

# CALMANTE II PLANNED DEVELOPMENT

## AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

### PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN COVER SHEET

15 AUGUST 2014

#### LAND USE DATA

CASALON STREET R.O.W. VACATION AND DEDICATION ADJUSTMENT*	3.82 AC ±
EXISTING CASALON STREET R.O.W. AREA	0.33 AC ±
CASALON STREET R.O.W. VACATION (PARTIAL)	0.33 AC ±
CASALON STREET R.O.W. DEDICATION (PARTIAL)	0.17 AC ±
NET CASALON STREET R.O.W. VACATION	0.16 AC ±
<b>PROPOSED CASALON STREET R.O.W. AREA</b>	<b>0.66 AC ±</b>

\*REFER TO SHEET C3 "SITE PLAN" FOR GRAPHICAL REPRESENTATIONS OF THE CASALON STREET R.O.W. VACATION AND DEDICATION AREAS.

#### GROSS DEVELOPMENT AREA\*\*

LOT 1, BLOCK 1, CALMANTE SUBDIVISION	1.76 AC ±
LOT 2, BLOCK 1, CALMANTE SUBDIVISION	1.82 AC ±
LOT 1, BLOCK 2, CALMANTE SUBDIVISION	2.18 AC ±
LOT 2, BLOCK 2, CALMANTE SUBDIVISION	2.18 AC ±
<b>NET EXISTING PLANNED DEVELOPMENT (B-C) ZONED AREA</b>	<b>10.44 AC ±</b>
CASALON STREET R.O.W. VACATION (PARTIAL)	0.33 AC ±
<b>GROSS DEVELOPMENT AREA**</b>	<b>10.77 AC ±</b>

\*\*GROSS DEVELOPMENT AREA INCLUDES THE NET CASALON STREET R.O.W. VACATION OF 0.66 AC ±. REFER TO THE "CASALON STREET R.O.W. VACATION DEDICATION ADJUSTMENT" TABLE SHOWN ABOVE FOR CALCULATION OF AREA.

#### PROPOSED ZONE DISTRICT CHANGE AREA

NET EXISTING PLANNED DEVELOPMENT (B-C) AREA	10.44 AC ±
CASALON STREET R.O.W. VACATION (PARTIAL)	0.33 AC ±
<b>PROPOSED ZONE DISTRICT CHANGE AREA</b>	<b>10.77 AC ±</b>

#### ZONING

EXISTING ZONE DISTRICT	PLANNED DEVELOPMENT (B-C)
PROPOSED ZONE DISTRICT	PLANNED DEVELOPMENT (B-4A)

#### PROPOSED DEVELOPMENT AREA ALLOCATIONS

35' SINGLE FAMILY RESIDENTIAL LOTS:	5.99 AC ±	55.6%
OUTLOTS A, B AND C:	3.00 AC ±	27.9%
PUBLIC RIGHT-OF-WAY STREET A - STREET B:	1.61 AC ±	14.9%
PUBLIC RIGHT-OF-WAY CASALON STREET:	0.17 AC ±	1.6%
<b>GROSS DEVELOPMENT AREA</b>	<b>10.77 AC ±</b>	<b>100.0%</b>

#### OPEN SPACE AREA ALLOCATIONS\*

COULDER OPEN SPACE	0.36 AC ±	
DEVELOPED LANDSCAPE AREAS	2.80 AC ±	
RESIDENTIAL LOTS LANDSCAPE AREAS	1.54 AC ±	
NATURALIZED LANDSCAPE AREAS	4.61 AC ±	
TOTAL COMMON OPEN SPACE:	0.35 AC ±	3.3%
TOTAL OPEN SPACE:	0.88 AC ±	8.2%
NATURAL OPEN SPACE:	0.88 AC ±	8.2%
<b>TOTAL OPEN SPACE AREA</b>	<b>10.77 AC ±</b>	<b>100.0%</b>

\*TOTAL OPEN SPACE AREA PROVIDED AS % OF GROSS DEVELOPMENT AREA: 10.77%  
\*\*INDIVIDUALLY APPROVED SMITH PROPERTY PD (RECEPTION NO. 2268919, PLAT BOOK 56, FILE 2, PAGES 30-33) REQUIRED A MINIMUM OF 20% TOTAL USABLE OPEN SPACE AREA FOR THE 10.44-AC OFFICE/RETAIL AREA ZONING PLANNED DEVELOPMENT (B-C). THIS VALUE INCLUDED A 5% CREDIT FOR THE PROXIMITY TO THE ROCK CREEK BUFFER AREA (TRACT 4).

#### DEVELOPMENT IMPACT STATEMENT

THE PROPOSED SINGLE FAMILY RESIDENTIAL DEVELOPMENT IS LESS IMPACTFUL ON THE TOWN OF SUPERIOR'S ECONOMY AND UTILITY INFRASTRUCTURE THAN THE PREVIOUSLY APPROVED BUSINESS COMMERCIAL DEVELOPMENT. THE SITE GRADING AND HOME LAYOUT ALLOWS THE DEVELOPMENT TO STEP DOWN WITH THE TOPOGRAPHY AND PRESERVES THE VIEW CORRIDORS OF ADJACENT SINGLE FAMILY HOMES. THE PROPOSED PATIO HOMES PROVIDE A HOUSING TYPE THAT MEETS THE CHANGING DEMOGRAPHICS OF THE TOWN.

#### GENERAL NOTES:

- THIS PD AMENDMENT AND ZONE DISTRICT PLAN IS INTENDED TO AFFECT ONLY THE LAND DESCRIBED HEREON WHICH ARE THE AREAS ZONED AS PLANNED DEVELOPMENT (B-C) AS SHOWN ON THE PREVIOUSLY APPROVED SMITH PROPERTY PLANNED DEVELOPMENT. ALL OTHERS ARE NOT AFFECTED BY THIS AMENDMENT. APPROVED SMITH PROPERTY PLANNED DEVELOPMENT SHALL CONTINUE TO BE SUBJECT TO THE SMITH PROPERTY PLANNED DEVELOPMENT AND ANY APPLICABLE PD AMENDMENTS.
- SETBACKS: EXTERIOR DESIGN ELEMENTS OF BUILDINGS, SUCH AS EAVES, BORMERS, BUT WINDOWS AND DECK STAIRS, MAY INCROACH UP TO 30 INCHES INTO SIDE, FRONT AND REAR YARD SETBACKS. ALL PATIOS, DECKS AND ANY COVERS SHALL BE WITHIN THE BUILDING SETBACKS.
- OPEN SPACE: MEANS A PARCEL OF LAND, AN AREA OF WATER, OR A COMBINATION THEREOF THAT WATER WITHIN THIS PROJECT DESIGN AND INTENDED PRIMARILY FOR THE USE AND ENJOYMENT OF RESIDENTS, OCCUPANTS AND OWNERS OR THE GENERAL PUBLIC EXCLUSIVE OF BUILDINGS, RIGHTS-OF-WAY FOR STREETS, PARKING, STORAGE, AND LOADING AREAS.
- COMMON OPEN SPACE MEANS AN AREA MAINTAINED BY THE HOMEOWNERS' ASSOCIATION AND INTENDED PRIMARILY FOR THE USE OF LAWNMOWERS, RESIDENTS AND OCCUPANTS OF THE PROJECT BUT NOT REGULARLY THE GENERAL PUBLIC. THE SINGLE FAMILY RESIDENTIAL LOT YARD AND LANDSCAPE AREAS WILL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION AND FENCING ALONG LOT LINES WILL BE PROHIBITED. COMMON OPEN SPACE INCLUDES SINGLE FAMILY RESIDENTIAL LOT YARD AREAS EXCLUSIVE OF THE REQUIRED BUILDING ENVELOPE AND DRIVEWAY BEYOND THE BUILDING ENVELOPE.
- PUBLIC OPEN SPACE MEANS AN AREA DESIGNED FOR USE BY BOTH THE OWNERS WITHIN THE DEVELOPMENT AND THE GENERAL PUBLIC. PUBLIC OPEN SPACE MAY BE PUBLICLY OWNED OR PRIVATELY OWNED. PUBLIC TRAIL CONNECTIONS ARE PROPOSED FOR OUTLOT A AND OUTLOT B. PUBLIC TRAILS ARE CONSIDERED PUBLIC OPEN SPACE.
- USABLE OPEN SPACE IS THE COMBINATION OF COMMON OPEN SPACE AND PUBLIC OPEN SPACE THAT WILL BE IRRIGATED AND PLANTED IN ACCORDANCE WITH THE TOWN OF SUPERIOR'S MUNICIPAL CODE FOR DEVELOPED LANDSCAPE AREAS AND NATURALIZED LANDSCAPE AREAS.
- NATURAL OPEN SPACE MEANS AREAS LANDSCAPED WITH NON-IRRIGATED NATIVE SPECIES.

