

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18S, R06W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
COVER SHEET  
FINAL DEVELOPMENT PLAN

SHEET C1 OF 12

| LAND USE                                | ACREAGE          | PERCENTAGE    |
|---|------------------|---------------|
| <b>Zoning</b>                           |                  |               |
| Rock Creek Buffer Area (Public)         |                  |               |
| Planned Development (R-M)               |                  |               |
| Public Road (Public)                    |                  |               |
| <b>Multi-Family (URSDA 9-77)</b>        |                  |               |
| Lot area:                               | 6.67             | 33.9%         |
| Open space:                             |                  |               |
| Lot Open Space:                         | 1.86 (ESTIMATED) |               |
| Common open space:                      | 3.34             | 16.9% useable |
| Public open space: (Tract F, G & P)     | 5.58             | 28.3% 10/78   |
| Parking and private streets:            | 1.80             | 9.2%          |
| Public rights of way:                   | 2.31             | 11.7%         |
| <b>TOTAL:</b>                           | <b>16.70</b>     | <b>100%</b>   |
| <b>Rock Creek Buffer Area (Tract K)</b> |                  |               |
| Public/Common/Useable open space        | 3.80             | 100%          |

| ESTIMATED USAGE   | GALLONS PER DAY |
|-------------------|-----------------|
| POTABLE WATER     | 75 EQR's        |
| Common open space | 20,250 gpd      |
| SANITARY SEWER    | 20,250 gpd      |

| RESIDENTIAL DEVELOPMENT CRITERIA  | Permitted Uses |
|---|----------------|
| Multi-Family Residential units, drainage facilities, public and private recreation amenities. |                |

|                                  |   |
|----------------------------------|---|
| Density                          | .75 units/18.50 acres = 4.05 units/acre |
| Maximum number of dwelling units | 75                                      |
| Maximum building height          | 3'                                      |

**RESIDENTIAL:** Building heights in the residential area are limited to 35' including walkouts and garden levels. Heights shall be measured from the established average base grade of the structure to the top or highest point of the structure or accessory appearance. Excepted accessory appearances are chimneys, utility ventilation pipes and lightning rods.

**Building setbacks:**  
Front yard setback: 25' min.  
From Coaltion Road: 25' min.  
From local streets: 25' min.  
From private drives: 20' min.  
Side yard (principal and accessory uses abutting public street): From any property line: 10' min.

**Other setbacks:**  
From adjacent single family residences: 300' min.  
Buildings may encroach as shown on sheet C2 & C3 of 12.  
Minimum separation between buildings: 20'  
See Note a on this sheet under General Notes, 1. Setbacks along drainageway: 80'  
Building setbacks to other property lines or as shown.  
(Landscape buffering will be provided adjacent to any building which encroaches into the 25-foot building setback.)

**Parking and Drives:**  
Multi-Family Parking Ratios: .2/unit for 2 bdrm units  
3.5/unit for 3 bdrm units  
3.5/unit for 4 bdrm units  
Note 1: Tandem driveway spaces may be used to meet parking requirements.  
Note 2: Each residential unit must have a minimum 2-car garage.  
Notes parking requirement: 0.25 spaces per unit-19 spaces  
Parking aisles and private drives: .24' typical

|                     |                                |
|---------------------|--------------------------------|
| Public Right of Way | 60' min.                       |
| Open Spaces         | 68.8% total useable open space |

**RESIDENTIAL:**  
a. Public open space is as called out in table on Sheets C2 and C3.  
b. Common open space is that area which is owned and/or maintained by a homeowner association including but not limited to private recreational amenities and landscaping.

**DEVELOPER**  
ROCK CREEK HOMES, LLC  
9540 E. JEWELL AVENUE, SUITE A  
DENVER, CO 80231  
CONTACT: MARK LOCKWOOD  
PHONE: (303) 671-7151  
FAX: (303) 671-0281

**LANDSCAPE ARCHITECT**  
NUSZER KOPATZ URBAN DESIGN ASSOC.  
1129 CHEROKEE STREET  
DENVER, CO 80204  
CONTACT: ALIBON WALCZAK  
PHONE: (303) 534-3881  
FAX: (303) 534-3884

**ARCHITECT**  
KEPHART ARCHITECTS  
770 SHERMAN STREET  
DENVER, CO 80203  
CONTACT: DOUGLAS J. VAN LERBERGHE  
PHONE: (303) 832-4474  
FAX: (303) 832-4476

**PLANNER**  
THOMASCH & ASSOCIATES  
696 S. COLORADO BLVD., SUITE 480  
DENVER, CO 80249  
CONTACT: MOLLY B. THOMASCH  
PHONE: (303) 777-2332  
FAX: (303) 722-7281

**CIVIL ENGINEER/SURVEYOR**  
ROCKY MOUNTAIN CONSULTANTS, INC.  
8301 E. PRENTICE AVE.  
SUITE 107  
GREENWOOD VILLAGE, CO 80111  
CONTACT: PHILLIP BOWMAN  
PHONE: (303) 741-8000  
FAX: (303) 741-8106

## LEGAL DESCRIPTION

A parcel of land located in the Northwest One-Quarter of the Northwest One-Quarter of Section 31, Township 1 South, Range 66 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado being more particularly described as follows:

Commencing at the Northeast corner of the Northwest One-Quarter of the Northwest One-Quarter of Section 31; Thence South 02°04'40" East along the East line of said Northwest One-Quarter of the Northwest One-Quarter of a distance of 320.01 feet to the Southeast corner of that tract of land as described in deed recorded as Reception Number 1711260, of the records of Boulder County, Colorado, and the True Point of Beginning;

Thence South 00°14'40" East along said East line of said Northwest One-Quarter of the Northwest One-Quarter, a distance of 102.17 feet to the Southeast corner of said Northwest One-Quarter of the Northwest One-Quarter, a distance of 124.50 feet to a point on the South line of said Northwest One-Quarter of the Northwest One-Quarter, a distance of 124.50 feet to a point on the Eastern Right-of-Way line of McCrackin Boulevard described as Film 507 as Reception Number 769091 of Boulder County, Colorado, said point being on a north-south bearing 88°18'10" West, where the radius point bears North 80°46'26" East; Thence along said easterly Right-of-Way line and the arc of said curve 43.39 feet, having a central angle of 00°40'02" and a radius of 374.00 feet (chord of said curve bears North 03°59'31" West a distance of 43.37 feet); Thence along the Northernly Right-of-Way of proposed Coaltion Road the following listed Courses:  
1) North 85°40'54" East a distance of 65.82 feet to a point of curvature.  
2) Thence along the arc of a curve to the left, concave to the north, having a central angle of 05°52'23" and a radius of 454.00 feet a distance of 46.40 feet (chord of said curve bears North 82°44'52" East a distance of 46.38 feet);  
3) Thence North 39°49'11" East a distance of 92.75 feet to a point of curvature.  
4) Thence along the arc of a curve to the left, concave northwesterly, having a central angle of 58°39'08" and a radius of 203.00 feet a distance of 122.84 feet (chord of said curve bears North 02°59'37" East a distance of 117.50 feet) to a point of reverse curvature.  
5) Thence along the arc of a curve to the right, concave southeasterly, having a central angle of 24°22'43" and a radius of 430.00 feet a distance of 162.86 feet (chord of said curve bears North 33°27'24" East a distance of 161.58 feet);  
6) Thence North 43°52'46" East a distance of 34.77 feet to a point of curvature.  
7) Thence along the arc of a curve to the left, concave northwesterly, having a central angle of 31°23'03" and a radius of 320.00 feet a distance of 175.28 feet (chord of said curve bears North 29°35'10" East a distance of 173.10 feet);  
8) Thence North 43°52'46" East a distance of 34.77 feet to a point of curvature.  
9) Thence along the arc of a curve to the right, concave southeasterly, having a central angle of 45°24'38" and a radius of 430.00 feet a distance of 340.80 feet (chord of said curve bears North 36°52'02" East a distance of 331.95 feet);  
10) Thence North 59°24'29" East a distance of 21.00 feet to a point of curvature.  
11) Thence along the arc of a curve to the left, concave northwesterly, having a central angle of 60°40'58" and a radius of 100.00 feet a distance of 102.09 feet (chord of said curve bears North 29°32'52" East a distance of 121.24 feet);  
12) Thence North 01°06'37" West a distance of 182.51 feet to a point on the southerly line of that tract of land as described and recorded on Film 2164 as Reception Number 01851319, of the records of said Boulder County, Colorado, Thence along said southerly line the following three (3) Courses:  
1) North 87°26'48" East a distance of 80.25 feet;  
2) Thence North 82°32'28" East a distance of 137.28 feet;  
3) Thence North 73°26'22" East a distance of 112.85 feet to a point on the southerly Right-of-Way line of Coaltion Road as described in deed recorded as Reception Number 0164301, of the records of said Boulder County, Colorado.  
Thence North 88°18'10" East along said southerly Right-of-Way line a distance of 235.64 feet to the northeast corner of that tract of land as described in said deed recorded as Reception Number 1711260; Thence South 02°59'01" West along the west line of said tract of land a distance of 99.73 feet; Thence North 89°38'20" East along the southeasterly line of said tract of land as described in said deed recorded on Film 2164, of Reception Number 01851319, said Boulder County Records, said point being the "Point of Beginning"; Thence along said southerly Right-of-Way line of Coaltion Road the following the (3) Courses:  
1) South 83°52'04" East, a distance of 322.19 feet;  
2) North 87°02'58" East, a distance of 140.85 feet;  
3) South 00°00'00" West, a distance of 46.17 feet;  
4) North 88°51'58" East, a distance of 251.28 feet;  
5) South 33°05'18" East, a distance of 43.08 feet.  
Thence departing said southerly Right-of-Way line, South 58°55'08" West, a distance of 72.89 feet; Thence South 47°44'14" West, a distance of 68.12 feet; Thence South 56°47'33" West, a distance of 129.19 feet; Thence North 88°44'29" West, a distance of 69.27 feet; Thence North 84°23'44" West, a distance of 63.12 feet; Thence South 82°52'40" West, a distance of 93.99 feet; Thence South 57°02'28" West, a distance of 32.28 feet; Thence South 75°43'17" West, a distance of 38.99 feet; Thence South 84°22'57" West, a distance of 63.45 feet; Thence North 88°18'10" East, a distance of 59.83 feet; Thence South 05°02'54" West, a distance of 17.75 feet; Thence South 22°12'47" West, a distance of 80.25 feet; Thence South 04°52'00" West, a distance of 80.43 feet; Thence South 09°36'57" West, a distance of 49.17 feet; Thence South 29°02'58" West, a distance of 49.45 feet; Thence South 63°04'09" West, a distance of 20.88 feet to a point on the easterly Right-of-Way line of said McCrackin Boulevard; Thence North 00°16'01" East, along said easterly Right-of-Way line, a distance of 561.86 feet to the "Point of Beginning", containing 3,801 acres or 165,376 square feet, more or less.

**TRACT K**  
A tract of land being a part of the Northwest Quarter of the Northwest Quarter of Section 31, Township 1 South, Range 66 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado and being described as follows:

Commencing at the Northwest Corner of the Northwest Quarter of the Northwest Quarter of said Section 31 and considering the North line of said Northwest Quarter to bear North 88°51'58" East, with all bearings contained herein relative thereto; Thence South 31°57'56" East, a distance of 87.33 feet to a point at the intersection of the easterly right-of-way line of McCrackin Boulevard as described in deed recorded as Reception Number 769091 in the records of the Office of the Boulder County Clerk and Recorder; and the southerly Right-of-Way line of Coaltion Road, as described in said deed recorded on Film 2164, of Reception Number 01851319, said Boulder County Records, said point being the "Point of Beginning"; Thence along said southerly Right-of-Way line of Coaltion Road the following the (3) Courses:  
1) South 83°52'04" East, a distance of 322.19 feet;  
2) North 87°02'58" East, a distance of 140.85 feet;  
3) South 00°00'00" West, a distance of 46.17 feet;  
4) North 88°51'58" East, a distance of 251.28 feet;  
5) South 33°05'18" East, a distance of 43.08 feet.  
Thence departing said southerly Right-of-Way line, South 58°55'08" West, a distance of 72.89 feet; Thence South 47°44'14" West, a distance of 68.12 feet; Thence South 56°47'33" West, a distance of 129.19 feet; Thence North 88°44'29" West, a distance of 69.27 feet; Thence North 84°23'44" West, a distance of 63.12 feet; Thence South 82°52'40" West, a distance of 93.99 feet; Thence South 57°02'28" West, a distance of 32.28 feet; Thence South 75°43'17" West, a distance of 38.99 feet; Thence South 84°22'57" West, a distance of 63.45 feet; Thence North 88°18'10" East, a distance of 59.83 feet; Thence South 05°02'54" West, a distance of 17.75 feet; Thence South 22°12'47" West, a distance of 80.25 feet; Thence South 04°52'00" West, a distance of 80.43 feet; Thence South 09°36'57" West, a distance of 49.17 feet; Thence South 29°02'58" West, a distance of 49.45 feet; Thence South 63°04'09" West, a distance of 20.88 feet to a point on the easterly Right-of-Way line of said McCrackin Boulevard; Thence North 00°16'01" East, along said easterly Right-of-Way line, a distance of 561.86 feet to the "Point of Beginning", containing 3,801 acres or 165,376 square feet, more or less.

**GENERAL NOTES:**  
1. **SETBACKS:**  
a. Exterior design elements of buildings such as eaves, dormers, bay windows, and patios may encroach 30".  
b. The 150' separation requirement between multi-family and commercial buildings is waived between a multi-family building and a one story building with a maximum bldg. height of 25' and architectural roof elements not to exceed a height of 32' for the following uses: professional and business offices, dental and medical clinics, public and governmental facilities, community centers, banks, savings and loan with drive-up window, parks and recreation areas, veterinary clinics, child care centers, family care homes, large total care, and temporary uses.

2. **OPEN SPACE:**  
Means a parcel of land, an area of water, or a combination of land and water within this project designed and intended primarily for the use or enjoyment of residents, or the general public exclusive of buildings, and rights-of-way for streets.  
a. **COMMON OPEN SPACE** means an area designed and intended primarily for the use of lawful owners, residents and occupants of the project but not necessarily the general public which is owned and maintained by a homeowners' association.  
b. **PUBLIC OPEN SPACE** means an area designed for use by both the owners within the development and the general public. Public open space may be publicly or privately owned.  
c. **USEABLE OPEN SPACE** is the combination of common open space, public open space, and lot open space.  
d. **LOT OPEN SPACE** is that lot area outside of the building envelope that is for the use of lawful owners, residents and occupants of the project but not necessarily the general public which is maintained by the homeowners' association.

3. **VIEW CORRIDORS:**  
a. View corridor requirements have been satisfied. See sheet L3 of 4 of the PDP.

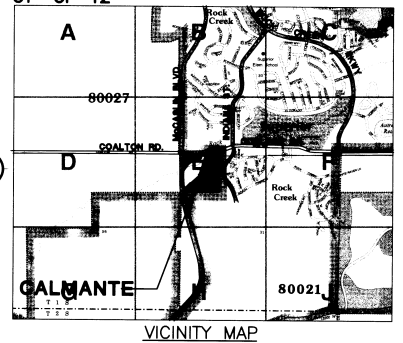
4. **USE AND/OR DEVELOPMENT STANDARDS:**  
a. Any uses and/or development standard not specifically addressed herein shall be subject to and determined by the most current provisions of the Town of Superior's Land Use Code.

5. **UNIT COUNT:**  
a. The minimum number of dwelling units allowed on the Final Development Plan will not be less than seventy-five (75).

6. **RECREATIONAL AMENITIES:**  
a. The Developer will provide:  
1. a minimum of a 1000 square foot children's play lot  
2. pedestrian trails as shown on the plans  
3. croquet / badminton field  
4. horseshot court  
5. bench with a shade structure  
6. bicycle racks  
7. chess / checkers board  
8. picnic facilities

7. **300 FOOT BUFFER ENCROACHMENT:**  
a. Each final building encroachment into the 300 foot buffer represented on the Site Plan (Sheet C2 and C3 of 12) may be exceeded by up to fifteen feet as reasonably permitted by staff.

8. To the extent possible plant materials from the Town of Superior suggested plant list are incorporated into the landscape plan, see sheet L4.  
9. **VESTED RIGHTS:**  
This plan constitutes a site specific development plan as defined in 24-68-101, et seq., C.R.S. and Section 18-571 of the Town of Superior land use code. The terms and conditions of such plan approval are contained in Resolution No. 1, adopted by the Town Board of Trustees on 10/2/03, and available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado, 80027.



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**HOLDER OF DEED OF TRUST**  
I CERTIFY THAT FIRST AMERICA BANK, SSB IS THE HOLDER OF A DEED OF TRUST FOR THE PROPERTY AND CONSENTS TO THE ABOVE FINAL DEVELOPMENT PLAN. IN WITNESS WHEREOF I HERETO SET MY HAND THIS 4 DAY OF December, 2002

BY: *[Signature]*  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF Dec 2002.  
BY: *[Signature]*  
AS HOLDER OF DEED OF TRUST FOR ROCK CREEK HOMES, LLC.  
MY COMMISSION EXPIRES 10/16/04

**TOWN CLERK'S CERTIFICATE**  
STATE OF COLORADO, TOWN OF SUPERIOR SS

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 10:00 A.M. O'CLOCK, December 9, AD, 2002, AND IS DULY RECORDED.  
*[Signature]*  
TOWN CLERK

**CERTIFICATE OF OWNERSHIP**  
WE CERTIFY THAT ROCK CREEK HOMES, LLC, IS THE OWNER OF THE PROPERTY, AND WE CONSENT TO THE ABOVE FINAL DEVELOPMENT PLAN. IN WITNESS WHEREOF I HERETO SET MY HAND THIS 6 DAY OF DEC, 2002  
BY: *[Signature]* MANAGER.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6 DAY OF DEC, AD, 2002, BY SEE DELBERT O AS MANAGER OF ROCK CREEK HOMES, LLC, A COLORADO LIMITED LIABILITY COMPANY. MY COMMISSION EXPIRES OCT 22, 2006  
*[Signature]*  
NOTARY PUBLIC

**PLANNING COMMISSION RECOMMENDATION**  
RECOMMENDED THIS 20th DAY OF August, A.D., 2002  
*[Signature]*  
SUPERIOR PLANNING COMMISSION

**TOWN BOARD OF TRUSTEES' CERTIFICATE**  
APPROVED THIS 9th DAY OF September, A.D., 2002  
BY THE BOARD OF TRUSTEES, SUPERIOR, COLORADO. THIS APPROVAL IS WITH THE UNDERSTANDING THAT ALL EXPENSES INVOLVING NECESSARY IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, LANDSCAPING CURBS, GUTTER, STREET LIGHTS, STREET SIGNS, AND SIDEWALKS, SHALL BE FINANCED BY OTHERS AND NOT THE TOWN OF SUPERIOR.  
*[Signature]*  
TOWN CLERK

**SUPERIOR METROPOLITAN DISTRICT NO. 3 CERTIFICATE**  
APPROVED THIS 9th DAY OF January, A.D., 2003, SUPERIOR METROPOLITAN DISTRICT NO. 3, SUPERIOR, COLORADO.  
*[Signature]*  
PRESIDENT

Memo of Record  
Recorded on June 25, 2003  
at Boulder County Clerk's Office  
And Recorder's Office  
Recording # 2461357



urban design associates  
1129 CHEROKEE STREET  
DENVER, COLORADO 80204  
303.534.3881  
303.534.3884 (FAX)  
moinbox@nuszer-kopatz.com



**COVER SHEET**  
SHEET C1 OF 12  
Page 1 of 25



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
SITE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C2 OF 12

| TRACT                     | ACREAGES | OWNERSHIP/MAINTENANCE             | USAGE        | USAGE TYPE                |
|---------------------------|----------|-----------------------------------|--------------|---------------------------|
| CALMANTE                  |          |                                   |              |                           |
| BLOCK 3, LOTS 1-10        | 0.87     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 4, LOTS 1-29        | 2.22     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 5, LOTS 1-15        | 1.29     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 6, LOTS 1-15        | 1.37     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 7, LOTS 1-10        | 0.93     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| TRACT "A"                 | 0.47     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "B"                 | 0.20     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "C"                 | 0.08     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "D"                 | 0.05     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "E"                 | 0.07     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "F"                 | 0.67     | SUPERIOR METROPOLITAN DISTRICT #1 | PUBLIC O.S.  | DRAINAGE                  |
| TRACT "G"                 | 4.05     | SUPERIOR METROPOLITAN DISTRICT #1 | PUBLIC O.S.  | DRAINAGE                  |
| TRACT "H"                 | 0.35     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "I"                 | 0.45     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "J"                 | 0.30     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "K"                 | 3.80     | SUPERIOR METROPOLITAN DISTRICT #1 | PUBLIC O.S.  | DRAINAGE                  |
| TRACT "L"                 | 0.18     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "M"                 | 0.25     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "N"                 | 0.26     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "O"                 | 0.44     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "P"                 | 0.86     | SUPERIOR METROPOLITAN DISTRICT #3 | PUBLIC O.S.  | OPEN SPACE/UTILITY        |
| TRACT "Q"                 | 0.25     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TIERRA RIDGE CT (TRACT T) | 0.86     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CASALON DR (TRACT U)      | 0.65     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CALMANTE DR (TRACT S)     | 0.14     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CALMANTE PL. (TRACT R)    | 0.16     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CALMANTE AVENUE           | 2.31     | SUPERIOR METROPOLITAN DISTRICT #3 | PUBLIC       | PUBLIC ROADWAY            |

PRIVATE STREET SECTION

NTS

R.O.W. 12' 2% 12' 2% FLOWLINE

4" MOUNTABLE CURB & GUTTER

6" VERTICAL CURB & GUTTER W/ 8" DETACHED WALK

LOCAL STREET SECTION

NTS

R.O.W. 7' 18' 60' R.O.W. 18' 4' 8' WALK

6" VERTICAL CURB & GUTTER W/ 8" DETACHED WALK

LEGEND:

- STREET CENTER LINE
- CREEK CENTER LINE
- RESIDENTIAL LOT LINES
- 100 YR FLOOD PLAIN BOUNDARY
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- ③ PROPOSED SIGN TYPE, SEE SHEET C11
- R.O.W./LOT LINE
- EASEMENT LINE
- EXISTING FENCE
- 100 YR WATER SURFACE
- SPLIT RAIL FENCE

NOTES:

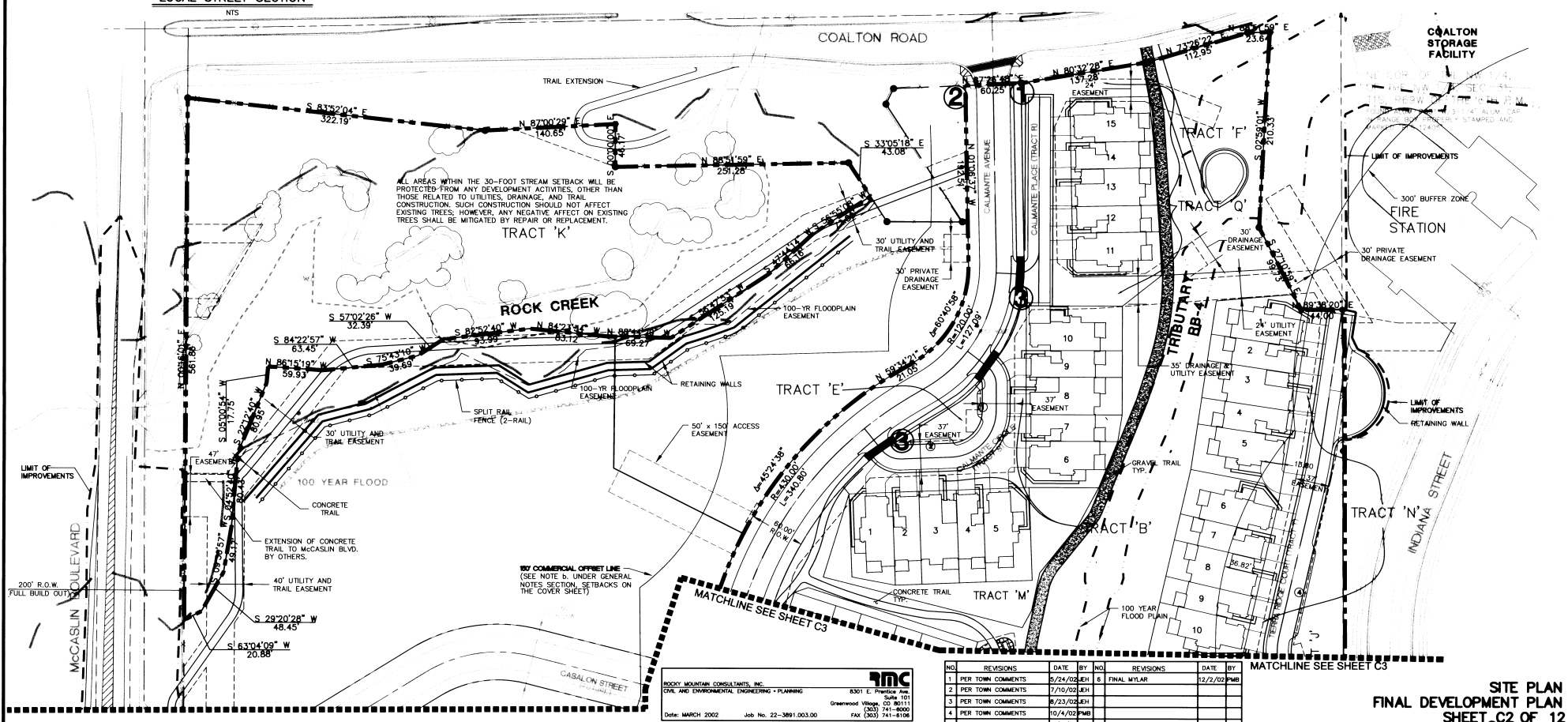
- THE LAYOUT SHOWN FOR McCASLIN IS FOR GRAPHIC PURPOSES. THE ULTIMATE SECTION FOR McCASLIN IS NOT YET DESIGNED. TO BE BUILT BY OTHERS.
- FINAL DESIGN AND FINAL GRADING FOR ROCK CREEK, TRIBUTARY RR-4, AND COALTON STORAGE FACILITY WILL BE PROVIDED BY SUPERIOR METROPOLITAN DISTRICT #1

