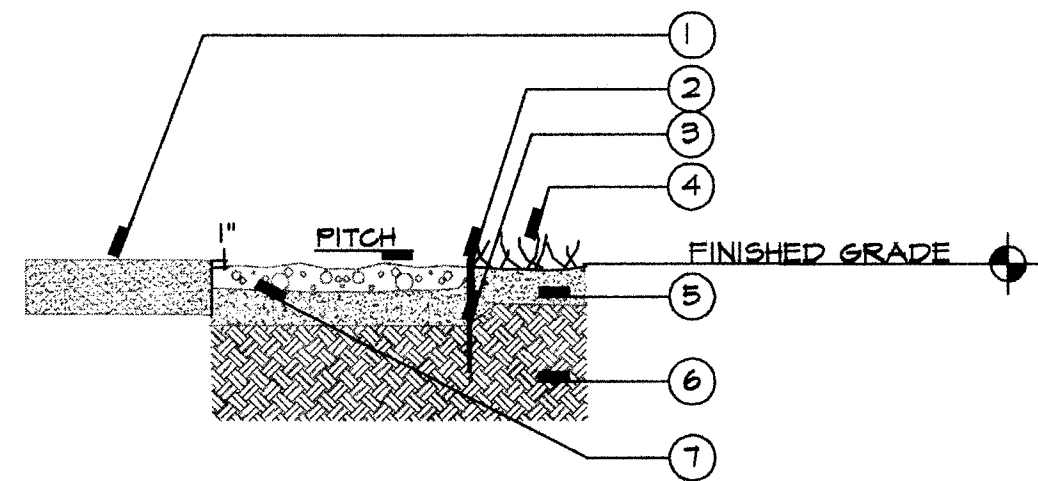

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PLANTING PLAN - LOT 1 SHEET 15 OF 22

FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1

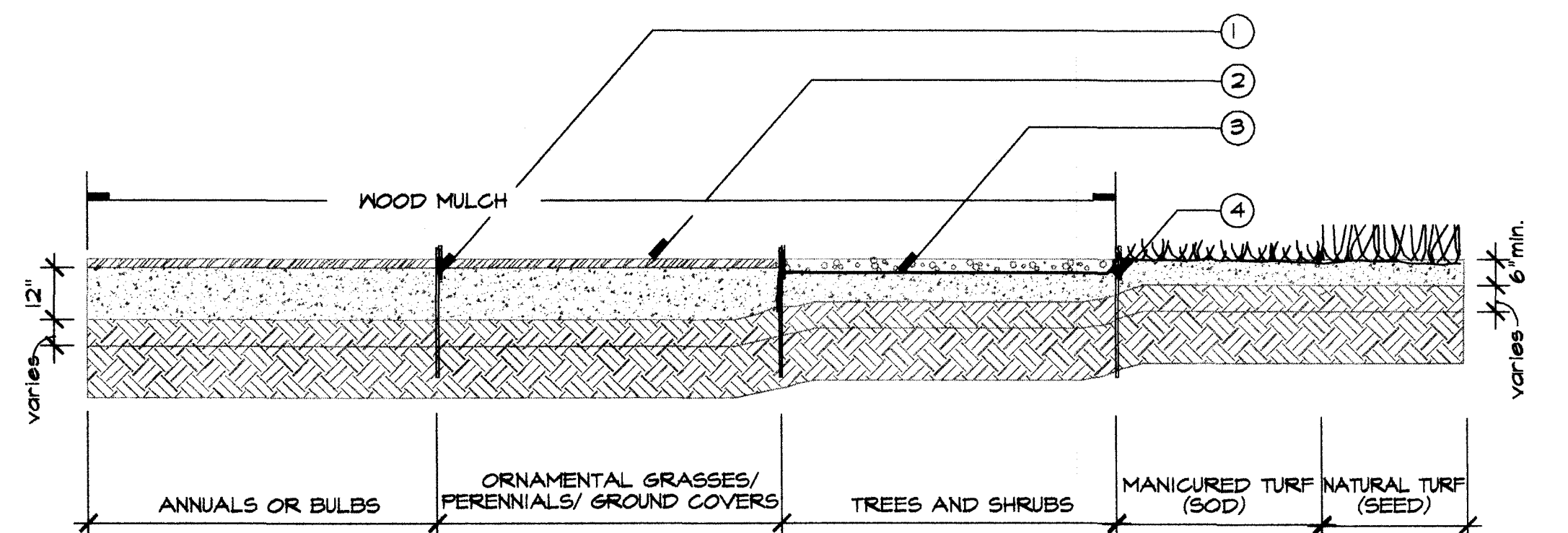


8 SPECIAL SECTION AREAS
N.T.S. SECTION



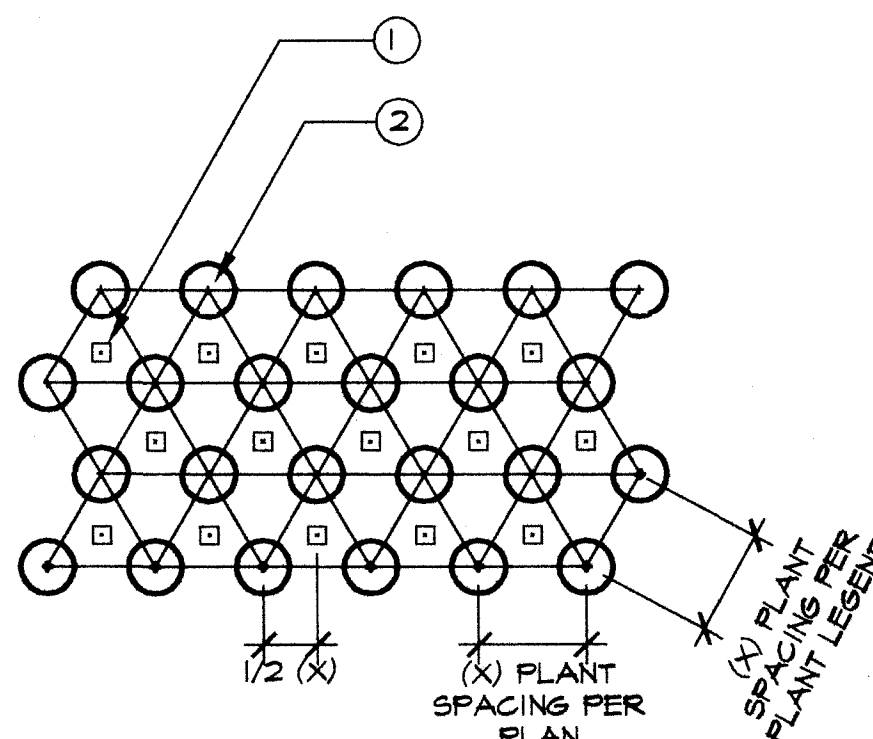
- 1 ADJACENT PAVING OR CURB
 - 2 STEEL EDGING 1/8" X 4"
 - 3 PROVIDE METAL STAKES
 - 4 AS SPECIFIED
 - 5 SPECIFIED PLANTING SOIL LAYER
 - 6 EXISTING SUBGRADE OR 95% COMPACTED SUBGRADE
 - 7 SPECIFIED PLANT MATERIAL AND MULCH LAYER
- NOTE: DEPTH OF STEEL EDGING TO BE APPROVED BY OWNER'S REPRESENTATIVE ADJUST AS DIRECTED.
- NOTE: SET ALL EDGING 1" ABOVE FINISHED GRADE AS SHOWN. EDGING SHALL ABUTT ALL PAVING SURFACES PERPENDICULAR AND FLUSH WITH PAVING GRADES. ALL JOINTS TO BE WELDED OR SECURELY STAKED.

7 TYP. EDGING/ MULCH
N.T.S. SECTION



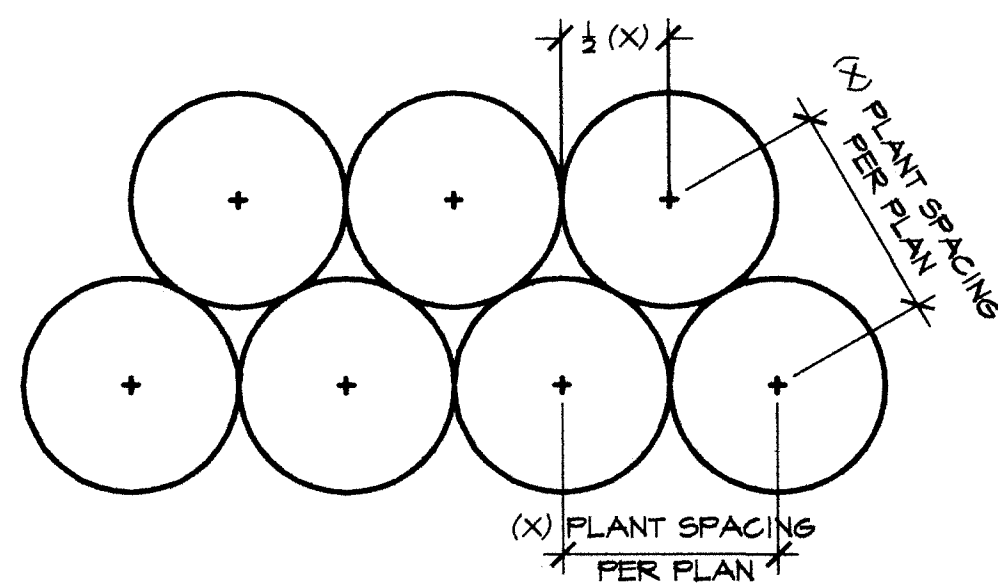
- MULCHING CONDITIONS
- 1 HARD COMPACT SOIL AT EDGER
 - 2 SPECIFIED MULCH LAYER 2" IN ANNUAL AREAS 3" IN ORN. GRASS/PEREN./G.C. AREA
 - 3 WEED BARRIER TURN UP FABRIC AGAINST EDGER AND TURN DOWN INTO SUBGRADE WHERE IT ABUTTS PERENNIALS.
 - 4 HARD COMPACT SOIL AT EDGER
- NOTES:
1. PROVIDE SPECIFIED WOOD MULCH IN THE FOLLOWING BEDS:
 - A. PERENNIAL BED
 - B. ANNUAL / BULB
 - C. ORNAMENTAL GRASSES
 - D. SHRUB BEDS
 - E. TREE RINGS
 2. WESTERN RED CEDAR WOOD MULCH SHALL BE USED IN THOSE AREAS ADJACENT TO THE MAIN BUILDING AND THE RETREAT BUILDING AND CONTAINED, IN GENERAL, BY THE LOOP ROAD AND PARKING LOTS (SHEETS LP-2 THROUGH LP-12). ALL OTHER AREAS SHALL BE BARK MULCH.