#### RESIDENTIAL DEVELOPMENT CRITERIA

PERMITTED USES:	SINGLE-FAMILY DWELLINGS
PROPOSED SINGLE-FAMILY DWELLING UNITS:	39
PROPOSED DENSITY:	39 DU / 10.77 AC ±
PROPOSED DENSITY:	3.6 DU PER AC
ACCESSORY STRUCTURES:	NOT ALLOWED

MINIMUM LOT AREA (SQ)	5,500
MAXIMUM BUILDING OR STRUCTURE HEIGHT (FT)	30
MAXIMUM HEIGHT OF ACCESSORY USES (FT)	15*
MAXIMUM NUMBER OF STOREYS	1
FRONT YARD MINIMUM SET BACKS (PRINCIPAL USE AND STRUCTURE):	
FRONT YARD SET BACK FOR FRONT LOADED GARAGE HOME (FT)	15
FRONT YARD SET BACK FOR SIDE LOADED GARAGE HOME (FT)	10
GARAGE DOOR SET BACK FOR FRONT LOADED GARAGE HOME	20
SIDE YARD MINIMUM SET BACKS (PRINCIPAL USE AND STRUCTURE):	
SIDE YARD - INTERIOR LOT LINE (FT)	5**
SIDE YARD - ABUTTING LOCAL STREET (FT)	15
SIDE YARD - ABUTTING OUTLOT (FT)	5
REAR YARD MINIMUM SET BACKS (PRINCIPAL USE AND STRUCTURE):	
REAR YARD - ABUTTING OPEN SPACE (FT)	15
REAR YARD - ABUTTING LOCAL STREET (FT)	15
REAR YARD - ABUTTING OUTLOT (FT)	5
MAXIMUM LOT COVERAGE	55%

\* BUILDING HEIGHTS IN THE RESIDENTIAL AREA ARE EXCLUSIVE OF WALKOUTS AND GARDEN LEVELS. HEIGHTS SHALL BE MEASURED FROM THE ESTABLISHED AVERAGE BASE GRADE OF THE STRUCTURE TO THE TOP OR HIGHEST POINT OF THE STRUCTURE OR ACCESSORY APPOINTMENTS. EXCEPTED ACCESSORY APPOINTMENTS ARE CHIMNEYS, UTILITY VENTILATION PIPES AND LIGHTENING RODS.  
\*\* BUILDING CANTILEVERS AND ROOF OVERHANGS MAY PROJECT 12 INCHES INTO SIDE YARD SETBACK.

#### UTILITY USAGE DATA

POTABLE WATER DEMAND (GALLONS PER DAY):	7,800 GPD
SANITARY SEWER LOADING (GALLONS PER DAY):	7,800 GPD
IRRIGATION RE USE AVERAGE WATER DEMAND (GALLONS PER DAY):	13,400 GPD

#### GENERAL NOTES (CONTD):

- VIEW CORRIDOR REQUIREMENTS WERE ESTABLISHED IN THE PREVIOUSLY APPROVED SMITH PROPERTY PD (RECEPTION NO. 2268919, PLAT BOOK 56, FILE 2, PAGES 30-33). THE PROPOSED ALLOWABLE HEIGHT FOR SINGLE FAMILY HOMES WILL BE LESS THAN THE PREVIOUSLY APPROVED MAXIMUM STRUCTURE HEIGHT FOR THE PLANNED COMMERCIAL DEVELOPMENT. THIS PD AMENDMENT MEETS THE PREVIOUSLY ESTABLISHED VIEW CORRIDOR REQUIREMENTS. PLEASE REFER TO SHEET C1 "SITE SECTION PROFILES".
- USE AND/OR DEVELOPMENT STANDARDS: ANY USES AND/OR DEVELOPMENT STANDARDS NOT SPECIFICALLY ADDRESSED HEREIN BY SUPERIOR'S PD AMENDMENT AND ZONE DISTRICT PLAN SHALL BE SUBJECT TO AND DETERMINED BY THE MOST CURRENT PROVISIONS OF THE TOWN OF SUPERIOR'S LAND USE CODE.
- HOME OWNERS' ASSOCIATION: DEVELOPER SHALL ESTABLISH A HOMEOWNERS' ASSOCIATION FOR THIS PROJECT.
- CONCEPTUAL PLANS: THIS PRELIMINARY PD AMENDMENT AND ZONE DISTRICT PLAN ESTABLISHES THE PROJECT'S DESIGN STANDARDS FOR BUILDING ARCHITECTURE, LANDSCAPING, LIGHTING AND SIGNAGE. HOWEVER, THE SPECIFIC LOCATION OF EACH OF THESE ELEMENTS MAY VARY AT THE TIME OF FINAL DEVELOPMENT PLAN.
- RECREATIONAL AMENITIES: THE DEVELOPER SHALL PROVIDE A CONCRETE TRAIL CONNECTION FROM MOUNTAIN VIEW AVENUE AT CASALON STREET THROUGH OUTLOT A AND TRACT K TO COALTON ROAD AND CALMANTE AVENUE. THIS TRAIL CONNECTION IS ESTABLISHED AS PART OF THE PREVIOUSLY APPROVED SMITH PROPERTY PD (RECEPTION NO. 2268919, PLAT BOOK 56, FILE 2, PAGES 30-33). IN ADDITION, THE DEVELOPER SHALL PROVIDE A CONCRETE TRAIL ADJACENT TO CASALON BLVD FROM CALMANTE AVENUE NORTH TO CASALON STREET AND A TRAIL THROUGH TRACT K FROM VACALON TO COALTON ROAD. WHERE THE TRAIL CHANGES ROCK CREEK, A LOW WATER CROSSING SHALL BE USED. REFER TO SHEET C3 "SITE PLAN" FOR TRAIL ALIGNMENTS AND ADDITIONAL TRAIL NOTES.
- LOT LINE RETAINING WALLS: LOT LINE RETAINING WALLS WILL BE ALLOWED AS NECESSARY TO TRANSFER GRADES BETWEEN LOTS AND MAY BE UP TO 30 INCHES HIGH WITHOUT ENGINEERED DESIGN.
- LIGHTING: WALKWAY LIGHTING ALONG THE TRAILS SHALL BE PROVIDED. LED LIGHTING IS ACCEPTABLE. STREET LIGHTING SHALL BE LED.

SHEET INDEX	
SHEET NO.	SHEET TITLE
C1	COVER SHEET
C2	EXISTING SITE CONDITIONS
C3	SITE PLAN
C4	PROJECT GUIDELINES AND NARRATIVE
C5	PRELIMINARY UTILITY PLAN
C6	PRELIMINARY GRADING PLAN
C7	SITE SECTION PROFILES
A1-A6	SINGLE FAMILY HOME ELEVATIONS (1 OF 6)
L1	PRELIMINARY LANDSCAPE PLAN
L2	TRAIL AND SIDEWALK CONNECTION PLAN

#### PROPERTY DESCRIPTION

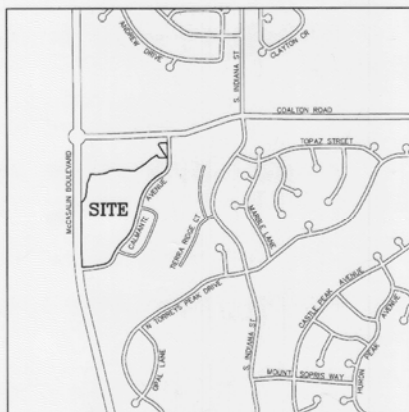
LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, CALMANTE SUBDIVISION, AND A PORTION OF CASALON STREET RIGHT-OF-WAY LOCATED IN THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M., TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO.

#### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 31 BEARS NORTH 89°51'59" EAST.

#### BENCHMARK

NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH PM, A ROUND MONUMENT WITH A 3-1/2" ALUMINUM CAP IN RANGE BOX ON THE EAST SIDE OF THE INTERSECTION OF MACALUSIN BLVD. AND COALTON ROAD.  
ELEVATION = 5527.75 FEET, NGVD 29 DATUM  
LOCAL CONVERSION TO NAVD 83 = NGVD 29 ELEVATION + 3.27'



VICINITY MAP  
1" = 500'

#### CERTIFICATE OF OWNERSHIP

I CERTIFY THAT BOULDER CREEK CALMANTE II, LLC IS THE OWNER OF THE PROPERTY, BOULDER CREEK CALMANTE II, LLC IS THE MORTGAGEE OF THE PROPERTY AND WE CONSENT TO THE ABOVE PRELIMINARY PLAN DEVELOPMENT AND ZONE DISTRICT PLAN IN WHOLENESS WHEREOF I HEREBY SET MY HAND THIS 20th DAY OF September, 2014, BY *Shawn Eric Kean*, AUTHORIZED SIGNER.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20th DAY OF September, 2014, BY *Shawn Eric Kean*, AS AUTHORIZED SIGNER FOR BOULDER CREEK CALMANTE II, A COLORADO LIMITED LIABILITY COMPANY.