PROJECT BENCHMARK

NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH P.M. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOOK ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49. NGVD 29 ELEVATION 5527.75'

50 25 0 50 100

SCALE: 1" = 50'



**ROCK MOUNTAIN CONSULTANTS, INC.**  
 CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING  
 6301 E. Prairie Ave.  
 Greenwood Village, CO 80111  
 (303) 751-8000  
 Fax (303) 741-8106  
 Date: MARCH 2002 Job No. 22-3891.003.00

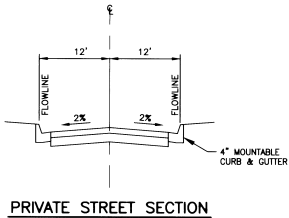
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| 1   | PER TOWN COMMENTS | 5/24/02  | JCH | 6   | FINAL MYLAR | 12/27/02 | PHB |
| 2   | PER TOWN COMMENTS | 7/10/02  | JCH |     |             |          |     |
| 3   | PER TOWN COMMENTS | 8/23/02  | JCH |     |             |          |     |
| 4   | PER TOWN COMMENTS | 10/4/02  | PHB |     |             |          |     |
| 5   | PER TOWN COMMENTS | 11/18/02 | PHB |     |             |          |     |

SITE PLAN  
 FINAL DEVELOPMENT PLAN  
 SHEET C2 OF 12

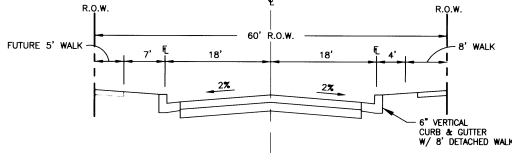
# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
FINAL DEVELOPMENT PLAN  
SHEET C3 OF 12

PROJECT BENCHMARK  
NORTHWEST CORNER OF SECTION 31, T18, R69W 6TH. P.M. A FOUND MONUMENT WITH A  
3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF  
McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49  
NVD= 28 ELEVATION 5527.75'



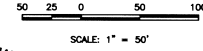
PRIVATE STREET SECTION



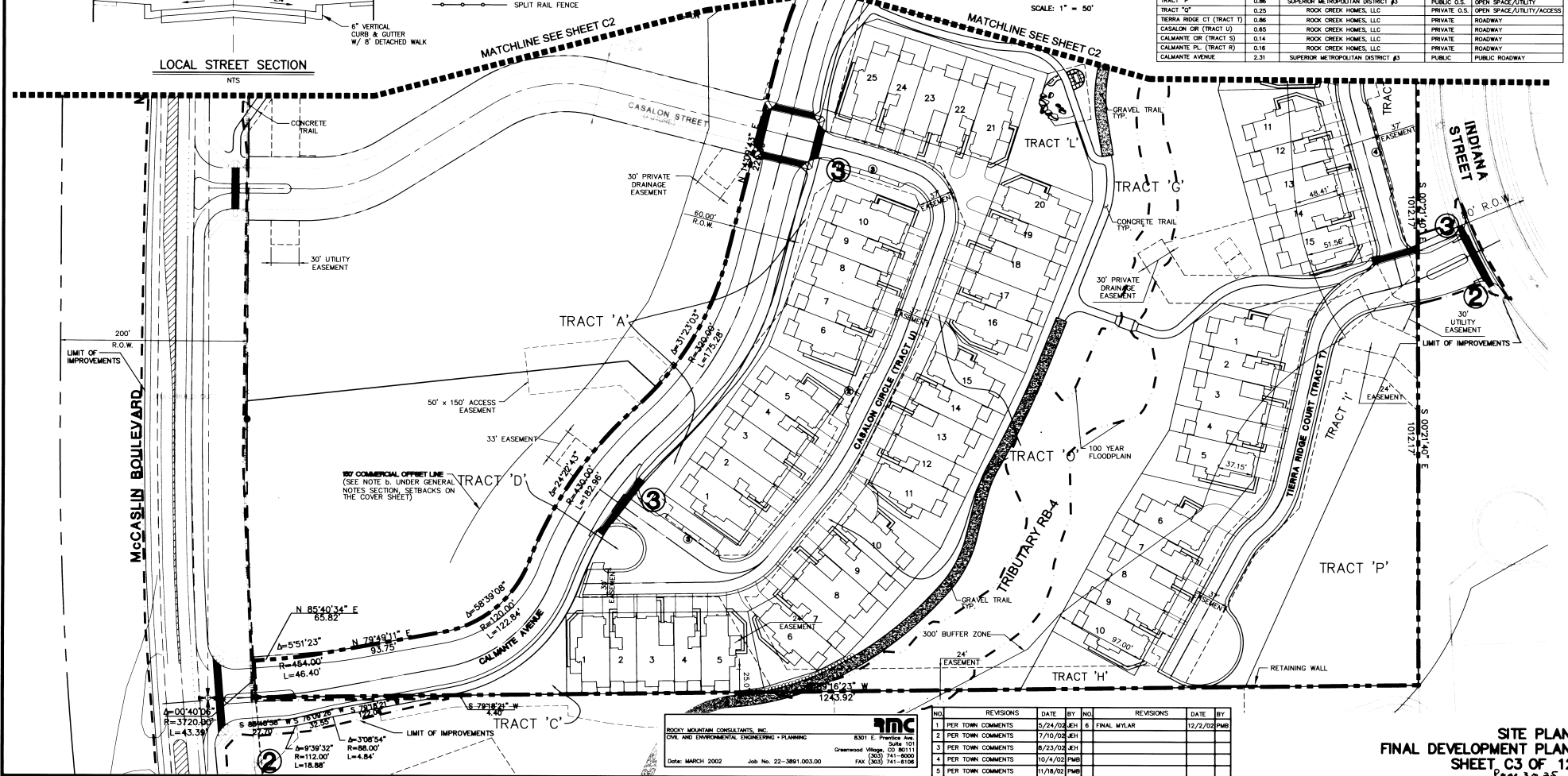
LOCAL STREET SECTION

- LEGEND:
  - STREET CENTER LINE
  - CREEK CENTER LINE
  - RESIDENTIAL LOT LINES
  - 100' W.F. FLOOD PLAN BOUNDARY
  - BOUNDARY OF FINAL DEVELOPMENT PLAN
  - SCORED CONCRETE CROSSWALK
  - PROPOSED SIGN TYPE, SEE SHEET C11
  - R.O.W./LOT LINE
  - EASEMENT LINE
  - EXISTING FENCE
  - 100' W.F. WATER SURFACE
  - SPLIT RAIL FENCE

- NOTES:
  - THE LAYOUT SHOWN FOR McCASLIN IS FOR GRAPHIC PURPOSES. THE ULTIMATE SECTION FOR McCASLIN IS NOT YET DESIGNED. TO BE BUILT BY OTHERS.
  - FINAL DESIGN AND FINAL GRADING FOR ROCK CREEK, TRIBUTARY RB-4, AND COALTON STORAGE FACILITY WILL BE PROVIDED BY SUPERIOR METROPOLITAN DISTRICT #1



SCALE: 1" = 50'



| TRACT                    | ACREAGES | OWNERSHIP/MAINTENANCE             | USAGE        | USAGE TYPE                |
|--------------------------|----------|-----------------------------------|--------------|---------------------------|
| CALMANITE                |          |                                   |              |                           |
| BLOCK 3, LOTS 1-10       | 0.87     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 4, LOTS 1-25       | 2.22     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 5, LOTS 1-15       | 1.29     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 6, LOTS 1-15       | 1.37     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| BLOCK 7, LOTS 1-10       | 0.93     | PRIVATE/ROCK CREEK HOMES, LLC     | PRIVATE      | RESIDENTIAL               |
| TRACT "A"                | 0.47     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "B"                | 0.20     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "C"                | 0.08     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "D"                | 0.05     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "E"                | 0.07     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "F"                | 0.67     | SUPERIOR METROPOLITAN DISTRICT #1 | PUBLIC O.S.  | DRAINAGE                  |
| TRACT "G"                | 4.05     | SUPERIOR METROPOLITAN DISTRICT #1 | PUBLIC O.S.  | DRAINAGE                  |
| TRACT "H"                | 0.35     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "I"                | 0.45     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "J"                | 0.30     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "K"                | 3.80     | SUPERIOR METROPOLITAN DISTRICT #1 | PUBLIC O.S.  | DRAINAGE                  |
| TRACT "L"                | 0.18     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY        |
| TRACT "M"                | 0.25     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "N"                | 0.28     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "O"                | 0.44     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TRACT "P"                | 0.86     | SUPERIOR METROPOLITAN DISTRICT #3 | PUBLIC O.S.  | OPEN SPACE/UTILITY        |
| TRACT "Q"                | 0.25     | ROCK CREEK HOMES, LLC             | PRIVATE O.S. | OPEN SPACE/UTILITY/ACCESS |
| TERRA RIDGE CR (TRACT T) | 0.86     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CASALON CR (TRACT U)     | 0.85     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CALMANITE CR (TRACT S)   | 0.14     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CALMANITE PL. (TRACT R)  | 0.16     | ROCK CREEK HOMES, LLC             | PRIVATE      | ROADWAY                   |
| CALMANITE AVENUE         | 2.31     | SUPERIOR METROPOLITAN DISTRICT #3 | PUBLIC       | PUBLIC ROADWAY            |

ROCK MOUNTAIN CONSULTANTS, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERING - PLANNING  
3301 E. Princeton Ave.  
Greenwood Village, CO 80111  
(303) 741-8000  
FAX (303) 741-8108  
Date: MARCH 2002 Job No. 22-3881.003.00

| NO. | REVISIONS         | DATE     | BY     | NO. | REVISIONS   | DATE    | BY     |
|-----|-------------------|----------|--------|-----|-------------|---------|--------|
| 1   | PER TOWN COMMENTS | 5/24/02  | J.E.H. | 6   | FINAL MYLAR | 12/2/02 | P.M.B. |
| 2   | PER TOWN COMMENTS | 7/10/02  | J.E.H. |     |             |         |        |
| 3   | PER TOWN COMMENTS | 8/23/02  | J.E.H. |     |             |         |        |
| 4   | PER TOWN COMMENTS | 10/4/02  | P.M.B. |     |             |         |        |
| 5   | PER TOWN COMMENTS | 11/18/02 | P.M.B. |     |             |         |        |

SITE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C3 OF 12  
Page 19 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
**FINAL GRADING PLAN**

## FINAL DEVELOPMENT PLAN SHEET C4 OF 12

50 25 0 50 100

SCALE: 1" = 50'

**PROJECT BENCHMARK**

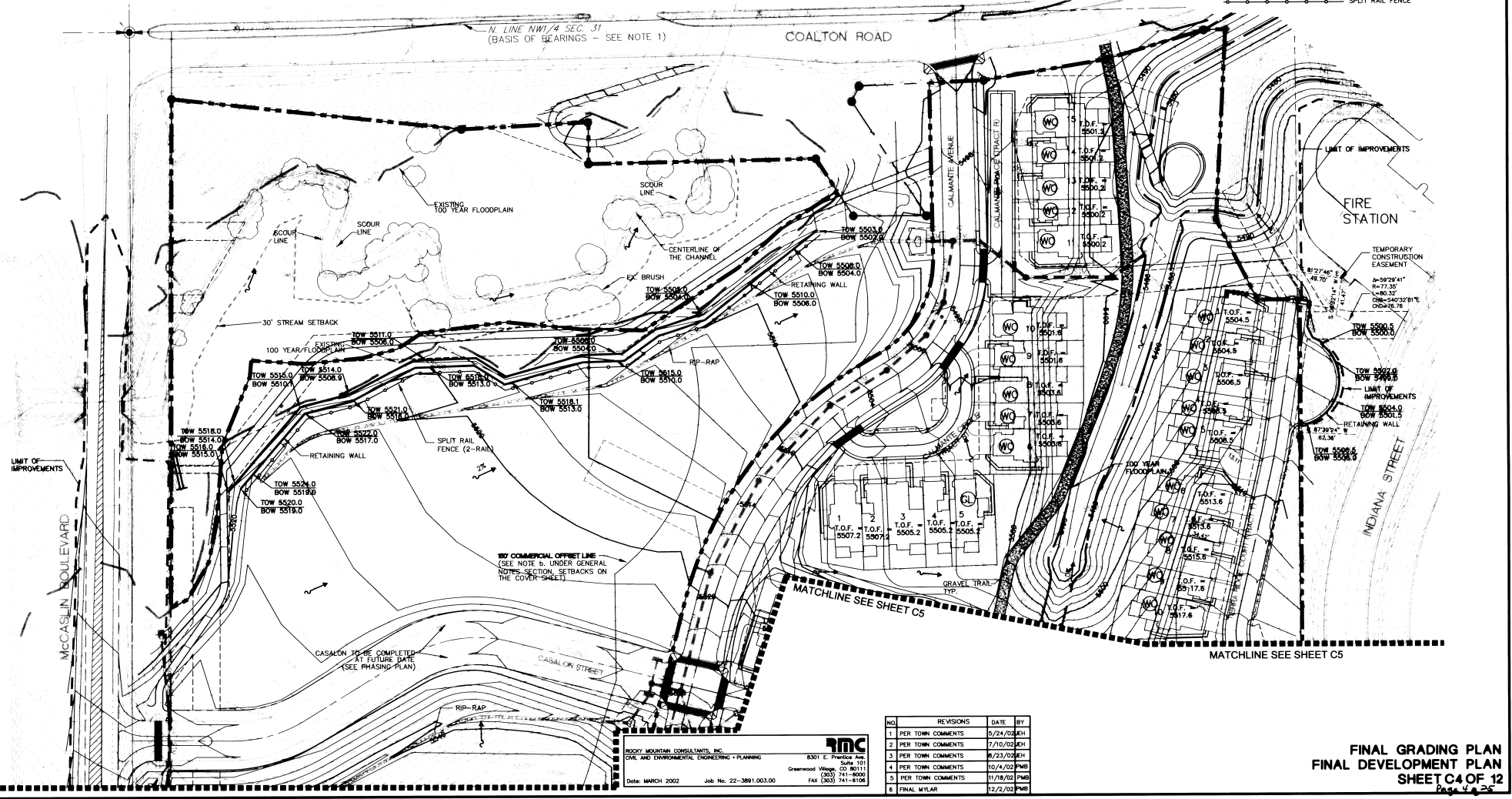
NORTHWEST CORNER OF SECTION 31, T18, R69W 6TH PM, A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD, FIELD BOOK 262 PAGE 49 NGVD 29 ELEVATION 5527.75'

**NOTES:**

1. T.O.W. = APPROXIMATE TOP OF WALL ELEVATION
2. B.O.W. = APPROXIMATE BOTTOM OF WALL ELEVATION

**LEGEND**

- TRACT BOUNDARY LINE
- SECTION LINE
- BOUNDARY LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- CENTER LINE
- EXISTING INDEX CONTOURS
- EXISTING INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- PROPOSED INTERMEDIATE CONTOURS
- STORM SEWER PIPE
- LIMITS OF NATURAL LANDSCAPING
- 300' BUFFER LINE
- STORM SEWER INLET
- WALK OUT UNIT
- GARDEN LEVEL UNIT
- FLOW ARROW
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- 100 YR. FLOOD PLAN BOUNDARY
- SPLIT RAIL FENCE



| NO. | REVISIONS         | DATE    | BY  |
|-----|-------------------|---------|-----|
| 1   | PER TOWN COMMENTS | 2/24/02 | ESH |
| 2   | PER TOWN COMMENTS | 7/10/02 | ESH |
| 3   | PER TOWN COMMENTS | 8/23/02 | ESH |
| 4   | PER TOWN COMMENTS | 10/4/02 | PMH |
| 5   | PER TOWN COMMENTS | 1/18/03 | PMH |
| 6   | FINAL MYLAR       | 12/2/02 | PMH |

**ROCKY MOUNTAIN CONSULTANTS, INC.**  
CIVIL AND ENVIRONMENTAL ENGINEERING - PLANNING

8301 E. Franklin Ave. Suite 101  
Greenwood Village, CO 80111  
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FAX (303) 741-8198

Date: MARCH 2002 Job No: 22-3891.003.00

**FINAL GRADING PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C4 OF 12**  
Page 4 of 26

50 25 0 50 100

SCALE: 1" = 50'

**PROJECT BENCHMARK**

NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH. P.M. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49 NGVD 29 ELEVATION 5527.75'

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6TH P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
**FINAL GRADING PLAN**

## FINAL DEVELOPMENT PLAN SHEET C5 OF 12

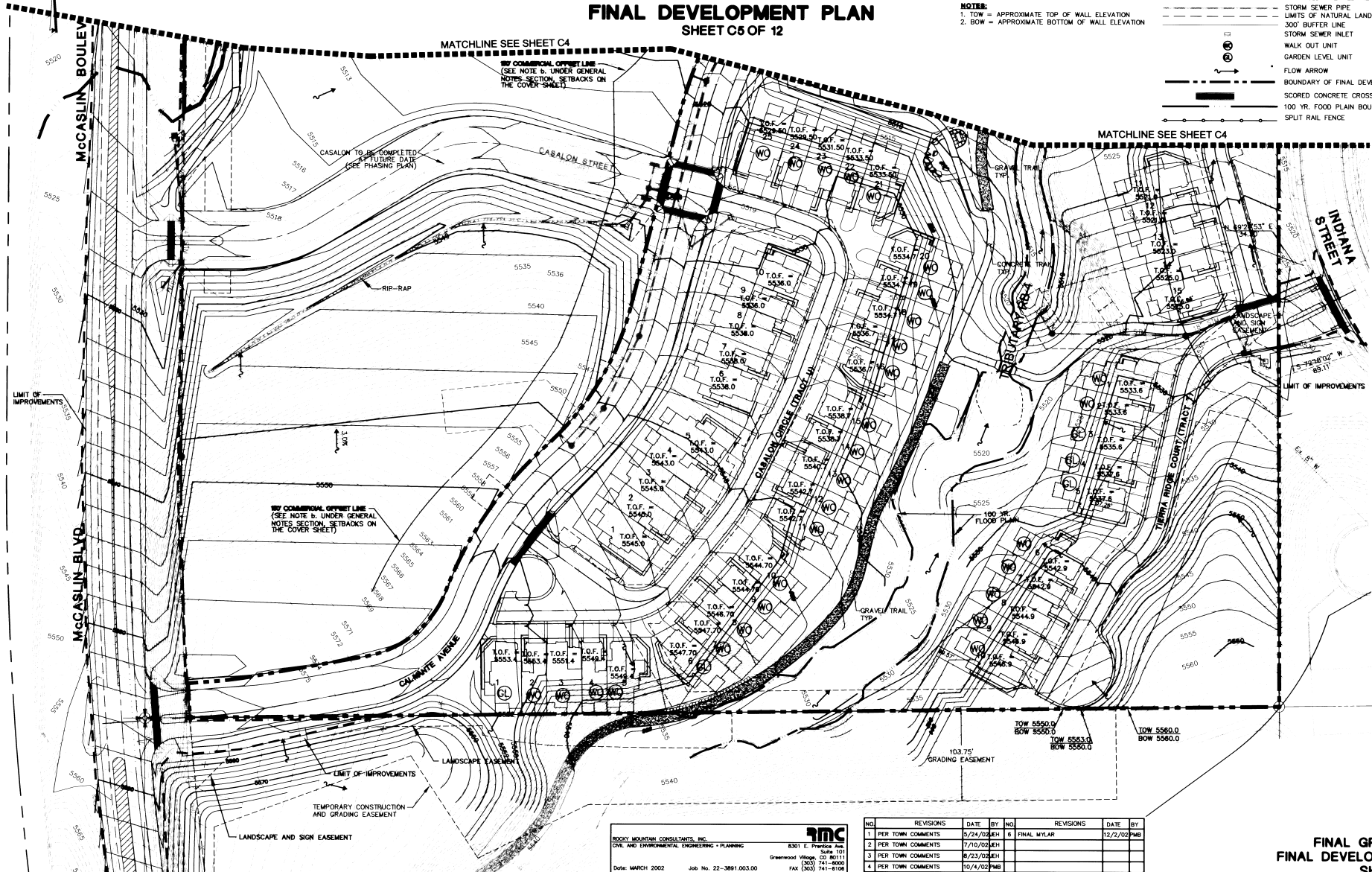
**NOTES:**  
1. T.O.W. = APPROXIMATE TOP OF WALL ELEVATION  
2. B.O.W. = APPROXIMATE BOTTOM OF WALL ELEVATION

**LEGEND**

- TRACT BOUNDARY LINE
- SECTION LINE
- BOUNDARY LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- CENTER LINE
- EXISTING INDEX CONTOURS
- EXISTING INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- PROPOSED INTERMEDIATE CONTOURS
- STORM SEWER PIPE
- LIMITS OF NATURAL LANDSCAPING
- 300' BUFFER LINE
- STORM SEWER INLET
- WALK OUT UNIT
- GARDEN LEVEL UNIT
- FLOW ARROW
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- 100 YR. FLOOD PLAIN BOUNDARY
- SPLIT RAIL FENCE

MATCHLINE SEE SHEET C4

MATCHLINE SEE SHEET C4



ROCKY MOUNTAIN CONSULTANTS, INC. **rmc**  
 CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING 8301 E. Prentiss Ave. Suite 101  
 Greenwood Village, CO 80111  
 (303) 741-8000  
 Date: MARCH 2002 Job No. 22-3891.003.00 FAX (303) 741-8108

| NO. | REVISIONS         | DATE     | BY  | NO. | REVISIONS      | DATE    | BY  |
|-----|-------------------|----------|-----|-----|----------------|---------|-----|
| 1   | PER TOWN COMMENTS | 5/24/02  | EH  | 6   | FINAL M.Y.L.R. | 12/2/02 | PMB |
| 2   | PER TOWN COMMENTS | 7/10/02  | EH  |     |                |         |     |
| 3   | PER TOWN COMMENTS | 8/23/02  | EH  |     |                |         |     |
| 4   | PER TOWN COMMENTS | 10/4/02  | PMB |     |                |         |     |
| 5   | PER TOWN COMMENTS | 11/18/02 | PMB |     |                |         |     |

**FINAL GRADING PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C5 OF 12**

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C6 OF 12

- NOTES:**
- 1) ALL BUILDING UNITS WILL HAVE INDIVIDUAL SERVICE LINES FOR THE WATER AND THE SANITARY.
  - 2) IF SOILS REPORT INDICATES SHALLOW WEATHERED CLAYSTONE THE USE OF 6000 PVC PIPE FOR THE SANITARY SEWER WILL BE REQUIRED IN AREAS WITH HIGH SWELL POTENTIAL.
  - 3) ALL PUBLIC UTILITIES TO BE CONSTRUCTED IN PHASE I DEVELOPMENT.

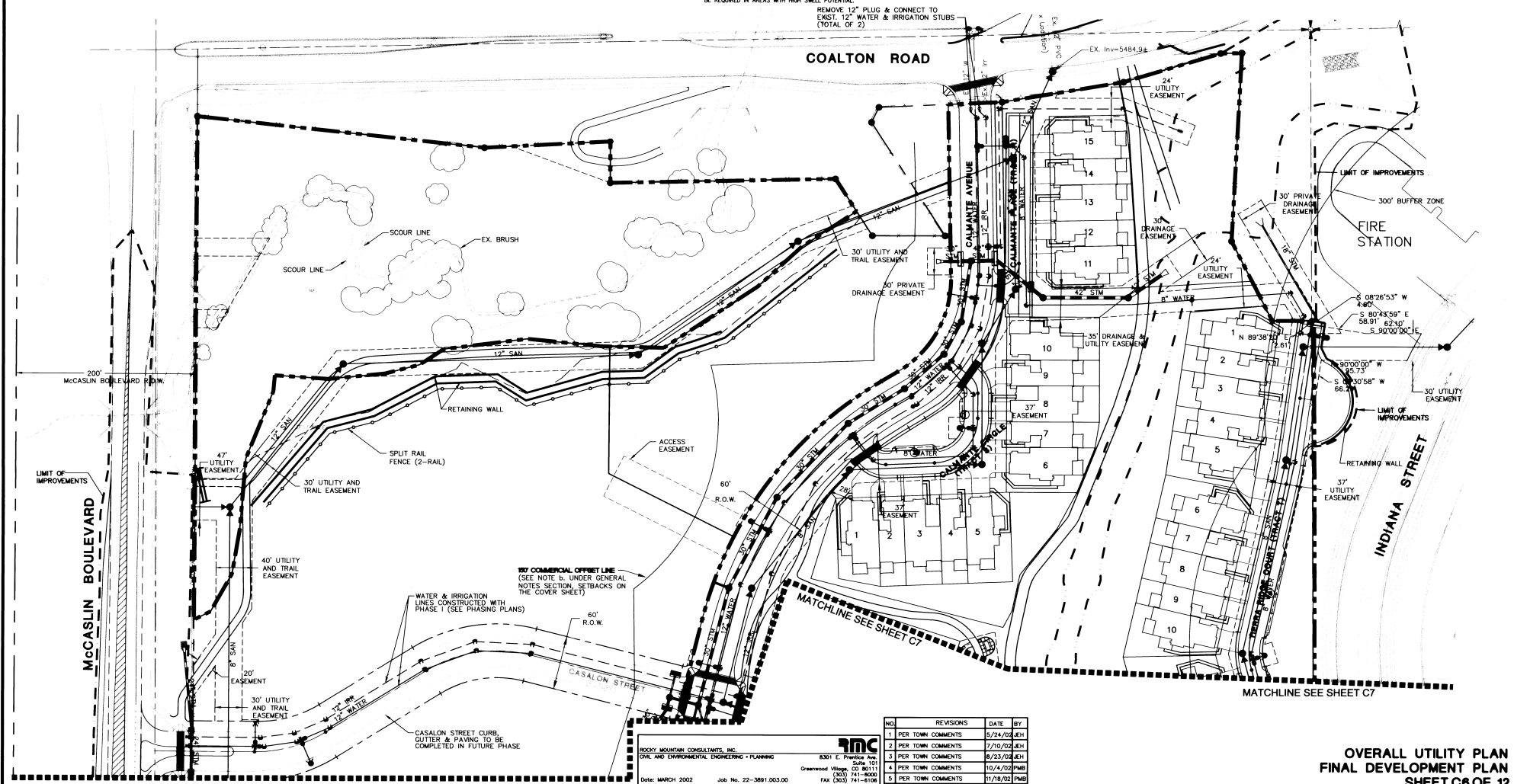
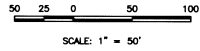
**PROJECT BENCHMARK**  
NORTHWEST CORNER OF SECTION 31, T18, R69W 6TH. PM. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF MCCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49 NVDV 29 ELEVATION 5527.75'

- NOTES:**
- 1) ALL BUILDING UNITS WILL HAVE INDIVIDUAL SERVICE LINES FOR THE WATER AND THE SANITARY.
  - 2) IF SOILS REPORT INDICATES SHALLOW WEATHERED CLAYSTONE THE USE OF 6000 PVC PIPE FOR THE SANITARY SEWER WILL BE REQUIRED IN AREAS WITH HIGH SWELL POTENTIAL.

