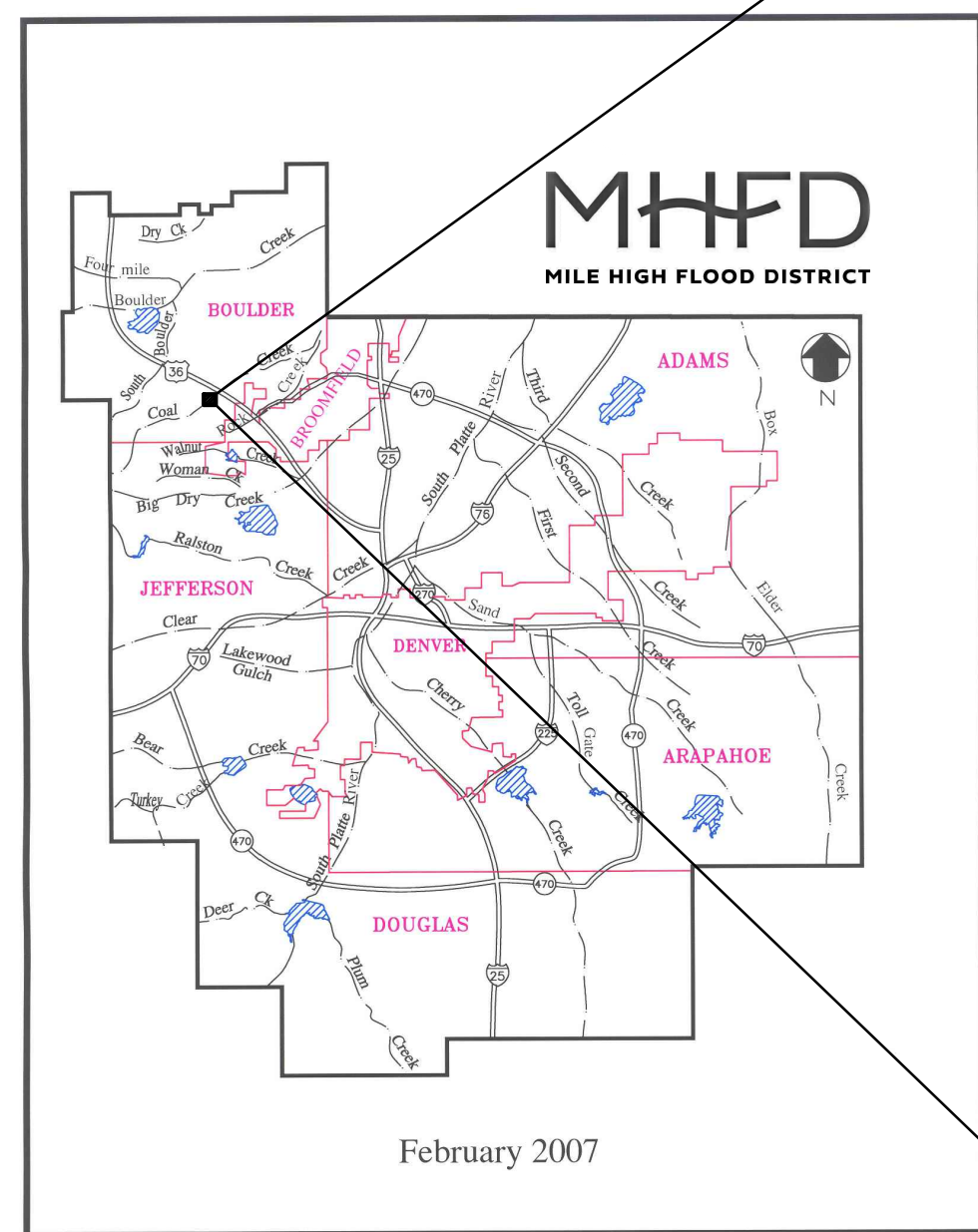


COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD

PEDESTRIAN AND TRAIL IMPROVEMENTS

SUPERIOR, CO

OLSSON PROJECT NUMBER 021-00854



LOCATION MAP



VICINITY MAP

NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF SUPERIOR DESIGN STANDARDS AND SPECIFICATIONS.



LAURA KROEGER, P.E., EXECUTIVE DIRECTOR _____ DATE _____

KURT BAUER, P.E., WATERSHED MANAGER, STREAM SERVICES _____ DATE _____

TOWN OF SUPERIOR

CHRISTINE KATZ, P.E., TOWN CIVIL ENGINEER _____ DATE _____

BRANNON RICHARDS, P.E., PUBLIC WORKS AND UTILITIES DIRECTOR _____ DATE _____



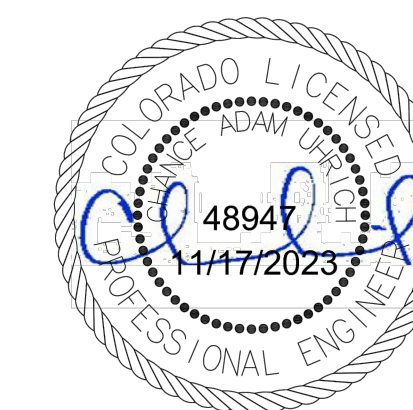
INDEX OF DRAWINGS

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3	HORIZONTAL CONTROL PLAN
4	SITE PREPARATION AND REMOVAL PLAN
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19	TRAIL AND AMENITY ENLARGEMENTS
20	TRAIL AND AMENITY DETAILS
21	TRAIL AND AMENITY DETAILS
22	PLANTING PLAN
23	PLANTING NOTES & SCHEDULE

PREPARED BY:



1525 Raleigh Street
Suite 400
Denver, CO 80204
TEL 303.237.2072
FAX 303.237.2659



CHANCE UHRICH, P.E. 48947, PROJECT ENGINEER _____ DATE _____

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1	2023.11.16	TOWN ALLEY IMPROVEMENTS PLAN

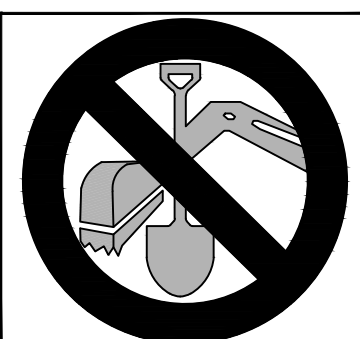
COVER SHEET AND VICINITY MAP
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
FINAL DESIGN
SUPERIOR, CO
2023

drawn by:	KS
checked by:	CU
approved by:	DO
QA/QC by:	CU
project no.:	021-00854
drawing no.:	W_TTL.DWG
date:	11.15.2023

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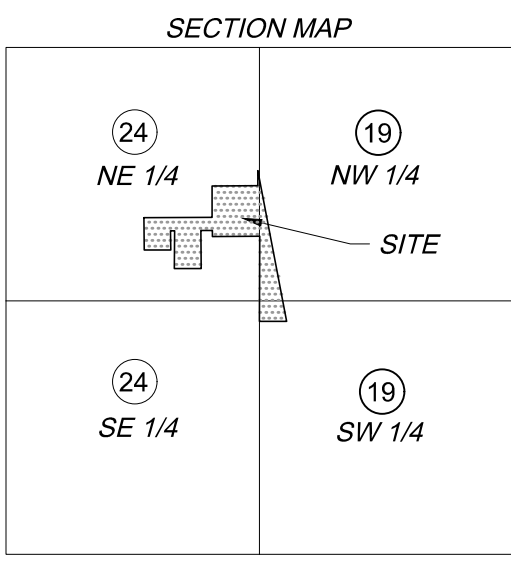
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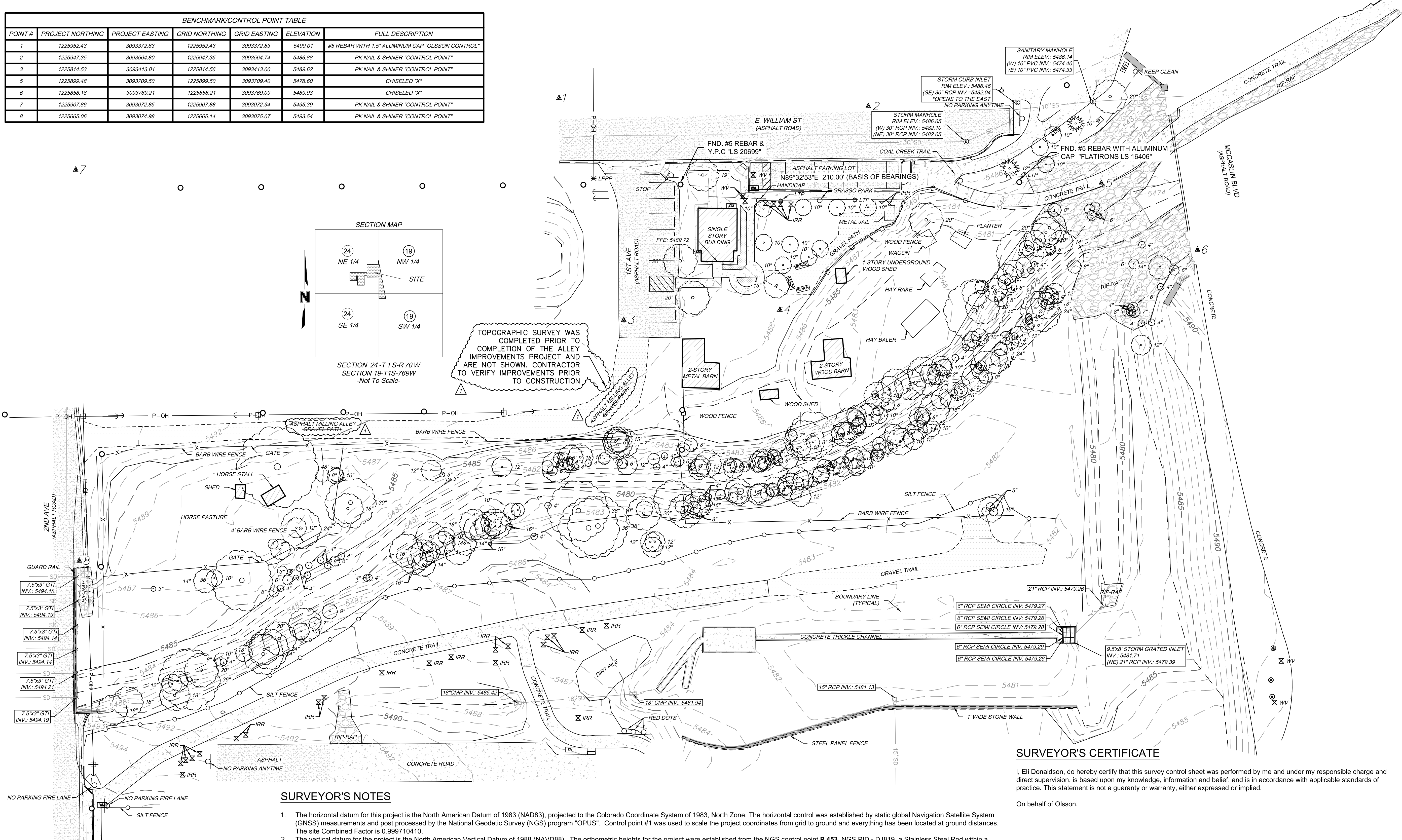
Survey Control Sheet