6 PLANTING AREA SECTION
N.T.S. SECTION

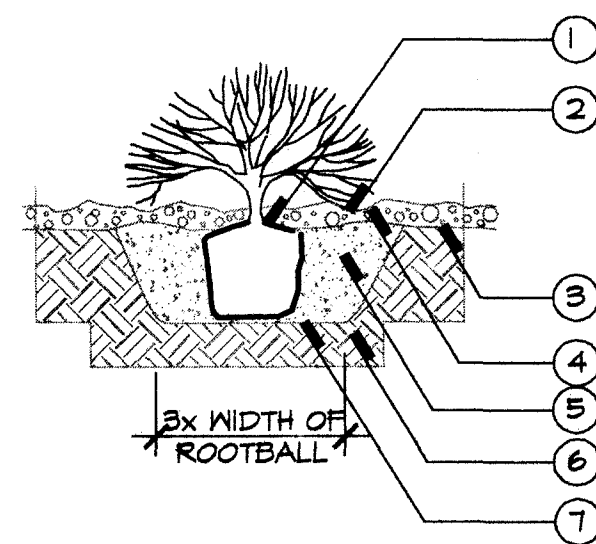


- 1 BULB LOCATION, CONTRACTOR TO PLANT IN FALL
- 2 ANNUAL LOCATION, 1ST YEAR PLANTS PROVIDED AND INSTALLED BY CONTRACTOR. REMOVE IN FALL AND REPLACE SPRING AT SAME SPACINGS.

5 ANNUAL/ BULB BEDS
N.T.S. SECTION

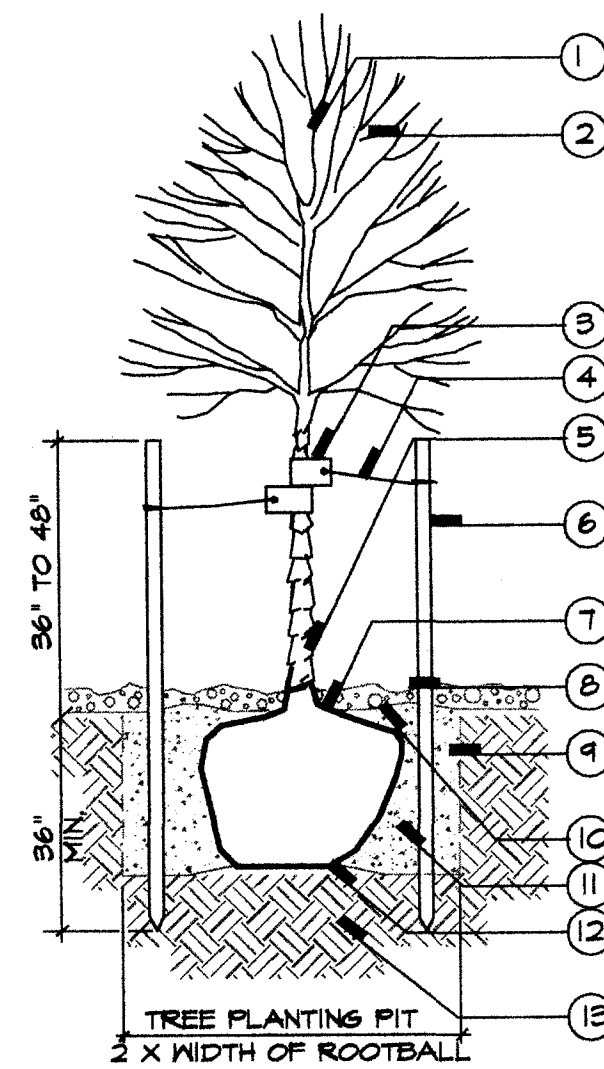


4 TYP. TRIANGULAR SPACING
N.T.S. SECTION



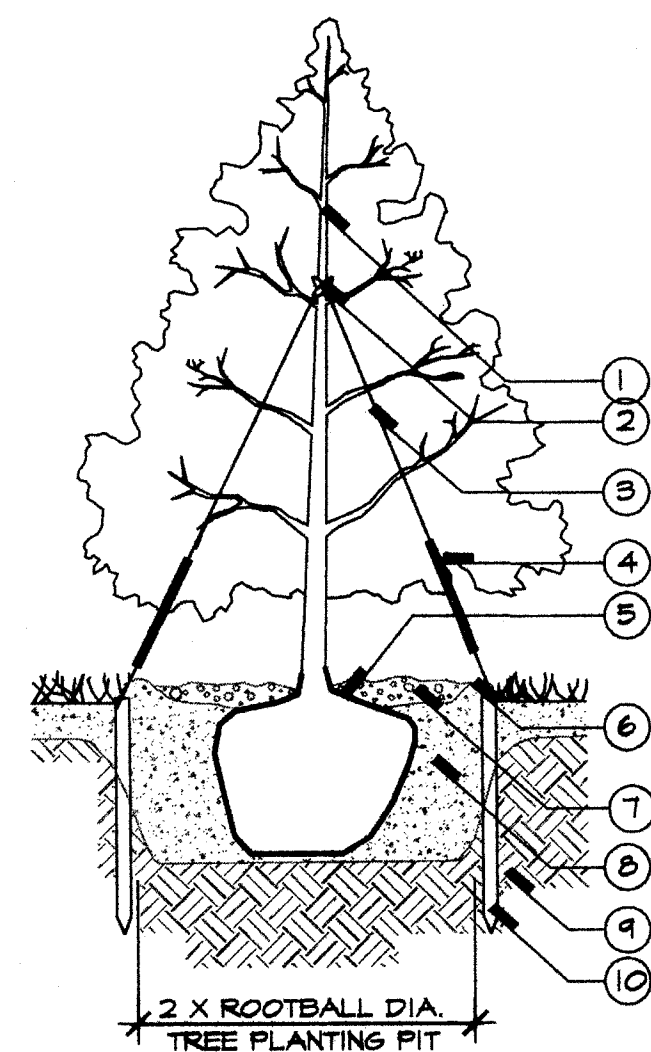
- 1 PLANT ROOTBALL AT GRADE WHICH SHRUB GREW (IF PLANTED PRIOR TO AUTOMATIC IRRIGATION) CONSTRUCT WATERING RING AROUND SHRUB AT EDGE OF PLANTING PIT TO CONTAIN WATER TO A DEPTH OF 2".
 - 2 WEED BARRIER
 - 3 SPECIFIED MULCH LAYER
 - 4 SPECIFIED BACKFILL MIX
 - 5 EXISTING SUBGRADE OR 95% COMPACTED SUBGRADE
 - 7 SCARIFY SURFACES OF PLANTING PIT TO ENCOURAGE ROOT GROWTH OUT OF PIT
- GENERAL NOTES
- PRUNE ONLY TO REMOVE DAMAGED OR DEAD WOOD.
 - SHRUB PLANTING - REFER TO SHRUB BED LAYOUT FOR PLACEMENT OF SHRUBS.
 - REMOVE ALL CONTAINERS, BURLAP WIRE OR OTHER MATERIAL SUPPORTING ROOTBALL.

3 TYP. SHRUB PLANTING
N.T.S. SECTION



- 1 DO NOT CUT LEADER
 - 2 PRUNE DAMAGED OR DEAD WOOD ONLY. EXCEPT TO PRUNE WEAK CROTCH OR DOUBLE LEADER
 - 3 GROMMETED STRAPS
 - 4 DOUBLE STRAND GALVANIZED WIRE. LEAVE SOME PLAY IN WIRE
 - 5 TREE WRAP TO SECOND BRANCH REMOVE TREE WRAP BETWEEN APRIL AND OCTOBER
 - 6 6" LONG 2X2 LODGEPOLE STAKE DRIVEN INTO SUBGRADE REMOVE STAKES AFTER 2 YEARS
 - 7 REMOVE TWINE AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL
 - 8 OMIT WATER RING IN IRRIGATED LAWN AREAS
 - 9 SCARIFY SURFACES OF TREE PIT TO ENCOURAGE GROWTH OUT OF PIT
 - 10 SPECIFIED MULCH LAYER
 - 11 SPECIFIED BACKFILL MIX
 - 12 SET ROOTBALL ON UNDISTURBED SOIL, 2"-4" HIGHER THAN SURROUNDING GRADE.
 - 13 EXISTING SUBGRADE OR 95% COMPACTED SUBGRADE
- GENERAL NOTES
- PROVIDE 2 GUY SYSTEM AS SHOWN

2 TYPICAL TREE PLANTING
N.T.S. SECTION



- 1 DO NOT CUT LEADER
 - 2 GROMMETED NYLON STRAPS
 - 3 DOUBLE STRAND GALVANIZED WIRE
 - 4 30" X 1/2" DIA. WHITE PVC SLEEVE TYP.
 - 5 SET ROOTBALL 2"-4" HIGHER THAN SURROUNDING GRADE
 - 6 OMIT WATER RING IN IRRIGATED LAWN AREAS.
 - 7 SPECIFIED MULCH LAYER
 - 8 SPECIFIED BACKFILL MIX
 - 9 EXISTING SUBGRADE OR 95% COMPACTED SUBGRADE
 - 10 3" LONG 2X2 METAL STAKES DRIVEN VERTICALLY INTO GROUND, OUTSIDE BACKFILL AREA.
- GENERAL NOTES
- SET ROOTBALL ON UNDISTURBED SOIL.
 - REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. REMOVE ANY WIRE OR TWINE.
 - PRUNE DAMAGED OR DEAD WOOD ONLY, EXCEPT PRUNE TO ELIMINATE WEAKE CROTCH OR DOUBLE LEADER.
 - PROVIDE THREE-GUY SYSTEM EQUIDISTANT AROUND TREE. AT 120 DEG. REMOVE AFTER 2 YEARS.
 - SCARIFY SURFACES OF TREE PIT TO ENCOURAGE ROOT GROWTH OUT OF PIT.

1 TYP. EVERGREEN PLANTING
N.T.S. SECTION

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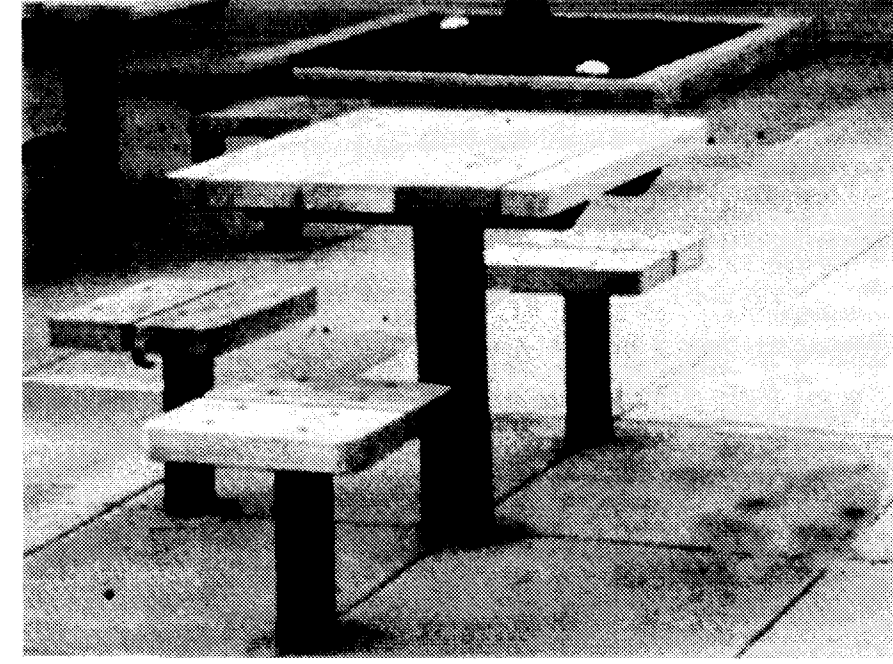
Project No. 2000049.31
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FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1



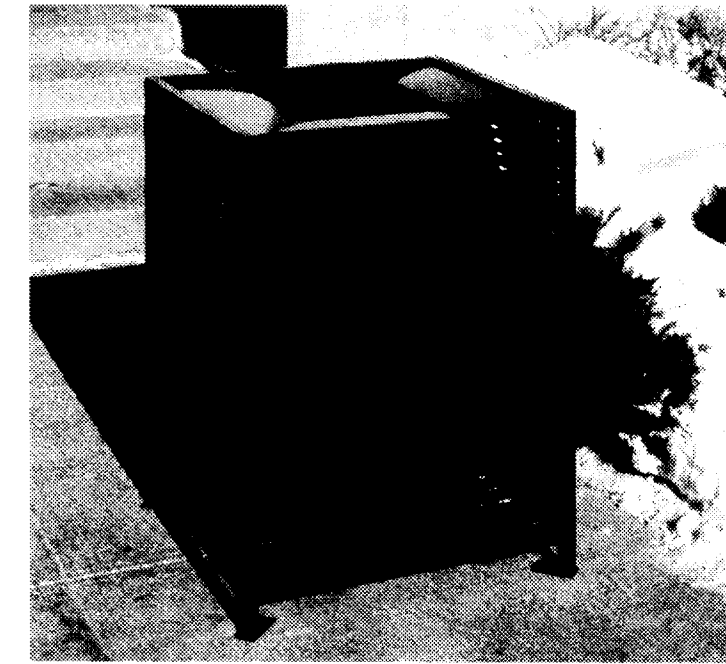
ACCESSIBLE PICNIC TABLE W/ SEATS, THERFORM PARKWAY SERIES, MODEL #2072 AS MFG. BY COLUMBIA CASCADE, 503-223-1157 OR APPROVED EQUAL. INSTALL PER MFG. SPECS.