*Debbie H. Bunker*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES 4/10/18

DEBBIE H. BUNKER  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 2973401068  
MY COMMISSION EXPIRES 04/10/2018

#### HOLDER OF DEED OF TRUST

I CERTIFY THAT *Firstier Bank, N.A.* IS THE HOLDER OF A DEED OF TRUST FOR THE PROPERTY AND CONSENTS TO THE ABOVE PRELIMINARY PLAN DEVELOPMENT AND ZONE DISTRICT PLAN IN WHOLENESS WHEREOF I HEREBY SET MY HAND THIS 27th DAY OF October, 2014, BY *Eric R. Johnson*, IMPACT FOR *Firstier Bank, N.A.*

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF October, 2014, BY *Eric R. Johnson*, AS HOLDER OF DEED OF TRUST FOR BOULDER CREEK CALMANTE II, LLC.

*Eric R. Johnson*  
NOTARY  
MY COMMISSION EXPIRES 7-01-2017

ERIC R. JOHNSON  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 2973401068  
MY COMMISSION EXPIRES 07/01/2017

#### TOWN CLERK'S CERTIFICATE

STATE OF COLORADO, TOWN OF SUPERIOR  
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 4:00 P.M. ON October 27, 2014, AND WILL BE DULY RECORDED.

*Phyllis A. Harbin*  
TOWN CLERK

#### TOWN BOARD OF TRUSTEE'S CERTIFICATE

APPROVED THIS 27th DAY OF April, 2014, BY THE BOARD OF TRUSTEES, SUPERIOR, COLORADO. THIS APPROVAL IS WITH THE UNDERSTANDING THAT ALL EXPENSES INVOLVING NECESSARY IMPROVEMENTS FOR ALL UTILITY SERVICES, PARKING, GRADING, LANDSCAPING, CURBS, GUTTERS, STREET LIGHTS, STREET SIGNS, AND SIDEWALKS SHALL BE FINANCED BY OTHERS AND NOT THE TOWN OF SUPERIOR. Ordinance No. 1, Series 2014

*Phyllis A. Harbin*  
TOWN CLERK

#### OWNER/DEVELOPER:

BOULDER CREEK NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, COLORADO 80027  
303.518.8194  
CONTACT: DAVID OYLER

#### CIVIL ENGINEER:

THE SANITAS GROUP-  
805 MAIN STREET, SUITE 210-  
LOUISVILLE, COLORADO 80027  
303.881.8298  
CONTACT: LESLIE R. EMM, P.E.

#### LAND SURVEYOR

FLAGSTAFF SURVEYING, INC.  
637 SOUTH BROADWAY, SUITE C  
BOULDER, COLORADO 80305  
303.495.9717  
CONTACT: STEVEN SELLARS, P.L.S.

#### LANDSCAPE ARCHITECT

NATURE'S DESIGN ASSOCIATES, LLC  
15674 INDIANA GULCH ROAD  
JAMESTOWN, COLORADO 80455  
303.679.1333  
CONTACT: BECKY MARTINEK, P.L.A.



ISSUE	DATE
PPD/DO SUBMITTAL	02/19/14
PPD/DO RESUBMITTAL	06/21/14
PPD/DO RESUBMITTAL	08/21/14
PPD/DO RESUBMITTAL	08/15/14
DESIGNED BY:	LRE
DRAWN BY:	TSG
CHECKED BY:	LRE
DRAWING SCALE:	
HORIZONTAL:	NONE
VERTICAL:	NONE
PROJECT NO.:	B10049
	1089PD-CV

Memo of Record  
Recorded on 11/14/14  
to 03413030

COVER SHEET  
PRELIMINARY PD AND  
ZONE DISTRICT PLAN  
SHEET C1 OF 15  
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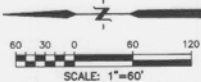
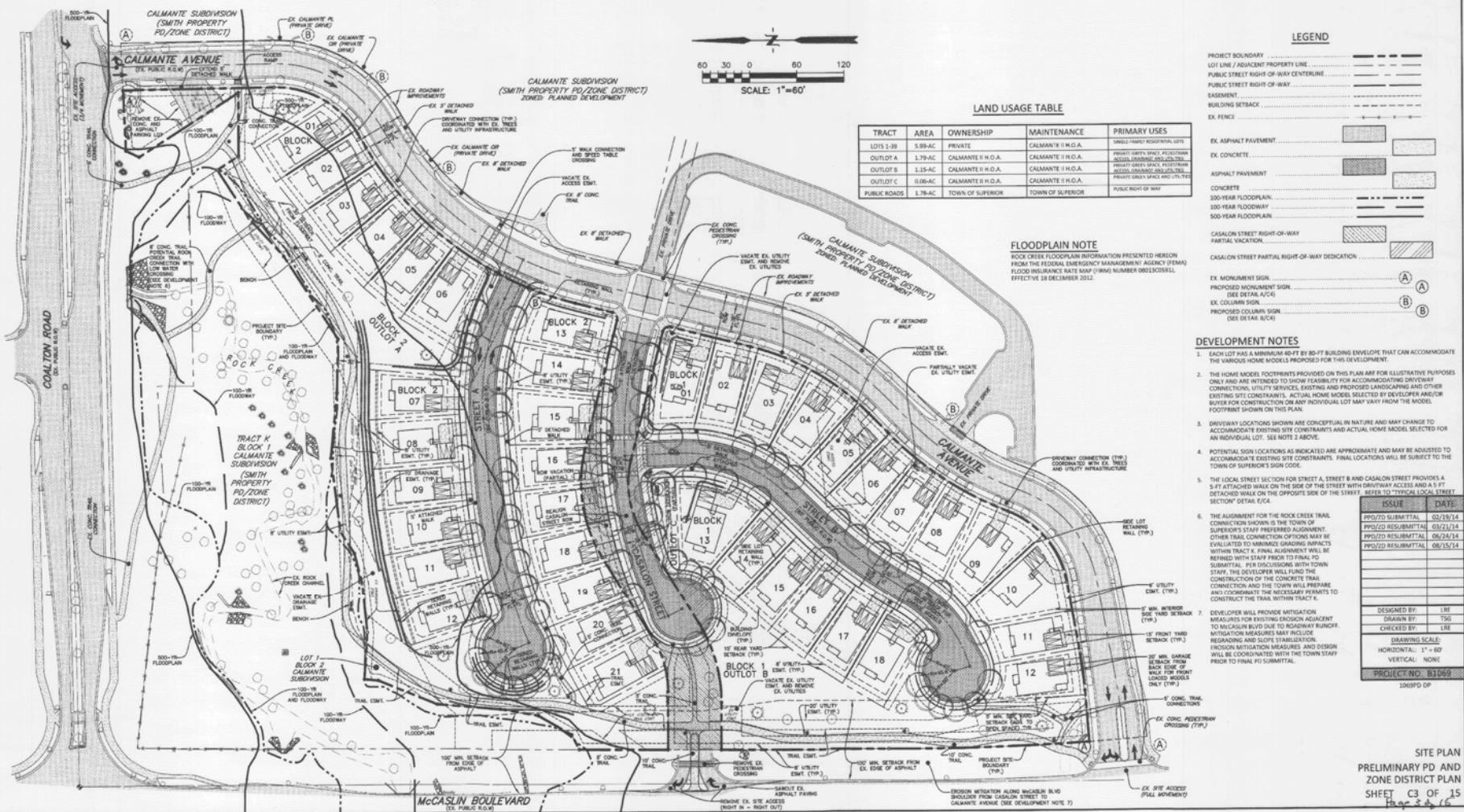


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AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
SITE PLAN



LAND USAGE TABLE

TRACT	AREA	OWNERSHIP	MAINTENANCE	PRIMARY USES
LOTS 1-20	5.99-AC	PRIVATE	CALMANTE II H.O.A.	SINGLE-FAMILY RESIDENTIAL LOTS
OUTLOT A	1.79-AC	CALMANTE II H.O.A.	CALMANTE II H.O.A.	PRIVATE DRIVE SPACE, FLOODPLAIN ADJUSTMENT, UTILITY EASEMENTS
OUTLOT B	1.15-AC	CALMANTE II H.O.A.	CALMANTE II H.O.A.	PRIVATE DRIVE SPACE, FLOODPLAIN ADJUSTMENT, UTILITY EASEMENTS
OUTLOT C	0.06-AC	CALMANTE II H.O.A.	CALMANTE II H.O.A.	PRIVATE DRIVE SPACE AND UTILITY
PUBLIC ROADS	1.78-AC	TOWN OF SUPERIOR	TOWN OF SUPERIOR	PUBLIC RIGHT-OF-WAY

**FLOODPLAIN NOTE**  
ROCK CREEK FLOODPLAIN INFORMATION PRESENTED HEREON FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 0802020591L EFFECTIVE 28 DECEMBER 2012.