Part of Sections 19 & 24, Township 1 South, Range 70 West of the 6th Principal Meridian
 Located in the City of Superior, County of Boulder, State of Colorado

BENCHMARK/CONTROL POINT TABLE						
POINT #	PROJECT NORTHING	PROJECT EASTING	GRID NORTHING	GRID EASTING	ELEVATION	FULL DESCRIPTION
1	1225952.43	3093372.83	1225952.43	3093372.83	5490.01	#5 REBAR WITH 1.5" ALUMINUM CAP "OLSSON CONTROL"
2	1225947.35	3093564.80	1225947.35	3093564.74	5486.88	PK NAIL & SHINER "CONTROL POINT"
3	1225814.53	3093413.01	1225814.56	3093413.00	5489.62	PK NAIL & SHINER "CONTROL POINT"
5	1225899.48	3093709.50	1225899.50	3093709.40	5478.60	CHISELED "X"
6	1225858.18	3093769.21	1225858.21	3093769.09	5489.93	CHISELED "X"
7	1225907.86	3093072.85	1225907.88	3093072.94	5485.39	PK NAIL & SHINER "CONTROL POINT"
8	1225665.06	3093074.98	1225665.14	3093075.07	5493.54	PK NAIL & SHINER "CONTROL POINT"



TOPOGRAPHIC SURVEY WAS COMPLETED PRIOR TO COMPLETION OF THE ALLEY IMPROVEMENTS PROJECT AND ARE NOT SHOWN. CONTRACTOR TO VERIFY IMPROVEMENTS PRIOR TO CONSTRUCTION



SURVEYOR'S NOTES

- The horizontal datum for this project is the North American Datum of 1983 (NAD83), projected to the Colorado Coordinate System of 1983, North Zone. The horizontal control was established by static global Navigation Satellite System (GNSS) measurements and post processed by the National Geodetic Survey (NGS) program "OPUS". Control point #1 was used to scale the project coordinates from grid to ground and everything has been located at ground distances. The site Combined Factor is 0.999710410.
- The vertical datum for the project is the North American Vertical Datum of 1988 (NAVD88). The orthometric heights for the project were established from the NGS control point P 453, NGS PID - DJ819, a Stainless Steel Rod within a concrete collar, NAVD88 Elevation = 5508.96'
- BASIS OF BEARINGS:** The basis of bearings are grid and based within the Colorado Coordinate System of 1983, North Zone. The bearing along the North line of Lot 2 of the Superior Townhall Replat being monumented by a found #5 Rebar and Y.P.C. stamped LS 20699 at the northwest corner and a #5 Rebar and Aluminum Cap stamped Flatirons LS 16406 at the northeast corner is North 89° 32' 53" East, for 210.12'
- NOTICE:** Pursuant to Colorado Revised Statutes Title 13, Article 80, Section 105 (C.R.S. 13-80-105) - You must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- The use of the word "certify" or "certification" by a Registered Professional Land Surveyor, in the practice of Land Surveying, constitutes an expression or professional opinion regarding those facts or findings which are subject of the certification and does not constitute a warranty or guarantee, either expressed or implied.
- The purpose of this survey is to provide the control values used for the basis of this project.
- There was a significant fire at this site which happened after the initial topographic data was collected. The topographic data was not revised to reflect possible changes to site features.
- Original field work was completed: 7/28/2021. Additional topo was added 04/05/2023 on the South side of the creek and the Northeast corner of the site.

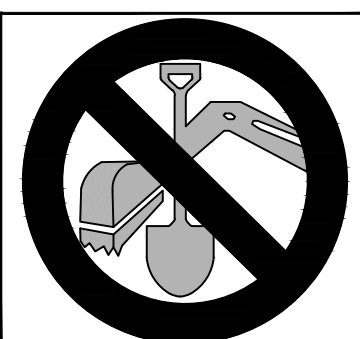
SURVEYOR'S CERTIFICATE

I, Eli Donaldson, do hereby certify that this survey control sheet was performed by me and under my responsible charge and direct supervision, is based upon my knowledge, information and belief, and is in accordance with applicable standards of practice. This statement is not a guaranty or warranty, either expressed or implied.

On behalf of Olsson,

Eli J. Donaldson
 Professional Land Surveyor
 Colorado Registration Number: 38755

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SURVEY CONTROL PLAN
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN

SUPERIOR, CO

2023

REVISIONS

drawn by: LMM
 checked by: ED
 approved by: ED
 QA/QC by: LMM
 project no.: 21_00854
 drawing: XTOPO_02100854.DWG
 date: 11.16.2023

SHEET
 2 of 23

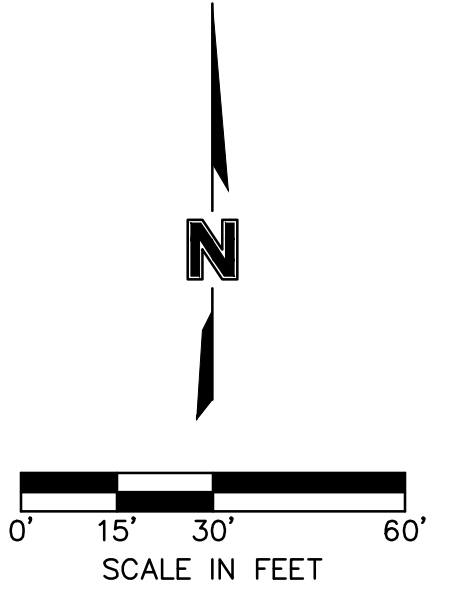
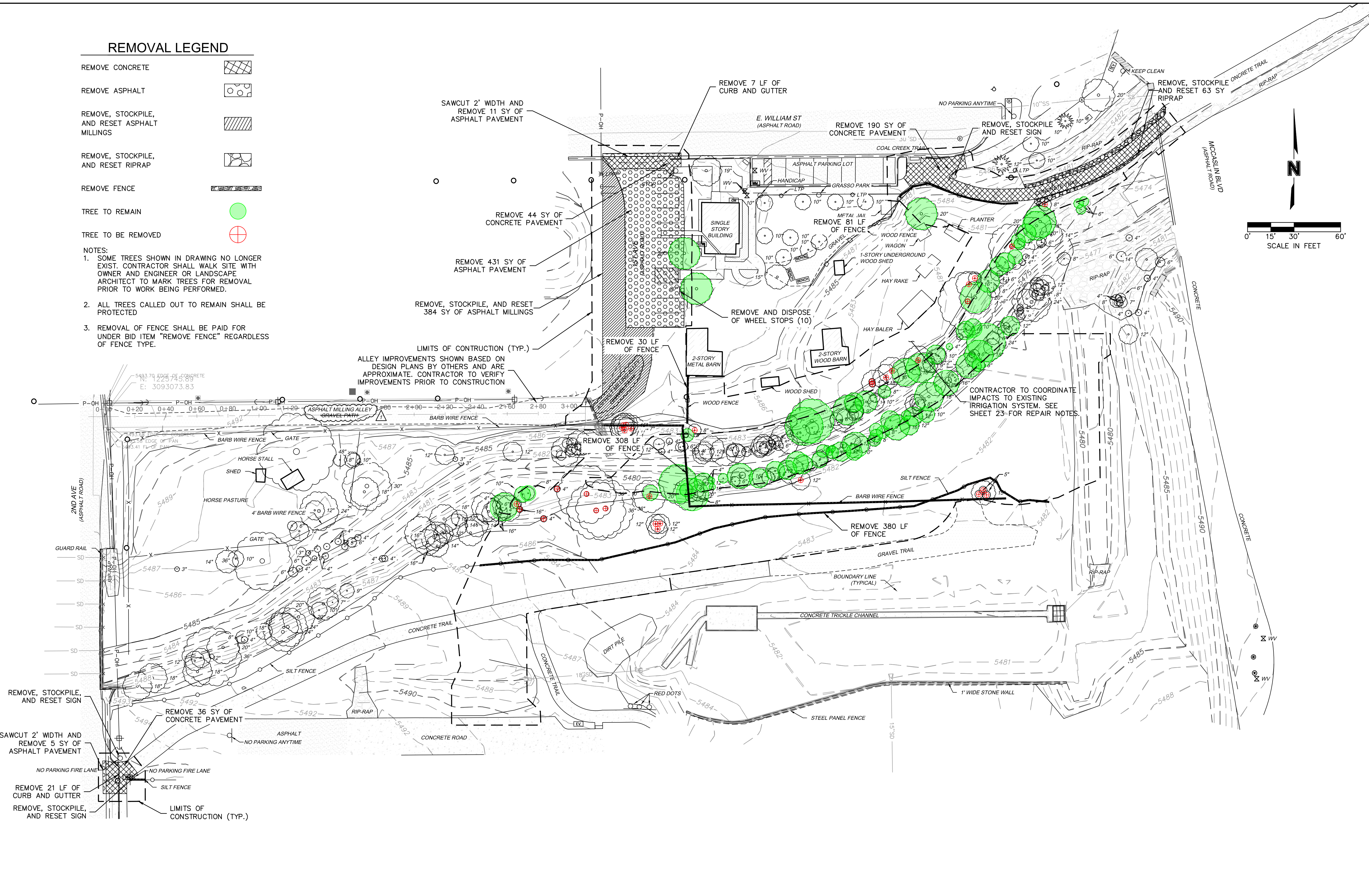
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REMOVAL LEGEND