ACCESSIBLE TABLE AND SEATS, THERFORM PARKWAY SERIES, MODEL #2055 AS MFG. BY COLUMBIA CASCADE, 503-223-1157 OR APPROVED EQUAL. INSTALL PER MFG. SPECS.



BENCH, PAPIO COLLECTION, MODEL #PA121-T2-SM-MF, COLOR-BLACK, AS MFG. BY BRP, 888-438-5311 OR APPROVED EQUAL. INSTALL PER MFG. SPECS.



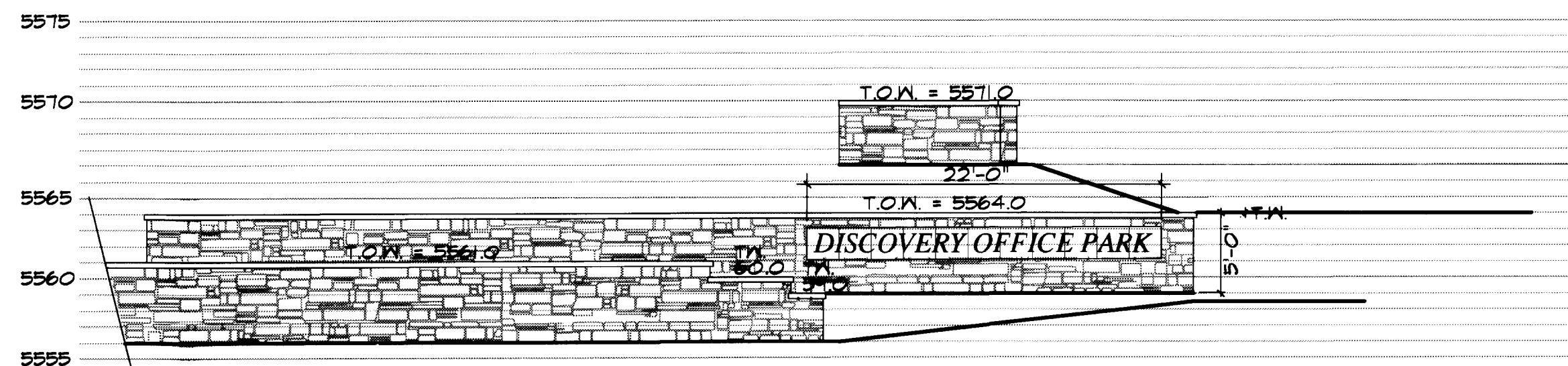
TRASH RECEPTACLE, PAPIO COLLECTION, MODEL #PA406-FT-MF, COLOR-BLACK, AS MFG. BY BRP, 888-438-5311 OR APPROVED EQUAL. INSTALL PER MFG. SPECS.

12 PICNIC TABLE TYPE 2 NOT TO SCALE

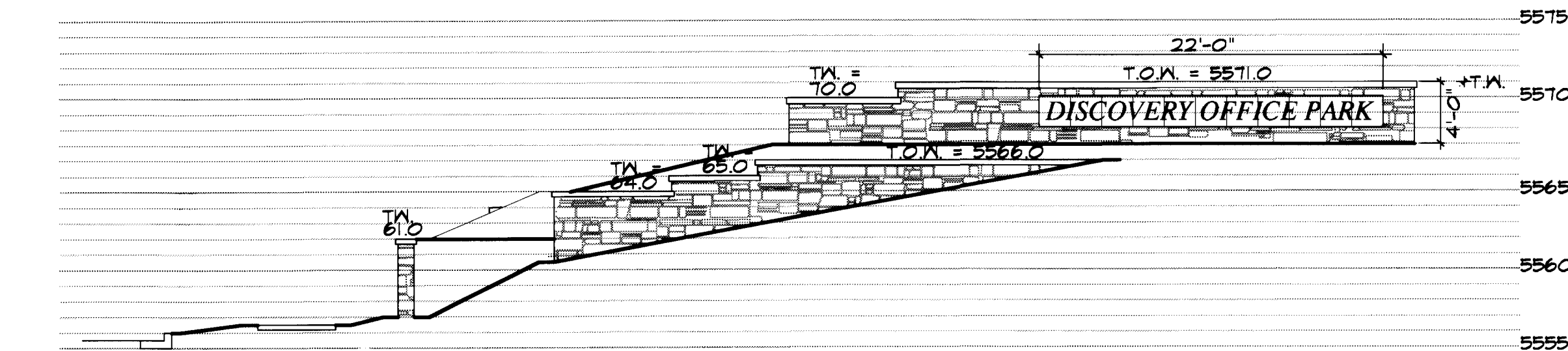
11 PICNIC TABLE TYPE 1 NOT TO SCALE

10 BENCH NOT TO SCALE

6 TRASH RECEPTACLE NOT TO SCALE

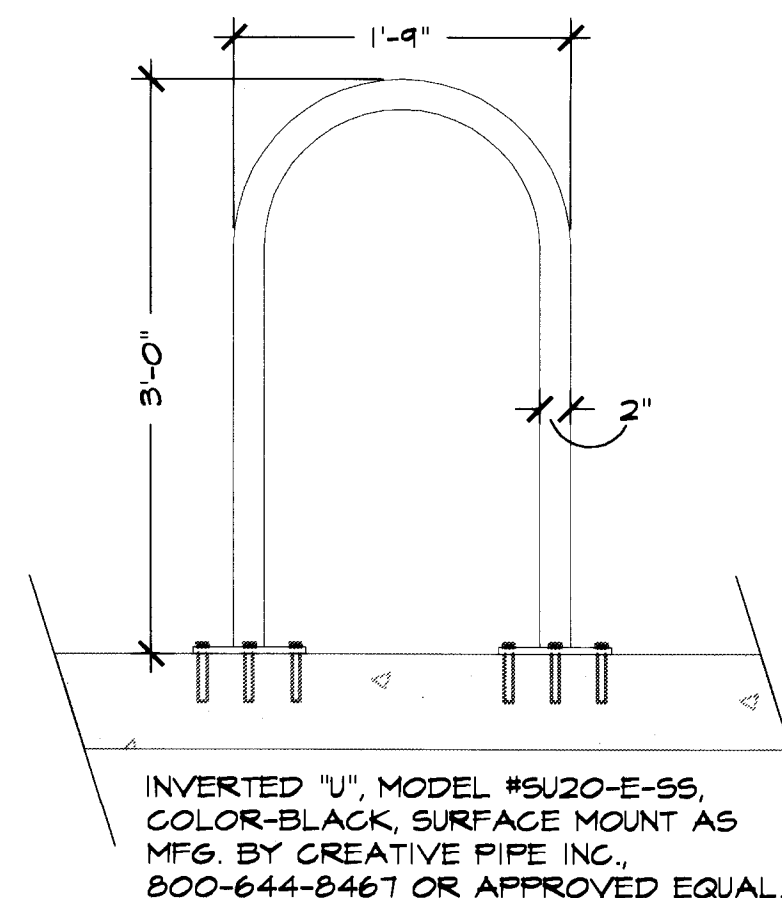


FRONT ELEVATION (FROM DISCOVERY PKWY.)



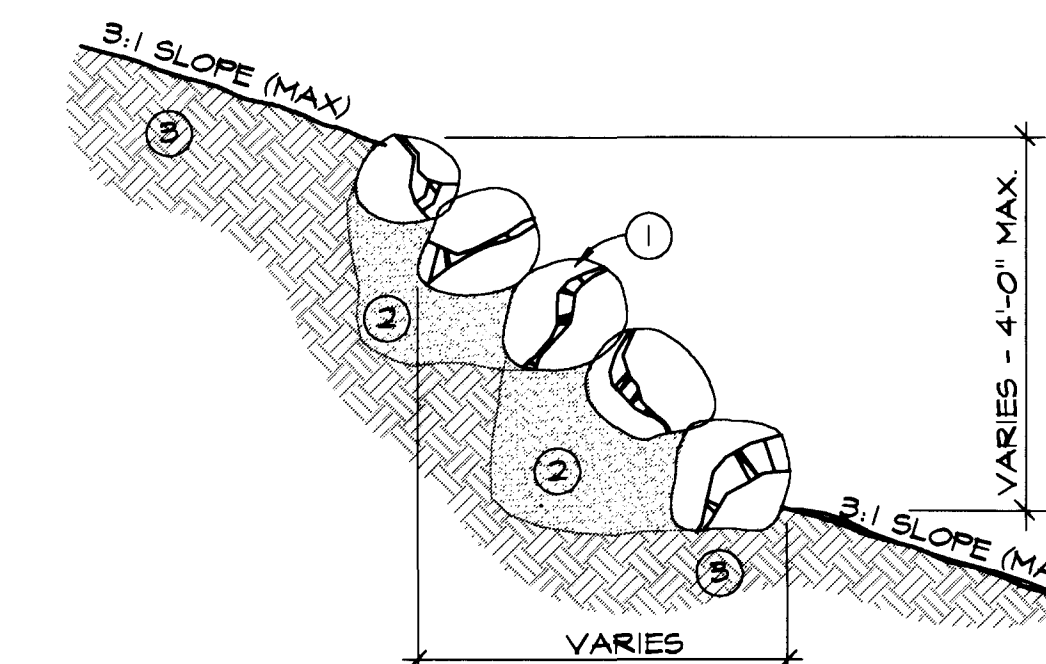
SIDE ELEVATION (FROM McCASLIN BLVD.)