REMOVE 12" PLUG & CONNECT TO EXIST. 12" WATER & IRRIGATION STUBS (TOTAL OF 2)

**LEGEND**

- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING IRRIGATION LINE
- PROPOSED WATERLINE AND FIRE HYDRANT
- PROPOSED IRRIGATION LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- UTILITY EASEMENT
- EXISTING STREET LIGHTS
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- SPLIT RAIL FENCE



| NO. | REVISIONS         | DATE     | BY  |
|-----|-------------------|----------|-----|
| 1   | PER TOWN COMMENTS | 5/24/02  | EH  |
| 2   | PER TOWN COMMENTS | 7/10/02  | EH  |
| 3   | PER TOWN COMMENTS | 8/23/02  | EH  |
| 4   | PER TOWN COMMENTS | 10/4/02  | PMB |
| 5   | PER TOWN COMMENTS | 11/18/02 | PMB |
| 6   | FINAL MTLAR       | 12/2/02  | PMB |

ROCKY MOUNTAIN CONSULTANTS, INC.  
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FAX (303) 741-6108  
Date: MARCH 2002 Job No. 22-3891.003.00

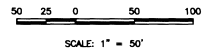
**OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C6 OF 12**  
Page 6 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C7 OF 12

## LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING IRRIGATION LINE
- 12" WATER
- 12" SAN
- 24" SAN
- UTILITY EASEMENT
- EXISTING STREET LIGHTS
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- SPLIT RAIL FENCE

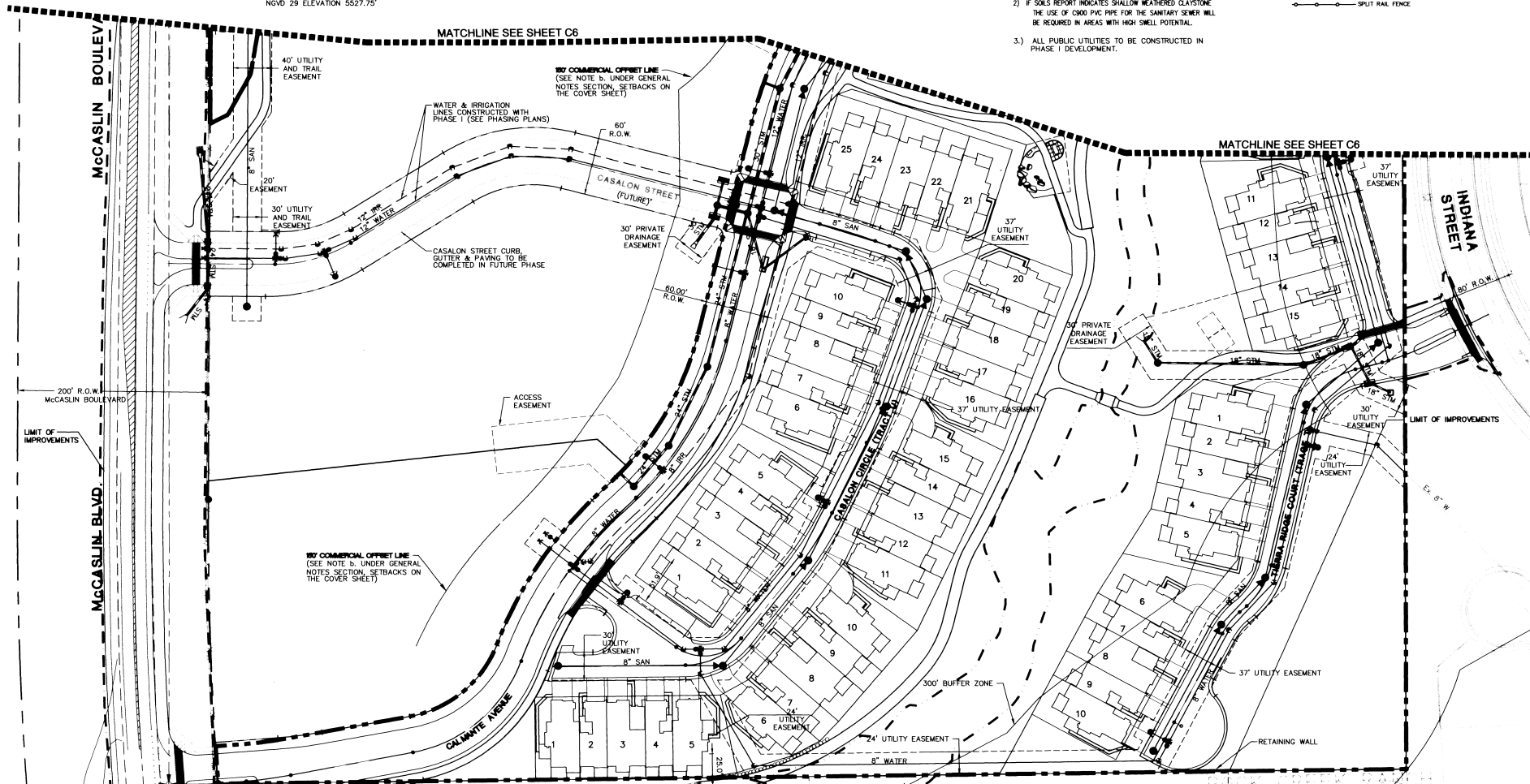


### PROJECT BENCHMARK

NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH P.M. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49 NGVD 29 ELEVATION 5527.75'

### NOTES:

- 1) ALL BUILDING UNITS WILL HAVE INDIVIDUAL SERVICE LINES FOR THE WATER AND THE SANITARY.
- 2) IF SOILS REPORT INDICATES SHALLOW WEATHERED CLAYSTONE THE USE OF 6000 PVC PIPE FOR THE SANITARY SEWER WILL BE REQUIRED IN AREAS WITH HIGH SWELL POTENTIAL.
- 3) ALL PUBLIC UTILITIES TO BE CONSTRUCTED IN PHASE I DEVELOPMENT.



ROCKY MOUNTAIN CONSULTANTS, INC.  
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Fax (303) 741-8198  
Date: MARCH 2002 Job No. 22-3891.003.00

| NO. | REVISIONS         | DATE    | BY  |
|-----|-------------------|---------|-----|
| 1   | PER TOWN COMMENTS | 5/24/02 | JH  |
| 2   | PER TOWN COMMENTS | 7/10/02 | JH  |
| 3   | PER TOWN COMMENTS | 8/23/02 | JH  |
| 4   | PER TOWN COMMENTS | 10/4/02 | PMB |
| 5   | PER TOWN COMMENTS | 11/8/02 | PMB |
| 6   | FINAL MYLAR       | 12/2/02 | PMB |

OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C7 OF 12  
Page 2 of 25



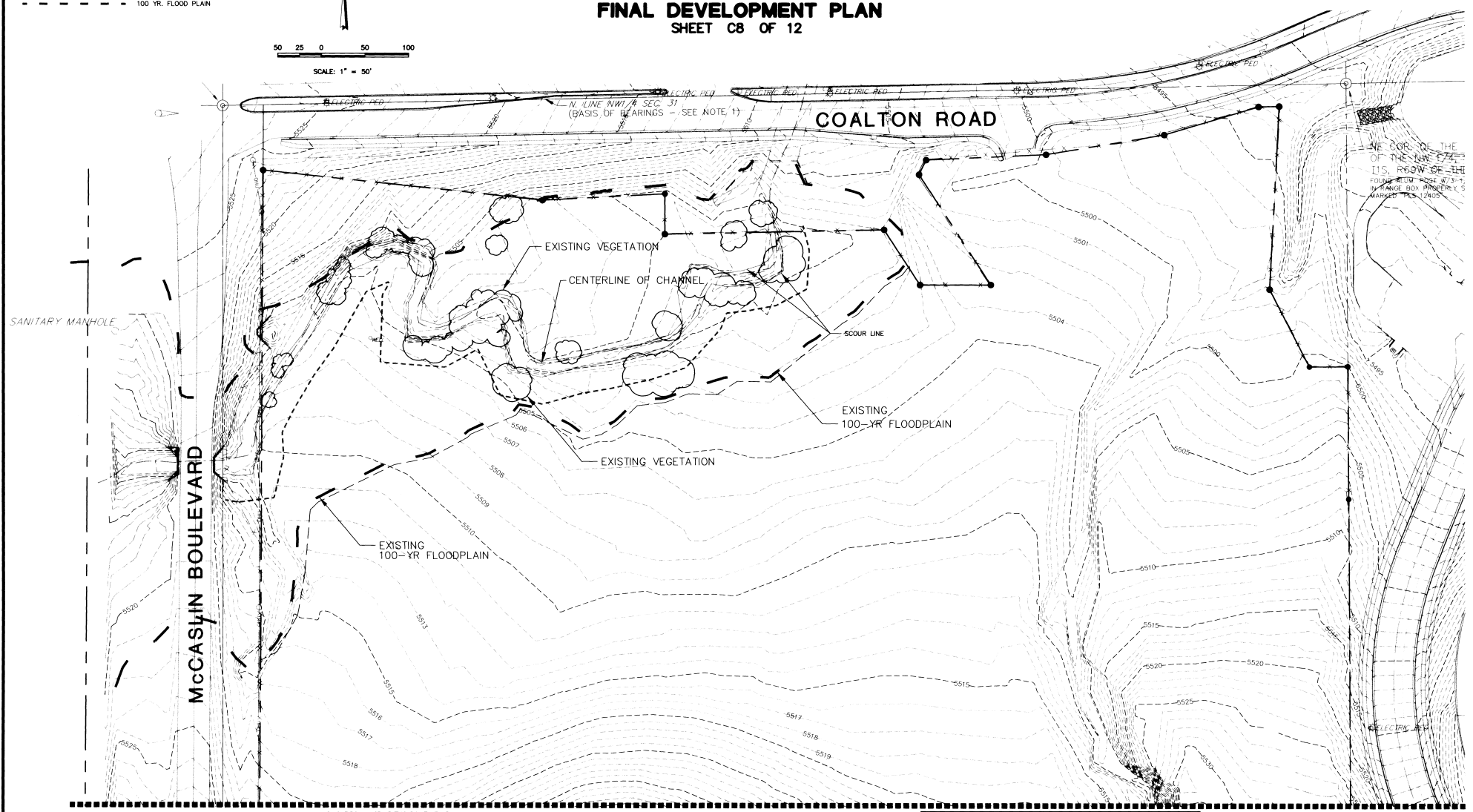
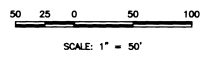
# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R69W OF THE 6TH P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
EXISTING CONDITIONS MAP

FINAL DEVELOPMENT PLAN  
SHEET C8 OF 12

**LEGEND**

- TRACT BOUNDARY LINE
- SECTION LINE
- BOUNDARY LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- CENTER LINE
- EXISTING INDEX CONTOURS
- 100-YEAR FLOODPLAIN
- CHANNEL CENTER LINE
- 35' CHANNEL SETBACK
- 100 YR. FLOOD PLAIN



**PROJECT BENCHMARK**  
NORTHWEST CORNER OF SECTION 31, T18, R69W 6TH P.M. A FOUND MONUMENT WITH A  
3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF  
MCCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49  
NGVD 28 ELEVATION: 5527.75'

MATCHLINE SEE SHEET C9

**RMC**  
ROCKY MOUNTAIN CONSULTANTS, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING  
8301 E. Prentice Ave. Suite 1011  
Greenwood Village, CO 80111  
(303) 741-8000  
Date: MARCH 2002 Job No. 22-3891.003.00 Fax (303) 741-8108

| NO. | REVISIONS         | DATE     | BY  | NO. | REVISIONS   | DATE    | BY  |
|-----|-------------------|----------|-----|-----|-------------|---------|-----|
| 1   | PER TOWN COMMENTS | 5/24/02  | JEH | 6   | FINAL MYLAR | 12/2/02 | PMB |
| 2   | PER TOWN COMMENTS | 7/10/02  | JEH |     |             |         |     |
| 3   | PER TOWN COMMENTS | 8/23/02  | JEH |     |             |         |     |
| 4   | PER TOWN COMMENTS | 10/4/02  | PMB |     |             |         |     |
| 5   | PER TOWN COMMENTS | 11/18/02 | PMB |     |             |         |     |

MATCHLINE SEE SHEET C9

EXISTING CONDITIONS MAP  
FINAL DEVELOPMENT PLAN  
SHEET C8 OF 12  
Page 1 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R60W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
EXISTING CONDITIONS MAP  
FINAL DEVELOPMENT PLAN  
SHEET C9 OF 12

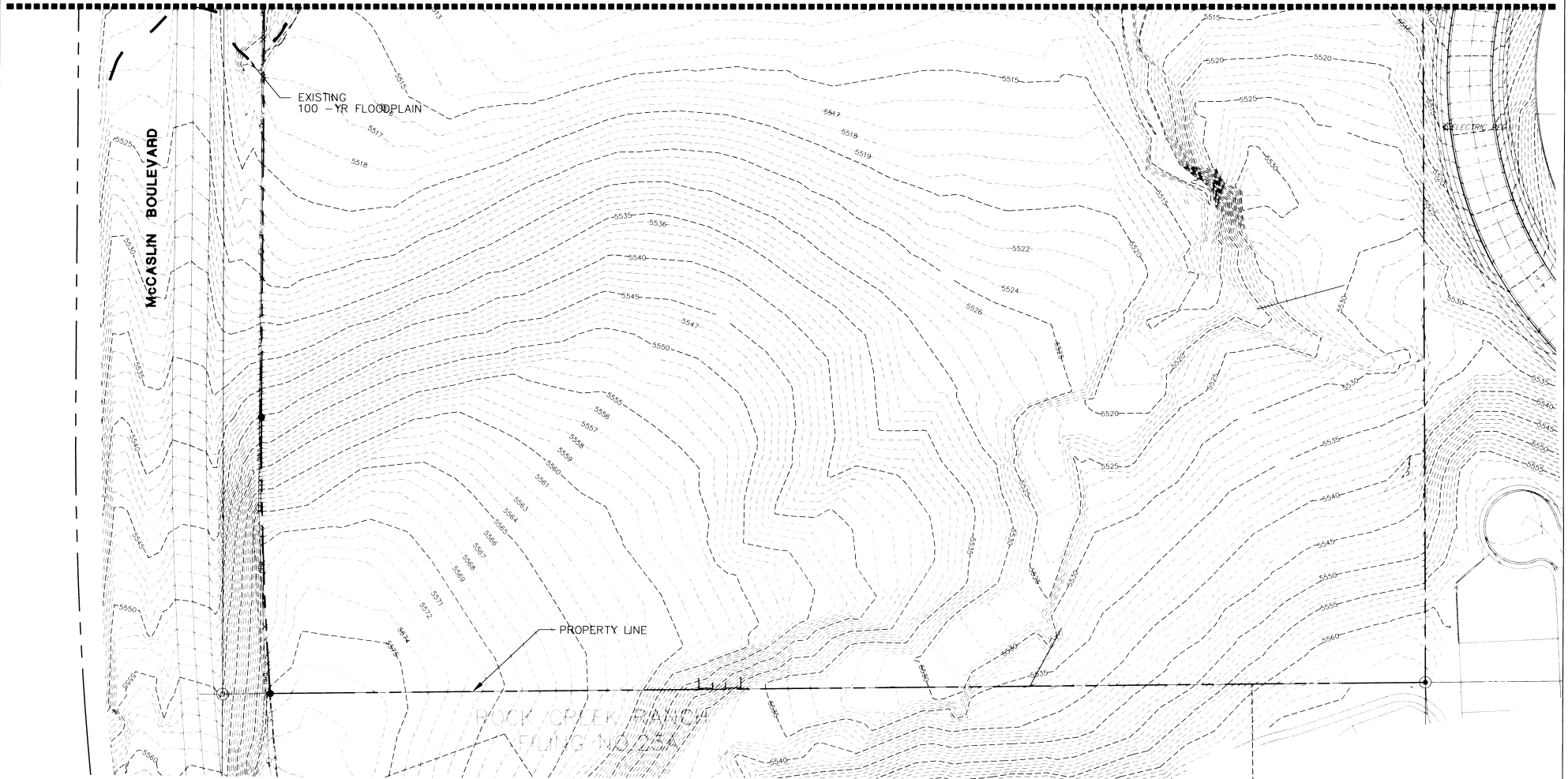
| LEGEND |                         |
|--------|-------------------------|
|        | TRACT BOUNDARY LINE     |
|        | SECTION LINE            |
|        | BOUNDARY LINE           |
|        | PROPERTY LINE           |
|        | RIGHT-OF-WAY            |
|        | CENTER LINE             |
|        | EXISTING INDEX CONTOURS |
|        | 100-YEAR FLOODPLAIN     |
|        | CHANNEL CENTER LINE     |
|        | 35' CHANNEL SETBACK     |
|        | 100 YR. FLOOD PLAN      |

50 25 0 50 100

SCALE: 1" = 50'

MATCHLINE SEE SHEET C8

MATCHLINE SEE SHEET C8



**PROJECT BENCHMARK**

NORTHWEST CORNER OF SECTION 31, T18, R60W 6TH P.M. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49. NGVD 29 ELEVATION 5527.75'

|  |  |
|--|--|
|  |  |
| ROCKY MOUNTAIN CONSULTANTS, INC.<br>CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING | 5301 E. Prairie Ave.<br>Suite 101<br>Greenwood Village, CO 80111<br>(303) 741-8000<br>FAX (303) 741-8108 |
| Date: MARCH 2002   | Job No. 22-3891.003.00   |

| NO. | REVISIONS         | DATE     | BY  | NO. | REVISIONS   | DATE    | BY  |
|-----|-------------------|----------|-----|-----|-------------|---------|-----|
| 1   | PER TOWN COMMENTS | 5/24/02  | JEN | 6   | FINAL MYLAR | 12/2/02 | PHB |
| 2   | PER TOWN COMMENTS | 7/10/02  | JEN |     |             |         |     |
| 3   | PER TOWN COMMENTS | 8/23/02  | JEN |     |             |         |     |
| 4   | PER TOWN COMMENTS | 10/4/02  | PHB |     |             |         |     |
| 5   | PER TOWN COMMENTS | 11/18/02 | PHB |     |             |         |     |

EXISTING CONDITIONS MAP  
FINAL DEVELOPMENT PLAN  
SHEET C9 OF 12  
Page 9 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW¼ OF THE NW ¼ OF SECTION 31,  
T18, R89W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
PROJECT GUIDELINES AND NARRATIVE  
FINAL DEVELOPMENT PLAN  
SHEET C10 OF 12

## A. NARRATIVE

THE FINAL DEVELOPMENT PLAN IS FOR THE RESIDENTIAL PORTION OF THE CALMANTE DEVELOPMENT, AN 23.518-ACRE PARCEL LOCATED ON THE EASTERN PORTION OF THE PROPERTY SOUTH OF COALTON ROAD AND WEST OF INDIANA STREET. THE PROPERTY WAS ANNEXED INTO THE TOWN OF SUPERIOR ON AUGUST 14, 2000, AND ZONED R-M WITH A PLANNED DEVELOPMENT OVERLAY NOVEMBER 26, 2000. THE 75 FIVE-PLUS TOWN HOMES ARE COMPATIBLE WITH EXISTING AND PROPOSED RESIDENTIAL DEVELOPMENTS YET PROVIDE A UNIQUE PRODUCT THAT DOES NOT CURRENTLY EXIST IN SUPERIOR. THE OVERALL GROSS DENSITY OF THE RESIDENTIAL COMPONENT OF THE SITE IS 4.05 UNITS/ACRE.

THE 3.8-ACRE ROCK CREEK BUFFER AREA LOCATED AT THE SOUTHEAST CORNER OF COALTON ROAD AND MCCASLIN BOULEVARD IS ALSO INCLUDED IN THIS FINAL DEVELOPMENT PLAN. IT WILL BE LEFT IN A NATURAL STATE EXCEPT FOR TRAILS AND DRAINAGE IMPROVEMENTS, AND DEDICATED TO SUPERIOR METROPOLITAN DISTRICT #3.

## PROJECT CIRCULATION

### VEHICULAR CIRCULATION

MCCASLIN BOULEVARD, CURRENTLY A TWO-LANE ROADWAY, BORDERS THE SITE ON THE WEST. COALTON ROAD BORDERS THE PROPERTY ON THE NORTH AND HAS RECENTLY BEEN IMPROVED TO A FOUR-LANE CROSS SECTION. ACCESS TO MCCASLIN BOULEVARD WILL BE FROM A FULL TURN AT THE SOUTHWEST CORNER OF THE SITE. ACCESS TO COALTON ROAD WILL BE LIMITED TO A 3/4 MOVEMENT. THE INTERSECTION OF MCCASLIN BOULEVARD AND COALTON ROAD IS SIGNALIZED, AND THE MCCASLIN BOULEVARD ACCESS WILL BE SIGNALIZED WHEN WARRANTED. VEHICULAR ACCESS TO THE DEVELOPMENT WILL ALSO BE PROVIDED FROM A FULL MOVEMENT AT INDIANA STREET. THE INTERIOR ROADWAY NETWORK HAS BEEN DESIGNED TO ALLOW EASE OF ACCESS TO MCCASLIN BOULEVARD AND S. COALTON ROAD. CALMANTE AVENUE, WHICH BISECTS THE PROPERTY, AND THE 3/4 MOVEMENT AT COALTON ROAD WILL BE CONSTRUCTED WITH THIS DEVELOPMENT. ALL OF CALMANTE AVENUE WILL BE BUILT WITH THIS DEVELOPMENT.

INDIVIDUAL UNITS WILL BE SERVED BY A PRIVATE ROAD SYSTEM.

### PEDESTRIAN CIRCULATION

PEDESTRIAN WALKWAYS AND BIKE TRAILS THROUGHOUT THE DEVELOPMENT WILL PROVIDE ACCESS BETWEEN THE RESIDENTIAL PARCELS AS WELL AS THE ROCK CREEK OPEN SPACE IN THE NORTHWEST CORNER OF THE SITE. A BICYCLE TRAIL FROM EAST TO WEST THROUGH THE RESIDENTIAL PARCEL CONNECTS TO THE SUBREGIONAL TRAIL SYSTEM. A CRUSHER FINE MAINTENANCE TRAIL ADJACENT TO THE DRAINAGEWAY RB-4 WILL BE PARTIALLY PAVED AND AVAILABLE FOR BICYCLE AND PEDESTRIAN USE.

## B. SUMMARY

TOTAL NUMBER OF RESIDENTIAL UNITS: 75

ESTIMATED NUMBER OF GALLONS OF POTABLE WATER PER DAY REQUIRED: 20,250 GALLONS

ESTIMATED NUMBER OF GALLONS OF SANITARY SEWER TO BE TREATED: 20,250 GALLONS

INFISSION WATER DEMAND WILL BE PROVIDED BY A REPAIRABLE SYSTEM.

ESTIMATED COST OF PUBLIC INFRASTRUCTURE: \$2,000,000

THE OWNER/DEVELOPER HAS INCLUDED THE PROPERTY IN SUPERIOR METROPOLITAN DISTRICT #3 AND WILL PROVIDE A LETTER OF CREDIT OR OTHER FORM OF GUARANTEE AS REQUIRED BY THE SUPERIOR METROPOLITAN DISTRICT No. 3 AT THE TIME OF ISSUANCE OF PERMIT.

**PROJECT PURPOSE AND RATIONALE:** TO PROVIDE A UNIQUE RESIDENTIAL OPPORTUNITY FOR THE RESIDENTS OF BOULDER COUNTY.

**PHASING:** PHASING OF IMPROVEMENTS SHALL BE PERMITTED SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBDIVISION IMPROVEMENT AGREEMENT AND THIS FINAL DEVELOPMENT PLAN. THE TRAILS SHALL BE CONSTRUCTED TO THE STANDARDS OF THE TOWN, AND COMPLETED PRIOR TO ISSUING CERTIFICATES OF OCCUPANCY FOR MORE THAN FIFTY PERCENT (50%) OF THE RESIDENTIAL BUILDINGS ON THE PROPERTY.

PHASE 1: MCCASLIN BOULEVARD IMPROVEMENTS, COALTON ROAD IMPROVEMENTS, CALMANTE AVENUE, ROCK CREEK DRAINAGE AND THE ROCK CREEK MAINTENANCE TRAIL, TRIBUTARY RB-4 AND THE TRIBUTARY RB-4 MAINTENANCE TRAIL, (INCLUDING THE LOW WATER CROSSING CONNECTING THE EAST AND WEST SIDES OF TRIBUTARY RB-4)  
LOTS 1-15, BLOCK 5, ALL PUBLIC UTILITIES AND OTHER NECESSARY IMPROVEMENTS.

PHASE 2: LOTS 1-10, BLOCK 3, LOTS 1-25, BLOCK 4, AMENITY AREA ON THE WEST SIDE OF RB-4, THE TRAIL CONNECTING CALMANTE AVE. TO THE RB-4 TRAIL OTHER NECESSARY IMPROVEMENTS.

PHASE 3: LOTS 1-15, BLOCK 6, THE CONNECTION TO INDIANA STREET, AND OTHER NECESSARY IMPROVEMENTS.