- REMOVE CONCRETE
- REMOVE ASPHALT
- REMOVE, STOCKPILE, AND RESET ASPHALT MILLINGS
- REMOVE, STOCKPILE, AND RESET RIPRAP
- REMOVE FENCE
- TREE TO REMAIN
- TREE TO BE REMOVED

NOTES:
 1. SOME TREES SHOWN IN DRAWING NO LONGER EXIST. CONTRACTOR SHALL WALK SITE WITH OWNER AND ENGINEER OR LANDSCAPE ARCHITECT TO MARK TREES FOR REMOVAL PRIOR TO WORK BEING PERFORMED.
 2. ALL TREES CALLED OUT TO REMAIN SHALL BE PROTECTED
 3. REMOVAL OF FENCE SHALL BE PAID FOR UNDER BID ITEM "REMOVE FENCE" REGARDLESS OF FENCE TYPE.



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SITE PREPARATION AND REMOVAL PLAN
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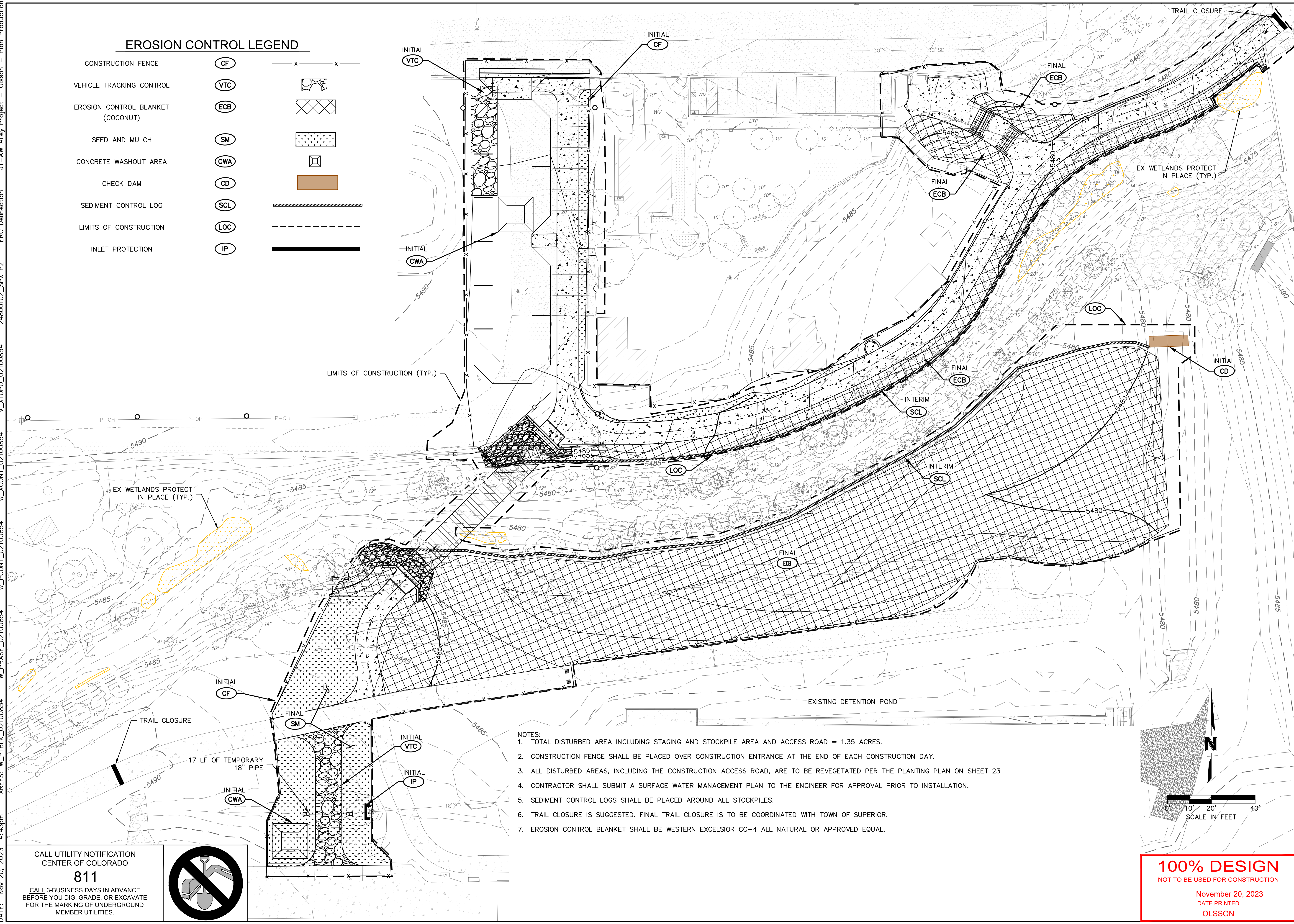
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checked by:	DO
QA/QC by:	CU
project no.:	21_00854
drawing no.:	W_PPRD_02100854.DWG
date:	7.5.2023

SHEET
 4 of 23

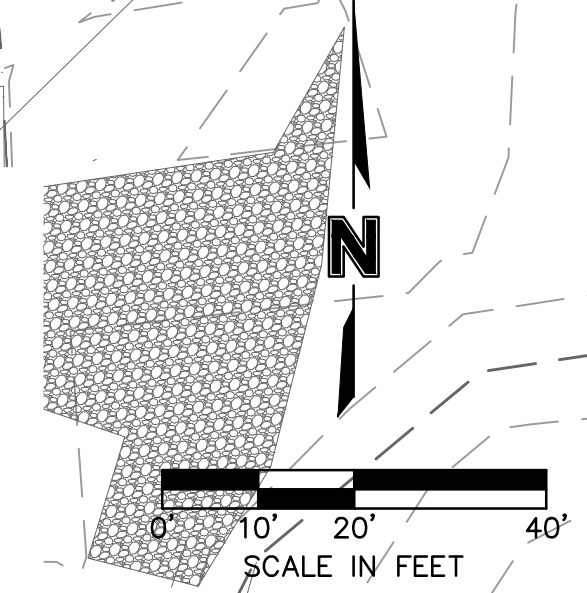
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 V_XTOPO_02100854 24800102_SPX_P2 ERO Delineation JT-AW Alley Project - Olsson - Plan Production

EROSION CONTROL LEGEND

- CONSTRUCTION FENCE (CF)
- VEHICLE TRACKING CONTROL (VTC)
- EROSION CONTROL BLANKET (COCONUT) (ECB)
- SEED AND MULCH (SM)
- CONCRETE WASHOUT AREA (CWA)
- CHECK DAM (CD)
- SEDIMENT CONTROL LOG (SCL)
- LIMITS OF CONSTRUCTION (LOC)
- INLET PROTECTION (IP)



- NOTES:
1. TOTAL DISTURBED AREA INCLUDING STAGING AND STOCKPILE AREA AND ACCESS ROAD = 1.35 ACRES.
 2. CONSTRUCTION FENCE SHALL BE PLACED OVER CONSTRUCTION ENTRANCE AT THE END OF EACH CONSTRUCTION DAY.
 3. ALL DISTURBED AREAS, INCLUDING THE CONSTRUCTION ACCESS ROAD, ARE TO BE REVEGETATED PER THE PLANTING PLAN ON SHEET 23
 4. CONTRACTOR SHALL SUBMIT A SURFACE WATER MANAGEMENT PLAN TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 5. SEDIMENT CONTROL LOGS SHALL BE PLACED AROUND ALL STOCKPILES.
 6. TRAIL CLOSURE IS SUGGESTED. FINAL TRAIL CLOSURE IS TO BE COORDINATED WITH TOWN OF SUPERIOR.
 7. EROSION CONTROL BLANKET SHALL BE WESTERN EXCELSIOR CC-4 ALL NATURAL OR APPROVED EQUAL.