- QUANTITY: (PER 16-337) TWO (2) WALL SIGNS AT THE MAIN ENTRY.
- MAX. SURFACE AREA: (PER 16-339) 100 S.F.
- MAX. HEIGHT: (PER 16-343) 6'-0"
- LIGHTING: EXTERNAL ILLUMINATION, BY GROUND MOUNTED UPLIGHTS. BRIGHTNESS LIMIT NOT TO EXCEED 100 WBT HID SOURCE. UPLIGHTS SHALL BE SPEC'D W/ HOODS TO PREVENT LIGHT POLLUTION & TO CONCENTRATE LIGHTING ONTO SIGN FACE.
- MAX. LETTER SIZE: 24" HT.
- MATERIALS: SIGN WALL SHALL BE MASONRY RETAINING WALL W/ A MEDIUM TO DARK MIX NATURAL SANDSTONE VENEER (TO MATCH ARCHITECTURE), RANDOM ASHLAR STONE PATTERN. SIGN PANEL SHALL BE RECESSED, W/ 30" X 30" MAX. X 3" TH. CUT SANDSTONE, COLOR - RED. PROJECT SIGN SHALL BE PAINTED ALUMINUM, PIN-MOUNTED LETTERS, COLOR - TO MATCH ARCHITECTURE, W/ COPY - 'DISCOVERY OFFICE PARK'.
- NOMENCLATURE: SIGN WALL SHALL IDENTIFY DEVELOPMENT PROJECT ONLY. NO TENANT SIGNAGE SHALL APPEAR ON SIGN WALLS.



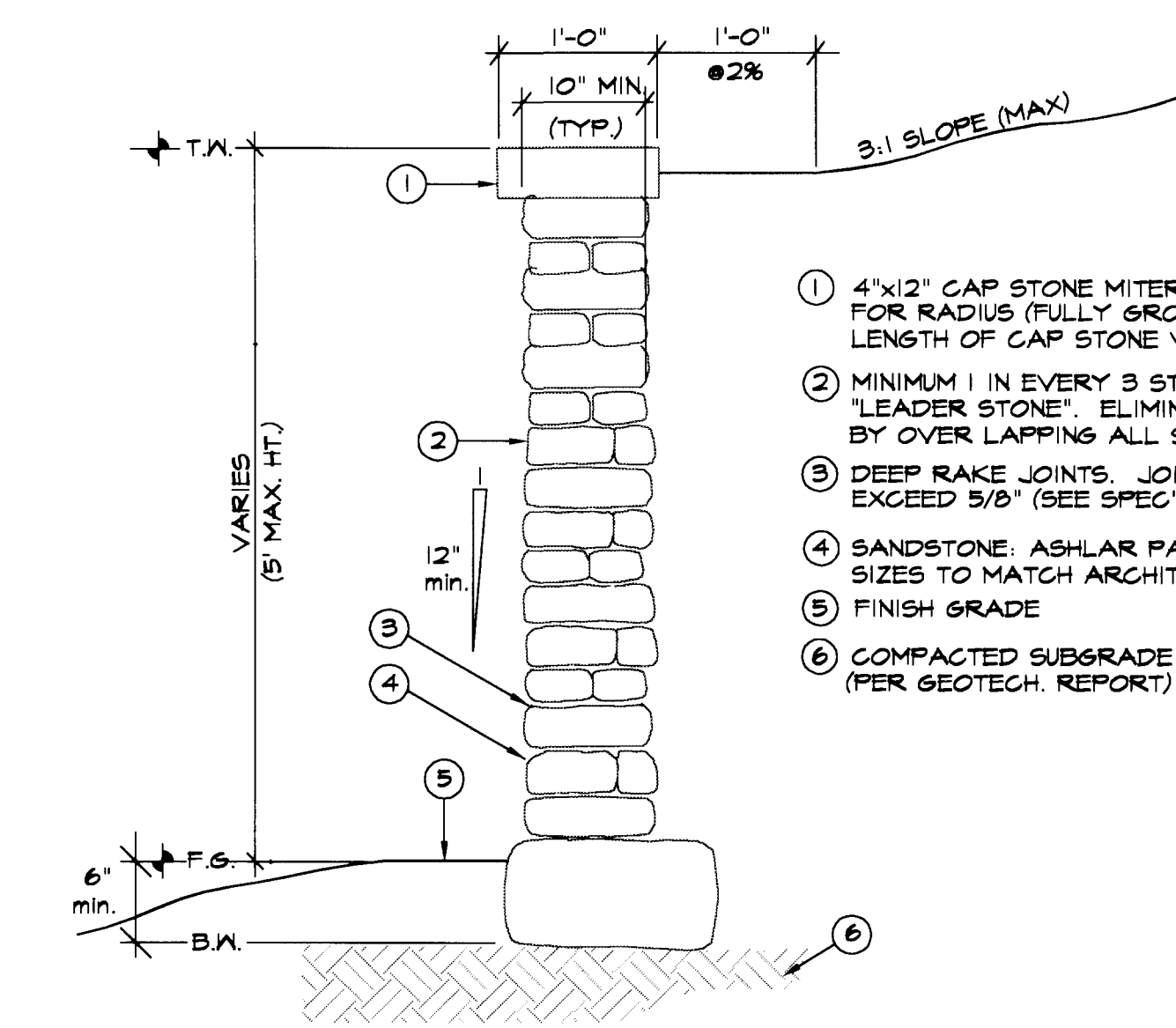
5 BICYCLE RACK NOT TO SCALE

3 STONE FORM-LINER RETAINING WALL DETAIL NOT TO SCALE



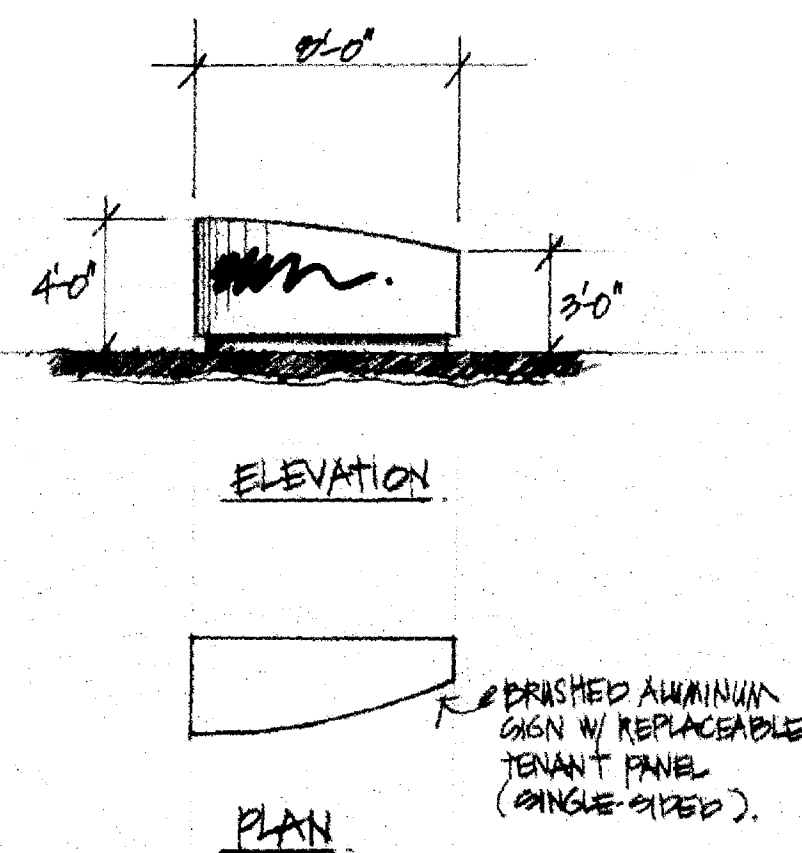
- STONE PATTERN (ASHLAR) FORM-LINER, STAINED & TEXTURED TO MATCH ARCHITECTURE STONE COLOR. (SEE PHOTO ABOVE)
- POUR-IN-PLACE CONCRETE RETAINING WALL W/ FOOTING & REINFORCING AS REQUIRED.
- PROVIDE DAMPROOFING (PER CODE) ON ALL BELOW GRADE SURFACES.
- 1" DIAM. PVC KEEP HOLES, PAINT TO MATCH WALLS

2 DRY-STACK STONE RETAINING WALL DETAIL NOT TO SCALE

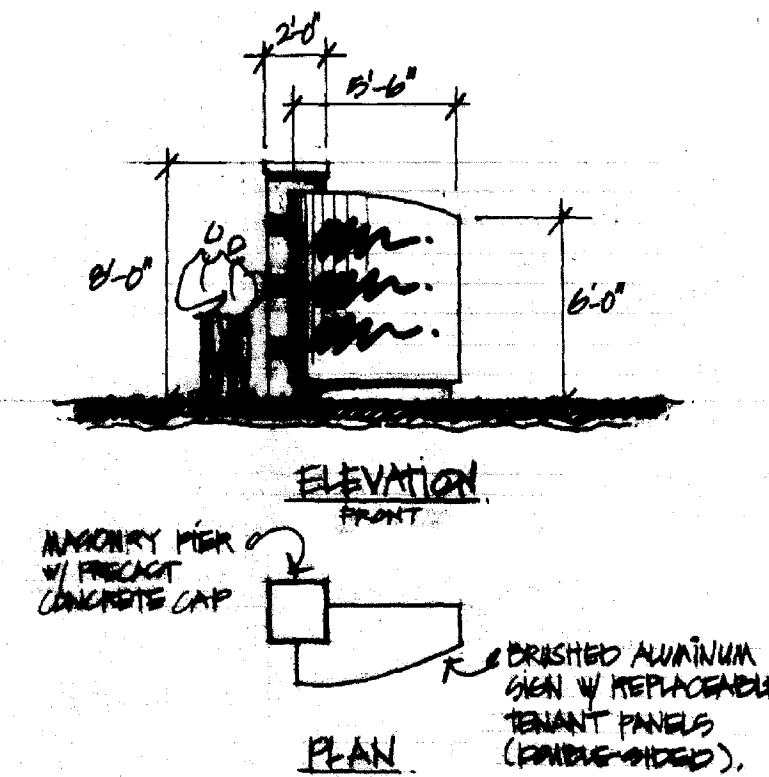


- 4"x12" CAP STONE MITER AS REQUIRED FOR RADIUS (FULLY GROUT) DEEP RAKED. LENGTH OF CAP STONE VARIES (9" MIN, 36" MAX.)
- MINIMUM 1 IN EVERY 3 STONES TO BE A 'LEADER STONE'. ELIMINATE VERTICAL JOINTS BY OVER LAPPING ALL STONES.
- DEEP RAKE JOINTS. JOINTS SHOULD NOT EXCEED 5/8" (SEE SPECS)
- SANDSTONE, ASHLAR PATTERN, COLOR & SIZES TO MATCH ARCHITECTURE.
- FINISH GRADE
- COMPACTED SUBGRADE (PER GEOTECH. REPORT)

9 MAIN ENTRY SIGNAGE NOT TO SCALE



- QUANTITY: (PER 16-337) ONE (1) FREESTANDING SIGN, SINGLE-SIDED, AT EAST ENTRY TO BLDG. #1.
- MAX. SURFACE AREA: (PER 16-339) 32 S.F.
- MAX. HEIGHT: (PER 16-343) 4'-0"
- LIGHTING: INTERNAL ILLUMINATION. BRIGHTNESS LIMIT NOT TO EXCEED 100 WATT HID SOURCE
- MAX. LETTER SIZE: 12" HT.
- MATERIALS: FREESTANDING SIGN SHALL BE BRUSHED ALUMINUM METAL BOX, COLOR TO MATCH ARCHITECTURE, W/ REPLACEABLE ALUMINUM METAL TENANT PANELS.
- NOMENCLATURE: FREESTANDING SIGN SHALL IDENTIFY PARCEL/LOT TENANTS W/ NATIONAL LOGOS AND/OR DESCRIPTIONS, DIRECTIONAL ARROWS, AND BUILDING ADDRESS.