LEGEND

- PROJECT BOUNDARY
- LOT LINE / ADJACENT PROPERTY LINE
- PUBLIC STREET RIGHT-OF-WAY CENTERLINE
- PUBLIC STREET RIGHT-OF-WAY
- EASEMENT
- BUILDING SETBACK
- EX. FENCE
- EX. ASPHALT PAVEMENT
- EX. CONCRETE
- ASPHALT PAVEMENT
- CONCRETE
- 100-YEAR FLOODPLAIN
- 100-YEAR FLOODWAY
- 500-YEAR FLOODPLAIN
- CASALON STREET RIGHT-OF-WAY PARTIAL VACATION
- CASALON STREET PARTIAL RIGHT-OF-WAY DEDICATION
- EX. MONUMENT SIGN
- PROPOSED MONUMENT SIGN (SEE DETAIL A/C)
- EX. COLUMN SIGN
- PROPOSED COLUMN SIGN (SEE DETAIL A/C)

**DEVELOPMENT NOTES**

- EACH LOT HAS A MINIMUM 40-FT BY 80-FT BUILDING ENVELOPE THAT CAN ACCOMMODATE THE VARIOUS HOME MODELS PROPOSED FOR THIS DEVELOPMENT.
- THE HOME MODEL FOOTPRINTS PROVIDED ON THIS PLAN ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE INTENDED TO SHOW FEASIBILITY FOR ACCOMMODATING DRIVEWAY CONNECTIONS, UTILITY SERVICES, EXISTING AND PROPOSED LANDSCAPING AND OTHER EXISTING SITE CONSTRAINTS. ACTUAL HOME MODEL SELECTED BY DEVELOPER AND/OR BUYER FOR CONSTRUCTION ON ANY INDIVIDUAL LOT MAY VARY FROM THE MODEL FOOTPRINT SHOWN ON THIS PLAN.
- DRIVEWAY LOCATIONS SHOWN ARE CONCEPTUAL IN NATURE AND MAY CHANGE TO ACCOMMODATE EXISTING SITE CONSTRAINTS AND ACTUAL HOME MODEL SELECTED FOR AN INDIVIDUAL LOT. SEE NOTE 2 ABOVE.
- POTENTIAL SIGN LOCATIONS AS INDICATED ARE APPROXIMATE AND MAY BE ADJUSTED TO ACCOMMODATE EXISTING SITE CONSTRAINTS. FINAL LOCATIONS WILL BE SUBJECT TO THE TOWN OF SUPERIOR'S SIGN CODE.
- THE LOCAL STREET SECTION FOR STREET A, STREET B AND CASALON STREET PROVIDES A 5-FT ATTACHED WALK ON THE SIDE OF THE STREET WITH DRIVEWAY ACCESS AND A 5-FT DETACHED WALK ON THE OPPOSITE SIDE OF THE STREET. REFER TO "TYPICAL LOCAL STREET SECTION" DETAIL E/C.
- THE ALIGNMENT FOR THE ROCK CREEK TRAIL CONNECTION SHOWN IN THE TOWN OF SUPERIOR'S STAFF PREFERRED ALIGNMENT OTHER TRAIL CONNECTION OFFERING MAY BE EVALUATED TO MINIMIZE GRADING IMPACTS WITHIN TRACT X. FINAL ALIGNMENT WILL BE REFINED WITH STAFF PRIOR TO FINAL PD SUBMITTAL. PER DISCUSSION WITH TOWN STAFF, THE DEVELOPER WILL FUND THE CONSTRUCTION OF THE CONCRETE TRAIL CONNECTION AND THE TOWN WILL PREPARE AND COORDINATE THE NECESSARY PERMITS TO CONSTRUCT THE TRAIL WITHIN TRACT X.
- DEVELOPER WILL PROVIDE MITIGATION MEASURES FOR EXISTING EROSION ADJACENT TO HIGHWAY DUE TO ROADWAY BURNOFF. MITIGATION MEASURES MAY INCLUDE REGRADING AND SOFTS TO ROADWAY. EROSION MITIGATION MEASURES AND DESIGN WILL BE COORDINATED WITH THE TOWN STAFF PRIOR TO FINAL PD SUBMITTAL.

ISSUE	DATE
PROJ/D SUBMITTAL	02/19/14
PROJ/D RESUBMITTAL	03/21/14
PROJ/D RESUBMITTAL	06/24/14
PROJ/D RESUBMITTAL	08/15/14
DESIGNED BY	SRF
DRAWN BY	TSJ
CHECKED BY	LSR
DRAWING SCALE	
HORIZONTAL:	1" = 60'
VERTICAL:	NONE
PROJECT NO.	B1049
	1009PD DP

SITE PLAN  
PRELIMINARY PD AND  
ZONE DISTRICT PLAN  
SHEET C3 OF 15  
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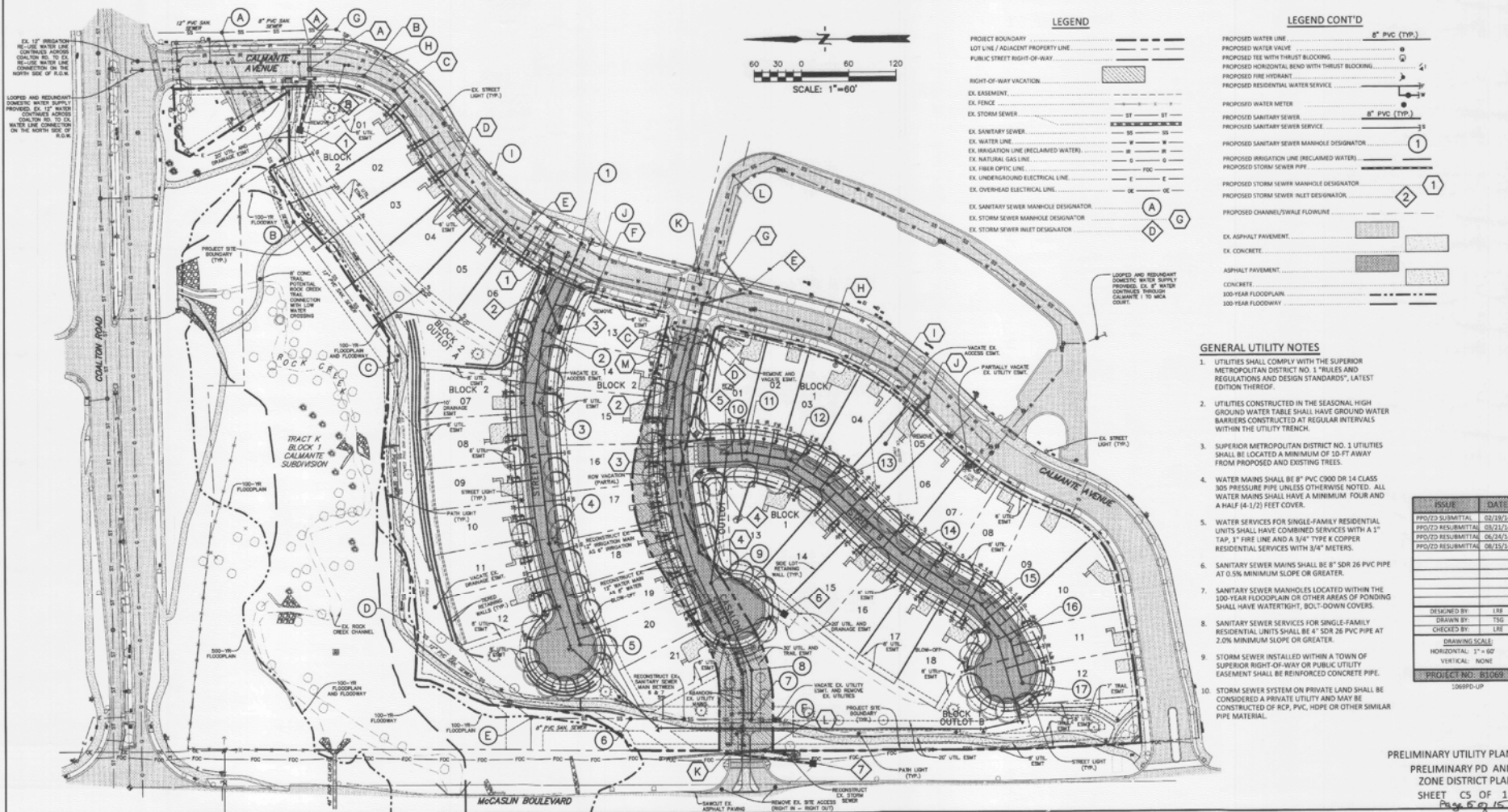