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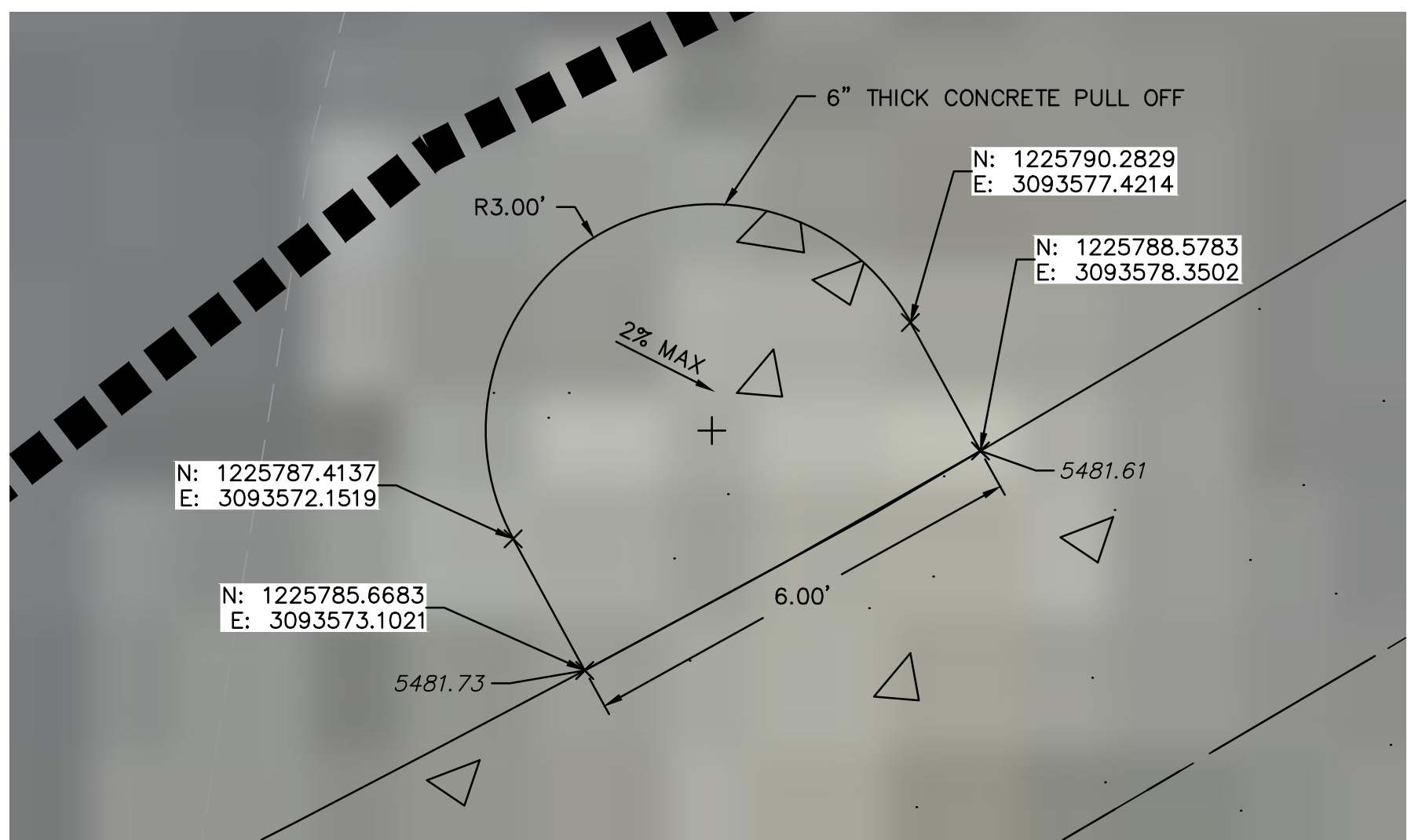
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 SUPERIOR, CO
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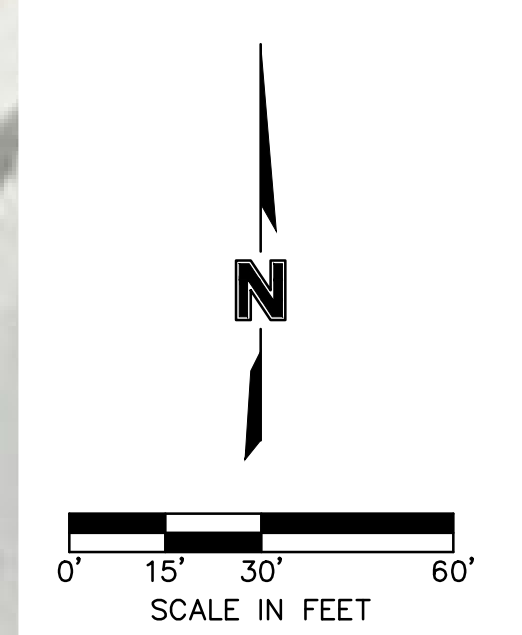
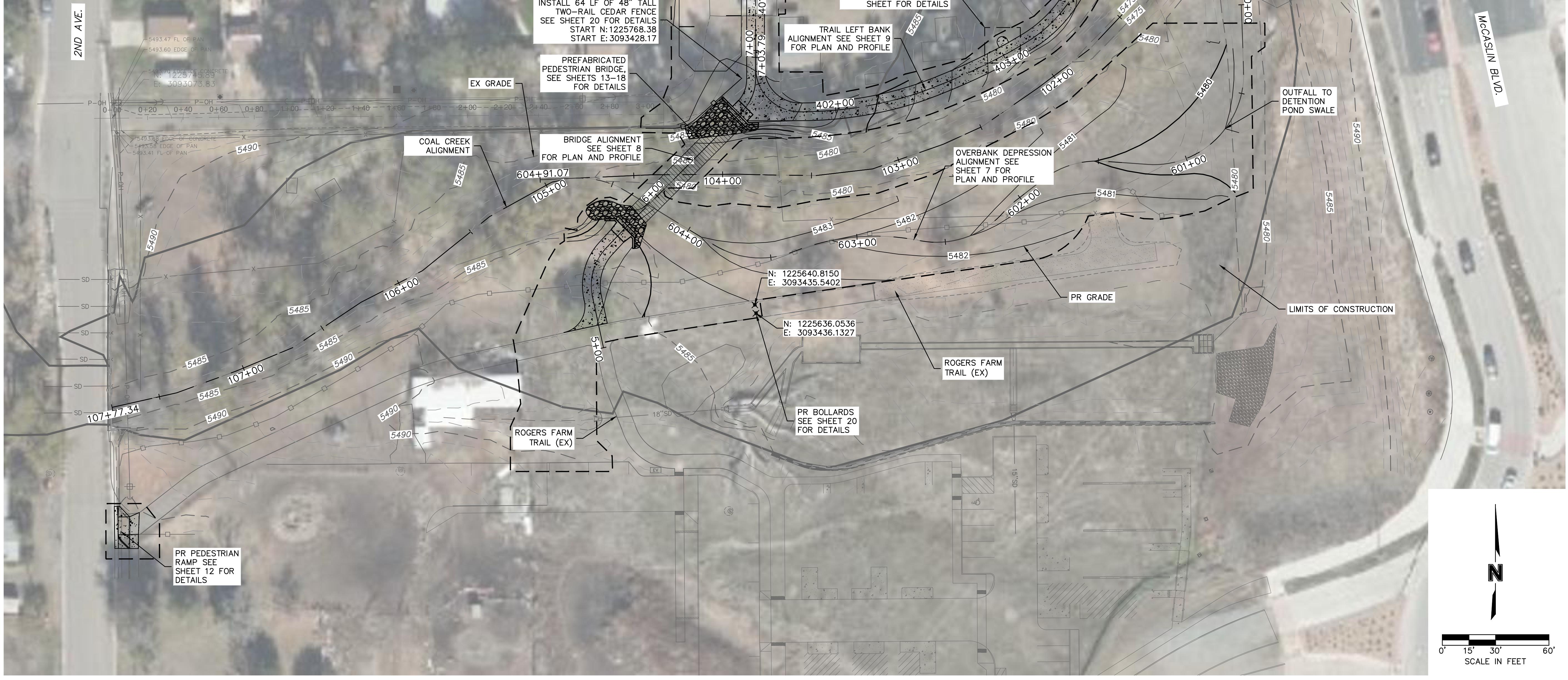
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 approved by: DO
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A SEMI-CIRCLE PULL OFF
 Scale: 1" = 2'