- QUANTITY: (PER 16-337) ONE (1) FREESTANDING SIGN, DOUBLE-SIDED, ALONG MAIN ENTRY DRIVE.
- MAX. SURFACE AREA: (PER 16-339) 55 S.F.
- MAX. HEIGHT: (PER 16-343) 8'-0"
- LIGHTING: INTERNAL ILLUMINATION. BRIGHTNESS LIMIT NOT TO EXCEED 100 WATT HID SOURCE.
- MAX. LETTER SIZE: 12" HT.
- MATERIALS: FREESTANDING SIGN SHALL BE BRUSHED ALUMINUM METAL BOX, COLOR TO MATCH ARCHITECTURE, W/ REPLACEABLE ALUMINUM METAL TENANT PANELS. MASONRY PIERS SHALL BE RANDOM ASHLAR PATTERN SANDSTONE & PRECAST CONCRETE CAP, NATURAL COLOR. SANDSTONE COLOR - BUFF, TO MATCH ARCHITECTURE.
- NOMENCLATURE: FREESTANDING SIGN SHALL IDENTIFY PARCEL/LOT TENANTS W/ NATIONAL LOGOS AND/OR DESCRIPTIONS, DIRECTIONAL ARROWS, AND BUILDING ADDRESS.

8 TENANT IDENTIFICATION SIGN NOT TO SCALE

7 PARCEL IDENTIFICATION SIGN NOT TO SCALE

4 NOT USED

1 STONE RETAINING WALL DETAIL NOT TO SCALE

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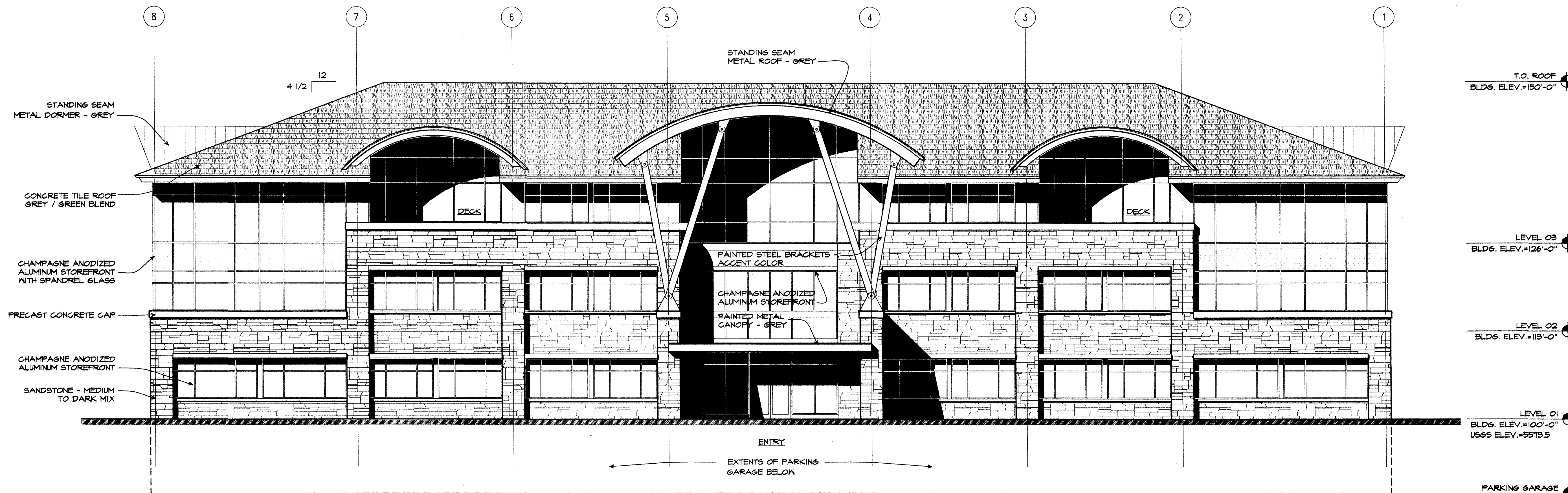


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FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1



2 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

- COLOR NOTES:**
1. SANDSTONE: NATURAL MIX OF GREY TO DARK WITH COPPER / GOLDEN ACCENTS.
 2. ACCENT STEEL AND STANDING SEAM METAL ROOF TO MATCH AS BERRIDGE COLOR ZINC GREY.
 3. CONCRETE TILE ROOF: WESTILE BEAVER CREEK BLEND.
 4. STOREFRONT: CHAMPAGNE ANODIZED ALUMINUM.

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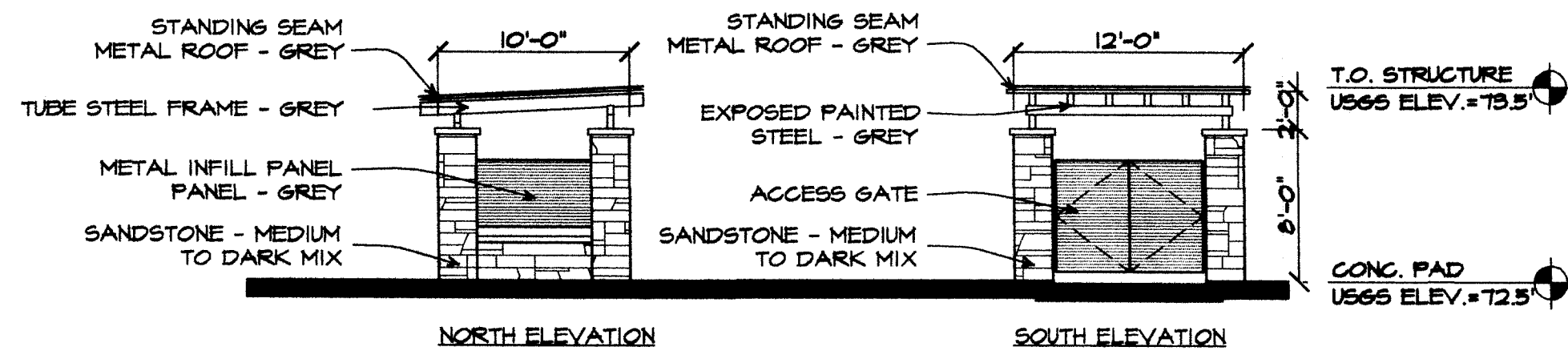
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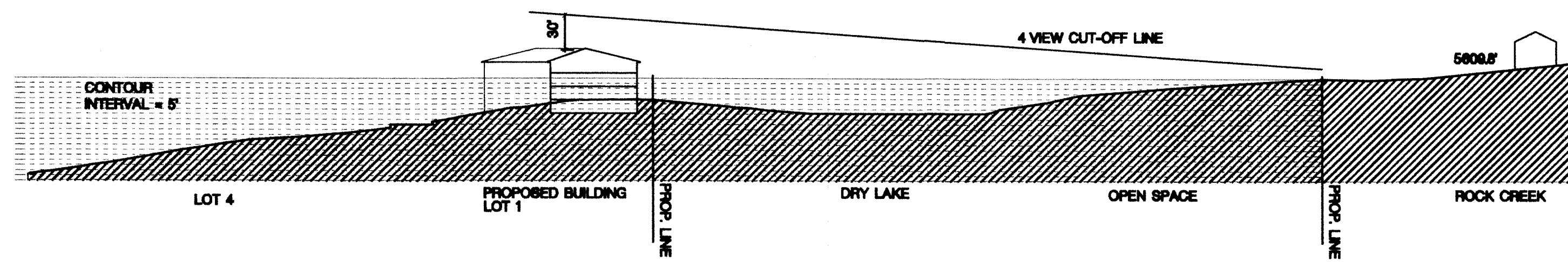
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FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1



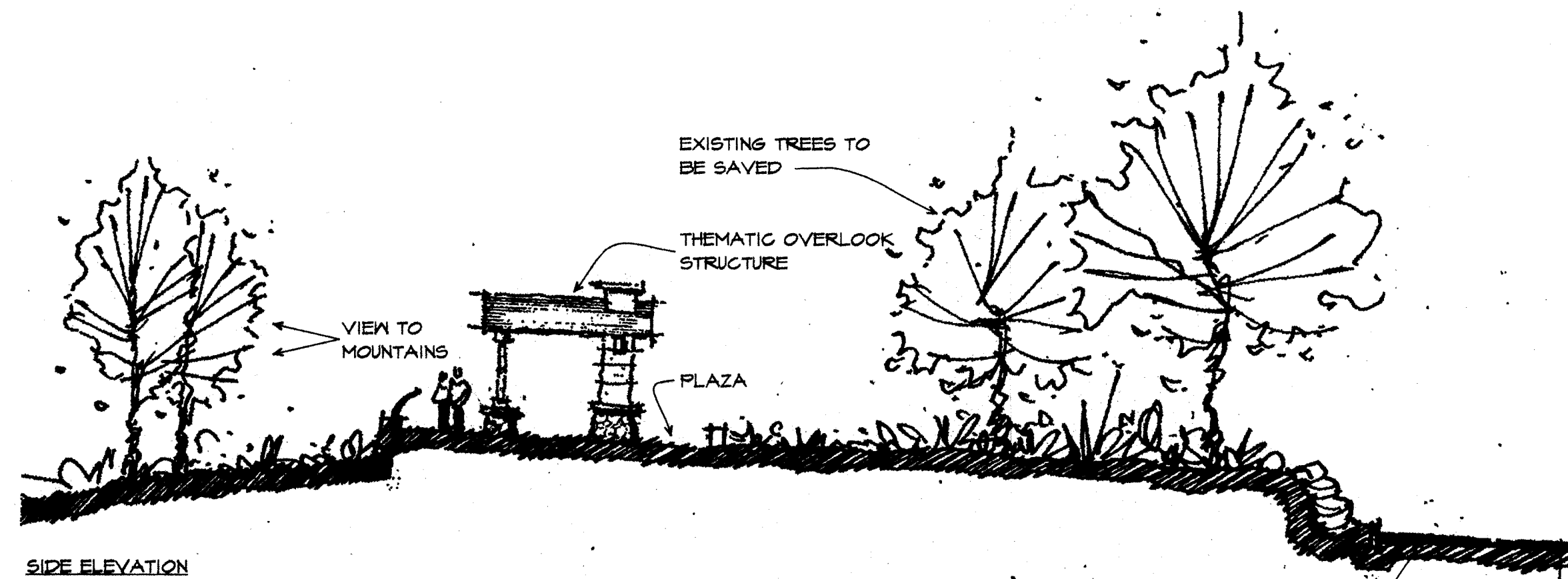
5 TRASH ENCLOSURE

1/8" = 1'-0"