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TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
PRELIMINARY UTILITY PLAN



### LEGEND

- PROJECT BOUNDARY
- LOT LINE / ADJACENT PROPERTY LINE
- PUBLIC STREET RIGHT-OF-WAY
- RIGHT-OF-WAY VACATION
- EX. EASEMENT
- EX. FENCE
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. WATER LINE
- EX. IRRIGATION LINE (RECLAIMED WATER)
- EX. NATURAL GAS LINE
- EX. FIBER OPTIC LINE
- EX. UNDERGROUND ELECTRICAL LINE
- EX. OVERHEAD ELECTRICAL LINE
- EX. SANITARY SEWER MANHOLE DESIGNATOR
- EX. STORM SEWER MANHOLE DESIGNATOR
- EX. STORM SEWER INLET DESIGNATOR

### LEGEND CONT'D

- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED TEE WITH THURST BLOCKING
- PROPOSED HORIZONTAL BEND WITH THURST BLOCKING
- PROPOSED FIRE HYDRANT
- PROPOSED RESIDENTIAL WATER SERVICE
- PROPOSED WATER METER
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED SANITARY SEWER MANHOLE DESIGNATOR
- PROPOSED IRRIGATION LINE (RECLAIMED WATER)
- PROPOSED STORM SEWER PIPE
- PROPOSED STORM SEWER MANHOLE DESIGNATOR
- PROPOSED STORM SEWER INLET DESIGNATOR
- PROPOSED CHANNEL/WHALE FLOORING
- EX. ASPHALT PAVEMENT
- EX. CONCRETE
- ASPHALT PAVEMENT
- CONCRETE
- 100-YEAR FLOODPLAIN
- 100-YEAR FLOODWAY

### GENERAL UTILITY NOTES

1. UTILITIES SHALL COMPLY WITH THE SUPERIOR METROPOLITAN DISTRICT NO. 1 RULES AND REGULATIONS AND DESIGN STANDARDS, LATEST EDITION THEREOF.
2. UTILITIES CONSTRUCTED IN THE SEASONAL HIGH GROUND WATER TABLE SHALL HAVE GROUND WATER BARRIERS CONSTRUCTED AT REGULAR INTERVALS WITHIN THE UTILITY TRENCH.
3. SUPERIOR METROPOLITAN DISTRICT NO. 1 UTILITIES SHALL BE LOCATED A MINIMUM OF 10-FT AWAY FROM PROPOSED AND EXISTING TREES.
4. WATER MAINS SHALL BE 8" PVC C900 DR 14 CLASS 305 PRESSURE PIPE UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL HAVE A MINIMUM FOUR AND A HALF (4-1/2) FEET COVER.
5. WATER SERVICES FOR SINGLE-FAMILY RESIDENTIAL UNITS SHALL HAVE COMBINED SERVICES WITH A 3" TAP, 3" FIRE LINE AND A 3/4" TYPE K COPPER RESIDENTIAL SERVICES WITH 24" METERS.
6. SANITARY SEWER MAINS SHALL BE 8" SDR 26 PVC PIPE AT 0.5% MINIMUM SLOPE OR GREATER.
7. SANITARY SEWER MANHOLES LOCATED WITHIN THE 100-YEAR FLOODPLAIN OR OTHER AREAS OF PONDING SHALL HAVE WATERTIGHT, BOLT-DOWN COVERS.
8. SANITARY SEWER SERVICES FOR SINGLE-FAMILY RESIDENTIAL UNITS SHALL BE 4" SDR 26 PVC PIPE AT 2.0% MINIMUM SLOPE OR GREATER.
9. STORM SEWER INSTALLED WITHIN A TOWN OF SUPERIOR RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENT SHALL BE REINFORCED CONCRETE PIPE.
10. STORM SEWER SYSTEM ON PRIVATE LAND SHALL BE CONSIDERED A PRIVATE UTILITY AND MAY BE CONSTRUCTED OF RCP, PVC, HDPE OR OTHER SIMILAR PIPE MATERIAL.

ISSUE	DATE
PROJ'D SUBMITTAL	02/19/24
PROJ'D RESUBMITTAL	03/21/24
PROJ'D RESUBMITTAL	06/24/24
PROJ'D RESUBMITTAL	08/13/24
DESIGNED BY	LRE
DRAWN BY	TSG
CHECKED BY	LRE
DRAWING SCALE	HORIZONTAL: 1" = 60'
VERTICAL	NONE
PROJECT NO.	B10469
	1009FD-UP

PRELIMINARY UTILITY PLAN  
PRELIMINARY PD AND  
ZONE DISTRICT PLAN  
SHEET 5 OF 15  
05/21/24

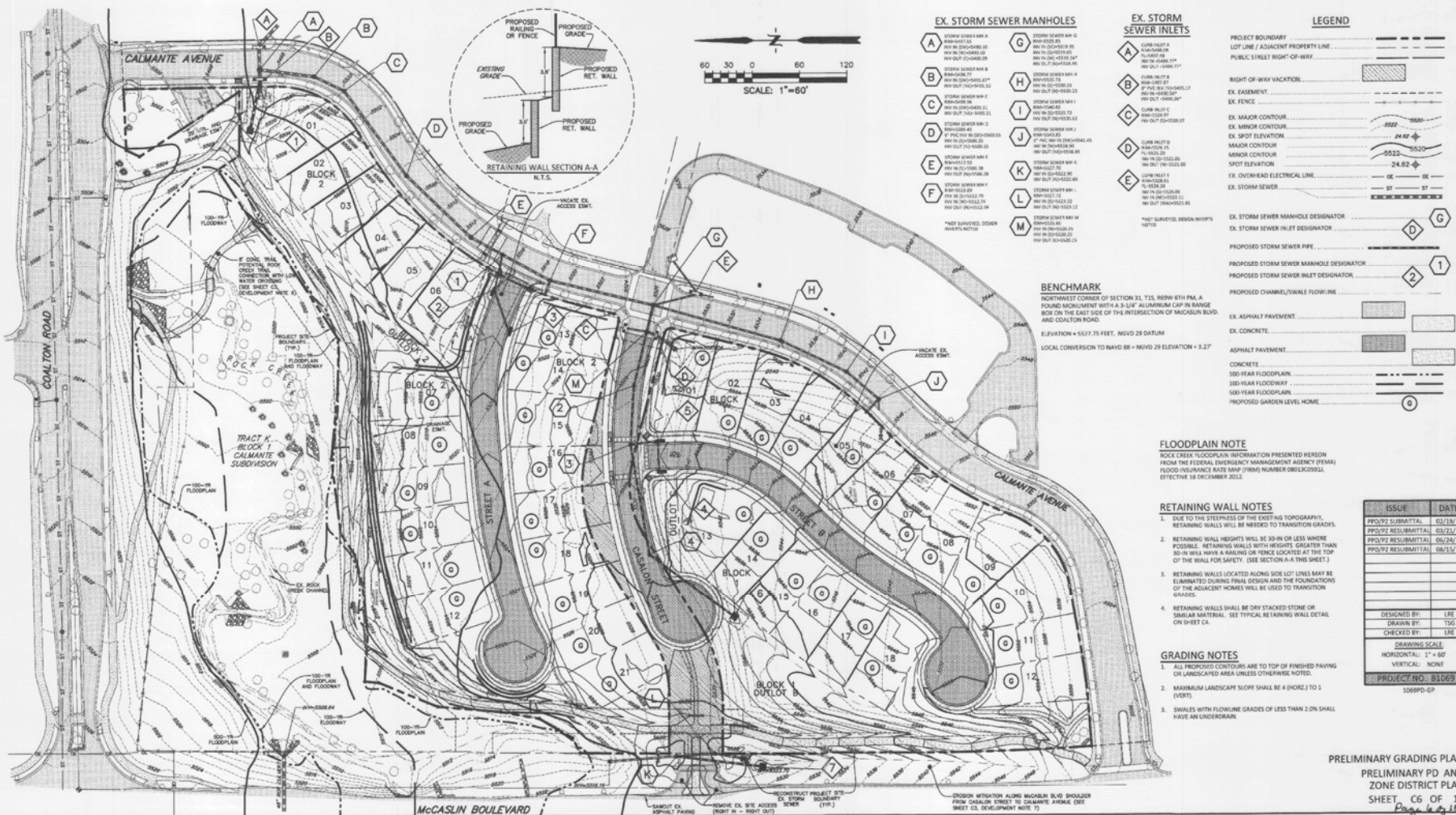
# CALMANTE II PLANNED DEVELOPMENT

AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN

PRELIMINARY GRADING PLAN



### EX. STORM SEWER MANHOLES

- A** STORM SEWER MANHOLE 1  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- B** STORM SEWER MANHOLE 2  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- C** STORM SEWER MANHOLE 3  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- D** STORM SEWER MANHOLE 4  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- E** STORM SEWER MANHOLE 5  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- F** STORM SEWER MANHOLE 6  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- G** STORM SEWER MANHOLE 7  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- H** STORM SEWER MANHOLE 8  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- I** STORM SEWER MANHOLE 9  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- J** STORM SEWER MANHOLE 10  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- K** STORM SEWER MANHOLE 11  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- L** STORM SEWER MANHOLE 12  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- M** STORM SEWER MANHOLE 13  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")