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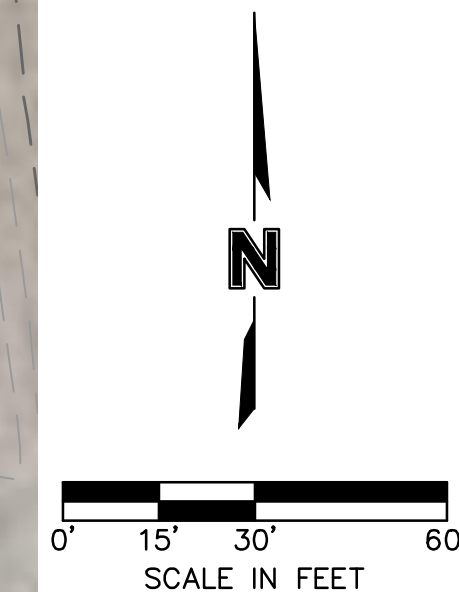
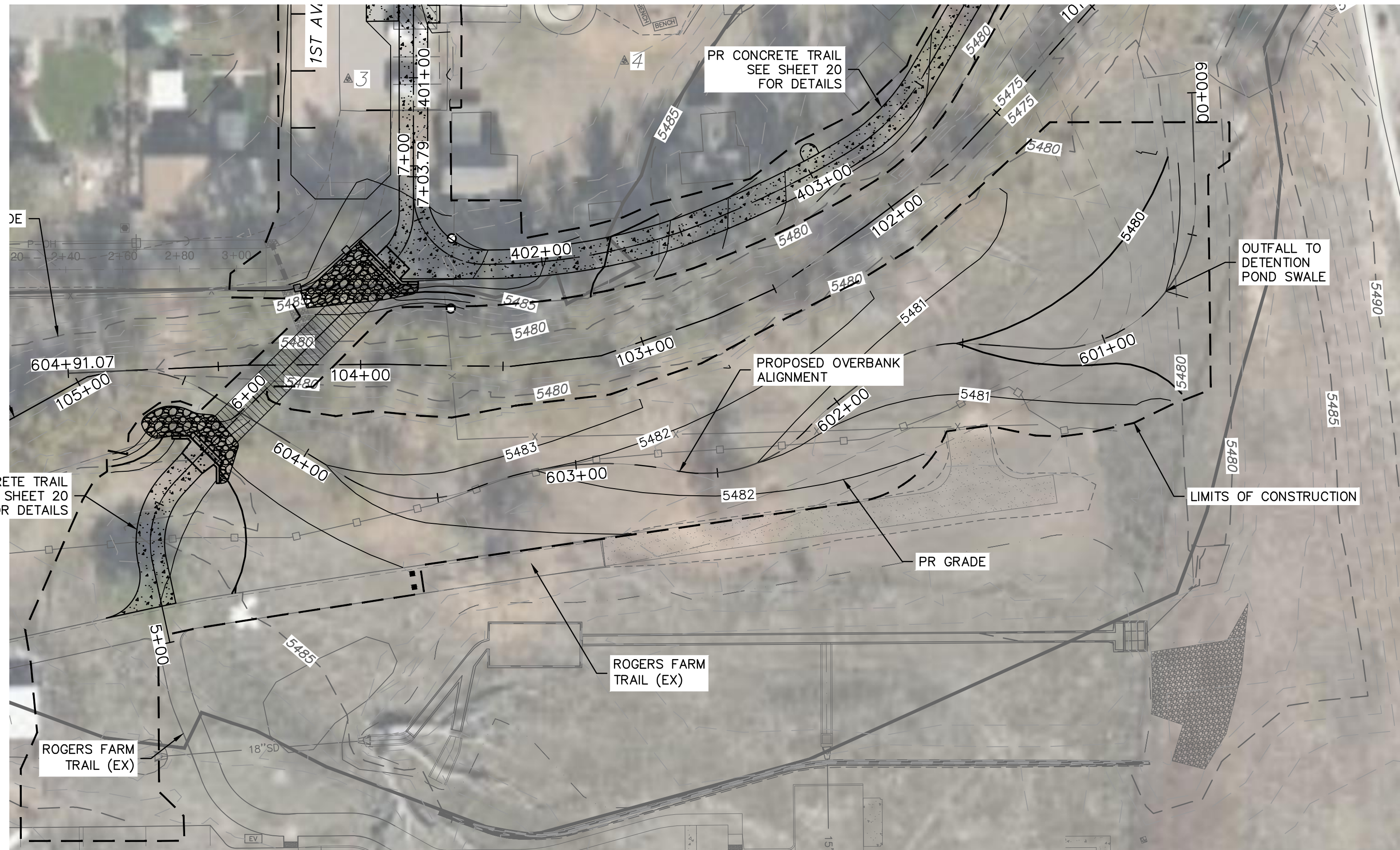
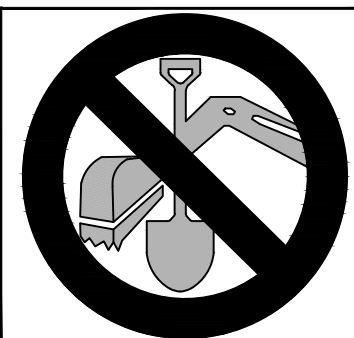
SITE PLAN
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN
 SUPERIOR, CO
 2023

drawn by: KS
 checked by: DO
 approved by: CU
 QA/QC by: CU
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 drawing no.: W_PP.DWG
 date: 11.20.2023

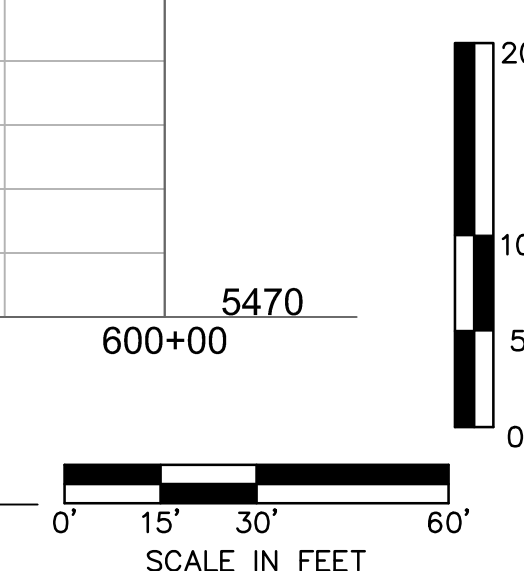
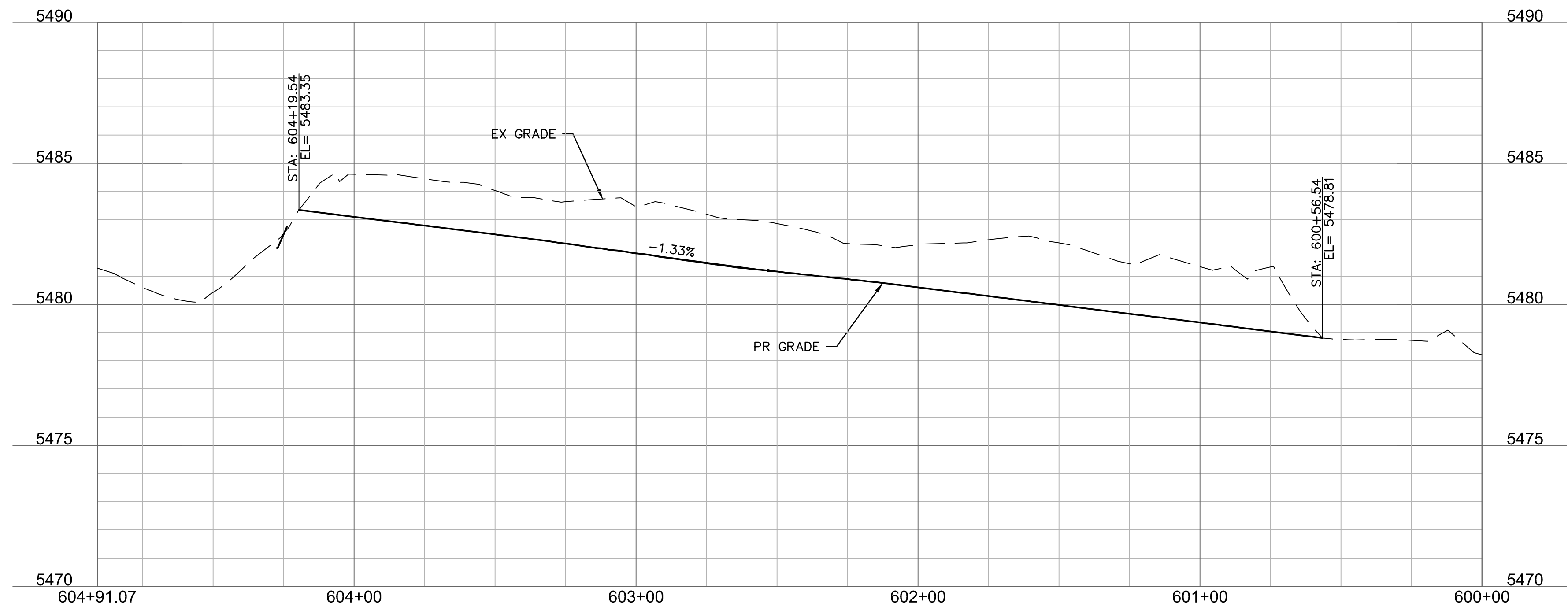
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(A) PROPOSED OVERBANK PLAN
 Scale: 1" = 30'



(B) PROPOSED OVERBANK PROFILE
 Scale: 1" = 30'