PHASE 4: LOTS 1-10, BLOCK 7, THE TRAIL CONNECTING THE EAST SIDE OF RB-4 TO LOW WATER CROSSING, THE AMENITY AREA EAST OF RB-4, AND OTHER NECESSARY IMPROVEMENTS.

**SNOW REMOVAL:** THE HOA WILL PROVIDE SNOW REMOVAL USING PRIVATE SUBCONTRACT SERVICES FOR PRIVATE ROADS.

### MAINTENANCE OF COMMONLY OWNED PRIVATE FACILITIES:

A HOMEOWNER MANAGEMENT COMPANY, OR OTHER PRIVATE ENTITY WILL PROVIDE MAINTENANCE OF THE DEVELOPMENT, INCLUDING PRIVATE ROADS, PAVED AREAS, LANDSCAPED AREAS, STREET LIGHTS, AND OTHER PRIVATE UTILITIES. THE TOWN OF SUPERIOR WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ANY PRIVATE ROADS IN THIS DEVELOPMENT.

## C. ARCHITECTURAL THEME/ DESIGN GUIDELINES

THEME: THE PROPOSED ARCHITECTURAL THEME FOR THE CALMANTE RESIDENTIAL IS BEST DESCRIBED AS A "COLORADO MOUNTAIN PARKS STYLE" WITH TRADITIONAL CRAFTSMAN DETAILING. THE "CRAFTSMAN" DETAILS OF GABLE BRACES, LADDER FRIEZES, ATTIC WINDOWS AND TRELLISES WILL BE INCORPORATED TO ESTABLISH THE DETAIL THEME OF THE ARCHITECTURE AND TO ENSURE THEMATIC CONSISTENCY BETWEEN THE RESIDENTIAL AND COMMERCIAL USES.

### RESIDENTIAL: MULTI-FAMILY

#### 1. BUILDING MASS:

A. MULTI-FAMILY BUILDINGS ARE DESIGNED WITH MULTIPLE PLANE FACADES THAT CREATE VISUALLY INTERESTING ELEMENTS AND AVOID CONCENTRATIONS OF REPETITIVE BUILDING TYPES AND MONOTONOUS BOX LIKE STRUCTURES.

B. MINOR VARIATIONS OF BUILDING HEIGHTS AND ROOF RIDGE LINES WILL ADD VISUAL INTEREST TO THE BUILDING MASS AND HELP REDUCE THE OVERALL VISUAL IMPACT. THIS VARIATION AND STEPPING DOWN THE ENDS OF BUILDINGS MAY ALSO BE ACHIEVED BY PROVIDING ONE LESS FLOOR. BUILDINGS THAT STEP DOWN A SLOPE GIVE THE APPEARANCE THAT THE STRUCTURE GROWS OUT OF THE SITE BY ENCLOSED HIGH UNUSABLE AREAS UNDER BUILDINGS.

#### 2. EXTERIOR DESIGN ELEMENTS

EXTERIOR BUILDING DETAILS, SUCH AS BUILDING ENTRIES, STARWAYS, ALL UPPER DECKS AND BALCONIES, CUTTERS AND DOWNSPOUTS WILL BE INTEGRATED INTO THE ARCHITECTURAL DESIGN TO UNIFY THE OVERALL BUILDING FORM. STRUCTURES USED FOR RECREATION PURPOSES SHALL ALSO CONSIST OF SIMILAR FORM, TEXTURE, COLOR AND MATERIALS AS SURROUNDING STRUCTURES TO PROVIDE UNITY THROUGHOUT THE DEVELOPMENT. BUILDING DETAILS WHERE FEASIBLE SHOULD BE REPEATED ON ALL SIDES OF THE BUILDING AND SHOULD APPEAR REAL AND FUNCTIONAL.

#### 3. EXTERIOR MATERIALS AND COLORS:

A. MATERIAL SELECTION IS AN IMPORTANT ASPECT IN DEVELOPING A CREATIVE ARCHITECTURAL CHARACTER AND DEFINING A STRONG SENSE OF PLACE AND PERSONAL IDENTITY. THE MATERIAL PALETTE SHALL CONSIST OF A BALANCE OF STONE AND STUCCO, AND ACCENT MATERIALS SUCH AS WOOD TRIM AND IRON DETAILING.

B. EXTERIOR MATERIALS SHALL ACCENTUATE AND COMPLEMENT THE HEIGHT AND MASS OF A STRUCTURE. A MATERIALS BOARD HAS BEEN MADE PART OF THIS FINAL DEVELOPMENT PLAN APPROVAL.

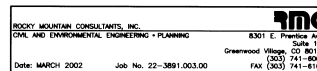
#### 4. ROOF TREATMENT

A. ROOF MATERIALS ARE THREE TAB DIMENSIONAL ASPHALT SHINGLES.

B. ROOF FORMS UTILIZE THE GABLE CONFIGURATION WITH COMPLEMENTING SHEDS AND DORMERS. ROOF SLOPES ARE 6 FEET IN 12 FEET.

### LIGHTING

STREET LIGHTING FIXTURES SHALL BE SIMILAR AS SHOWN ON SHEET C11 OR APPROVED EQUAL. COLOR SHALL BE BLACK AND SHALL NOT EXCEED CITY OF SUPERIOR STANDARDS FOR HEIGHT. NO MORE THAN 0.1 FOOT CANDLE AT ANY EXTERNAL BOUNDARY PROPERTY LINE. PARKING LOT LIGHT FIXTURES SHALL BE THE SAME AS SHOWN ON SHEET C11 OR AN APPROVED EQUAL. COLOR SHALL BE BLACK AND SHALL NOT EXCEED CITY OF SUPERIOR STANDARDS FOR HEIGHT. NO MORE THAN 2.0 AVERAGE FOOT CANDLE. (SEE SHEET C11 FOR IMAGES).



| NO. | REVISIONS         | DATE     | BY  |
|-----|-------------------|----------|-----|
| 1   | PER TOWN COMMENTS | 5/24/02  | JEH |
| 2   | PER TOWN COMMENTS | 7/10/02  | JEH |
| 3   | PER TOWN COMMENTS | 8/23/02  | JEH |
| 4   | PER TOWN COMMENTS | 10/4/02  | PHB |
| 5   | PER TOWN COMMENTS | 11/18/02 | PHB |
| 6   | FINAL WYLAIR      | 12/2/02  | PHB |

PROJECT GUIDELINES AND NARRATIVE  
FINAL DEVELOPMENT PLAN  
SHEET C10 OF 12  
Page 10 of 25

# CALMANTE PLANNED DEVELOPMENT

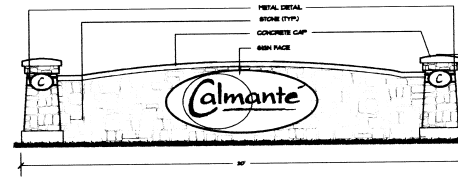
A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
DESIGN GUIDELINES / DETAILS

## FINAL DEVELOPMENT PLAN

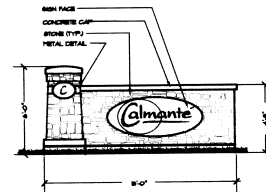
SHEET C11 OF 12

### DESIGN GUIDELINES

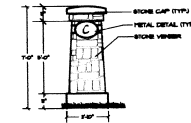
1. **300 FOOT MINIMUM BUFFER ADJACENT TO SINGLE FAMILY RESIDENCE**  
THE 300 FOOT BUFFER SHALL BE SEEDED AS SHOWN ON PLAN. SHEET L1 OF 10 AND L2 OF 10.
2. **STANDARD STREETScape FEATURES**  
STREET TREES SHALL BE CENTERED WITHIN A TREE LANE AND SPACED 40' ON CENTERS WHENEVER POSSIBLE, OR THE EQUIVALENT OF 40' ON CENTER IF A GROVE EFFECT IS DESIRED. SPECIES TO CONSIST OF LARGE DECIDUOUS SPECIES MEETING MINIMUM SIZE REQUIREMENTS. PLANT A MIXTURE OF SHRUBS, ORNAMENTAL TREES, FLOWERS, AND/OR GROUND COVER AROUND SIGN BASES, AND AT CURB RETURNS NEAR SITE ENTRANCES. SUCH PLANTINGS SHALL BE PLANTED IN PLANT BEDS CONSISTING OF EDGING AND MULCH. PROVIDE A DISTINCTIVE LANDSCAPE AREA AT THE INTERSECTION OF BUFFER STRIPS FRONTING ON PUBLIC AND PRIVATE STREETS. LANDSCAPING IN THESE AREAS SHALL CONSIST OF PLANT SPECIES HAVING A HIGH DEGREE OF VISUAL INTEREST DURING ALL SEASONS. STREET AREAS NOT PLANTED WITH SHRUBS, FLOWERS AND GROUND COVER SHALL BE SOODED OR SEEDS AS REQUIRED.
3. **LANDSCAPE BERMS**  
WHERE LANDSCAPE BERMS ARE PROVIDED, THEIR SLOPES SHALL NOT EXCEED A RATIO OF ONE FOOT OF RISE FOR EVERY THREE FEET OF RUN (3:1). LANDSCAPING SHALL BE INTEGRATED TO CREATE A NATURAL CHARACTER TO THE BERM.
4. **MULTI-FAMILY LANDSCAPING**  
THE PERIMETER SURROUNDING EACH BUILDING (INCLUDE GARAGES AND CLUBHOUSES) SHALL BE LANDSCAPED WITH SHRUBS. SHRUBS WILL BE PLANTED IN A TRIANGULAR PATTERN. TREES OR TALL CROOKING SHRUB SPECIES WILL BE LOCATED WITHIN SHRUB BEDS TO SCREEN BLANK WALLS, ACCENT ENTRIES AND SOFTEN BUILDING EDGES. ALL DEVELOPMENT WILL BE LANDSCAPED WITH A NUMBER OF DECIDUOUS AND EVERGREEN TREES EQUAL TO 1 TREE PER 80 SQ. FT. & 1 TREE PER 30 SQ. FT. OF LANDSCAPED AREA. CALCULATIONS BASED ON 75 PERCENT OF LANDSCAPED AREA. TO THE EXTENT POSSIBLE, THE PLANT MATERIAL FROM THE TOWN OF SUPERIOR SUGGESTED PLANT LIST IS INCORPORATED INTO THE LANDSCAPE PLAN. SEE PLANT SCHEDULE, SHEET L4 OF 10.
5. **IRRIGATION**  
AN AUTOMATIC IRRIGATION SYSTEM IS REQUIRED AND SHALL BE INSTALLED FOR ALL DEVELOPMENTS, INCLUDING ALL SOA AREAS, SHRUB BED AREAS, PARKING ISLANDS, STREET RIGHTS-OF-WAY.  
TWO SEPARATE IRRIGATION SYSTEMS WILL BE DEVELOPED TO SEPARATE ROCK CREEK HOMES PRIVATE IRRIGATION MAINTENANCE AND SMD #1 AND SMD #2 (PUBLIC IRRIGATION MAINTENANCE).  
ROCK CREEK HOMES IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE IRRIGATION BETWEEN TRACTS & COALTON ROAD, CALMANTE AVENUE, INDIANA STREET & McCABIN BLVD. R.O.W.S.
6. **NON-LIVING MATERIALS**  
NOT GREATER THAN FIFTY (50%) PERCENT OF THE REQUIRED OPEN SPACE SHALL BE COVERED WITH ROCK OR OTHER APPROVED NON-LIVING MATERIALS. IN ADDITION, A MINIMUM OF FIFTY (50) PERCENT OF THE SURFACE OF THESE AREAS IS REQUIRED TO BE COVERED BY LIVING PLANT MATERIALS. GROUND COVER, PERENNIALS, SHRUBS, DECIDUOUS TREES AND EVERGREEN TREES SHALL BE UTILIZED FOR THIS CALCULATION. AT MATURITY, SEVENTY-FIVE (75) PERCENT OF THE REQUIRED OPEN SPACE SHALL BE COVERED BY LIVING PLANT MATERIAL.
7. **COURTYARD FENCES**  
MASONRY WALLS 4-5 FEET IN HEIGHT, FACED WITH INTERNALLY COLORED STUCCO OR STONE TO MATCH OR BLEND WITH THE MATERIALS USED ON OTHER SITE BUILDINGS.
8. **DETENTION, RETENTION AND WATER QUALITY PONDS**  
DETENTION, RETENTION AND WATER QUALITY PONDS SHALL BE INTEGRATED PHYSICALLY, FUNCTIONALLY AND AESTHETICALLY INTO THE TOTAL LANDSCAPE DESIGN. POND GRADING SHOULD BE SEASONED TO ACCOMMODATE ACCESS FOR MAINTENANCE. UNCOVERED OR BUMP SLOPES EXCEPT WHEN NECESSARY FOR EROSION CONTROL ARE DISCOURAGED. GENERALLY, VEGATED SLOPES SHALL NOT EXCEED 3:1 AND ALL POND TURE AREAS SHALL BE PROPERLY DRAINED. STANDING WATER, EXCEPT IN VEGATED WETLAND AREAS, IS DISCOURAGED OTHER THAN IN RECIRCULATING WATER FEATURES. WATER QUALITY IMPROVEMENT AREAS WITHIN THE BOTTOM OF THE POND SHALL BE PLANTED WITH VEGETATION THAT IS CONSISTENT WITH THE PRESENCE OF SATURATED SOILS, SUCH AS CATTAILS OR OTHER APPROPRIATE VEGETATION. ANY MOWED SLOPE THAT IS WITHIN THE PUBLIC RIGHT-OF-WAY OR PROPOSED AS PART OF A PUBLIC MAINTAINED FACILITY SHALL BE NO STEEPER THAN 3:1.
9. **RETAINING WALLS**  
WHERE RETAINING WALLS ARE REQUIRED TO MEET VOLUME REQUIREMENTS AND/OR TO RETAIN GRADE, RETAINING WALLS OR HEAD WALLS VISIBLE TO THE PUBLIC VIEW SHALL BE DESIGNED TO INCORPORATE ARCHITECTURAL MATERIALS COMPLEMENTARY TO THE BUILDING AND ARCHITECTURAL DESIGN AND SHALL BE CONSTRUCTED OF NATIVE OR NATURAL MATERIALS WITH A MINIMAL AMOUNT OF COULTING AND MAXIMIZING THE USE OF NATURAL STONE OR BouldERS IN THE DESIGN. ALL RETAINING WALLS OVER 3 FEET IN HEIGHT AS REQUIRED BY LAW, SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER.
10. **PHASING**  
ALL DEVELOPMENT PHASES WITHIN THE SITE SHALL BE SEEDS TO PREVENT WIND AND WATER EROSION FOR THE TIME THE SITE REMAINS WITHOUT DEVELOPMENT. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH AN EROSION CONTROL PLAN.
11. **LIGHTING**  
STREET LIGHTING FIXTURES SHALL BE SIMILAR AS SHOWN ON SHEET C12 OF 12 OR APPROVED EQUAL. COLOR SHALL BE BLACK AND SHALL NOT EXCEED CITY OF SUPERIOR FOR HEIGHT. NO MORE THAN 0.1 FOOT CANDLE AT ANY EXTERNAL BOUNDARY PROPERTY LINE IMMEDIATELY ADJACENT TO SINGLE FAMILY DETACHED. NO MORE THAN 2.0 FOOT AVERAGE CANDLE.
12. **SIGNAGE**  
MONUMENT SIGNAGE SHALL NOT EXCEED 90 SQUARE FEET OF SURFACE AREA PER SIGN FACE/HEIGHT SHALL NOT EXCEED 8 FEET. MONUMENT SIGNAGE SHALL BE LANDSCAPED WITH SHRUBS AND GROUND COVER. MONUMENT MATERIAL AND COLORS SHALL BE RELATED TO THE ARCHITECTURE OF THE RESIDENTIAL AND COMMERCIAL BUILDINGS THROUGH THE USE OF STONE AND EARTH TONE COLORS. SEE SHEET C-2, C-3, L-1 AND L-2 FOR LOCATIONS.  
LIGHTING FOR ALL TYPES OF MONUMENTS MAY BE ILLUMINATED BY CONCEALED FLOODLIGHTS FROM GROUND LEVEL OR BACKLIGHT.  
A LOWER LEVEL OF MONUMENT SIGNAGE MAY BE SUBSTITUTED FOR A HIGHER LEVEL AT ANY LOCATION.



1 PRIMARY PROJECT SIGNAGE  
SCALE: 1/4" = 1'-0"



2 SECONDARY PROJECT SIGNAGE  
SCALE: 1/4" = 1'-0"



3 COLUMN PROJECT SIGNAGE  
SCALE: 1/4" = 1'-0"

| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 05.31.02 | ALW |
| 3   | revision      | 06.14.02 | ALW |
| 4   | revision      | 07.10.02 | ALW |
| 6   | revision      | 10.04.02 | ALW |

DESIGN GUIDELINES / DETAILS  
FDP ZONE PLAN  
SHEET C11OF 12  
Page 11 of 27



1120 CHERRY STREET  
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# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31  
T1S R69W OF THE 6 P.M.  
TOWN OF SUPERIOR STATE OF COLORADO  
SITE FURNITURE / DETAILS

## FINAL DEVELOPMENT PLAN SHEET C12 OF 12



\* 5 GAME BOARD TABLE  
TIMBERFORM GAMEBOARD, MODEL #2943-3636;  
CHAIRS- 2941-20 OR APPROVED EQUAL, COLOR:  
EVERGREEN



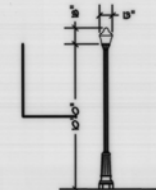
\* 6 METAL BENCH  
TIMBERFORM RESTORATION OR APPROVED EQUAL  
METAL FRAME COLOR: EVERGREEN



\* 7 PICNIC TABLE  
TIMBER FORM "GREENWAY", OR APPROVED EQUAL  
BASE COLOR: EVERGREEN



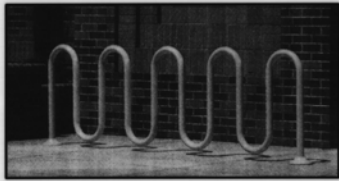
11 PUBLIC SERVICE LIGHT  
Scale: 1/4" = 1'-0"



12 PEDESTRIAN LIGHT  
Scale: 1/4" = 1'-0"



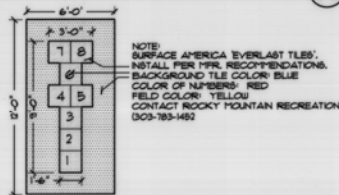
13 WALL MOUNTED COMPACT  
Scale: NTS



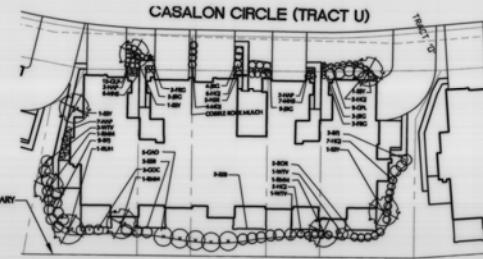
\* 8 BICYCLE RACK  
TIMBERFORM ORIGINAL CYCLOOPS 2170-5 OR  
APPROVED EQUAL, COLOR: EVERGREEN



\* 9 TRASH RECEPTACLE  
TIMBERFORM 2811-FT OR APPROVED EQUAL  
COLOR: EVERGREEN

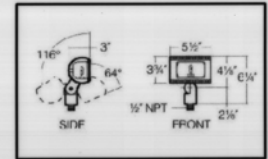


\* 10 HOPSCOTCH PLAY SURFACE  
Scale: 1/4" = 1'-0"

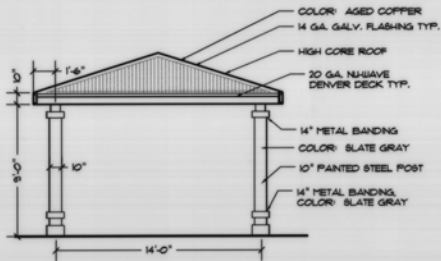


TYPICAL BOUNDARY  
AREA OF  
LANDSCAPE  
PLANTING

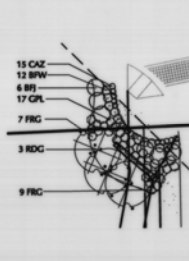
15 BUILDING TYPICAL LANDSCAPE FOUNDATION PLANTING  
Scale: 1" = 30'



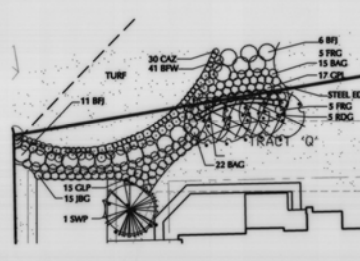
14 UPLIGHT FOR MONUMENT  
SIGNAGE  
Scale: NTS



\* 16 SHADE STRUCTURE  
Scale: 1/4" = 1'-0"  
SKYLARK SHELTER SYSTEMS, RENAISSANCE SHELTER



\* 17 SECONDARY MONUMENT PLANTING  
TYPICAL  
Scale: NTS



\* 18 PRIMARY MONUMENT PLANTING TYPICAL  
Scale: NTS

\* NOTE: DETAILS WITH ASTERISK TO BE MAINTAINED BY  
SMD3. HOA HAS THE RIGHT BUT NOT THE OBLIGATION  
TO PROVIDE ADDITIONAL MAINTENANCE.

| BUILDING TYPICAL PLANT SCHEDULE |      |                               | RB-4 PLANT SCHEDULE |      |                       |
|---------------------------------|------|-------------------------------|---------------------|------|-----------------------|
| QTY.                            | SYM. | COMMON NAME                   | QTY.                | SYM. | COMMON NAME           |
| <b>ORNAMENTAL TREES</b>         |      |                               |                     |      |                       |
| 2                               | RHM  | ROCKY MOUNTAIN MAPLE          | 12                  | CAC  | AM. COMPACT CRANBERRY |
| 1                               | RLH  | RUSSIAN HAWTHORNE             | 8                   | PLC  | PLAINS COTTONWOOD     |
| 4                               | SSY  | SHADBLow SERVICEBERRY         | 21                  | RTD  | RED TWIG DOGWOOD      |
| 7                               |      | TOTAL TREE COUNT PER BUILDING | 2                   | WTV  | WAYFARING TREE        |
| 103                             |      | TOTAL TREES / 15 BUILDINGS    | 55                  |      | TOTAL SHRUBS          |

| DECIDUOUS SHRUBS           |     |   |
|----------------------------|-----|---|
| 3                          | BCR | BOULDER CRANBERRY                           |
| 3                          | CAO | CAMBLE OAK                                  |
| 3                          | COO | GOLDEN CURRIANT                             |
| 34                         | GPL | GREAT PLAINS LEADPLANT                      |
| 11                         | NAP | NATIVE POTENTILLA                           |
| 5                          | NR  | WILD ROSE                                   |
| 8                          | SBB | SASKATOON SERVICEBERRY                      |
| 4                          | WTV | WAYFARING TREE                              |
| <b>EVERGREEN SHRUBS</b>    |     |   |
| 12                         | BJF | BUFFALO JUNIPER                             |
| 23                         | HGJ | HUGHES JUNIPER                              |
| 4                          | MDJ | MEDICINA JUNIPER                            |
| 104                        |     | TOTAL SHRUB COUNT PER BUILDING              |
| <b>PERENNIAL SCRUBSSES</b> |     |   |
| 23                         | FRG | ORNAMENTAL GRASSES                          |
| 13                         | MNS | MEDNIGHT SALVA                              |
| 36                         |     | TOTAL PERENNIALGRASS COUNT PER BUILDING     |
| 140                        |     | TOTAL SHRUBS/PERENNIALGRASS                 |
| 2,100                      |     | TOTAL SHRUBS/PERENNIALGRASS (15 BUILDINGS)  |
| 1,206                      |     | AMENITY, TRAIL LANDSCAPE AREAS              |
| 3,606                      |     | TOTAL AMENITY AREA & COMMON LANDSCAPE AREAS |

### LANDSCAPE GUIDELINES - TOWN OF SUPERIOR

| Various Areas of Landscaping                                | Design Guideline Requirement             | Units                        | Total Units                   | Quantity Provided |
|---|--|------------------------------|-------------------------------|-------------------|
| Street R.O.W. Caliente Avenue / or Crowe Street (East Side) | 1 Tree / 40 L.F.                         | L.F.                         | 1,523                         | 38                |
| Private Drives  | 1 Tree / 40 L.F.                         | L.F.                         | 4,176                         | 104               |
| Open Space Landscaping Area                                 | 1 Tree / 825 Sq. Ft.                     | S.F.                         | 103,237                       | 125               |
| 75% of Landscaped Area                                      | 1 Shrub / 30 Sq. Ft. of Landscaping Area | S.F.                         | 103,237                       | 3,441             |
| Required Shrub Shall Be:                                    | Min. Cal. of Deciduous Trees             | Min. 1/2 of Coniferous Trees | Deciduous & Coniferous Shrubs |                   |
| 10% Large   | 3" Caliper                               | Greater than 8"              | 5 Cal.                        |                   |
| 70% Medium  | 2 1/4" or 2 3/4" Caliper                 | 8" to 8"                     | 5 Cal.                        |                   |
| 20% Small   | 1 1/2" to 2" Caliper                     | 4" to 6"                     | 5 Cal.                        |                   |

| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FOR SUBMITTAL | 03.18.02 | ALW |
| 2   | FOR SUBMITTAL | 05.31.02 | ALW |
| 3   | revision      | 06.14.02 | ALW |
| 4   | revision      | 07.10.02 | ALW |
| 5   | revision      | 08.06.02 | ALW |
| 6   | revision      | 09.26.02 | SS  |



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SITE FURNITURE /  
DETAILS  
FDP ZONE PLAN  
SHEET C12 OF 12  
Replacement May 12, 2005

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO

## SITE FURNITURE / DETAILS FINAL DEVELOPMENT PLAN SHEET C12 OF 12



**\* 5 GAME BOARD TABLE**  
TIMBERFORM GAMEBOARD, MODEL #2943-3636;  
CHAIRS- 2941-20 OR APPROVED EQUAL, COLOR:  
EVERGREEN