### EX. STORM SEWER INLETS

- A** STORM SEWER INLET 1  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- B** STORM SEWER INLET 2  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- C** STORM SEWER INLET 3  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- D** STORM SEWER INLET 4  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")
- E** STORM SEWER INLET 5  
INVERT 5520.00  
FIN 5520.00  
R/W IN 15'-0" (15'-0" TO 15'-0")  
R/W OUT 15'-0" (15'-0" TO 15'-0")

### LEGEND

- PROJECT BOUNDARY
- LOT LINE / ADJACENT PROPERTY LINE
- PUBLIC STREET RIGHT-OF-WAY
- RIGHT-OF-WAY VACATION
- EX. EASEMENT
- EX. FENCE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. SPOT ELEVATION
- EX. OVERHEAD ELECTRICAL LINE
- EX. STORM SEWER
- EX. STORM SEWER MANHOLE DESIGNATOR
- EX. STORM SEWER INLET DESIGNATOR
- PROPOSED STORM SEWER PIPE
- PROPOSED STORM SEWER MANHOLE DESIGNATOR
- PROPOSED STORM SEWER INLET DESIGNATOR
- PROPOSED CHANNEL/WALKWAY FLOWLINE
- EX. ASPHALT PAVEMENT
- EX. CONCRETE
- ASPHALT PAVEMENT
- CONCRETE
- 100-YEAR FLOODPLAIN
- 300-YEAR FLOODPLAIN
- 500-YEAR FLOODPLAIN
- PROPOSED GARDEN LEVEL HOME

### BENCHMARK

NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH PM, A  
FOUNDED MONUMENT WITH A 3" x 3" ALUMINUM CAP IN RANGE  
BOX ON THE EAST SIDE OF 1 1/2" INTERSECTION OF McCASLIN BOVD.  
AND CALALON ROAD.  
ELEVATION = 5527.75 FEET, NAVD 29 DATUM  
LOCAL CONVERSION TO NAVD 88 = NAVD 29 ELEVATION + 3.27'

### FLOODPLAIN NOTE

ROCK CREEK FLOODPLAIN INFORMATION PRESENTED HEREON  
FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)  
FLOOD INSURANCE RATE MAP (FIRM) NUMBER 08033003A,  
EFFECTIVE 18 DECEMBER 2012.

### RETAINING WALL NOTES

1. DUE TO THE STEEPNESS OF THE EXISTING TOPOGRAPHY, RETAINING WALLS WILL BE NEEDED TO TRANSITION GRADES.
2. RETAINING WALL HEIGHTS WILL BE 30-IN OR LESS WHERE POSSIBLE. RETAINING WALLS WITH HEIGHTS GREATER THAN 30-IN WILL HAVE A RAILING OR FENCE LOCATED AT THE TOP OF THE WALL FOR SAFETY. (SEE SECTION A-A THIS SHEET.)
3. RETAINING WALLS LOCATED ALONG SIDE LOT LINES MAY BE ELIMINATED DURING FINAL DESIGN AND THE FOUNDATIONS OF THE ADJACENT HOMES WILL BE USED TO TRANSITION GRADES.
4. RETAINING WALLS SHALL BE DRY STACKED STONE OR SIMILAR MATERIAL. SEE TYPICAL RETAINING WALL DETAIL ON SHEET CA.

### GRADING NOTES

1. ALL PROPOSED CONTOURS ARE TO TOP OF FINISHED PAVING OR LANDSCAPED AREA UNLESS OTHERWISE NOTED.
2. MAXIMUM LANDSCAPE SLOPE SHALL BE 4 (HORIZ.) TO 1 (VERT).
3. SWALES WITH FLOWLINE GRADES OF LESS THAN 2.0% SHALL HAVE AN UNDERDRAIN.

ISSUE	DATE
PP/02 SUBMITTAL	03/23/14
PP/02 RESUBMITTAL	03/23/14
PP/02 RESUBMITTAL	06/24/14
PP/02 RESUBMITTAL	08/13/14
DESIGNED BY:	LRE
DRAWN BY:	TSG
CHECKED BY:	LRE
DRAWING SCALE	
HORIZONTAL:	1" = 60'
VERTICAL:	NOTED
PROJECT NO.	1069P-GP





# CALMANTE II PLANNED DEVELOPMENT

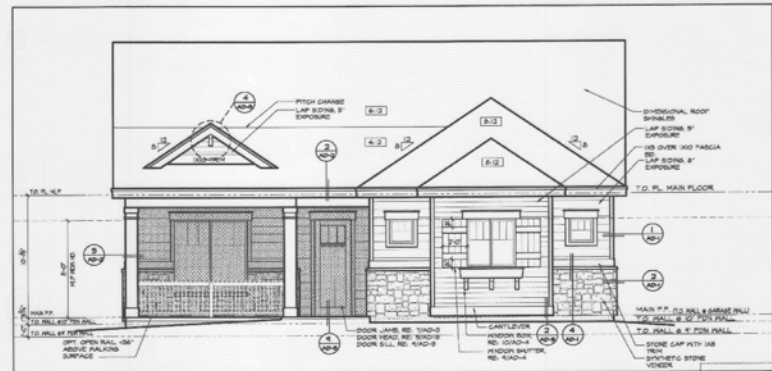
AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
ARCHITECTURAL ELEVATIONS - MODEL 42.1



FRONT ELEVATION - OPTION A  
NO SCALE



FRONT ELEVATION - OPTION B  
NO SCALE



MAIN FLOOR PLAN  
NO SCALE



FRONT ELEVATION - OPTION C  
NO SCALE

## HOME MODEL NARRATIVE

BOULDER CREEK'S HOMES ARE DESIGNED EXCLUSIVELY AROUND A MATURE, ACTIVE ADULT'S EASE OF LIVING. AT THEIR CORE, THEY ARE SENIOR FRIENDLY AND ALLOW OLDER OCCUPANTS THE ABILITY TO "AGE-IN-PLACE," A CONCEPT THAT IS TRULY LACKING IN THE NEW HOME MARKETPLACE EVEN WITH AGE 65+ BUYERS AS THE FASTEST GROWING HOME BUYING DEMOGRAPHIC, AND FASTEST GROWING BY A WIDE MARGIN.

THE FLOORPLANS ARE SINGLE LEVEL LIVING. EVERYTHING YOU NEED FOR EVERYDAY LIFE IS CONTAINED ON THE MAIN FLOOR INCLUDING THE BATHS, SUITE, GUEST SUITE AND LAUNDRY. A SECONDARY BENEFIT TO THIS STATE OF LIVING? THE FACT THAT THE COMMUNITY IS ALL SINGLE STORY RANCH PLANS WHICH IS MORE ATTRACTIVE AND ENHANCES NEIGHBORHOOD APPEAL WHILE LESSENING "VERTICAL DENSITY" AND SHADOWING OF TRADITIONAL 2 STORY NEIGHBORHOODS.

COVERED OUTDOOR LIVING, FRONT AND BACK, ARE SEAMLESSLY CONNECTED TO THE INTERIOR LIVING BY ZERO STEP, HANDICAP ACCESSIBLE THRESHOLDS, OFFERING 3 SEASON EXTENSIONS TO THE INTERIOR LIVING SPACES, APPROPRIATE FOR COLORADO'S MODERATE CLIMATE. WE ARE ALSO OFFER ABLE TO ACHIEVE ZERO STEP FROM THE GARAGE INTO THE HOME TO ENHANCE THE EASE OF LIVING FOR THE OWNER.

THE HOMES HAVE A MYRIAD OF ACCESSIBILITY FEATURES, NOT BECAUSE COMPELLED BY CODE (ACCESSIBILITY IS NOT A CODE REQUIREMENT OF SINGLE FAMILY RESIDENCES), BUT BECAUSE IT IS IMPORTANT TO OUR BUYER AND THEIR ABILITY TO AGE IN PLACE. WIDER HALLWAYS AND "DOORS" ALL DOORS ARE 3'-0" WIDE, CURBLES AND CURVED SHOWERS, RAISED PLUG HEIGHTS, LEVER HANDLES ON ALL FAUCETS AND DOORS, LARGE, FLEXIBLE GREAT ROOMS AND CHARGED BATHS ARE JUST A FEW OF THE BUILT IN, STANDARD FEATURES THAT COME WITH A BOULDER CREEK HOME.