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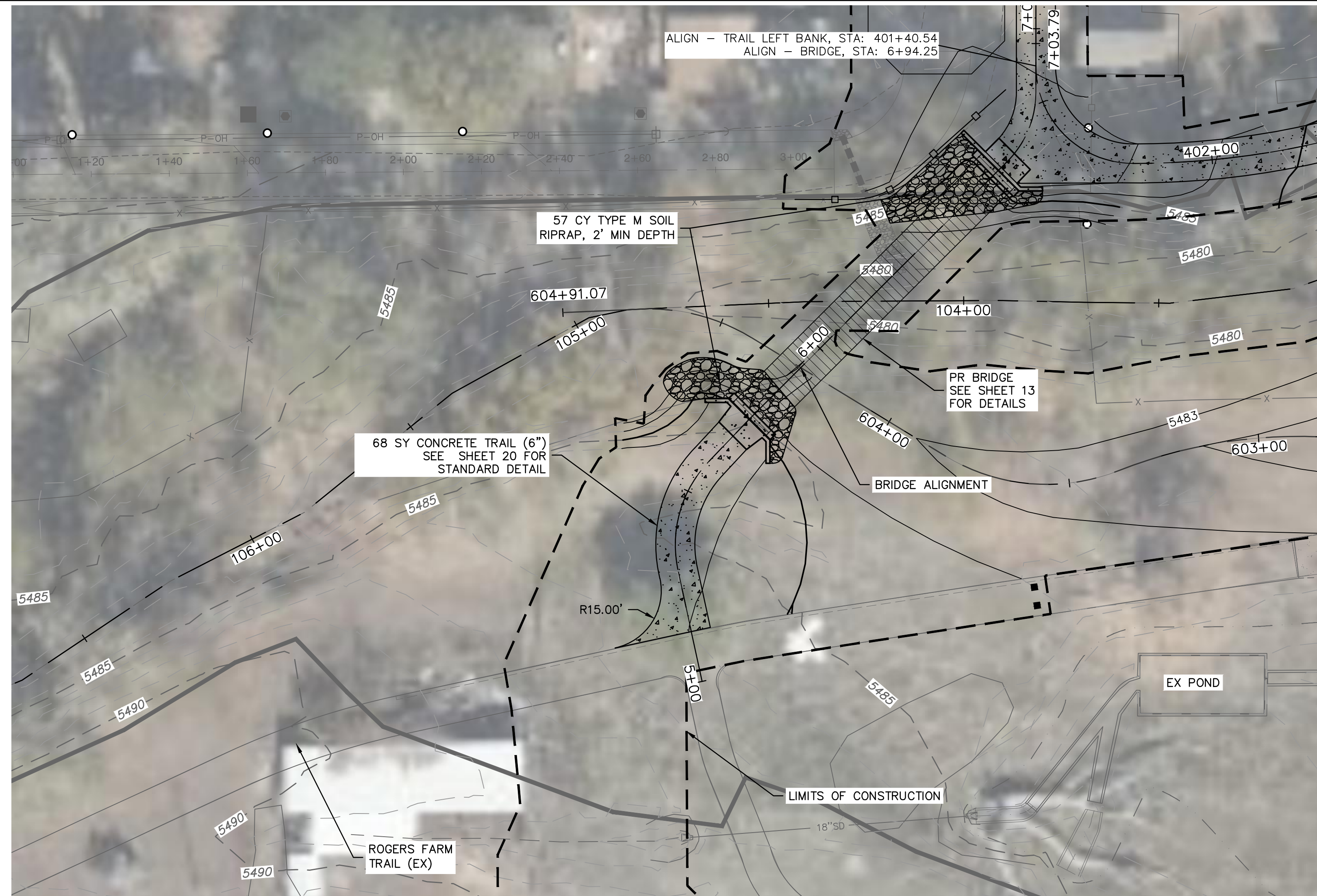
FLOODPLAIN OVERBANK PLAN AND PROFILE
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN
 SUPERIOR, CO 2023

drawn by: KS
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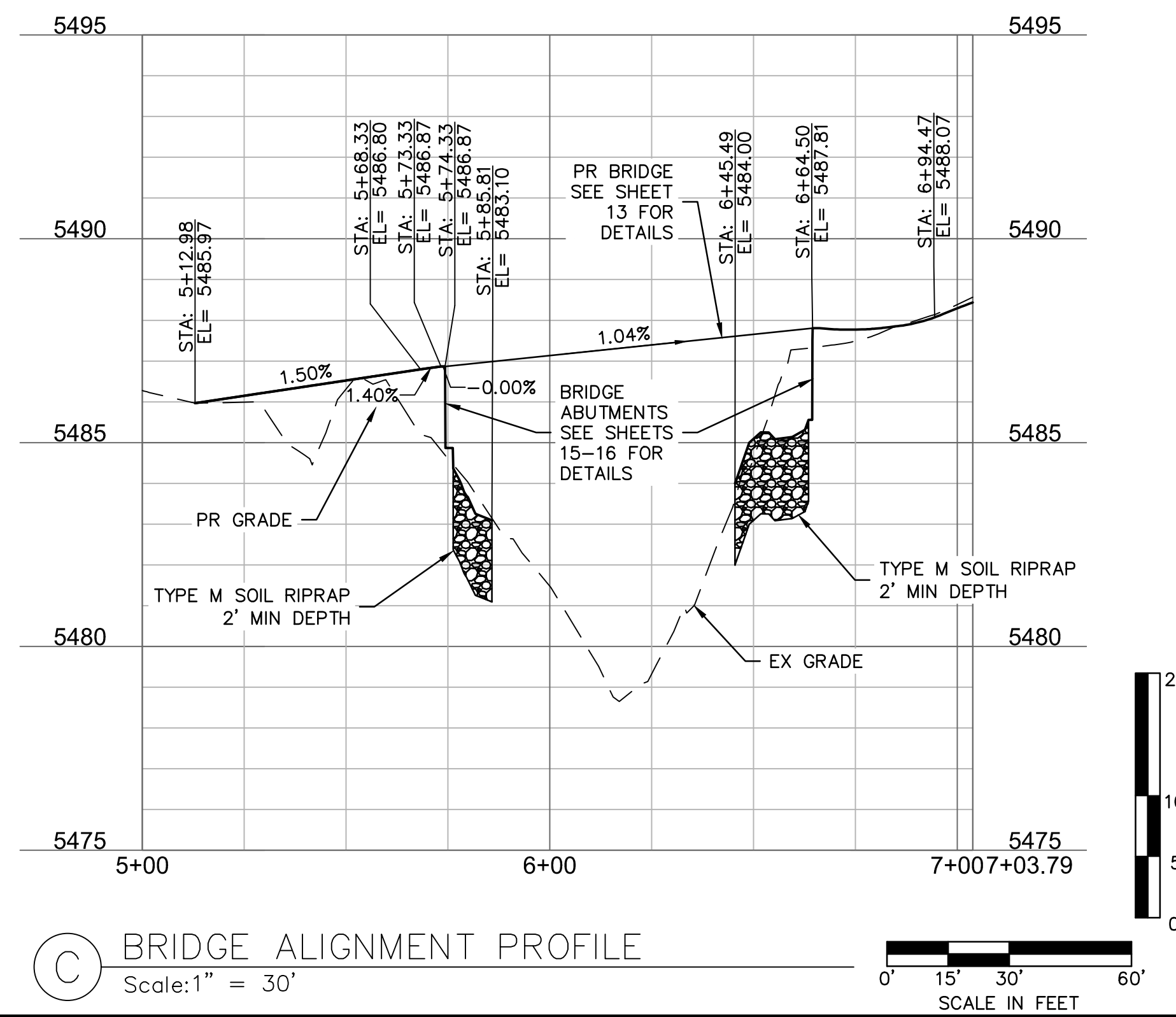
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(A) TRAIL RIGHT BANK AND BRIDGE PLAN
 Scale: 1" = 30'



(C) BRIDGE ALIGNMENT PROFILE
 Scale: 1" = 30'

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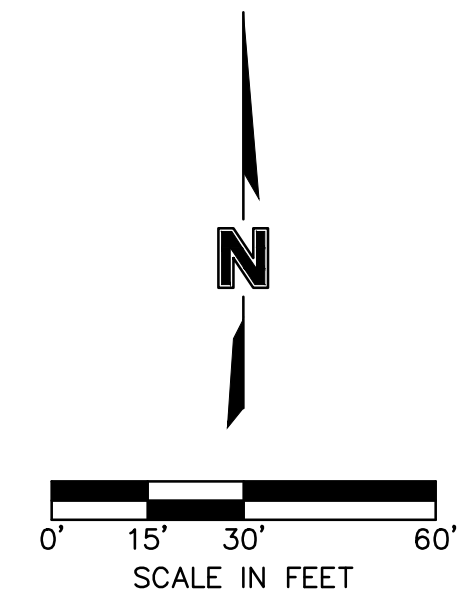
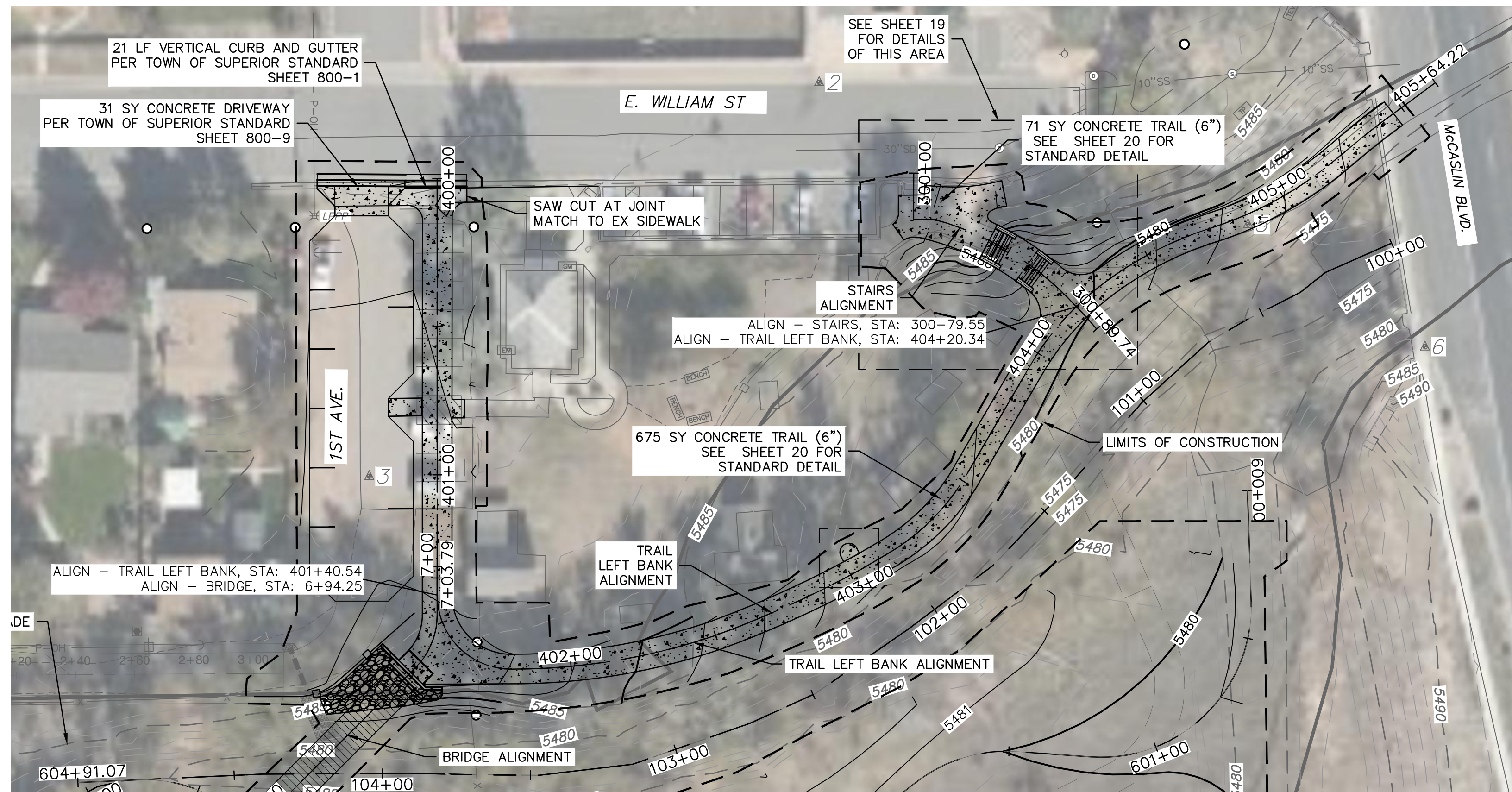
REV. NO.	DATE	REVISIONS DESCRIPTION
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RIGHT BANK PEDESTRIAN TRAIL PLAN AND PROFILE
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN
 SUPERIOR, CO 2023