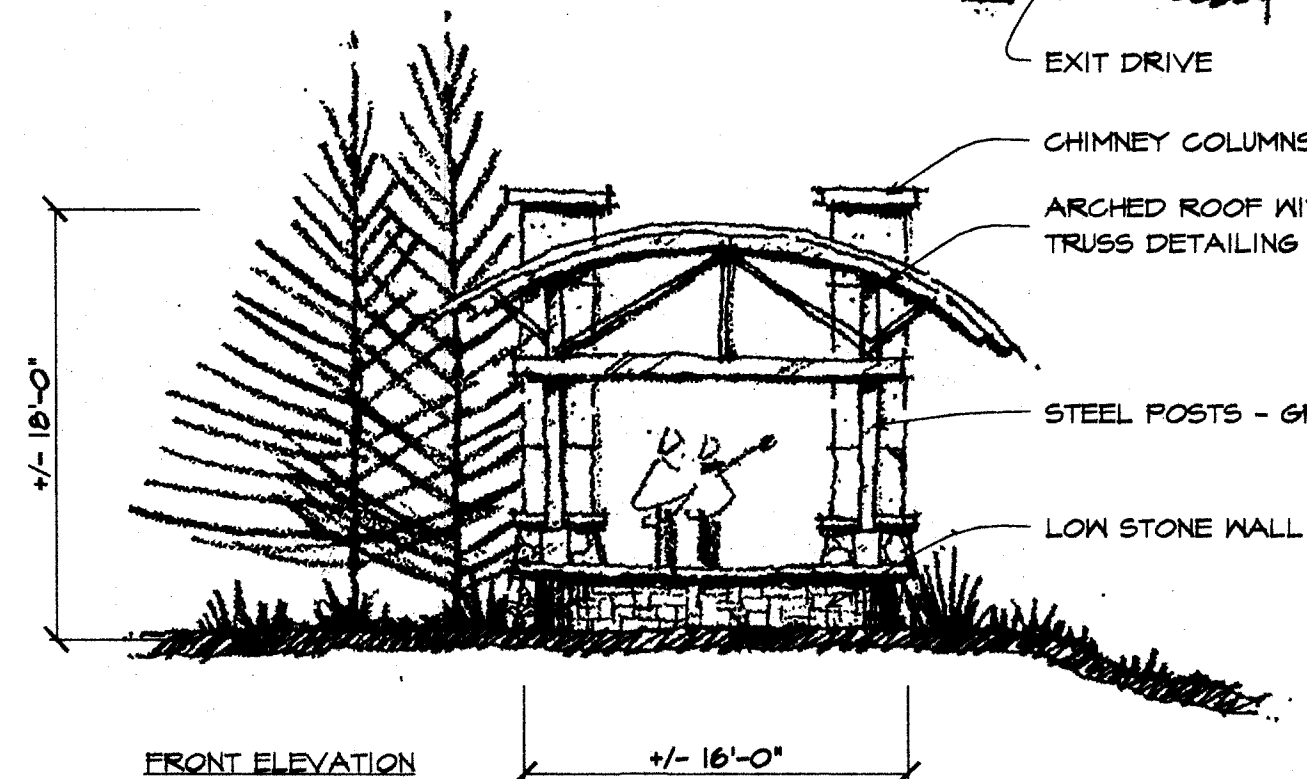


4 SITE SECTION

1" = 100'

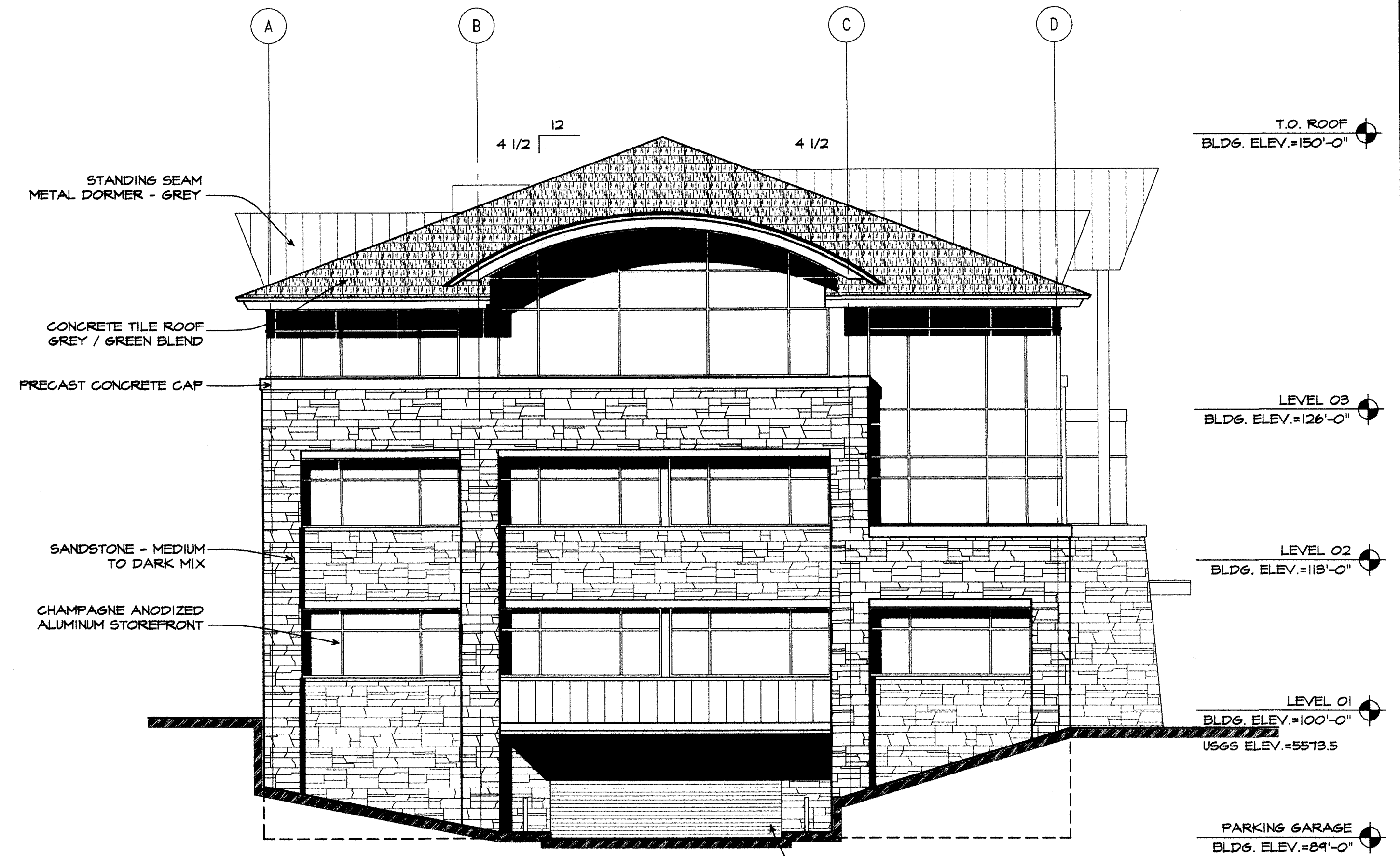


1. OVERLOOK STRUCTURE SHALL MATCH ARCHITECTURE BUILDING MATERIALS, FORM, & COLOR. MATERIALS SHALL INCLUDE: PRECAST CONCRETE, SANDSTONE, WOOD AND STEEL.
2. OVERLOOK PLAZA SHALL BE CONCRETE PAVEMENT W/ AN UPPER LEVEL & LOWER LEVEL TO MATCH GRADE. BOTH LEVELS WILL BE ADA ACCESSIBLE AND HAVE THE FOLLOWING AMENITIES: BENCHES, TABLES, GRILLS, LOW WALLS AND LANDSCAPING.
3. OVERLOOK STRUCTURE & PLAZA WILL BE ORIENTED TOWARDS THE NORTHWEST, FOCUSING VIEWS ON THE NORTHERN MOUNTAINS, FOOTHILLS AND FLATIRONS.
4. ALL HEALTHY, EXISTING TREES AT THE OVERLOOK WILL BE PRESERVED AND PRUNED TO PROMOTE FUTURE SUCCESS OF THE TREES.



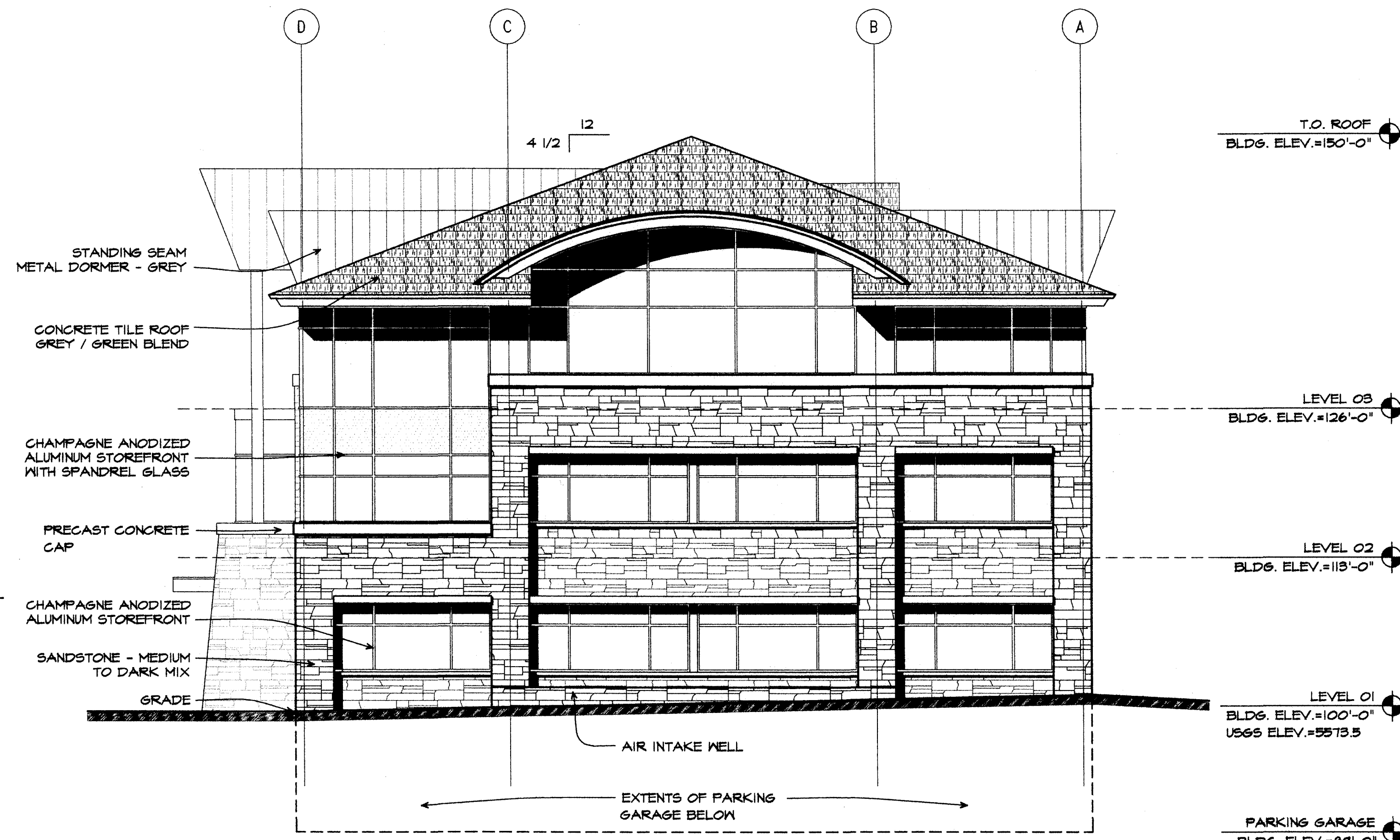
3 OVERLOOK STRUCTURE

1/8" = 1'-0"



2 EAST ELEVATION

1/8" = 1'-0"



1 WEST ELEVATION

1/8" = 1'-0"

- COLOR NOTES:**
1. SANDSTONE: NATURAL MIX OF GREY TO DARK WITH COPPER / GOLDEN ACCENTS.
 2. ACCENT STEEL AND STANDING SEAM METAL ROOF TO MATCH AS BERRIDGE COLOR ZINC GREY.
 3. CONCRETE TILE ROOF: WESTILE BEAVER CREEK BLEND.
 4. STOREFRONT: CHAMPAGNE ANODIZED ALUMINUM.