**\* 6 METAL BENCH**  
TIMBERFORM RESTORATION OR APPROVED EQUAL  
METAL FRAME COLOR: EVERGREEN



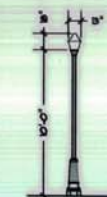
**\* 7 PICNIC TABLE**  
TIMBER FORM "GREENWAY", OR APPROVED EQUAL  
BASE COLOR: EVERGREEN



**11 PUBLIC SERVICE LIGHT**  
A' Scale: 1/4" = 1'-0"



**12 PUBLIC SERVICE LIGHT**  
C' Scale: 1/4" = 1'-0"



**13 PEDESTRIAN LIGHT**  
D' Scale: 1/4" = 1'-0"



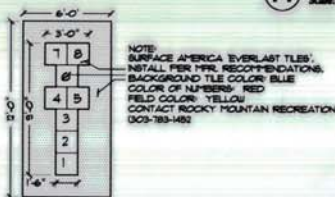
**14 WALL MOUNTED COMPACT**  
B' Scale: NTS



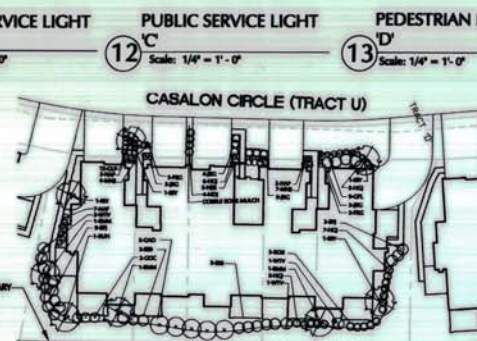
**\* 8 BICYCLE RACK**  
TIMBERFORM ORIGINAL CYCLOOPS 2170-S OR  
APPROVED EQUAL, COLOR: EVERGREEN



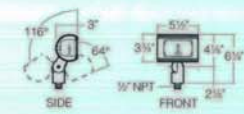
**\* 9 TRASH RECEPTACLE**  
TIMBERFORM 2811-FT OR APPROVED EQUAL  
COLOR: EVERGREEN



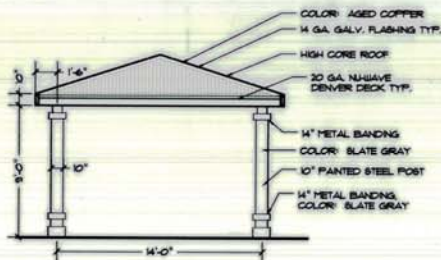
**\* 10 HOPSCOTCH PLAY SURFACE**  
Scale: 1/4" = 1'-0"



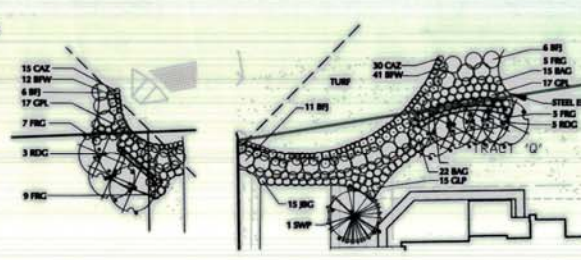
TYPICAL BOUNDARY  
AREA OF  
LANDSCAPE  
PLANTING



**15 UPLIGHT FOR MONUMENT**  
SIGNAGE  
Scale: NTS



**\* 17 SHADE STRUCTURE**  
Scale: 1/4" = 1'-0"  
SKYLARK SHELTER SYSTEMS, RENAISSANCE SHELTER



**\* 18 SECONDARY MONUMENT**  
PLANTING  
TYPICAL  
Scale: NTS

**\* 19 PRIMARY MONUMENT**  
PLANTING TYPICAL  
Scale: NTS

### 16 BUILDING TYPICAL LANDSCAPE FOUNDATION PLANTING PLANT DENSITY CHART

| BUILDING TYPICAL PLANT SCHEDULE |       |                               |                               | RB-4 PLANT SCHEDULE |       |                       |                                    |
|---------------------------------|-------|-------------------------------|-------------------------------|---------------------|-------|-----------------------|------------------------------------|
| QTY.                            | SYMB. | COMMON NAME                   | SCIENTIFIC NAME               | QTY.                | SYMB. | COMMON NAME           | SCIENTIFIC NAME                    |
| <b>ORNAMENTAL TREES</b>         |       |                               |                               |                     |       |                       |                                    |
| 2                               | RMM   | ROCKY MOUNTAIN MAPLE          | <i>Acer glabrum</i>           | 13                  | CAC   | AAA COMPACT CRANBERRY | <i>Viburnum trilobum 'Compact'</i> |
| 4                               | RLH   | RUBIAN HAWTHORNE              | <i>Crataegus arbutifolia</i>  | 13                  | GAO   | GAMBLE OAK            | <i>Quercus gambelii</i>            |
| 4                               | SBY   | SHYBLOW SERVICEBERRY          | <i>Amelanchier canadensis</i> | 8                   | PLC   | PLAINS COTTONWOOD     | <i>Populus deltoides</i>           |
| 7                               |       | TOTAL TREE COUNT PER BUILDING |                               | 21                  | RFD   | RED TWIG DOGWOOD      | <i>Cornus stolonifera</i>          |
| 2                               | WTY   | WATERSHED TREE                | <i>Viburnum lentago</i>       | 2                   | WTY   | WATERSHED TREE        | <i>Viburnum lentago</i>            |
| 108                             |       | TOTAL TREE COUNT PER BUILDING |                               | 55                  |       | TOTAL SHRUBS          |                                    |

| DECIDUOUS SHRUBS   |       |  |
|--------------------|-------|--|
| 5                  | BCR   | BOULDER BARRBERY<br><i>Rubus Delicatiss</i>              |
| 5                  | GAC   | GAMBLE OAK<br><i>Quercus gambelii</i>                    |
| 3                  | GOC   | GOLDEN CURRIANT<br><i>Ribes aureum</i>                   |
| 24                 | CPL   | GREAT PLAINS LEADPLANT<br><i>Astragalus canadensis</i>   |
| 11                 | NAP   | NATIVE POTENTILLA<br><i>Potentilla fruticosa</i>         |
| 5                  | NRB   | WILD ROSE<br><i>Rosa woodii</i>                          |
| 8                  | SBY   | SHYBLOW SERVICEBERRY<br><i>Amelanchier canadensis</i>    |
| 4                  | WTY   | WATERSHED TREE<br><i>Viburnum lentago</i>                |
| EVERGREEN SHRUBS   |       |  |
| 12                 | B1J   | BURFORD JUNIPER<br><i>Juniperus sibirica 'bulgar'</i>    |
| 23                 | H2J   | HOLDSR JUNIPER<br><i>Juniperus horizontalis 'bulgar'</i> |
| 4                  | MEI   | MEDICINA PLANTER<br><i>Juniperus scopulorum 'Medusa'</i> |
| 104                |       | TOTAL SHRUB COUNT PER BUILDING                           |
| PERENNIALS/CRASSES |       |  |
| 23                 | FRCIG | ORNAMENTAL GRASSES<br><i>Colymbotis x scutellida</i>     |
| 13                 | MNS   | MIDNIGHT SALVIA<br><i>Leptanotis scutellida 'red'</i>    |
| 36                 |       | TOTAL PERENNIALS/CRASS COUNT PER BUILDING                |
| 140                |       | TOTAL SHRUBS/PERENNIALS/CRASS                            |
| 3,100              |       | TOTAL SHRUBS/PERENNIALS/CRASS (15 BUILDINGS)             |
| 1,600              |       | AMENITY TRAIL LANDSCAPE AREAS                            |
| 2,600              |       | TOTAL AMENITY AREA & COMMON LANDSCAPE AREAS              |

| LANDSCAPE GUIDELINES - TOWN OF SUPERIOR                      |  |                              |                              |                   |                   |
|--|--|------------------------------|------------------------------|-------------------|-------------------|
| Various Areas of Landscaping                                 | Design Callouts Requirement              | Unit                         | Total Units                  | Quantity Required | Quantity Provided |
| Street E.D.W. Coleridge Avenue (East Side)                   | 1 Tree / 40 L.F. or 1 Tree / 200 L.F.    | L.F.                         | 1,525                        | 38                | 40                |
| Private Drives   | 1 Tree / 40 L.F.                         | L.F.                         | 4,176                        | 104               | 104               |
| Open Space Landscaping Area 3.16 AC. 75% of Landscaping Area | 1 Tree / 825 Sq. Ft. of Landscaping Area | S.F.                         | 103,237                      | 125               | 125               |
| Required Area  | Min. 16' of Deciduous Trees              | Min. 16' of Coniferous Trees | Deciduous & Coniferous Shade |                   |                   |
| 100' Large   | 2' Caliper                               | Greater than 2'              | 3 Cal.                       |                   |                   |
| 700' Medium  | 2 1/4" or 2 3/4" Caliper                 | 4" to 6"                     | 3 Cal.                       |                   |                   |
| 200' Small   | 1 1/2" to 2" Caliper                     | 4" to 6"                     | 2 Cal.                       |                   |                   |

| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.00 | ALM |
| 2   | FDP SUBMITTAL | 05.31.00 | ALM |
| 3   | revision      | 06.14.00 | ALM |
| 4   | revision      | 07.10.00 | ALM |
| 5   | revision      | 08.06.00 | ALM |



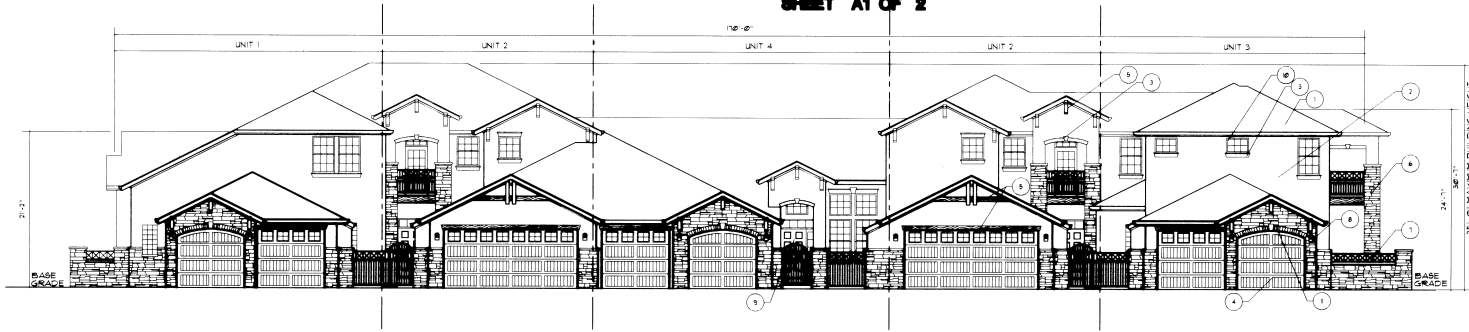
\* NOTE: DETAILS WITH ASTERISK TO BE MAINTAINED BY SMD3. HOA HAS THE RIGHT BUT NOT THE OBLIGATION TO PROVIDE ADDITIONAL MAINTENANCE.

SITE FURNITURE/  
DETAILS  
FDP ZONE PLAN  
SHEET C12 OF 12

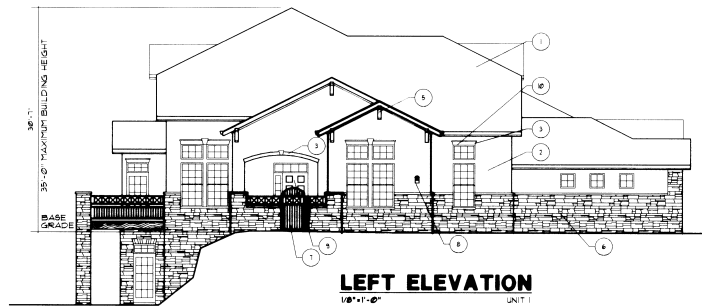
# CALMANTE

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T19S, R69W OF THE 6th P.M.,  
COUNTY OF BOULDER, STATE OF COLORADO  
6-FLEX ELEVATIONS

## FINAL DEVELOPMENT PLAN SHEET A1 OF 2



**FRONT ELEVATION**  
1/8"=1'-0"



**LEFT ELEVATION**  
1/8"=1'-0"



**RIGHT ELEVATION**  
1/8"=1'-0"



**REAR ELEVATION**  
1/8"=1'-0"

If products as specified become unavailable Rock Creek Homes LLC has the right to substitute products and manufacturers of equal color and quality to match material board provided and Exterior Material and Color Chart.

| Exterior Materials and Colors |   |
|-------------------------------|---|
| NO.                           | SPECIFICATION   |
| 1                             | Dimensional Asphalt Shingles<br>30-year Architectural Grade |
| 2                             | Hardcoat Stucco - Primary                                   |
| 3                             | Hardcoat Stucco - Trim/Accent                               |
| 4                             | Garage Doors  |
| 5                             | Exposed Wood Trim Beams<br>Brackets                         |
| 6                             | Synthetic Stone Veneer                                      |
| 7                             | Wrought Iron Railing/Gate                                   |
| 8                             | Building Lighting   |
| 9                             | Front Door: Patio Door                                      |
| 10                            | Window  |
| 11                            | Synthetic Stone Arch/Keystone                               |

| SPECIFICATION  |  |
|--|--|
| Tan/Mountain Slate Blend or Painted Desert                 |  |
| Painted or Integral color - (Cream or Taupe)               |  |
| Painted or Integral color - (Ivory Gray)                   |  |
| Light Cedar  |  |
| Semi-transparent stain - (Light Cedar)                     |  |
| Ledge stone - Blacked w/ Rubble<br>Mouldin or Rustic Blend |  |
| Painted - Hemlock Green or Black                           |  |
| Craftsman style -<br>Varnish Solid Brass                   |  |
| Semi-transparent stain - (Light Cedar)                     |  |
| Vinyl frames-White or Taupe                                |  |
| Ledge stone -<br>Mouldin or Rustic Blend                   |  |

**Notes:**

**MAXIMUM BUILDING HEIGHT**

BUILDING HEIGHTS IN THE RESIDENTIAL AREAS ARE LIMITED TO 39'-0" EXCLUSIVE OF BALCONIES AND GARDEN LEVELS. HEIGHTS SHALL BE MEASURED FROM THE ESTABLISHED AVERAGE BASE GRADE OF THE STRUCTURE OR ACCESSORY APPLIANCE EXCEPT ACCESSORY APPLIANCES ARE CHIMNEYS, UTILITY VENTILATION PIPES AND LIGHTNING RODS.

**6-FLEX ELEVATIONS  
FINAL DEVELOPMENT PLAN  
SHEET A1 OF 2**

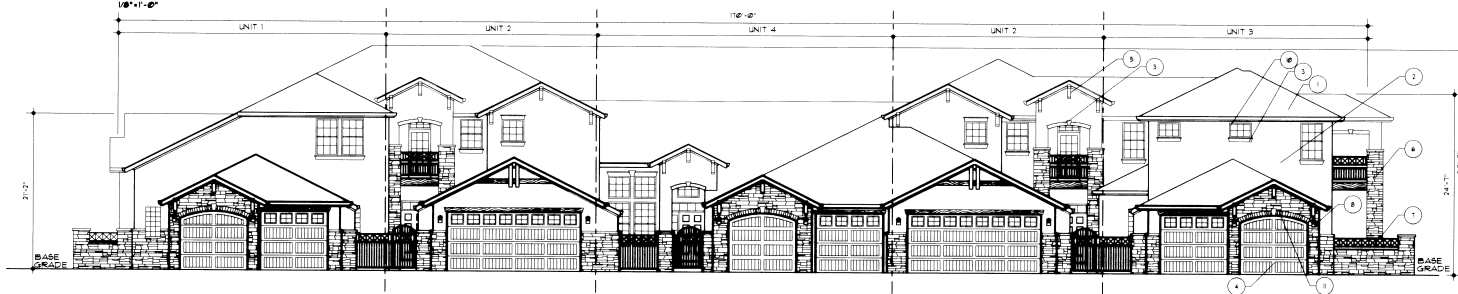
# CALMANTE

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18R, R69W OF THE 6th PAL,  
COUNTY OF BOULDER, STATE OF COLORADO  
6-FLEX ELEVATIONS

## FINAL DEVELOPMENT PLAN SHEET A2 OF 2



**FRONT ELEVATION- POPTOP UNIT '4'**  
1/8"=1'-0"



**FRONT ELEVATION- UNIT '4' REVERSED**  
1/8"=1'-0"

**SITE PLAN NOTE**

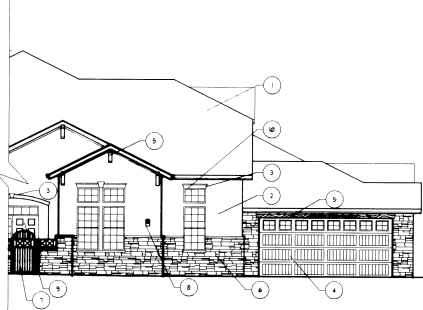
BUILDING ELEVATIONS MAY BE REVERSED PER SITE PLAN.  
VERIFY WITH SITE PLAN BUILDING ORIENTATION.

**Exterior Materials and Colors**

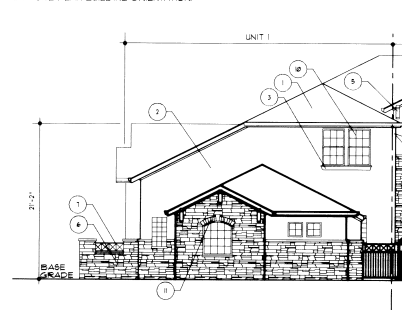
| NO. | MATERIAL  | SPECIFICATION  |
|-----|---|--|
| 1   | Dimensional Asphalt Shingles<br>30-year Architectural Grade | Tango-Mountain Slate Blend<br>or Painted Desert                |
| 2   | Hardcoat Stucco - Primary                                   | Painted or Intrigal color -<br>/Clara or /Taupe                |
| 3   | Hardcoat Stucco - Trim/Accent                               | Painted or Intrigal color -<br>/Lum Grey                       |
| 4   | Garage Doors  | Semi-transparent stain -<br>Light cedar                        |
| 5   | Exposed Wood Trim/Beams,<br>Brackets                        | Semi-transparent stain -<br>Light cedar                        |
| 6   | Synthetic Stone Veneer                                      | Ledge stone - Stacked<br>or Rugged<br>Mountain or Rustic Blend |
| 7   | Wrought Iron Railing/Gate                                   | Painted - Hamlock Green<br>or Black                            |
| 8   | Building Lighting   | Craftsman style -<br>Varnish Solid Brass                       |
| 9   | Front Door/ Patio Door                                      | Semi-transparent stain -<br>Light cedar                        |
| 10  | Windows   | Wing frames/units or Taupe                                     |
| 11  | Synthetic Stone Veneer                                      | Ledge stone -<br>Mountain or Rustic Blend                      |

**MAXIMUM BUILDING HEIGHT**

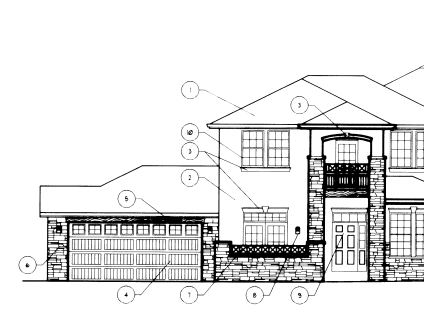
BUILDING HEIGHTS IN THE RESIDENTIAL AREA ARE  
LIMITED TO 35'-0" EXCLUSIVE OF WALKOUTS AND  
GARDEN LEVELS. HEIGHTS SHALL BE MEASURED FROM  
THE ESTABLISHED AVERAGE BASE GRADE OF THE  
STRUCTURE OR ACCESSORY APPURTENANCE. EXCEEDED  
ACCESSORY APPURTENANCES ARE CHIMNEYS, UTILITY  
VENTILATION PIPES AND LIGHTNING RODS.



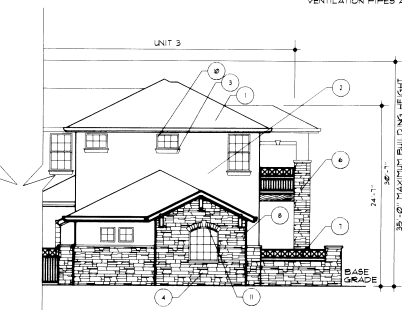
**LEFT ELEVATION- UNIT '1'**  
1/8"=1'-0" SIDE LOAD GARAGE



**FRONT ELEVATION- UNIT '1'**  
1/8"=1'-0" SIDE LOAD GARAGE



**RIGHT ELEVATION- UNIT '3'**  
1/8"=1'-0" SIDE LOAD GARAGE



**FRONT ELEVATION- UNIT '3'**  
1/8"=1'-0" SIDE LOAD GARAGE

**6-FLEX ELEVATIONS  
FINAL DEVELOPMENT PLAN  
SHEET A2 OF 2  
2024.12.25**

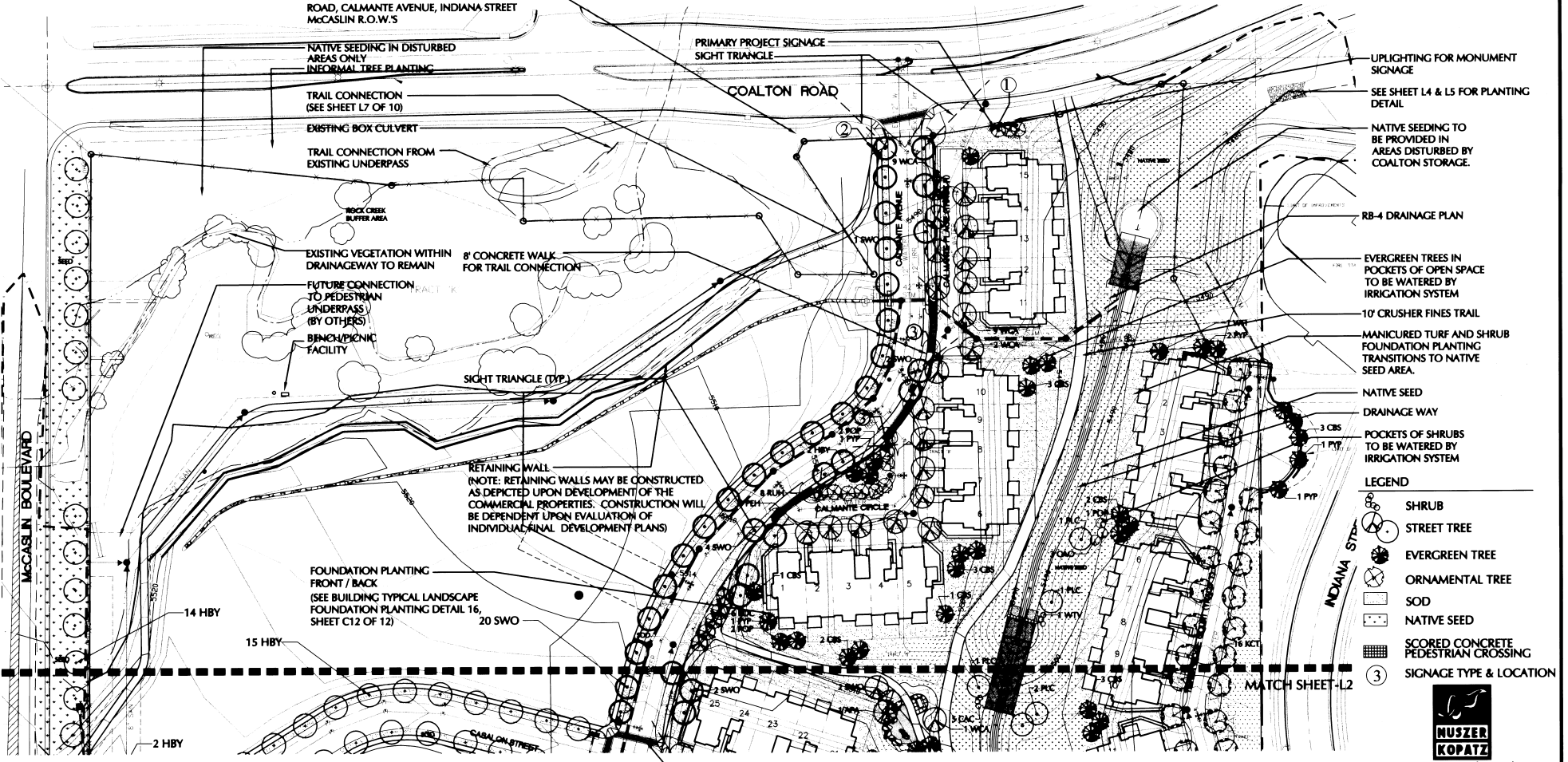


# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN

## FINAL DEVELOPMENT PLAN SHEET L1 OF 10

ROCK CREEK HOMES IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE IRRIGATION BETWEEN TRACTS & COALTON ROAD, CALMANTE AVENUE, INDIANA STREET McCASLIN R.O.W.'S



- UPLIGHTING FOR MONUMENT SIGNAGE
- SEE SHEET L4 & L5 FOR PLANTING DETAIL
- NATIVE SEEDING TO BE PROVIDED IN AREAS DISTURBED BY COALTON STORAGE.
- RB-4 DRAINAGE PLAN
- EVERGREEN TREES IN POCKETS OF OPEN SPACE TO BE WATERED BY IRRIGATION SYSTEM
- 10' CRUSHER FINES TRAIL
- MANICURED TURF AND SHRUB FOUNDATION PLANTING TRANSITIONS TO NATIVE SEED AREA.
- NATIVE SEED DRAINAGE WAY
- POCKETS OF SHRUBS TO BE WATERED BY IRRIGATION SYSTEM
- LEGEND
- SHRUB
- STREET TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SOD
- NATIVE SEED
- SCORED CONCRETE PEDESTRIAN CROSSING
- SIGNAGE TYPE & LOCATION

NATIVE SEEDING IN DISTURBED AREAS ONLY  
INFORMAL TREE PLANTING

TRAIL CONNECTION (SEE SHEET L7 OF 10)

EXISTING BOX CULVERT

TRAIL CONNECTION FROM EXISTING UNDERPASS

EXISTING VEGETATION WITHIN DRAINAGEWAY TO REMAIN

FUTURE CONNECTION TO PEDESTRIAN UNDERPASS (BY OTHERS)

BENCH/PICNIC FACILITY

8' CONCRETE WALK FOR TRAIL CONNECTION

SIGHT TRIANGLE (TYP.)