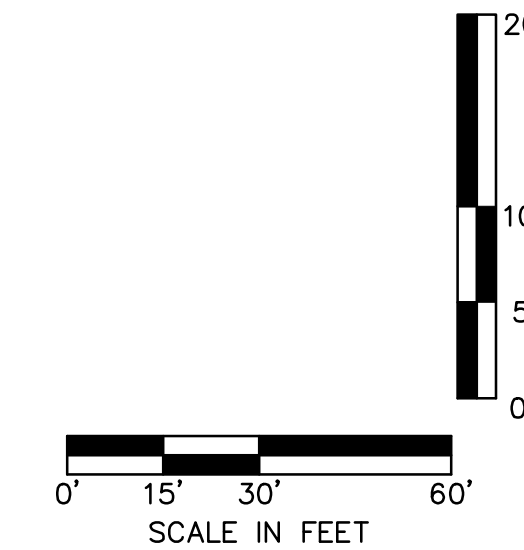
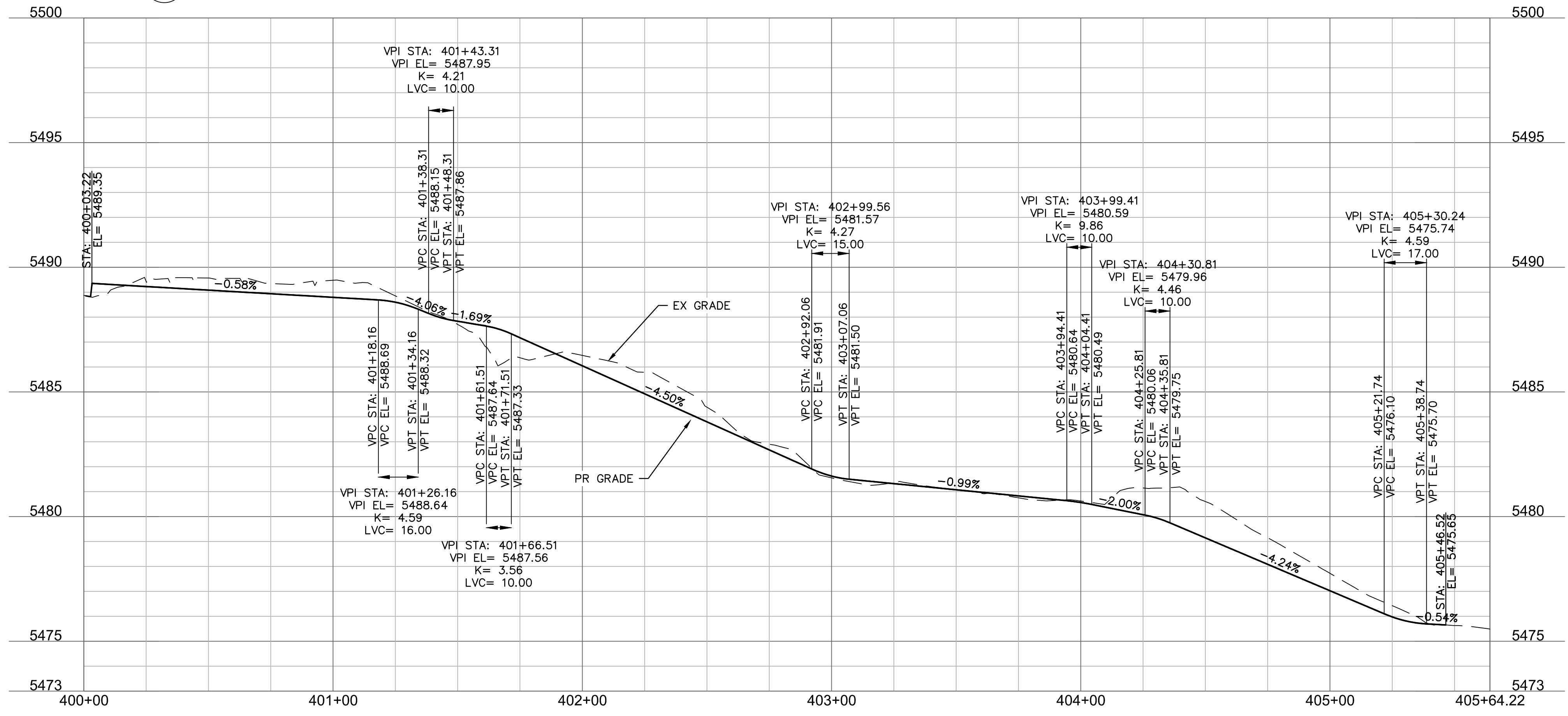
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 USER: cwhrich JT-AW Alley Project - Olsson - Plan Production

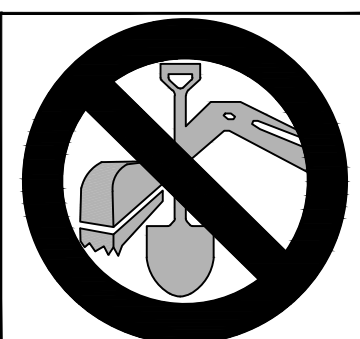


(A) TRAIL LEFT BANK PLAN
 Scale: 1" = 30'



(B) TRAIL LEFT BANK PROFILE
 Scale: 1" = 30'

CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
811
 CALL 3-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.