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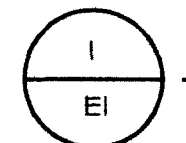
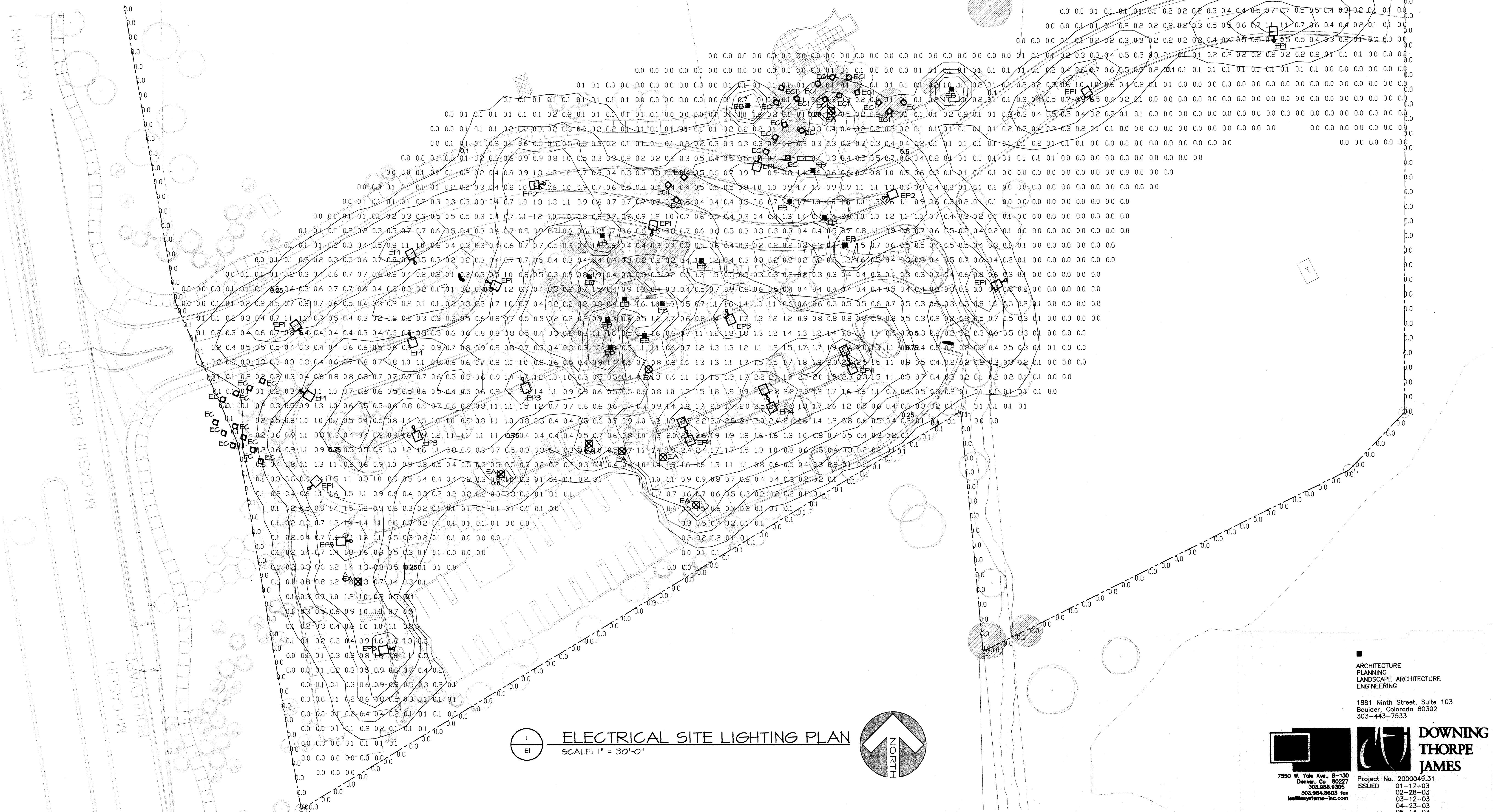
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STATISTICS

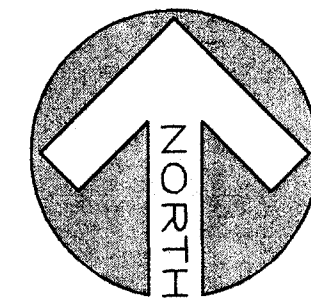
Description	Avg	Max	Min	Max/Min	Avg/Min
Entire Site	0.5 fc	2.9 fc	0.1 fc	29:1	5:1
Property Line	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
Parking Lot	0.9 fc	2.9 fc	0.1 fc	29:1	9:1

FINAL DEVELOPMENT PLAN

DISCOVERY OFFICE PARK-PHASE 1



ELECTRICAL SITE LIGHTING PLAN
SCALE: 1" = 30'-0"



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FINAL DEVELOPMENT PLAN DISCOVERY OFFICE PARK-PHASE 1

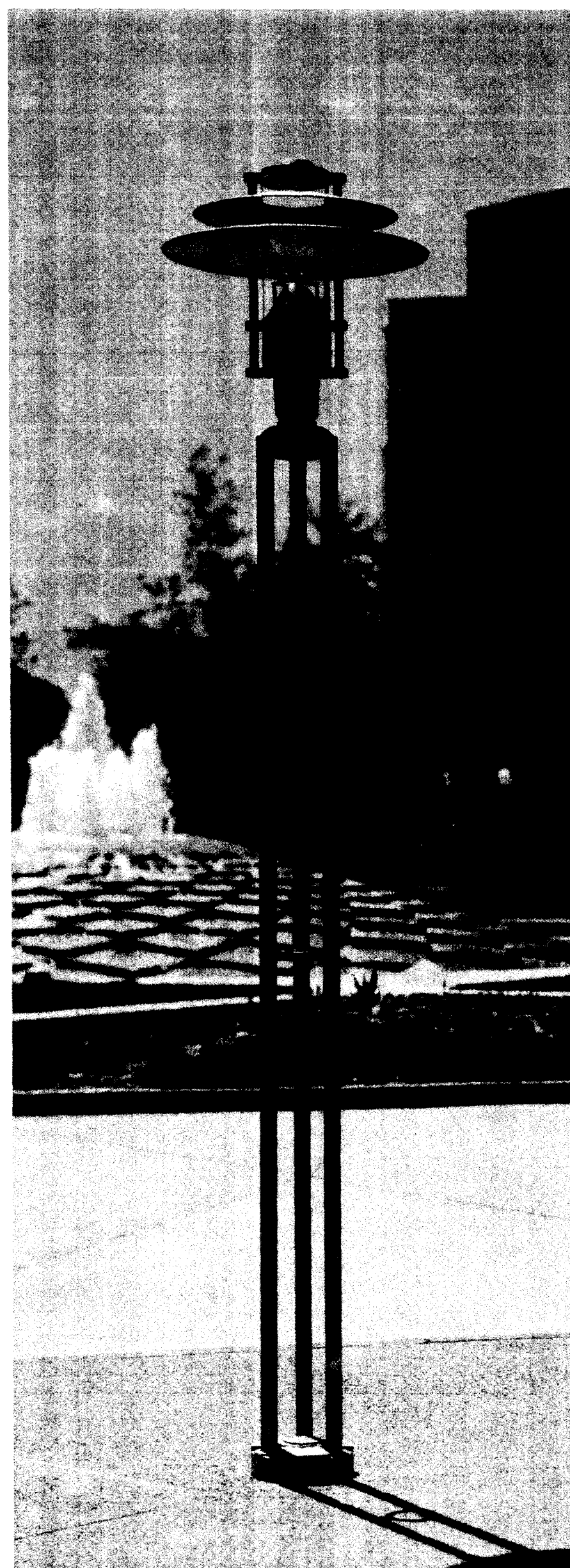
LUMINAIRE SCHEDULE							
KEY	DESCRIPTION	MFR. # CAT.NO.	LAMP	VOLTS	MOUNTING INFORMATION	NOTE	MAX WATT
EA	PEDESTRIAN DECORATIVE POLE	ARCHITECTURAL AREA LIGHTING 9P2-ANG-GLA-26TT/8P10	(1) 26W TRIPLE TUBE	277V	10'-0" POLE		60
EB	GROUND MOUNTED BOLLARD	ARCHITECTURAL AREA LIGHTING 9PB-CF/26TT	(1) 26W TRIPLE TUBE	277V	GROUND MTD		40
EC	GROUND MOUNTED ACCENT LIGHT	KIM LIGHTING 6725D-35MH120-NB-SL12	(1) 95W PAR20 MH	120V	GROUND MTD		45
EC1	GROUND MOUNTED TREE UPLIGHT	KIM LIGHTING 6745D-100MH120-NB	(1) 100W MERCURY VAPOR	120V	GROUND MTD		125
EP1	PARKING/STREET AREA LIGHT TYPE II DIST. W/ HOUSE SIDE SHIELD	KIM ISA-SAR2-100MH27T-BL/P-H6	(1) 100W METAL HALIDE	277V	24'-0" POLE	I	125
EP2	PARKING/STREET AREA LIGHT TYPE V DISTRIBUTION	KIM ISA-SAR5-100MH27T-BL/P	(1) 100W METAL HALIDE	277V	24'-0" POLE	I	125
EP3	PARKING/STREET AREA LIGHT TYPE III DISTRIBUTION	KIM ISA-SAR3-100MH27T-BL/P	(1) 100W METAL HALIDE	277V	24'-0" POLE	I	125
EP4	PARKING LOT AREA LIGHT TYPE III DIST. TWIN AT 180°	KIM 25B-SAR3-100MH27T-BL/P	(2) 100W METAL HALIDE	277V	24'-0" POLE	I	250