AND THE EASE OF LIVING ACCOMMODATIONS ARE NOT JUST FOR SENIORS BECAUSE EVEN FOR THE YOUNG AND ABLE MODELS, THE HOMES ARE SIMPLY MORE GENEROUS, LIVABLE AND COMFORTABLE. AND THE GRANDKIDS WILL LOVE GRANDMA'S GREAT BIG SHOWER.

WITH THE HOME CORE CONCEPT CONSISTENTLY APPLIED ACROSS THE SERIES OF HOMES, THERE ARE DIFFERENCES IN THE FLOORPLANS TO PLEASE INDIVIDUAL PREFERENCES AND TASTES. SOME HAVE LARGER MASTER SUITES WHILE OTHERS OFFER A MORE LUXURIOUS KITCHEN, BUT ALL FLOORPLANS START WITH OUR CORE EASE OF LIVING FEATURES.

CONTINUED ON SHEET A2.

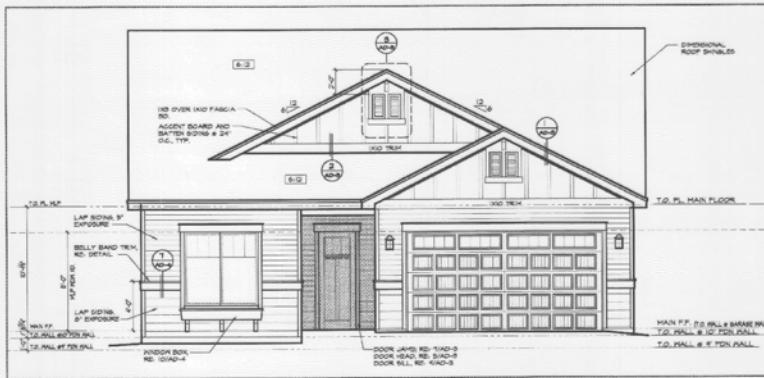
ISSUE	DATE
PPD/CD SUBMITAL	02/15/14
PPD/CD RESUBMITAL	03/21/14
DESIGNED BY:	LRF
DRAWN BY:	TSJ
CHECKED BY:	
DRAWING SCALE:	
HORIZONTAL:	NONE
VERTICAL:	NONE
PROJECT NO. B1049	
106PPD-A1	

# CALMANTE II PLANNED DEVELOPMENT

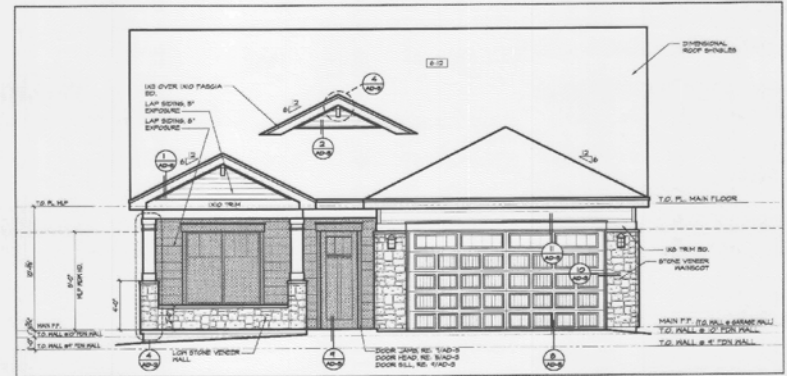
AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

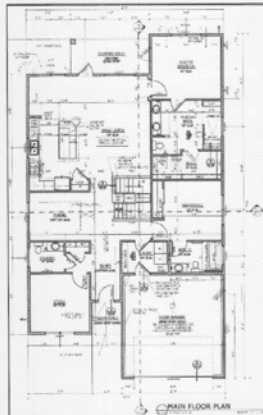
PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
ARCHITECTURAL ELEVATIONS - MODEL 43.1



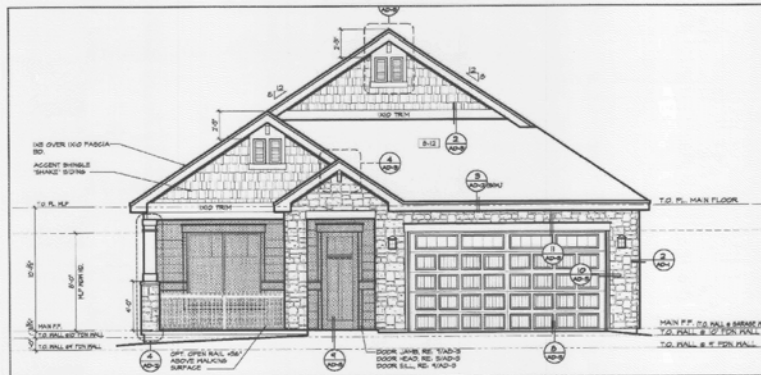
FRONT ELEVATION - OPTION A  
NO SCALE



FRONT ELEVATION - OPTION B  
NO SCALE



MAIN FLOOR PLAN  
NO SCALE



FRONT ELEVATION - OPTION C  
NO SCALE

### HOME MODEL NARRATIVE (CONT.)

CONTINUED FROM SHEET A1  
THE EXTERIORS OF THE HOMES OFFER DURABLE AND QUALITY FINISHES TASTEFULLY DESIGNED AND APPLIED. BECAUSE OUR BUYERS DEMAND IT, THEY ARE OFTEN DOWNGRADING IN SQUARE FOOTAGE, BUT IN DOING SO DEMAND AN UPSEIZ IN QUALITY AND TASTEFUL DESIGN. ALSO, AS THE HOMES ARE ALL HOA MAINTAINED, QUALITY AND DURABILITY OF EXTERIOR FINISHES TRANSLATES TO LOWER HOA DUES, AN IMPORTANT FEATURE FOR A BUYER WHO IS LIKELY RETIRED AND WHOSE INCOME IS FIXED. CONCRETE TILE ROOFS WITH A LIFETIME WARRANTY, STUCCO WHICH REQUIRES NO REPAIRING, INSULATED COMPOSITE DOORS (INCLUDING GARAGE DOORS), HEAVY TIMBER AND METAL ACCENTS ARE A FEW OF THE EXTERIOR MATERIALS THAT WILL BE STANDARD ON THESE TASTEFUL AND DURABLE HOMES.  
LAST, THE COMMUNITY WILL BE HOA MAINTAINED AND COVENANT CONTROLLED, FOR A TRUE "LOCK AND LEAVE" LIFESTYLE. THE LAWN IS IRRIGATED AND MOWED, THE SNOW SHOVED AND THE SPENC LANDSCAPING IS PLANTED AND GROUNDED. KENIC BECAUSE IT IS THE RIGHT THING TO DO IN COLORADO'S ARID CLIMATE, BUT ALSO BECAUSE IT CUTS DOWN ON WATER DEMAND TRANSLATING TO KEEPING THE HOA DUES AS AFFORDABLE AS POSSIBLE. WHETHER IT IS BECAUSE OF TRAVEL, A BUSY SOCIAL LIFE, OR A MOBILITY CHALLENGE, WE PROVIDE A STRUCTURE THAT ASSURES THAT EVERYTHING OUTSIDE THE FRONT DOOR IS MAINTAINED AND WORRY FREE. WHETHER YOU SPEND 2 MONTHS IN SCOTTSDALE GOING OR SPEND 2 MONTHS RECOVERING FROM HIP SURGERY, OUR HOMES ALLOW YOU TO LIVE YOUR LIFE WITHOUT WORRY OF MAINTENANCE OUTSIDE THE FRONT DOOR. COVENANT CONTROL WITH AGGRESSIVE ENFORCEMENT MEANS YOU WON'T FIND AN RV PARKED IN A DRIVEWAY FOR DAYS OR ENDS, GARBAGE CANS LEFT OUTSIDE, PETS AT LARGE, HOMES REPAINTED ODD COLORS, SANDBOXES AND CLOTHESLINES IN THE BACK YARDS OR BOAT TRAILERS IN THE SIDE YARDS.  
TRULY A NEAT AND TIDY, TASTEFULLY DESIGNED, HIGH QUALITY AND DURABLE, EASE OF ENTRY NEIGHBORHOOD. BECAUSE IT IS WHAT OUR ACTIVE ADULT BUYERS WANT, BUT STRUGGLE TO FIND IN THE GREATER DENVER METRO MARKET.