RETAINING WALL (NOTE: RETAINING WALLS MAY BE CONSTRUCTED AS DEPICTED UPON DEVELOPMENT OF THE COMMERCIAL PROPERTIES. CONSTRUCTION WILL BE DEPENDENT UPON EVALUATION OF INDIVIDUAL FINAL DEVELOPMENT PLANS)

FOUNDATION PLANTING FRONT / BACK (SEE BUILDING TYPICAL LANDSCAPE FOUNDATION PLANTING DETAIL 16, SHEET C12 OF 12)

SCORED & COLORED CONCRETE CROSS WALK (TYP.)

### LANDSCAPE CONCEPT

The landscape concept being developed for Calmanite community takes its inspiration from the historic rural ambience of the high plains/foothills transition zone that stretches along the front range foothills of Colorado with informally groved deciduous and evergreen trees that emphasizes the plains/foothills transition. The central open space/drainage way will feature a path that meanders through the undulating topography. Native grass is planted along the path which then transitions to a manicured turf zone outside the shrub foundation plantings. Within the multi-family neighborhood deciduous trees and evergreen trees will enhance the pockets of open space. A palette of thematic signature elements such as community monumentation, signage and lighting is being developed to evoke a rural foothills ambience. Used in harmony with the community's site layout, pockets of open space, native planting schemes, and appropriately scaled and detailed architecture, these signature elements complete a design package that will set Calmanite apart as a community uniquely crafted to suit its visual context.



| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 05.31.02 | ALW |
| 3   | revision      | 06.14.02 | ALW |
| 4   | revision      | 07.15.02 | ALW |
| 5   | revision      | 08.09.02 | ALW |
| 6   | revision      | 11.18.02 | ALW |
| 7   | revision      | 8.10.05  | SS  |



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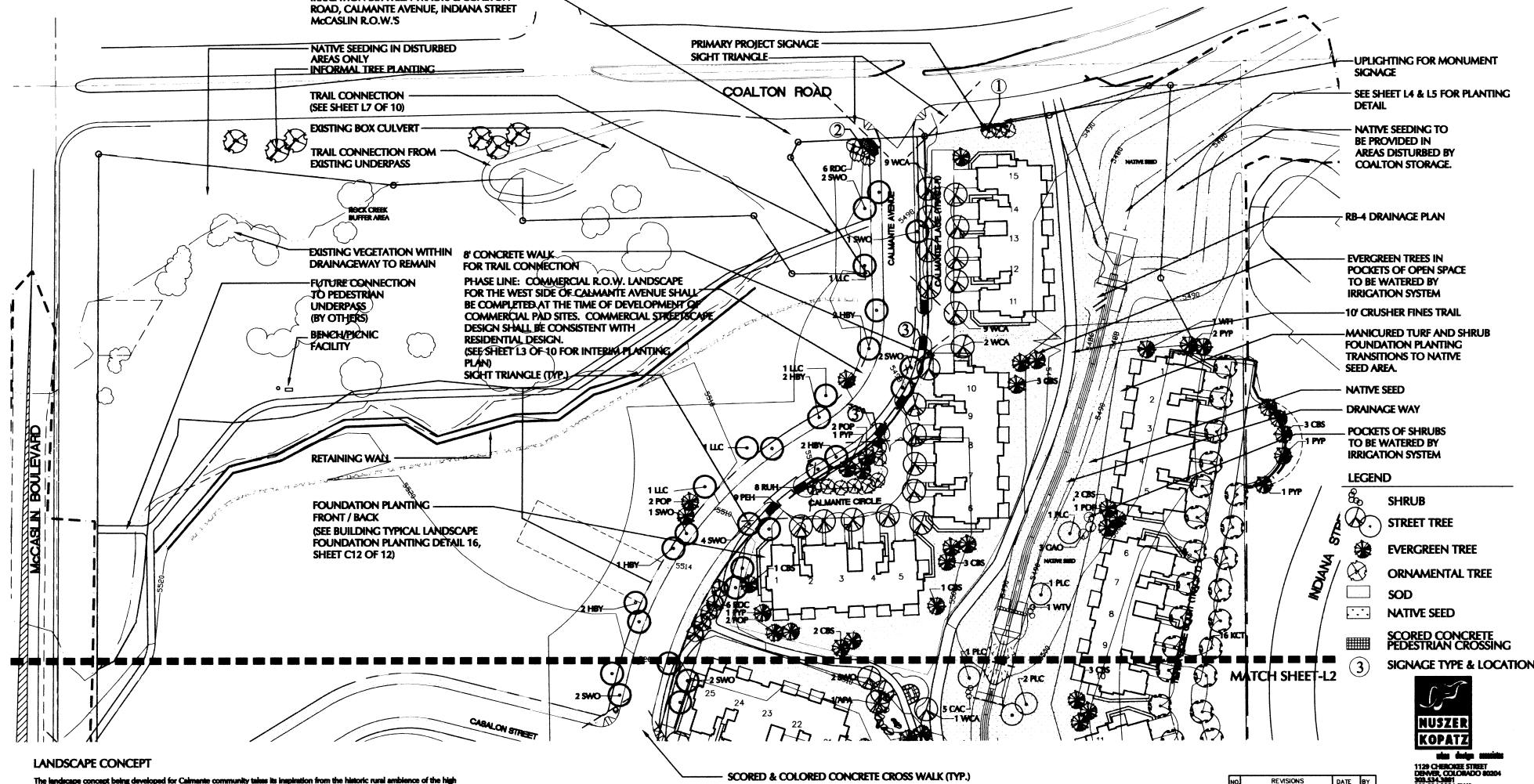
LANDSCAPE PLAN  
FDP ZONE PLAN  
SHEET L1 OF 10  
Revised Page 15 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN

## FINAL DEVELOPMENT PLAN SHEET L1 OF 10

ROCK CREEK HOMES IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE IRRIGATION BETWEEN TRACTS & COALTON ROAD, CALMANTE AVENUE, INDIANA STREET McCASLIN R.O.W.'S



### LANDSCAPE CONCEPT

The landscape concept being developed for Calmanite community takes its inspiration from the historic rural ambience of the high plains/foothills transition zone that stretches along the front range foothills of Colorado with informally groved deciduous and evergreen trees that emphasize the plain/foothills transition. The central open space/drainage way will feature a path that meanders through the undulating topography. Native grass is planted along the path which then transitions to a manicured turf zone outside the shrub foundation plantings. Within the multi-family neighborhood deciduous trees and evergreen trees will enhance the pockets of open space. A palette of thematic signature elements such as community monumentation, signage and lighting is being developed to evoke a rural foothills ambience. Used in harmony with the community's site layout, pockets of open space, native planting schemes, and appropriately scaled and detailed architecture, these signature elements complete a design package that will set Calmanite apart as a community uniquely crafted to suit its visual context.



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|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 05.31.02 | ALW |
| 3   | revision      | 06.14.02 | ALW |
| 4   | revision      | 07.15.02 | ALW |
| 5   | revision      | 08.09.02 | ALW |
| 6   | revision      | 11.18.02 | ALW |

**NUZER KOPATZ**  
also design services

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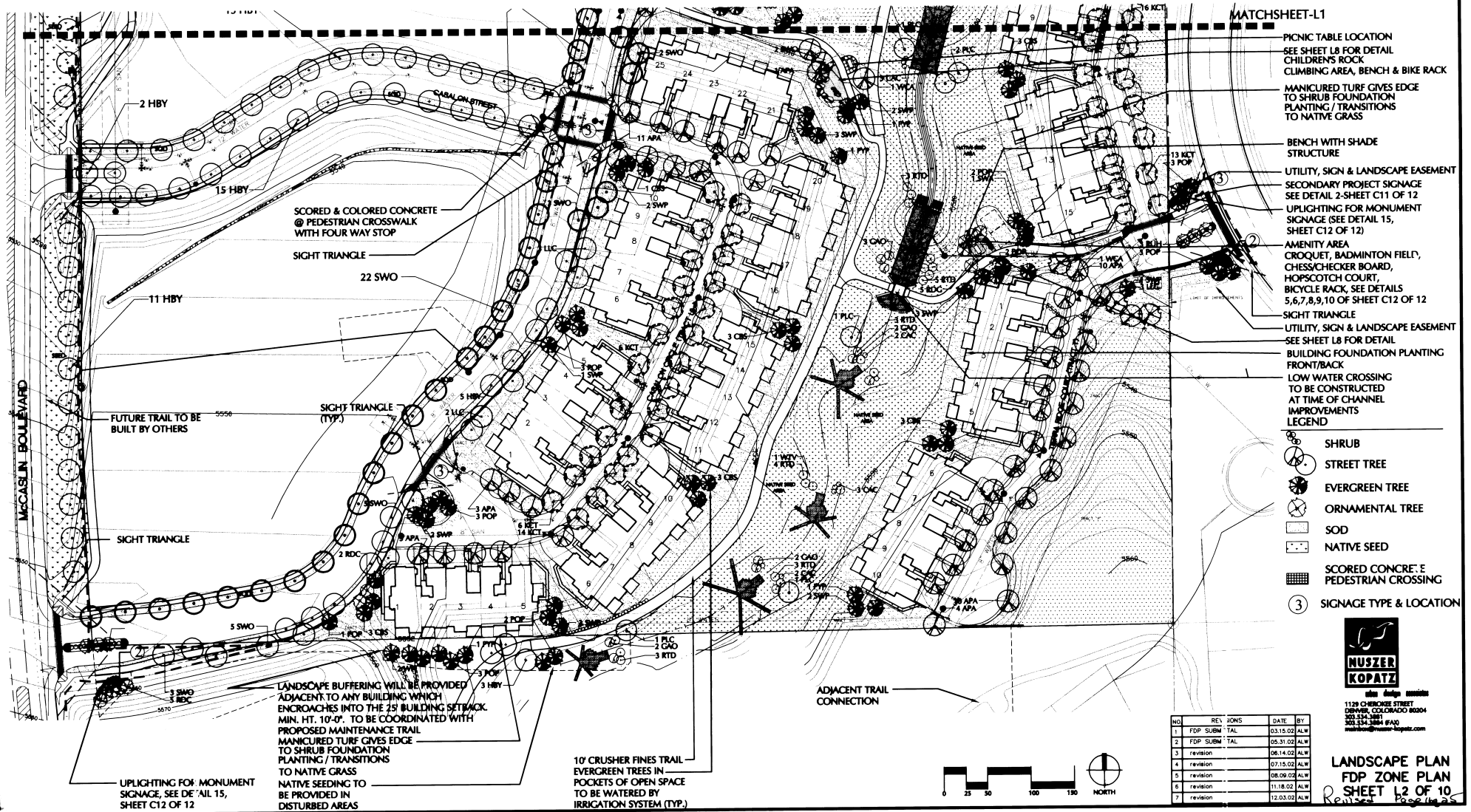
**LANDSCAPE PLAN  
FDP ZONE PLAN  
SHEET L1 OF 10**  
FDP L1 & 2 S

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN

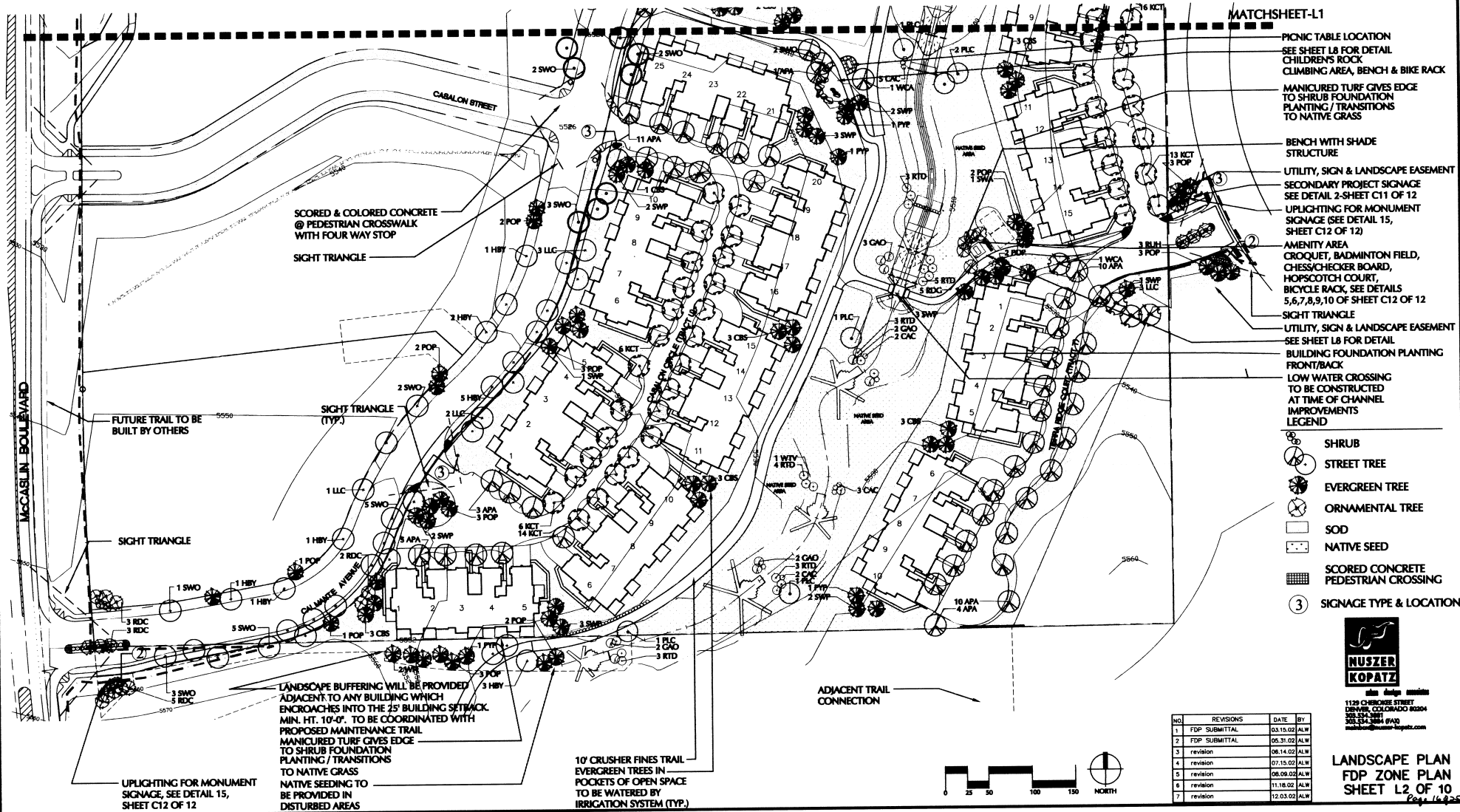
## FINAL DEVELOPMENT PLAN

SHEET L2 OF 10



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET L2 OF 10



- MATCHSHEET-L1**
- PICNIC TABLE LOCATION
  - SEE SHEET L8 FOR DETAIL
  - CHILDRENS ROCK
  - CLIMBING AREA, BENCH & BIKE RACK
  - MANICURED TURF GIVES EDGE TO SHRUB FOUNDATION PLANTING / TRANSITIONS TO NATIVE GRASS
  - BENCH WITH SHADE STRUCTURE
  - UTILITY, SIGN & LANDSCAPE EASEMENT
  - SECONDARY PROJECT SIGNAGE
  - SEE DETAIL 2-SHEET C11 OF 12
  - UPLIGHTING FOR MONUMENT SIGNAGE (SEE DETAIL 15, SHEET C12 OF 12)
  - AMENITY AREA
  - CROQUET, BADMINTON FIELD, CHESS/CHECKER BOARD, HOPS/COTCH COURT, BICYCLE RACK. SEE DETAILS 5,6,7,8,9,10 OF SHEET C12 OF 12
  - SIGHT TRIANGLE
  - UTILITY, SIGN & LANDSCAPE EASEMENT
  - SEE SHEET L8 FOR DETAIL
  - BUILDING FOUNDATION PLANTING FRONT/BACK
  - LOW WATER CROSSING TO BE CONSTRUCTED AT TIME OF CHANNEL IMPROVEMENTS

- LEGEND**
- SHRUB
  - STREET TREE
  - EVERGREEN TREE
  - ORNAMENTAL TREE
  - SOD
  - NATIVE SEED
  - SCORED CONCRETE PEDESTRIAN CROSSING
  - SIGNAGE TYPE & LOCATION

**NUSZER KOPATZ**  
*landscape architecture*  
 1129 CHERRY STREET  
 DENVER, COLORADO 80204  
 303.534.3344 (FAX)  
 nsk@nuskopatz.com

| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 05.31.02 | ALW |
| 3   | revision      | 06.14.02 | ALW |
| 4   | revision      | 07.15.02 | ALW |
| 5   | revision      | 08.09.02 | ALW |
| 6   | revision      | 11.18.02 | ALW |
| 7   | revision      | 12.03.02 | ALW |



UPLIGHTING FOR MONUMENT SIGNAGE, SEE DETAIL 15, SHEET C12 OF 12

LANDSCAPE BUFFERING WILL BE PROVIDED ADJACENT TO ANY BUILDING WHICH ENCOACHES INTO THE 25' BUILDING SETBACK MIN. HT. 10'-0". TO BE COORDINATED WITH PROPOSED MAINTENANCE TRAIL. MANICURED TURF GIVES EDGE TO SHRUB FOUNDATION PLANTING / TRANSITIONS TO NATIVE GRASS. NATIVE SEEDING TO BE PROVIDED IN DISTURBED AREAS.

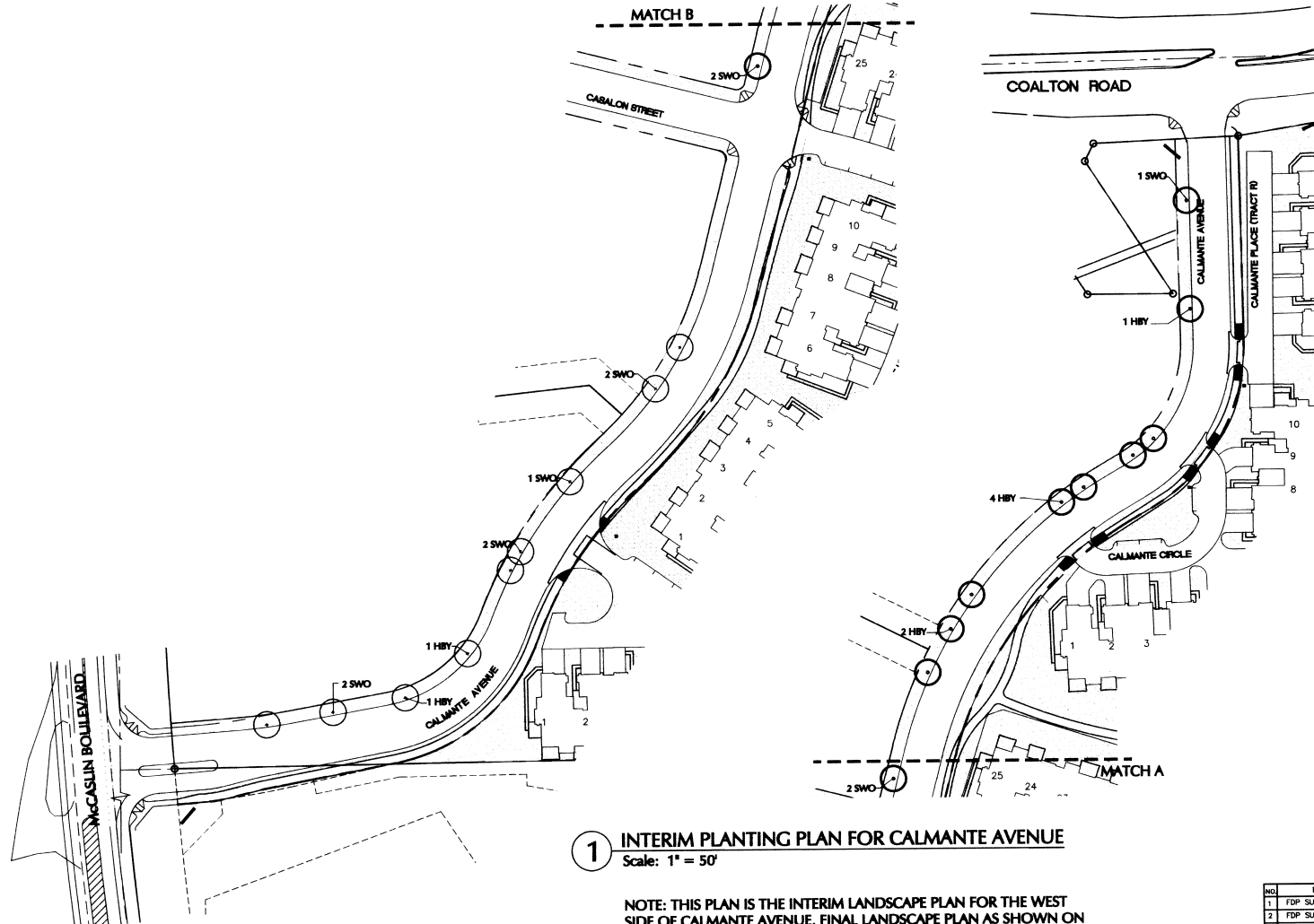
10' CRUSHER FINES TRAIL. EVERGREEN TREES IN POCKETS OF OPEN SPACE TO BE WATERED BY IRRIGATION SYSTEM (TYP.)

LANDSCAPE PLAN  
 FDP ZONE PLAN  
 SHEET L2 OF 10  
 Page 16 of 25



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
 T1S, R69W OF THE 6th P.M.,  
 TOWN OF SUPERIOR, STATE OF COLORADO  
 INTERIM LANDSCAPE PLAN  
**FINAL DEVELOPMENT PLAN**  
 SHEET L3 OF 10



**1** INTERIM PLANTING PLAN FOR CALMANTE AVENUE  
 Scale: 1" = 50'

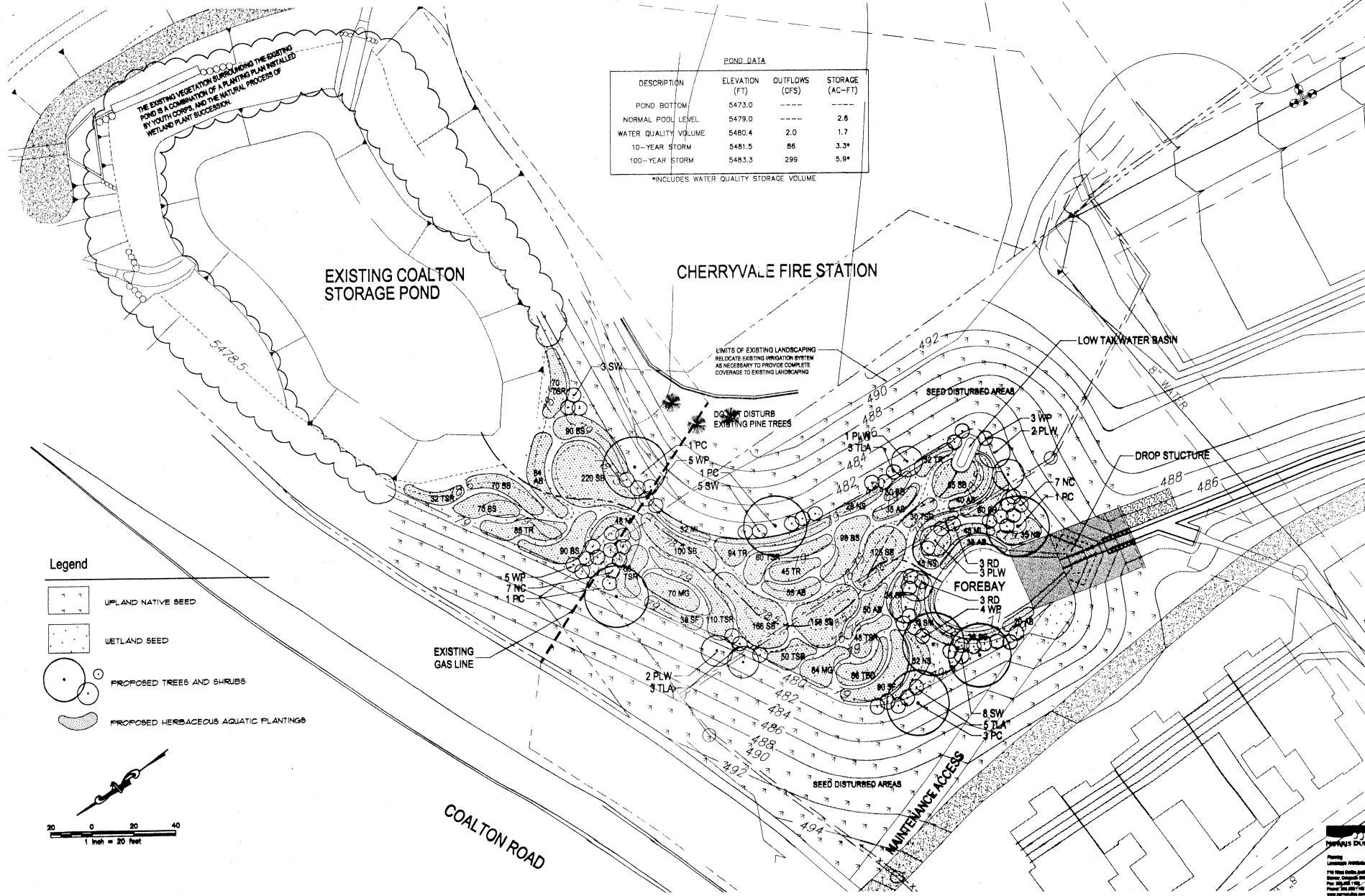
NOTE: THIS PLAN IS THE INTERIM LANDSCAPE PLAN FOR THE WEST SIDE OF CALMANTE AVENUE, FINAL LANDSCAPE PLAN AS SHOWN ON SHEET L1 & L2 OF 10 WILL BE COMPLETED WITH COMMERCIAL FDP.

| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 05.31.02 | ALW |
| 3   | revision      | 06.14.02 | ALW |
| 4   | revision      | 07.10.02 | ALW |
| 5   | revision      | 08.08.02 | ALW |



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INTERIM LANDSCAPE PLAN  
 FDP ZONE PLAN  
 SHEET L3 OF 10



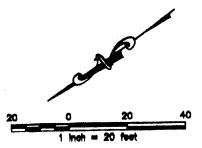
POND DATA

| DESCRIPTION          | ELEVATION (FT) | OUTFLOWS (CFS) | STORAGE (AC-FT) |
|----------------------|----------------|----------------|-----------------|
| POND BOTTOM          | 5473.0         | ---            | ---             |
| NORMAL POOL LEVEL    | 5479.0         | ---            | 2.6             |
| WATER QUALITY VOLUME | 5480.4         | 2.0            | 1.7             |
| 10-YEAR STORM        | 5481.5         | 86             | 3.3*            |
| 100-YEAR STORM       | 5483.3         | 299            | 5.9*            |

\*INCLUDES WATER QUALITY STORAGE VOLUME

**Legend**

- UPLAND NATIVE SEED
- WETLAND SEED
- PROPOSED TREES AND SHRUBS
- PROPOSED HERBACEOUS AQUATIC PLANTINGS



### Plant Legend - Trees and Shrubs

| Sym. | Common Name        | Botanic Name                  | Size/Condition            | Planting Instructions                               |
|------|--------------------|-------------------------------|---------------------------|---|
| PC   | Plains Cottonwood  | Populus deltoides             | 1 1/2" Cal. B+B specimen  | 1'-2' above water table<br>no water in planting pit |
| PLW  | Peach Leaf Willow  | Salix amygdaloides            | 1 1/2" Cal. B+B specimen  | 1'-2' above water table<br>no water in planting pit |
| TLA  | Thin-Leaf Alder    | Alnus tenuifolia              | 5 Gal.<br>24" height min. | 3'-15" above water table                            |
| NC   | Native Chokecherry | Prunus virginiana melanocarpa | 5 Gal.<br>36" height min. | 2'-3' above water table<br>no water in planting pit |
| SW   | Sandbar Willow     | Salix exigua                  | 5 Gal.<br>36" height min. | 3'-1' above water table<br>no water in planting pit |
| RD   | Redstart Dogwood   | Cornus stolonifera Bailey     | 5 Gal.<br>36" height min. | 3'-1' above water table<br>no water in planting pit |
| WP   | Wild Plum          | Prunus americana              | 5 Gal.<br>16" height min. | 2'-4' above water table<br>no water in planting pit |

### Plant Legend - Herbaceous Aquatic Planting

| Sym. | Common Name       | Botanic Name           | Number Plants/flat | Plant Height | Water Depth        |
|------|-------------------|------------------------|--------------------|--------------|--------------------|
| MG   | Mannagrass        | Glyceria striata       | 4 flats            | 8" min.      | saturated to 0'-3" |
| AB   | Aikill bulrush    | Scirpus paludosus      | 10 flats           | 12" min.     | 0'-4"              |
| NS   | Norwalk sedge     | Carex nebrascensis     | 5 flats            | 6" min.      | saturated to 0'-6" |
| BR   | Baltic rush       | Juncus balticus        | 3 flats            | 6" min.      | saturated to 0'-6" |
| TR   | Torrey rush       | Juncus torreyi         | 8 flats            | 6" min.      | 0'-3"              |
| TBR  | Three-square rush | Scirpus americanus     | 15 flats           | 12" min.     | 0'-6"              |
| SB   | Softstem bulrush  | Scirpus validus        | 28 flats           | 18" min.     | 0'-6"              |
| BD   | Burreed           | Spergularia eurycarpum | 3 flats            | 12" min.     | saturated to 0'-3" |
| SF   | Sweet flag        | Acorus calamus         | 4 flats            | 6" min.      | saturated to 0'-3" |
| DS   | Beaked sedge      | Carex utriculata       | 12 flats           | 12" min.     | 0'-6"              |
| MI   | Missouri iris     | Iris missouriensis     | 4 flats            | 6" min.      | saturated soil     |
| BM   | Buam milkweed     | Asclepias incarnata    | 1 flat             | 6" min.      | saturated soil     |

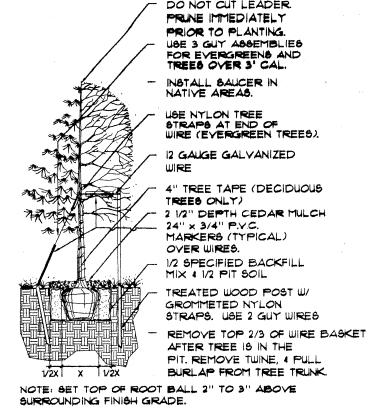
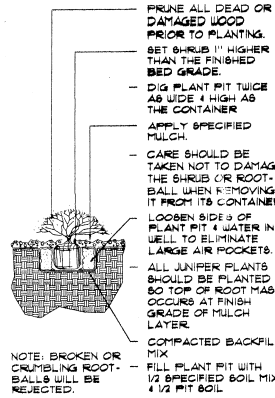
### Construction Notes

- The contractor is responsible for the cost to repair utilities, adjacent landscape, public and private property that is damaged by the contractor or their subcontractor's operation during installation for the specified maintenance period. Call for utility location prior to any excavation.
- The contractor shall report any discrepancies in plan vs. field conditions immediately to the Owner's representative, prior to continuing with the portion of the work.
- Trees and shrubs to be planted per detail. Install plant material in general locations shown on plan. Adjust location relative to moisture conditions for each species. Refer to Plant Legend for optimal moisture conditions for each species.
- Water all non-irrigated trees and shrubs every 2 days for the first 30 days after planting. Reduce watering to every 4 days from 31 days to 90 days after planting. Fully saturate soil within planting saucer with pond water. Minimize disturbance to the pond bank while watering. Suspend watering schedule if area floods. Resume watering after water level reaches normal pool level.
- If area floods, prior to commencement of work, verify that all grades are correct and that top soil has been spread over all areas to be seeded and planted.
- Seeded areas are to receive the appropriate seed mix as indicated in the specifications and plans.
- Refer to Wetland Planting Section for typical location and maximum distance from pond edges for Tree, Shrub, and Herbaceous plantings.
- Do not disturb the existing landscaping that exists adjacent to the site.
- Planting Schedule:
  - Proceed with Wetland Seeding operation. After Wetland seeding is complete, the contractor shall fill the pond to the lower edge of the wetland zone. Dryland Seeding can occur concurrently provided seeded areas damaged by planting operation are repaired. Seed designated areas with appropriate seed mixes per specifications.
  - Once Wetland Seeding has been completed, begin filling of pond to the normal pool elevation gradually over a period of 10 days.
  - Once pond water has reached the normal pool elevation, commence with Tree, Shrub, Pot and Tubling installation. Stake planting areas and notify Owner's Representative for approval prior to planting.
  - Notify Owner's representative for approval of work once all work has been completed.

### Wetland Planting Notes

- Grade wetland habitat unevenly with variable water depth with areas 1'-2' above water surface.
- Hand broadcast wetland seed mix along uneven bottom of wetland area (5476.5) to the 5482.4 pool contour. Apply 1000 lbs/acre. Mulch area above normal pool level with weed free straw at 2,000 lbs/acre.
- Plant all herbaceous aquatic planting on 1/4" center. Use plant material that is twice the height of the normal pool level (see plant legend).
- Plant water quality trees and shrubs in saturated soil adjacent to normal pool elevation.

### Planting Details



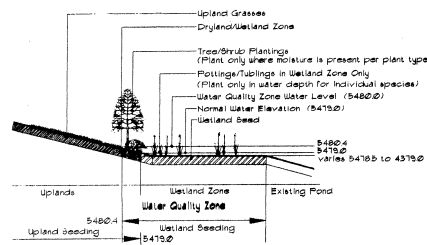
### Wetlands Seed Mix

| Common Name        | Botanic Name             | Variety   | PLB seeding rate lbs/acre |
|--------------------|--------------------------|-----------|---------------------------|
| Western Wheatgrass | Pascopyrum smithii       | Arriba    | 6.4                       |
| Woody sedge        | Carex lanuginosa         | native    | 0.2                       |
| Blue grama         | Bouteloua Gracilis       | Lovington | 1.0                       |
| Norwalk sedge      | Carex nebrascensis       | native    | 0.2                       |
| Suitgrass          | Panicum virgatum         | Blackwell | 5.5                       |
| Inland saltgrass   | Dactyloctenium aegyptium | native    | 1.0                       |
| Creeping spikerush | Eleocharis palustris     | native    | 0.2                       |
| Baltic rush        | Juncus balticus          | native    | 0.5                       |
| Hardstem bulrush   | Scirpus acutus           | native    | 0.5                       |
| Prairie cordgrass  | Spartina pectinata       | native    | 4.3                       |
| Sand dropseed      | Sporobolus cryptandrus   | native    | 0.5                       |
| TOTAL              |                          |           | 21.6 lbs. PLB/acre        |

### Upland Native Seed Mix

| Common Name        | Botanic Name           | Variety   | PLB seeding rate lbs/acre |
|--------------------|------------------------|-----------|---------------------------|
| <b>GRASSES</b>     |                        |           |                           |
| Western Wheatgrass | Pascopyrum smithii     | native    | 1                         |
| Birds-oats grama   | Bouteloua curtipendula | Butte     | 2                         |
| Blue grama         | Bouteloua Gracilis     | native    | 2                         |
| Little bluestem    | Horizachyum scoparium  | native    | 1                         |
| Suitgrass          | Panicum virgatum       | Blackwell | 3                         |
| Big Bluestem       | Andropogon gerardii    | native    | 4                         |
| Buffalograss       | Budhisia dactyloides   | native    | 4                         |
| Annual Rye         | Lolium Multiflorum     | 2         | 2                         |
| Indiangrass        | Borghastrum nutans     | Chayama   | 2                         |
| Needle and thread  | Stipa comata           | 1         | 1                         |
| <b>FORBS</b>       |                        |           |                           |
| Yarrow             | Achillea lanulosa      |           | 1/4                       |
| Blanketflower      | Gaillardia aristata    |           | 1/2                       |
| Prairie coneflower | Ratibida columnifera   |           | 1/4                       |
| TOTAL              |                        |           | 23 lbs. PLB/acre          |

### Wetland Planting Section





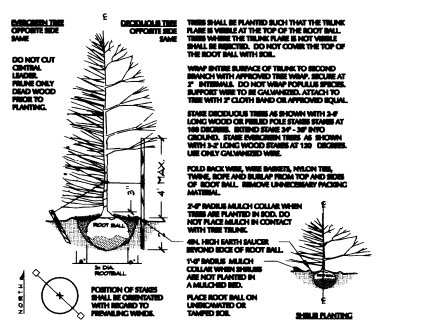
# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE / DETAILS  
FINAL DEVELOPMENT PLAN  
SHEET L6 OF 10

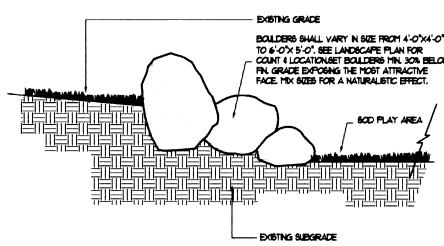
## PLANT SCHEDULE

| SYM                     | COMMON NAME                  | BOTANICAL NAME                               | SIZE & CONDITION      |
|-------------------------|------------------------------|--|-----------------------|
| <b>Deciduous Trees</b>  |                              |  |                       |
| APA                     | Autumn Purple Ash            | <i>Fraxinus americana</i>                    | 2 1/2" cal, B & B     |
| HBT                     | Western Hackberry            | <i>Celtis occidentalis</i>                   | 2 1/2" cal, B & B     |
| KCT                     | Kentucky Coffeetree          | <i>Gymnocladia dioica</i>                    | 2 1/2" cal, B & B     |
| LLC                     | Lanceleaf Cottonwood         | <i>Populus sp.</i>                           | 2 1/2" cal, B & B     |
| PEH                     | Pyramidal European Hornbeam  | <i>Cornus latifolia</i>                      | 2 1/2" cal, B & B     |
| RDC                     | Rubus Coccineus              | <i>Rubus coccineus</i>                       | 2" cal, B & B         |
| RLH                     | Rainier Hawthorn             | <i>Crataegus arbutifolia</i>                 | 2" cal, B & B         |
| TRM                     | Tracy Mountain Juniper       | <i>Juniperus sp.</i>                         | 3' clamp, B & B       |
| SSV                     | Shrubland Sandbarberry       | <i>Aquilegia canadensis</i>                  | 1" cal, clamp, B & B  |
| SWO                     | Swoopy White Oak             | <i>Quercus macrocarpa</i>                    | 2 1/2" cal, B & B     |
| WCA                     | Western Catalpa              | <i>Catalpa speciosa</i>                      | 2 1/2" cal, B & B     |
| <b>Evergreen Trees</b>  |                              |  |                       |
| BCP                     | Blue Colorado Spruce         | <i>Picea canadensis</i>                      | 5' B & B              |
| COS                     | Colorado Spruce              | <i>Picea pungens</i>                         | 6'-8", B AB           |
| PCP                     | Pinus contorta var. colorata | <i>Pinus contorta</i>                        | 6'-10", B AB          |
| PIP                     | Pinus flexilis               | <i>Pinus strobus</i>                         | 6'-10", B AB          |
| SWP                     | Swainson's White Pine        | <i>Pinus strobus</i>                         | 6'-10", B AB          |
| WIT                     | White Fir                    | <i>Abies concolor</i>                        | 6'-10", B AB          |
| <b>Evergreen Shrubs</b> |                              |  |                       |
| BJT                     | Blue Juniper                 | <i>Juniperus horizontalis 'Blue Star'</i>    | 5 gal. cont., 18" gal |
| BSJ                     | Blue Star Juniper            | <i>Juniperus horizontalis 'Blue Star'</i>    | 5 gal. cont., 18" gal |
| CBM                     | Common Blueberry             | <i>Vaccinium corymbosum</i>                  | 5 gal. cont., 18" gal |
| HQJ                     | High Juniper                 | <i>Juniperus horizontalis 'High Juniper'</i> | 5 gal. cont., 18" gal |
| MDJ                     | Medusa Juniper               | <i>Juniperus squarrosa 'Medusa'</i>          | 5 gal. cont., 18" gal |
| <b>Deciduous Shrubs</b> |                              |  |                       |
| BOC                     | Bottlebrush                  | <i>Rhus typhina</i>                          | 5 gal. cont., 18" gal |
| CAC                     | Compact American Cranberry   | <i>Vaccinium corymbosum</i>                  | 5 gal. cont., 24" gal |
| CLM                     | Calluna Major                | <i>Calluna vulgaris</i>                      | 5 gal. cont., 24" gal |
| DMS                     | Dwarf Mountain Laurel        | <i>Laurel tinctoria</i>                      | 5 gal. cont., 24" gal |
| DFB                     | Dwarf Forsythia              | <i>Forsythia viridissima</i>                 | 5 gal. cont., 24" gal |
| GCT                     | Garden Ceanothus             | <i>Ceanothus americanus</i>                  | 5 gal. cont., 24" gal |
| GOO                     | Garden Orange                | <i>Quercus garlandiana</i>                   | 7 gal. cont., 24" gal |
| QLP                     | Queen Palm                   | <i>Asplenium platyneuron</i>                 | 5 gal. cont., 18" gal |
| MMG                     | Mountain Geranium            | <i>Geranium macranthum</i>                   | 5 gal. cont., B & B   |
| NMP                     | Northern Magnolia            | <i>Magnolia grandiflora</i>                  | 5 gal. cont., 18" gal |
| NER                     | Northern Red Oak             | <i>Quercus rubra</i>                         | 5 gal. cont., 18" gal |
| PLW                     | Prunella Willow              | <i>Salix purpurea</i>                        | 5 gal. cont., 18" gal |
| RTD                     | Red-Twig Dogwood             | <i>Cornus alternifolia</i>                   | 5 gal. cont., 24" gal |
| RUS                     | Russian Sage                 | <i>Perovskia atrorubra</i>                   | 5 gal. cont., 24" gal |
| SSB                     | Siberian Sandbarberry        | <i>Aquilegia canadensis</i>                  | 5 gal. cont., 24" gal |
| VLD                     | Virginia Creeper             | <i>Clematis vitalba</i>                      | 5 gal. cont., 24" gal |
| WFT                     | Witching Tree                | <i>Wormwood</i>                              | 4 clamp, B & B        |
| <b>Perennials</b>       |                              |  |                       |
| BPW                     | Blue Phlox                   | <i>Andropogon furcatus</i>                   | 1 gal. cont.          |
| CAZ                     | California Zinnia            | <i>Zinnia mexicana</i>                       | 1 gal. cont.          |
| HNS                     | Hardy Nippon Bush            | <i>Solidago nemoralis</i>                    | 1 gal. cont.          |
| SH                      | Shrub Hydrangea              | <i>Hydrangea quercifolia</i>                 | 1 gal. cont.          |
| SDD                     | Sweet Dogwood                | <i>Hamamelis virginica</i>                   | 1 gal. cont.          |
| SWW                     | Sweet Woodruff               | <i>Galium aparine</i>                        | 1 gal. cont.          |
| <b>Grasses</b>          |                              |  |                       |
| AMG                     | Autumn Meadow Grass          | <i>Stipa tenuifolia</i>                      | 4" pot                |
| MAC                     | Blue Fescue                  | <i>Festuca ovina</i>                         | 1 gal. cont.          |
| FBC                     | Feather Reed Grass           | <i>Calamagrostis canadensis</i>              | 1 gal. cont.          |
| JBC                     | Japanese Blood Grass         | <i>Imperata cylindrica 'Rubra'</i>           | 1 gal. cont.          |
| LBS                     | Lutea Bluegrass              | <i>Andropogon scoparius</i>                  | 1 gal. cont.          |
| PMC                     | Purple Meadow Grass          | <i>Molinia caerulea</i>                      | 1 gal. cont.          |

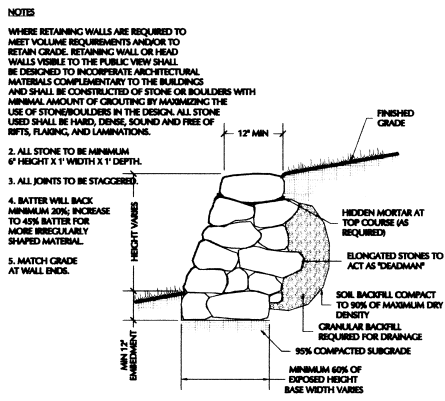
| NATIVE SEED MIX COMMON NAME | BOTANICAL NAME              | % of TOTAL | PLS / ACRE |
|-----------------------------|-----------------------------|------------|------------|
| Western Yellowgrass         | <i>Xanthoxylum</i>          | 25.0%      | 6.2 lbs.   |
| Big Bluestem                | <i>Andropogon furcatus</i>  | 25.0%      | 6.2 lbs.   |
| Side-Oats Grass             | <i>Andropogon scoparius</i> | 8.3%       | 2.1 lbs.   |
| Blue Grass                  | <i>Poa trivialis</i>        | 4.2%       | 1.1 lbs.   |
| Bluegrass                   | <i>Poa annua</i>            | 8.3%       | 2.1 lbs.   |
| Bluegrass                   | <i>Poa trivialis</i>        | 8.3%       | 2.1 lbs.   |
| Bluegrass                   | <i>Poa annua</i>            | 8.3%       | 2.1 lbs.   |
| Bluegrass                   | <i>Poa trivialis</i>        | 8.3%       | 2.1 lbs.   |
| Bluegrass                   | <i>Poa annua</i>            | 8.3%       | 2.1 lbs.   |
| Annual Ryegrass             | <i>Lolium perenne</i>       | 10%        | 2.6 lbs.   |



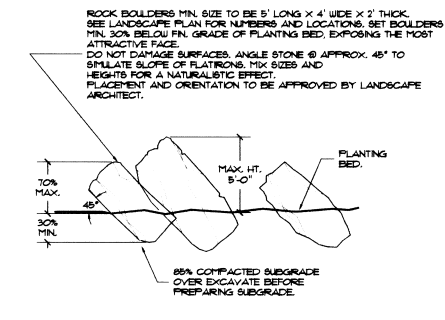
**1 PLANTING DETAIL**  
Scale: N.T.S.



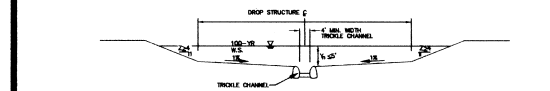
**3 BOULDER CLIMBING WALL / @ CHILDREN'S ROCK CLIMBING AREA**  
Scale: 1/2" = 1'-0"



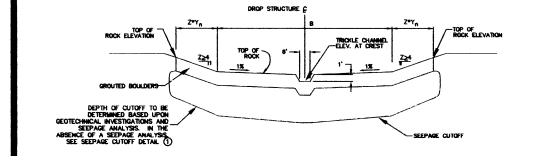
**2 RETAINING WALL**  
Scale: 1/2" = 1'-0"  
NOTE: RETAINING WALLS OVER 3 FEET MUST BE ENGINEERED BY A REGISTERED COLORADO PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION



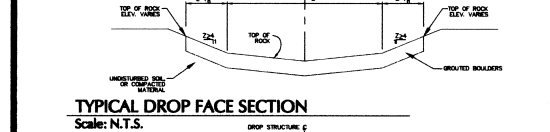
**4 BOULDERS @ CHILDREN'S ROCK CLIMBING AREA**  
Scale: 1/2" = 1'-0"



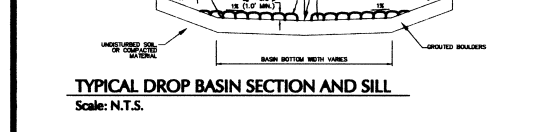
**TYPICAL CHANNEL SECTION**  
Scale: N.T.S.



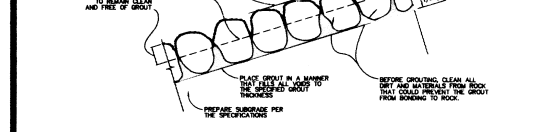
**SEEPAGE CUTOFF SECTION**  
Scale: N.T.S.



**TYPICAL DROP FACE SECTION**  
Scale: N.T.S.



**TYPICAL DROP BASIN SECTION AND SILL**  
Scale: N.T.S.



**6 GROUDED BOULDER PLACEMENT DETAIL**  
Scale: N.T.S.

**6 DROP STRUCTURE DETAILS**  
Scale: N.T.S.  
(SEE CONSTRUCTION PLANS FOR FINAL DROP STRUCTURE DETAILS)  
THESE STRUCTURES SHALL BE DESIGNED BY A REGISTERED COLORADO PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION

| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 05.31.02 | ALW |
| 3   | revision      | 06.14.02 | ALW |
| 4   | revision      | 07.10.02 | ALW |



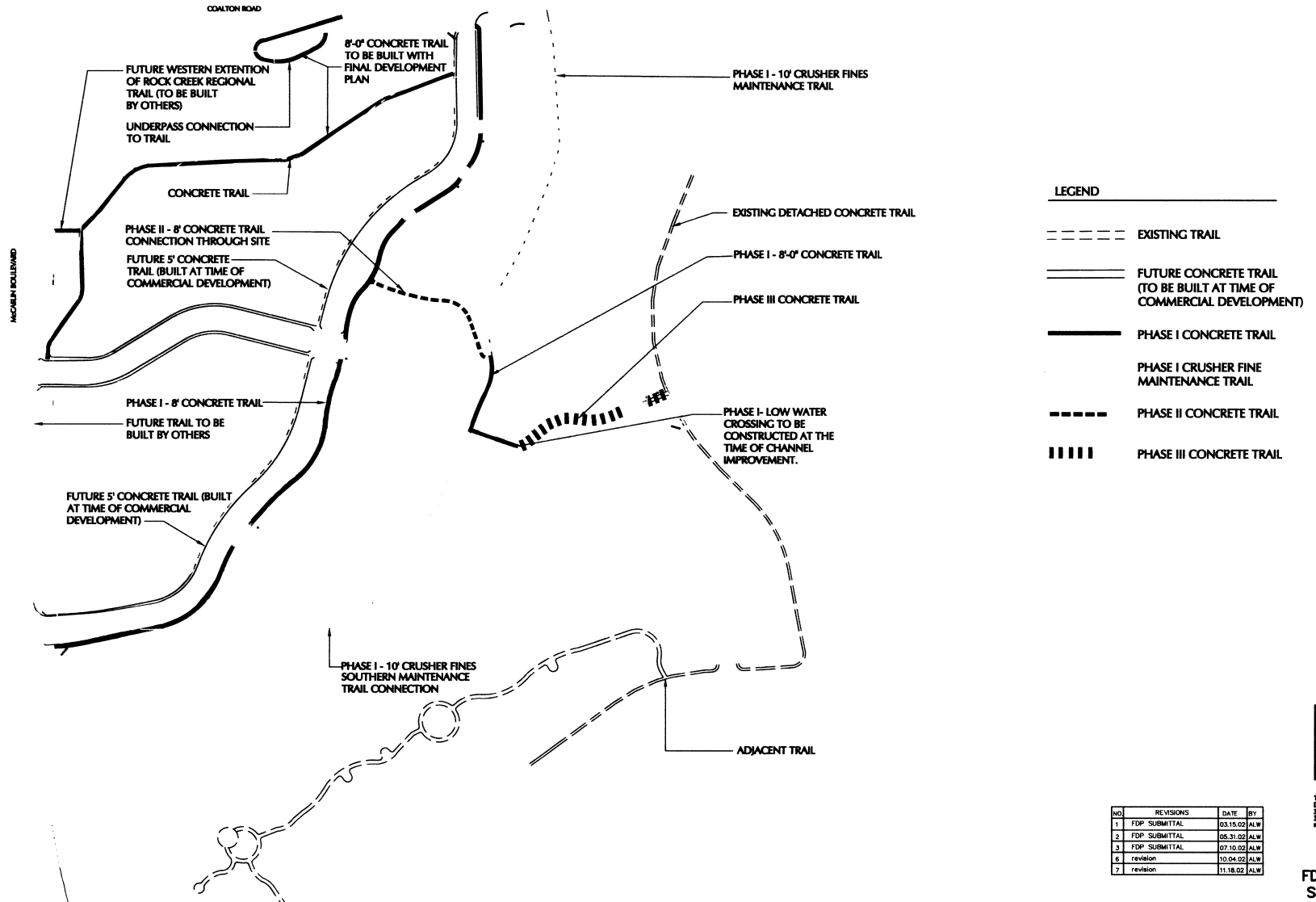
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LANDSCAPE / DETAILS  
FDP ZONE PLAN  
SHEET L6 OF 10