MOUNTING ABBREVIATIONS
 AFF - ABOVE FINISHED FLOOR
 BFC - BELOW FINISHED CEILING
 RFD - RECESSED FIXTURE DEPTH

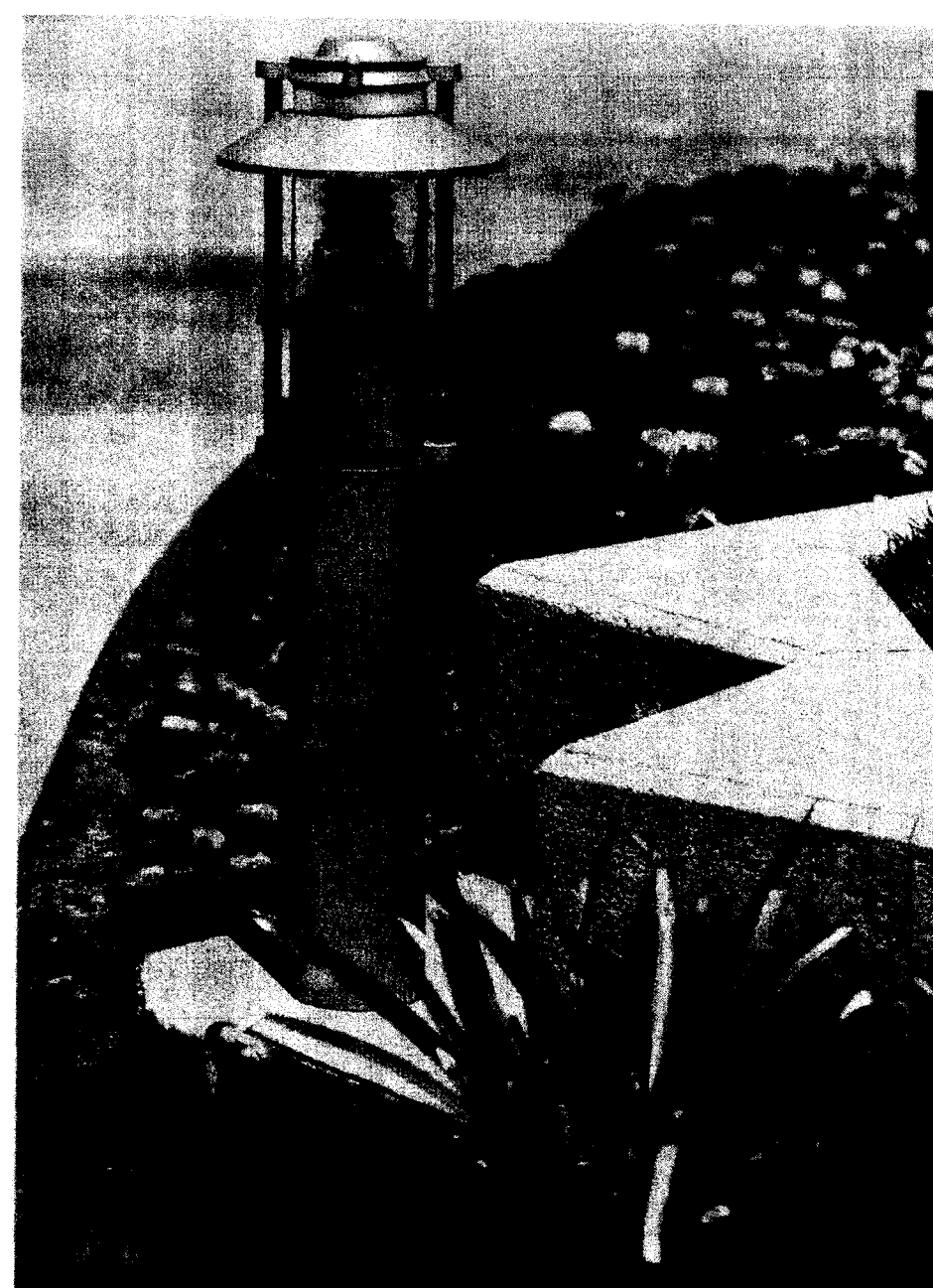
**PL - PENDANT LENGTH
 PH - POLE HEIGHT**

NOTES:
 I. UTILIZE ROUND STRAIGHT NON-TAPERED POLE.

GENERAL NOTES:
 A. ALL FIXTURES SHALL BE IESNA CLASSIFIED AS "FULL CUT-OFF" UNLESS LAMP LUMENS IS LESS THAN 1800 LUMENS AS STATED IN THE TOWN OF SUPERIOR EXTERIOR LIGHTING CRITERIA.



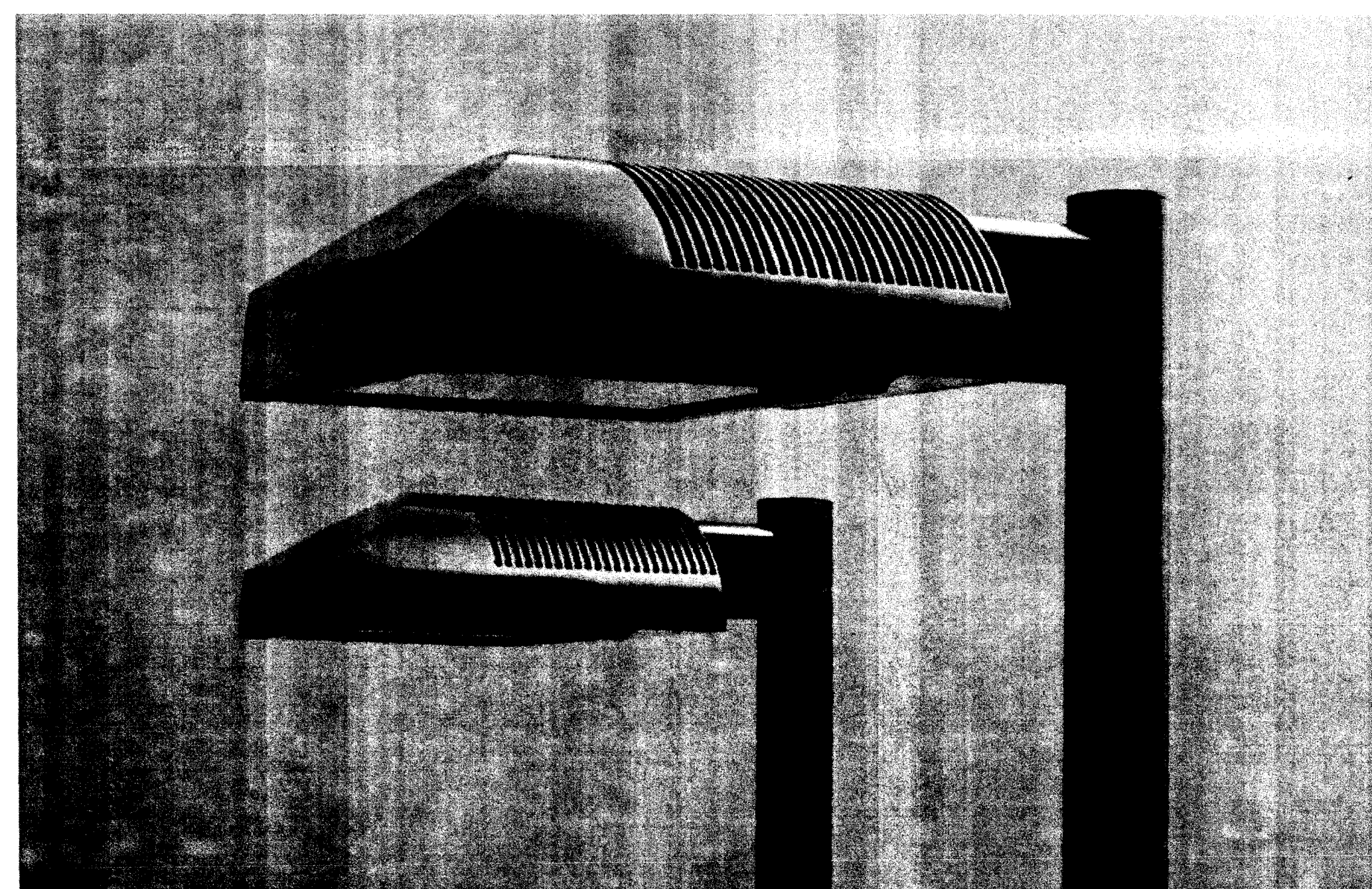
FIXTURE EA



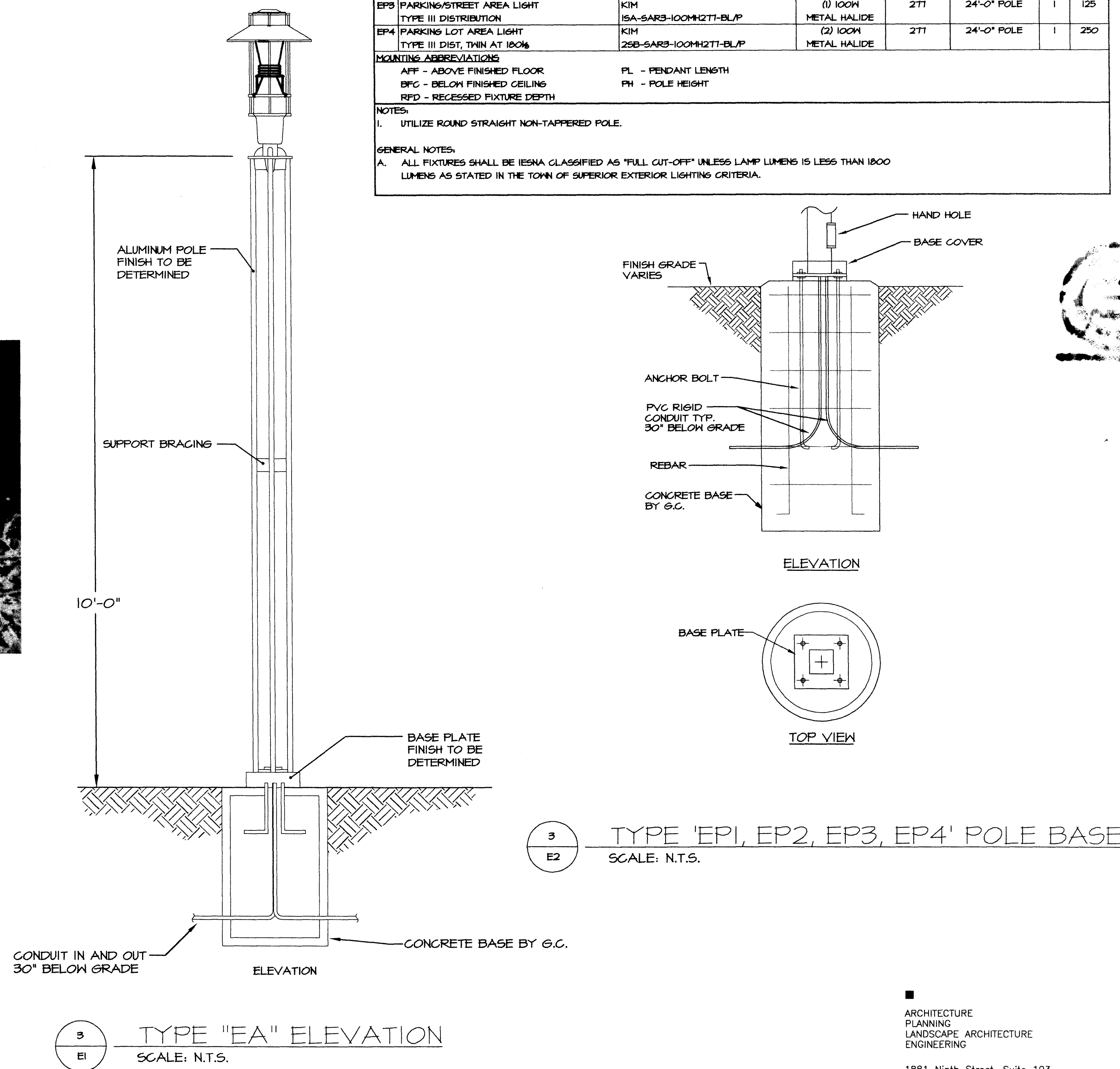
FIXTURE EB



FIXTURE EC, EC1



FIXTURE EP1, EP2, EP3, EP4



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