ISSUE	DATE
PRO/0 SUBMITAL	02/13/14
PRO/2 RESUBMITAL	03/21/14
DESIGNED BY:	LRE
DRAWN BY:	TSG
CHECKED BY:	
DRAWING SCALE:	NONE
HORIZONTAL:	NONE
VERTICAL:	NONE
PROJECT NO.	B1009
	10090 A2

# CALMANTE II PLANNED DEVELOPMENT

AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

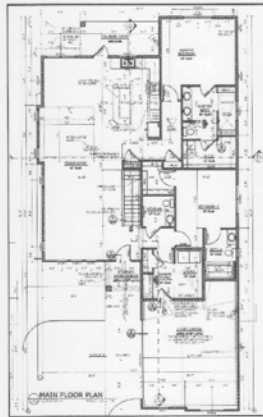
PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
ARCHITECTURAL ELEVATIONS - MODEL 44.1



FRONT ELEVATION - OPTION A  
NO SCALE



FRONT ELEVATION - OPTION B  
NO SCALE



MAIN FLOOR PLAN  
NO SCALE



FRONT ELEVATION - OPTION C  
NO SCALE

ISSUE	DATE
PRO/CD SUBMITAL	02/19/24
PRO/CD RESUBMITAL	03/21/24
DESIGNED BY:	LBE
DRAWN BY:	TSG
CHECKED BY:	
DRAWING SCALE:	
HORIZONTAL:	NONE
VERTICAL:	NONE
PROJECT NO.	81069
	1069D-A3

ARCHITECTURAL ELEVATIONS - MODEL 44.1  
PRELIMINARY PD AND  
ZONE DISTRICT PLAN  
SHEET A3 OF 15  
8/28/24

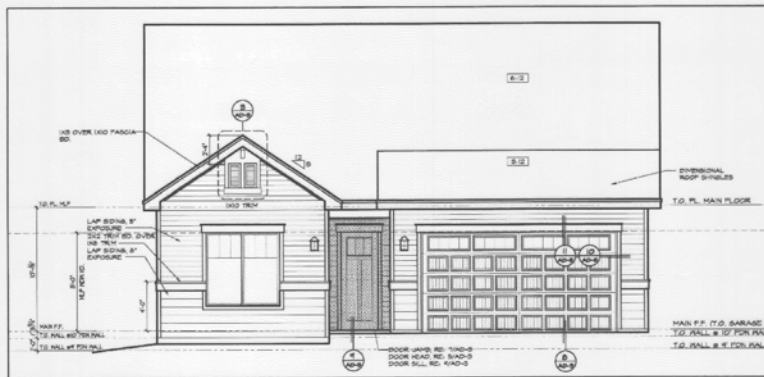


# CALMANTE II PLANNED DEVELOPMENT

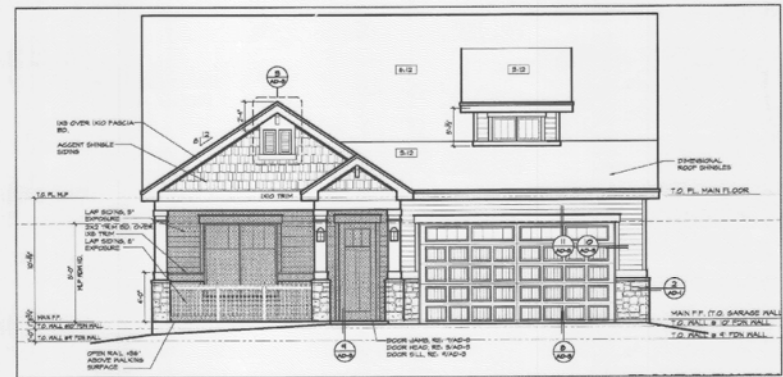
AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

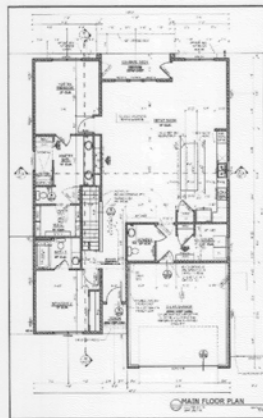
PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
ARCHITECTURAL ELEVATIONS - MODEL 45.1



FRONT ELEVATION - OPTION A  
NO SCALE



FRONT ELEVATION - OPTION B  
NO SCALE



MAIN FLOOR PLAN  
NO SCALE



FRONT ELEVATION - OPTION C  
NO SCALE

ISSUE	DATE
PROJ/D SUBMITAL	02/18/14
PROJ/D RESUBMITAL	03/21/14
DESIGNED BY:	LRE
DRAWN BY:	TSG
CHECKED BY:	
DRAWING SCALE:	
HORIZONTAL:	NONE
VERTICAL:	NONE
PROJECT NO:	81069
	1069D-04

# CALMANTE II PLANNED DEVELOPMENT

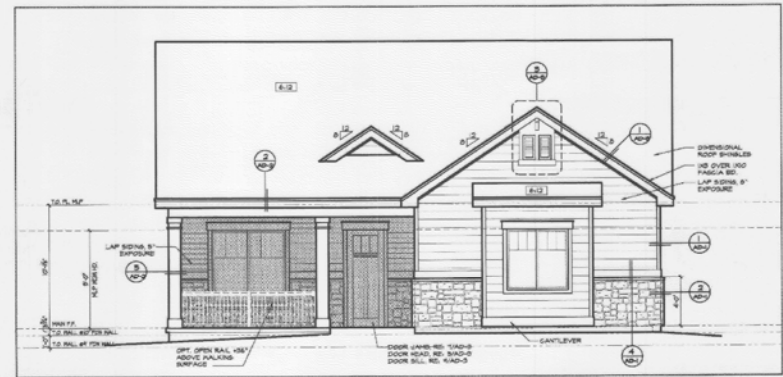
AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
ARCHITECTURAL ELEVATIONS - MODEL 46.1



FRONT ELEVATION - OPTION A  
NO SCALE



FRONT ELEVATION - OPTION B  
NO SCALE



MAIN FLOOR PLAN  
NO SCALE



FRONT ELEVATION - OPTION C  
NO SCALE

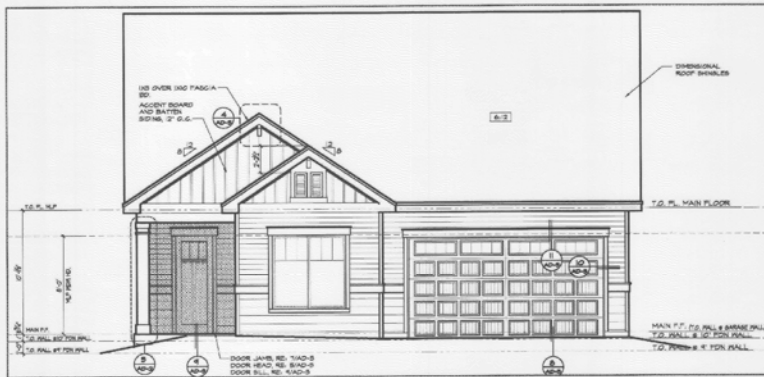
ISSUE	DATE
PP/2D SUBMITAL	02/19/14
PP/2D RESUBMITAL	08/21/14
DESIGNED BY	LME
DRAWN BY	TSG
CHECKED BY	
DRAWING SCALE	
HORIZONTAL SCALE	NONE
VERTICAL SCALE	NONE
PROJECT NO.	B1069
	1069D-AS

# CALMANTE II PLANNED DEVELOPMENT

AN AMENDMENT TO THE SMITH PROPERTY PLANNED DEVELOPMENT

LOT 1 AND LOT 2, BLOCK 1 AND LOT 1 AND LOT 2, BLOCK 2 CALMANTE SUBDIVISION  
AND A PORTION OF CASALON STREET RIGHT-OF-WAY  
NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.  
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

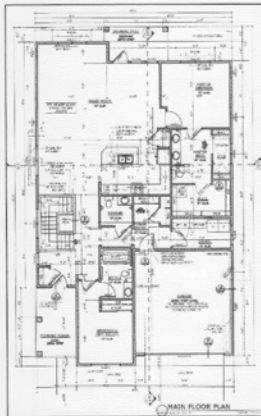
PRELIMINARY PLANNED DEVELOPMENT AND ZONE DISTRICT PLAN  
ARCHITECTURAL ELEVATIONS - MODEL 47.1



FRONT ELEVATION - OPTION A  
NO SCALE



FRONT ELEVATION - OPTION B  
NO SCALE



MAIN FLOOR PLAN  
NO SCALE



FRONT ELEVATION - OPTION C  
NO SCALE

ISSUE	DATE
PPD/D SUBMITAL	02/19/24
PPD/D RESUBMITAL	08/21/24
DESIGNED BY:	LRF
DRAWN BY:	TSG
CHECKED BY:	
DRAWING SCALE:	
HORIZONTAL:	NONE
VERTICAL:	NONE
PROJECT NO.:	B10669
1069PD-AS	