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R89W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO

## TRAILS MAP FINAL DEVELOPMENT PLAN SHEET L7 OF 10

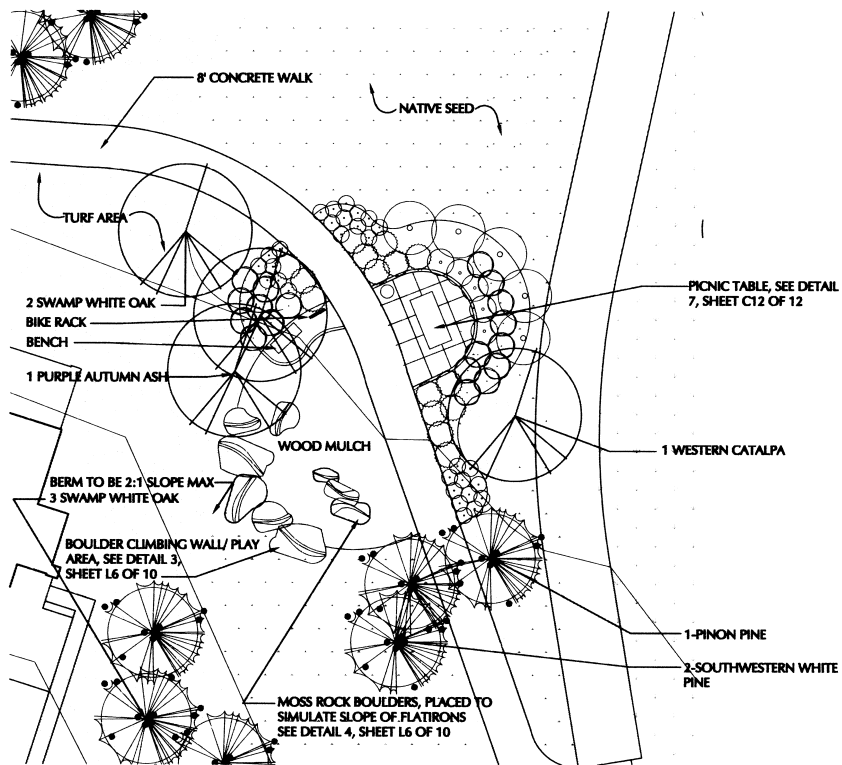


| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 05.30.02 | ALW |
| 3   | FDP SUBMITTAL | 07.10.02 | ALW |
| 6   | revision      | 10.04.02 | ALW |
| 7   | revision      | 11.18.02 | ALW |

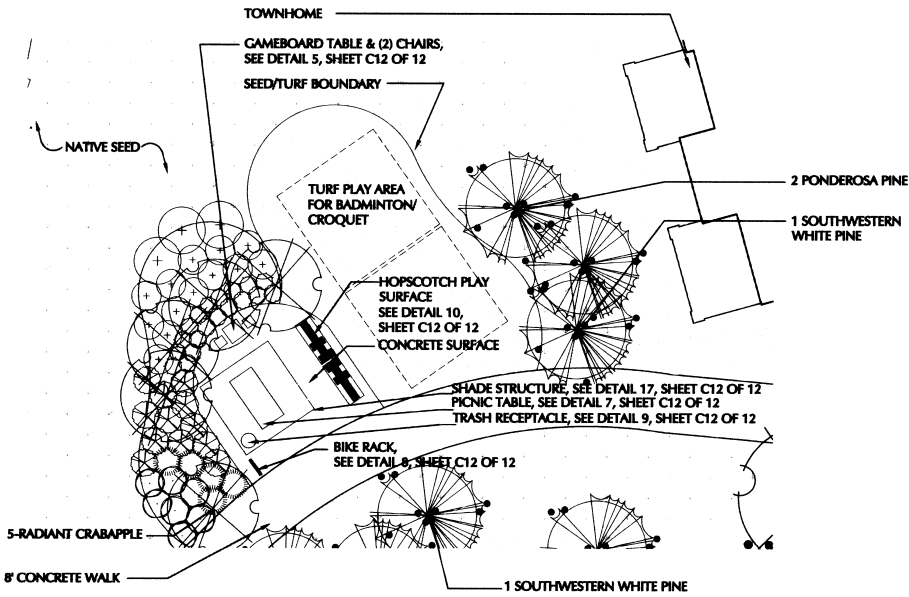


# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T19, R89W OF THE 8th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET L8 OF 10



**1 CHILDREN'S ROCK CLIMBING AREA**  
Scale: 1" = 10'-0"



**2 AMENITY AREA**  
Scale: 1" = 10'-0"



| NO. | REVISIONS     | DATE     | BY  |
|-----|---------------|----------|-----|
| 1   | FDP SUBMITTAL | 03.15.02 | ALW |
| 2   | FDP SUBMITTAL | 06.31.02 | ALW |
| 3   | revision      | 08.14.02 | ALW |
| 4   | revision      | 07.10.02 | ALW |
| 5   | revision      | 08.08.02 | ALW |

LANDSCAPE PLAN  
DETAIL  
FPD ZONE PLAN  
SHEET L8 OF 10  
2002.23.25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,

T1S, R69W OF THE 8th P.M.

TOWN OF SUPERIOR, STATE OF COLORADO

PHOTOMETRIC STUDY

## FINAL DEVELOPMENT PLAN

SHEET L9 OF 10

COALTON ROAD

TRACT 'K'

BLOCK 2, LOT 2

2, LOT 1

CASALON STREET

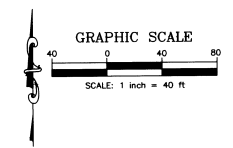
CALMANTE AVENUE

CALMANTE PLACE (TRACT D)

BLOCK 5

INDIANA STREET

| PHOTOMETRIC SUMMARY  |  |
|--|--|
| STATISTIC ZONE 1: ENTIRE SITE  |  |
| Ave. F.C. = 0.3  |  |
| Max. F.C. = 18.0   |  |
| Min. F.C. = 0.0  |  |
| STATISTIC ZONE 2: CALMANTE AVENUE                                    |  |
| Ave. F.C. = 0.6  |  |
| Max. F.C. = 6.6  |  |
| Min. F.C. = 0.0  |  |
| STATISTIC ZONE 3: INTERSECTION OF CALMANTE AVENUE AND CASALON STREET |  |
| Ave. F.C. = 0.8  |  |
| Max. F.C. = 3.0  |  |
| Min. F.C. = 0.0  |  |
| STATISTIC ZONE 4: TIERRA RIDGE COURT                                 |  |
| Ave. F.C. = 0.4  |  |
| Max. F.C. = 5.1  |  |
| Min. F.C. = 0.0  |  |
| STATISTIC ZONE 5: CASALON CIRCLE                                     |  |
| Ave. F.C. = 0.3  |  |
| Max. F.C. = 3.8  |  |
| Min. F.C. = 0.1  |  |
| STATISTIC ZONE 6: CALMANTE CIRCLE                                    |  |
| Ave. F.C. = 0.7  |  |
| Max. F.C. = 5.0  |  |
| Min. F.C. = 0.1  |  |



RG ENGINEERING CONSULTANTS  
ELECTRICAL CONSULTANTS  
75 SO. MADISON ST., SUITE 100  
DENVER, CO 80209  
(303) 355-5534 (tel)  
(303) 355-8509 (fax)

| NO. | REVISIONS | DATE     | BY |
|-----|-----------|----------|----|
| 7   | SUBMITTAL | 11.18.02 | SD |

PHOTOMETRIC STUDY  
FDP ZONE PLAN  
SHEET L9 OF 10

Page 21 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,

T1S, R89W OF THE 6th P.M.,

TOWN OF SUPERIOR, STATE OF COLORADO

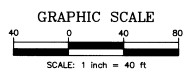
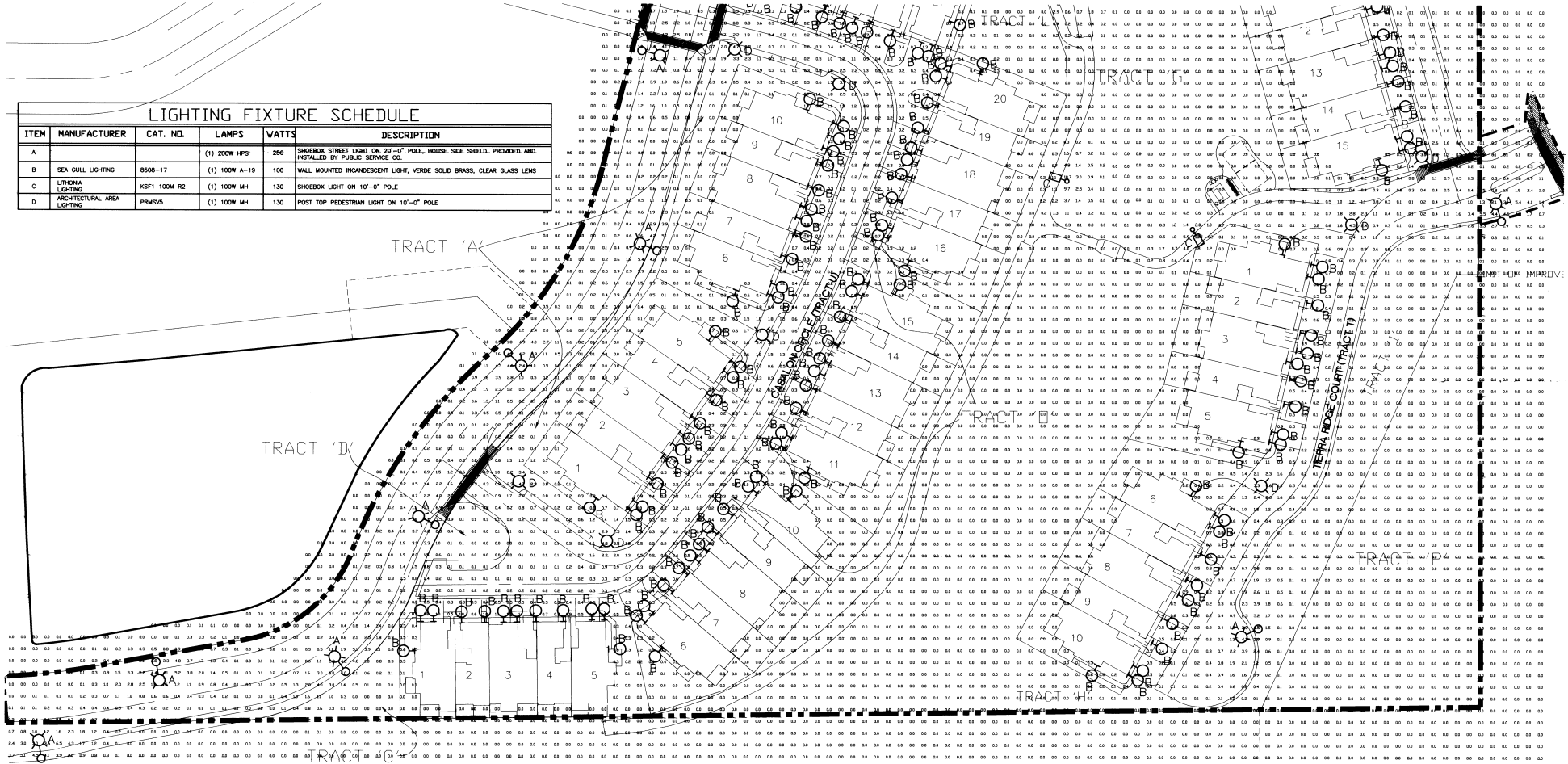
PHOTOMETRIC STUDY

FINAL DEVELOPMENT PLAN

SHEET L10 OF 10

LIGHTING FIXTURE SCHEDULE

| ITEM | MANUFACTURER                | CAT. NO.     | LAMPS         | WATTS | DESCRIPTION   |
|------|-----------------------------|--------------|---------------|-------|---|
| A    |                             |              | (1) 200W HPS  | 250   | SHADEBOX STREET LIGHT ON 20'-0" POLE, HOUSE SIDE SHIELD, PROVIDED AND INSTALLED BY PUBLIC SERVICE CO. |
| B    | SEA GULL LIGHTING           | 8508-17      | (1) 100W A-19 | 100   | WALL MOUNTED INCANDESCENT LIGHT, VERDE SOLID BRASS, CLEAR GLASS LENS                                  |
| C    | LITONIA LIGHTING            | KSF1 100W R2 | (1) 100W MH   | 130   | SHADEBOX LIGHT ON 10'-0" POLE   |
| D    | ARCHITECTURAL AREA LIGHTING | PRMSV5       | (1) 100W MH   | 130   | POST TOP PEDESTRIAN LIGHT ON 10'-0" POLE  |



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DENVER, CO 80209  
(303) 355-5534 (tel)  
(303) 355-5509 (fax)

| NO. | REVISIONS | DATE     | BY |
|-----|-----------|----------|----|
| 8   | SUBMITTAL | 11.18.02 | SG |

PHOTOMETRIC STUDY  
FDP ZONE PLAN  
SHEET L10 OF 10

| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |
|     |           |      |    |
|     |           |      |    |

**LEGEND**

PHASE 1

PHASE 2

**PROJECT PHASING**

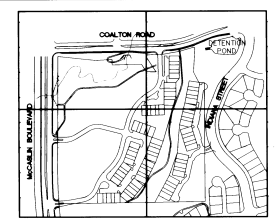
PHASING OF IMPROVEMENTS SHALL BE PERMITTED SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBDIVISION IMPROVEMENT AGREEMENT AND THE FINAL DEVELOPMENT PLAN. THE TRAILS SHALL BE CONSTRUCTED TO THE STANDARDS OF THE TOWN, AND COMPLETED PRIOR TO ISSUING CERTIFICATES OF OCCUPANCY FOR MORE THAN FIFTY PERCENT (50%) RESIDENTIAL BUILDINGS ON THE PROPERTY.

**PHASE 1**

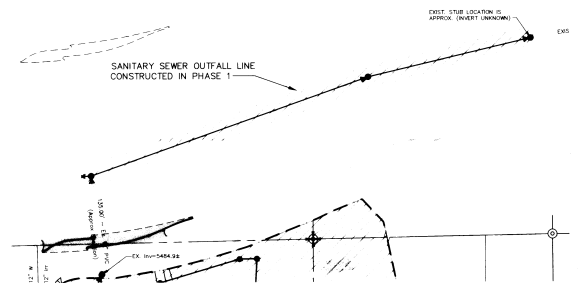
THE ENTIRE SITE WILL BE OVERLOT GRADED IN THIS PHASE OF CONSTRUCTION. THE PHASE 1 SHADED AREA IS FOR UTILITY, PAVEMENT, FINAL LANDSCAPING AND BUILDING CONSTRUCTION ONLY. AFTER SUBSTANTIAL COMPLETION OF THE OVERLOT GRADING ALL UNDERGROUND UTILITIES BETWEEN MCCASLIN BOULEVARD AND THE RB-4 CHANNEL WILL BE COMPLETED IN THIS PHASE. ALL PUBLIC AND PRIVATE STREETS IN THIS AREA WILL BE CONSTRUCTED. ALL TRAILS, DRIVES AND WALKS IN THIS AREA WILL BE CONSTRUCTED IN THIS PHASE. THIS PHASE WILL INCLUDE THE CONSTRUCTION OF ALL MCCASLIN BOULEVARD, RB-4 CHANNEL AND COALTON IMPROVEMENTS. THE PORTION OF SANITARY SEWER IN INDIANNA STREET WILL ALSO BE CONSTRUCTED WITH THIS PHASE.

**PHASE 2**

THE REMAINING AREA EAST OF THE RB-4 CHANNEL WILL BE CONSTRUCTED IN THIS PHASE. THIS WILL INCLUDE ALL UNDERGROUND UTILITIES, PUBLIC AND PRIVATE STREETS, TRAILS, SIDEWALKS, AND BUILDING CONSTRUCTION.



**KEYMAP**



I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF SUPERIOR, SUPERIOR METROPOLITAN DISTRICT NO. 1, AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY. I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

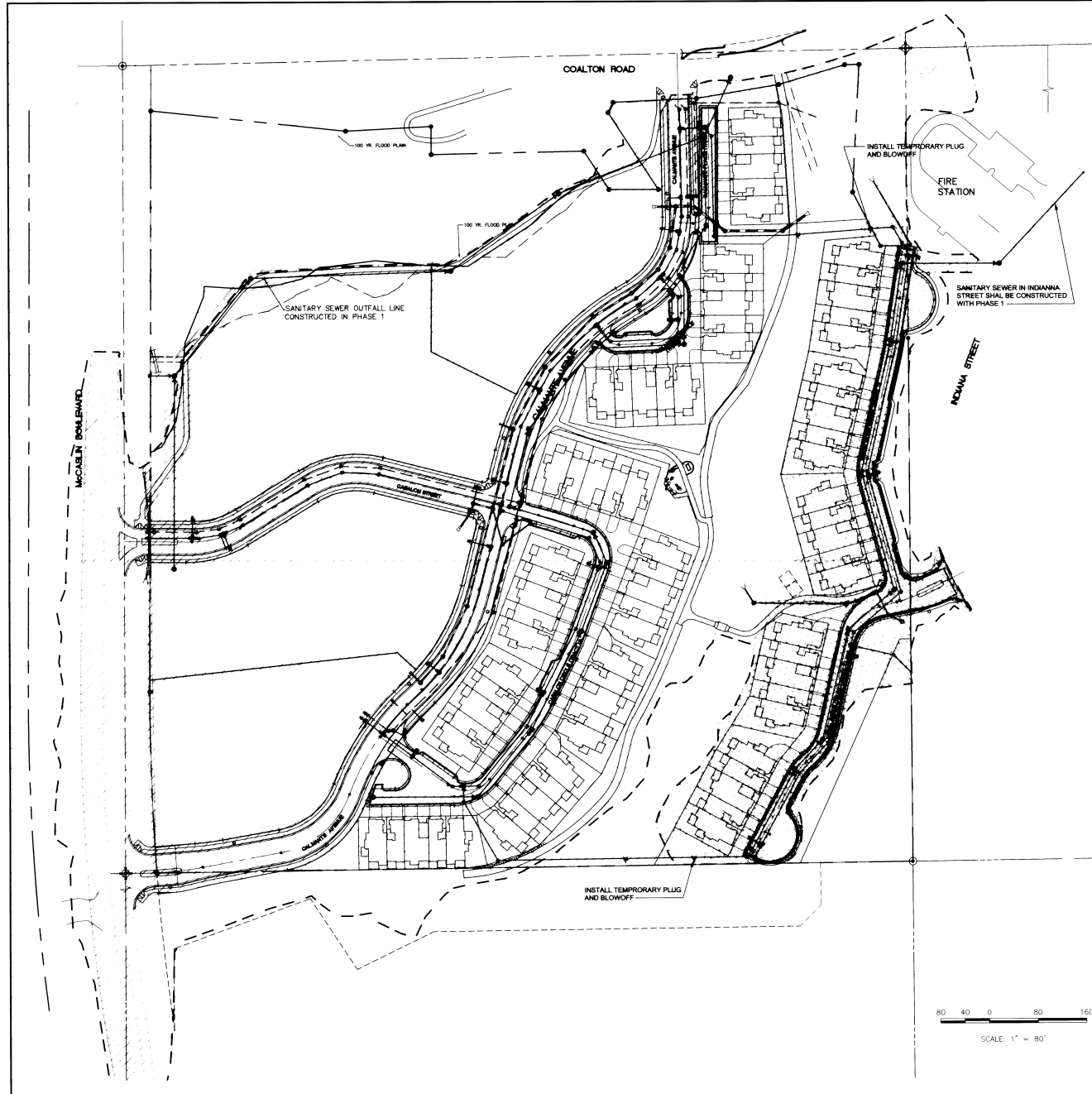
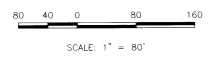
DANIEL L. ALONZO, P.E. #37550      DATE \_\_\_\_\_  
 FOR AND ON BEHALF OF ROCKY MOUNTAIN CONSULTANTS, INC.

These designs, plans, and contract documents are reviewed for concept and general conformance to the District's minimum standards only, and the primary responsibility for design adequacy is to remain with the Engineer of record. This review does not imply responsibility by either the Town of Superior, Superior Metropolitan District No. 1 & No. 3, the Town Engineer or the District Engineer for completeness, accuracy or correctness of calculations. The review does not imply that quantities of items indicated on the Plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the Town or District for additional items and additional quantities of items shown that may be required during the construction phase.

Approved for construction within one year of the earliest of these dates:

|          |                                     |            |
|----------|-------------------------------------|------------|
| By _____ | _____                               | Date _____ |
| By _____ | District No. 1 Engineer             | _____      |
| By _____ | Town of Superior                    | Date _____ |
| By _____ | Cherryvale Fire Protection District | Date _____ |
| By _____ | District No. 1                      | Date _____ |

|                     |
|---------------------|
| DATE: JUNE 2006     |
| DESIGNED BY: B.A.L. |
| DRAWN BY: B.A.L.    |
| CHECKED BY: B.A.L.  |
| JOB NO. 3891.003.01 |
| SHEET 2 OF 2        |

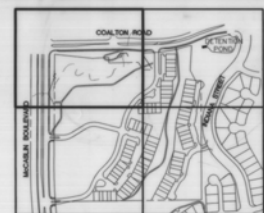


**PHASING** PHASING OF IMPROVEMENTS SHALL BE PERMITTED SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBVISION IMPROVEMENT AGREEMENT AND THE FINAL DEVELOPMENT PLAN. THE TRAILS SHALL BE CONSTRUCTED TO THE STANDARDS OF THE TOWN, AND COMPLETED PRIOR TO ISSUING CERTIFICATES OF OCCUPANCY FOR MORE THAN FIFTY PERCENT (50%) OF THE RESIDENTIAL BUILDINGS ON THE PROPERTY.

- PHASE 1: MCCASLIN BOULEVARD IMPROVEMENTS, COALTON ROAD IMPROVEMENTS, CALAMANTE AVENUE, ROCK CREEK DRAINAGE AND THE ROCK CREEK MAINTENANCE TRAIL, TRIBUTARY RB-4 AND THE TRIBUTARY RB-4 MAINTENANCE TRAIL, (INCLUDING THE LOW WATER CROSSING CONNECTING THE EAST AND WEST SIDES OF TRIBUTARY RB-4)
- PHASE 2: LOTS 1-10, BLOCK 3, LOTS 1-25, BLOCK 4, AMENITY AREA ON THE WEST SIDE OF RB-4, THE TRAIL CONNECTING CALAMANTE AVE. TO THE RB-4 TRAIL, OTHER NECESSARY IMPROVEMENTS.
- PHASE 3: LOTS 1-15, BLOCK 6, THE CONNECTION TO INDIANA STREET, AND OTHER NECESSARY IMPROVEMENTS.
- PHASE 4: LOTS 1-10, BLOCK 7, THE TRAIL CONNECTING THE EAST SIDE OF RB-4 TO LOW WATER CROSSING, THE AMENITY AREA EAST OF RB-4, AND OTHER NECESSARY IMPROVEMENTS.

NW COR. SEC. 31,  
T1S, R65W OF THE 6TH P.M.  
FRONT ALUM POST 430'-14" LONG, 60'-0" WIDE  
IN ACCORD WITH PROBABLY SURVEYED AND  
MARKED "T-10" CORNER

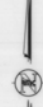
ONE-SIXTEENTH CORNER  
FRONT ALUM POST 430'-14" LONG, 60'-0" WIDE  
IN ACCORD WITH PROBABLY SURVEYED AND  
MARKED "T-10" CORNER



KEYMAP

**LEGEND**

- PHASE 1 [Solid Grey Box]
- PHASE 2 [Diagonal Hatching Box]
- PHASE 3 [Horizontal Hatching Box]
- PHASE 4 [Cross-hatching Box]



80 40 0 80 160  
SCALE: 1" = 80'

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF SUPERIOR AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

**NOT FOR CONSTRUCTION**



PHILLIP M. BOWMAN, P.E. #35180 DATE \_\_\_\_\_  
FOR AND ON BEHALF OF ROCKY MOUNTAIN CONSULTANTS, INC.

These designs, plans, and contract documents are reviewed for concept and general conformance to the District's minimum standards only, and the primary responsibility for design adequacy is to remain with the Engineer of record. This review does not imply responsibility by either the Town of Superior, Superior Metropolitan District No. 1 & No. 3, the Town Engineer or the District Engineer for completeness, accuracy or correctness of calculations. The review does not imply that quantities of items indicated on the Plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the Town or District for additional items and additional quantities of items shown that may be required during the construction phase.

Approved for construction within one year of the earliest of these dates:

|          |                                     |            |
|----------|-------------------------------------|------------|
| By _____ | District No. 1 Engineer             | Date _____ |
| By _____ | District No. 3 Engineer             | Date _____ |
| By _____ | Town of Superior                    | Date _____ |
| By _____ | Cherryvale Fire Protection District | Date _____ |
| By _____ | District No. 1                      | Date _____ |

**FMC**  
8301 E. Pavillion Ave.  
Suite 101  
Greenwood Village,  
Colorado 80121  
Phone: (303) 741-6000  
Fax: (303) 741-6100

| NO. | REVISIONS                   | DATE BY  | ROCKY MOUNTAIN CONSULTANTS, INC. |
|-----|-----------------------------|----------|----------------------------------|
| 1   | FOR SET, 2002 CITY COMMENTS | 12/28/02 | PLM                              |

CALAMANTE  
TOWN OF SUPERIOR  
PHASING PLAN

DATE: AUG 2002  
DESIGNED BY: JLM  
DRAWN BY: SM  
CHECKED BY: PLM  
JOB NO.  
3891.003.01  
SHEET  
61 OF 61