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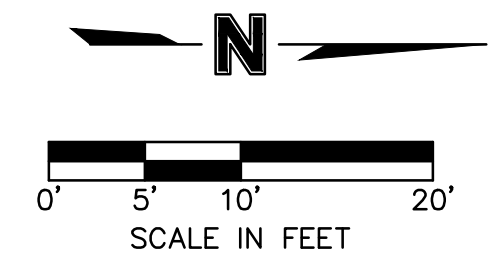
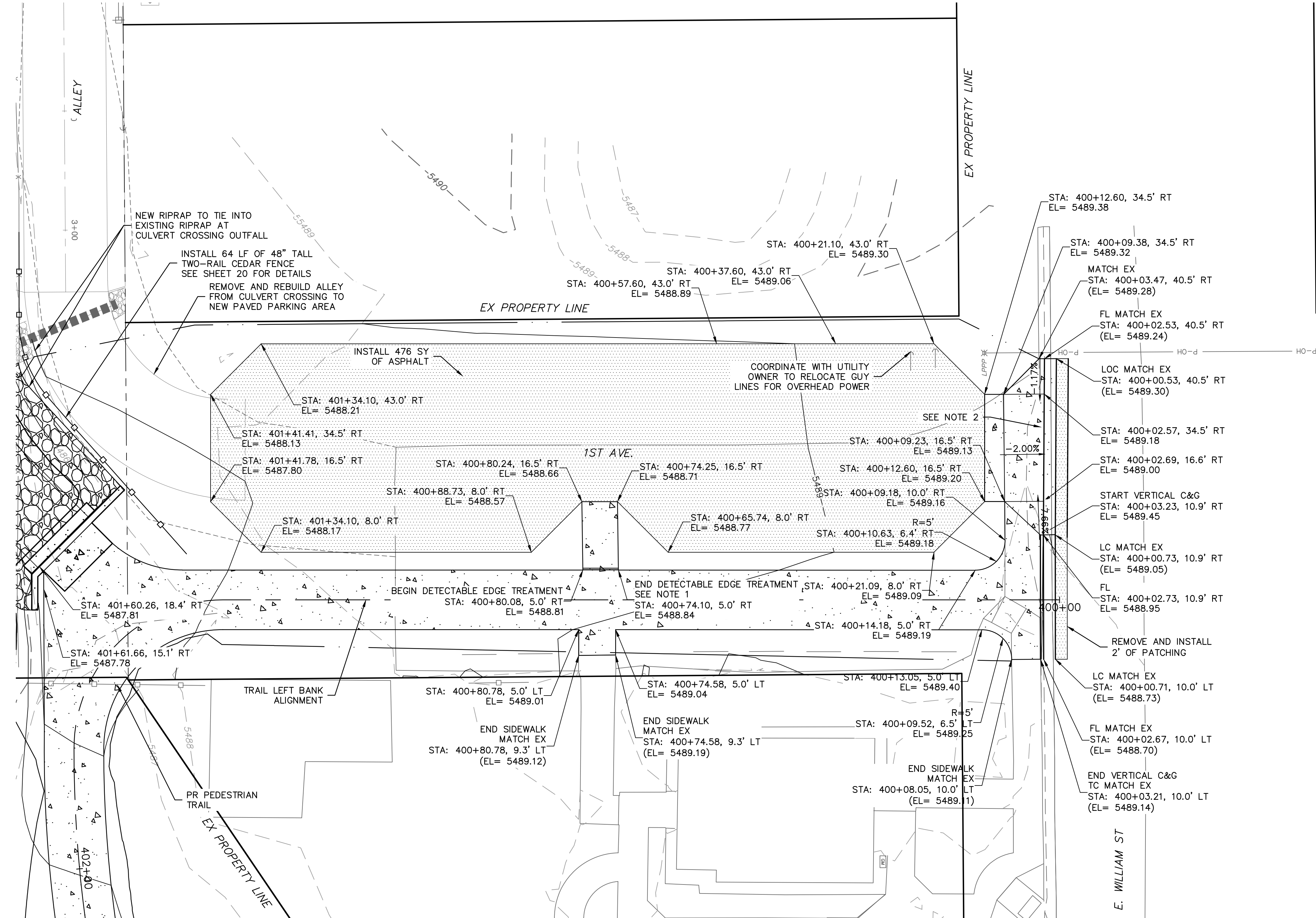
REV. NO.	DATE	REVISIONS DESCRIPTION
1	2023.11.16	TOWN ALLEY IMPROVEMENTS PLAN

LEFT BANK PEDSTRAIN TRAIL PLAN AND PROFILE
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN
 SUPERIOR, CO 2023

drawn by: KS
 checked by: DO
 approved by: DO
 QA/QC by: CU
 project no.: 021,00854
 drawing no.: W_PP_DWG
 date: 11.20.2023

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LEGEND

- INSTALL CONCRETE PAVEMENT
- INSTALL HEAVY DUTY ASPHALT PAVEMENT (SEE TOWN OF SUPERIOR STANDARDS SECTION 900)
- GRADING LIMITS

- TC: TOP BACK OF CURB
- FL: FLOWLINE
- LC: LIP OF CURB
- C&G: CURB AND GUTTER
- (EL= XXXX.XX): EXISTING ELEVATION

NOTES

1. COORDINATE WITH THE TOWN FOR THE DETECTABLE EDGE TREATMENT. IT IS TO BE 4" WIDE MIN, AND DETECTABLE UNDERFOOT STAMPED CONCRETE OR SIMILAR.
2. CONSTRUCT DRIVEWAY PER TOWN OF SUPERIOR STANDARD SHEET 800-9.

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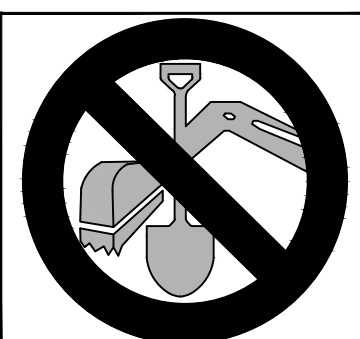
REV. NO.	DATE	REVISIONS DESCRIPTION
1	2023.11.16	TOWN ALLEY IMPROVEMENTS PLAN

PARKING LOT GRADING DETAILS
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN
 SUPERIOR, CO 2023

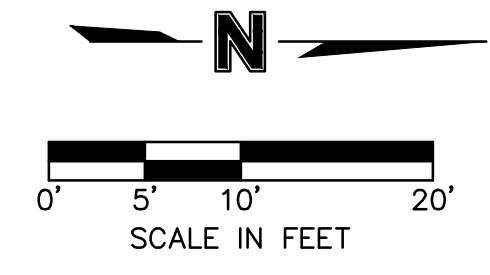
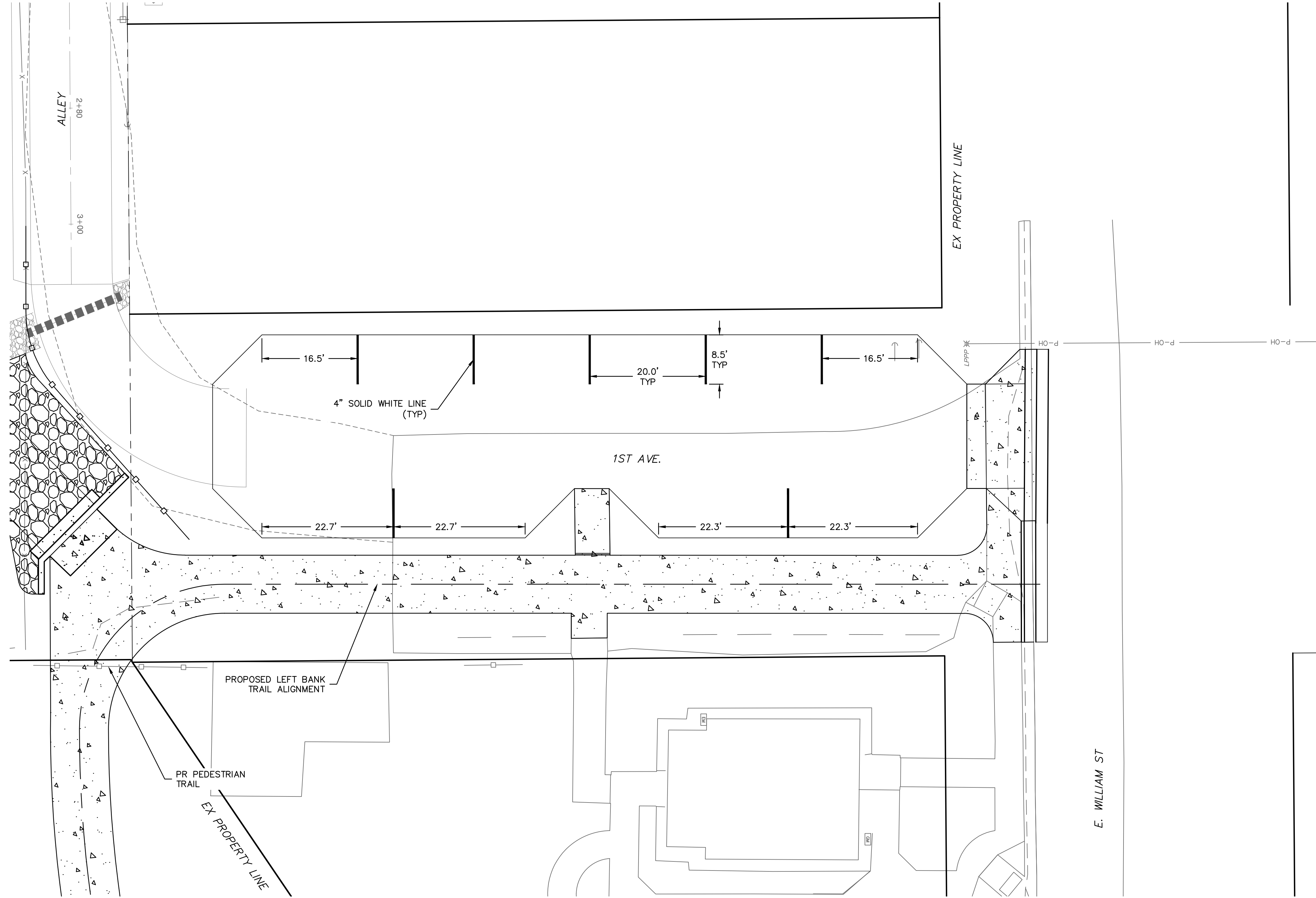
drawn by: SB
 checked by: MO
 approved by: SB
 QA/QC by: MO
 project no.: 021-00854
 drawing no.: T_SIT_DWG
 date: 11.20.2023

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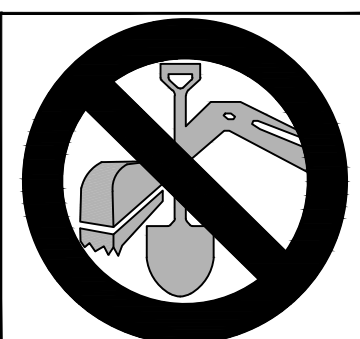
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checked by:	MO
approved by:	SB
QA/QC by:	MO
project no.:	021-00854
drawing no.:	T_SS.DWG
date:	11.20.2023

SHEET
 11 of 23

REV. NO.	DATE	REVISIONS DESCRIPTION
1	2023.11.16	TOWN ALLEY IMPROVEMENTS PLAN

PARKING LOT STRIPING PLAN
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN
 SUPERIOR, CO 2023

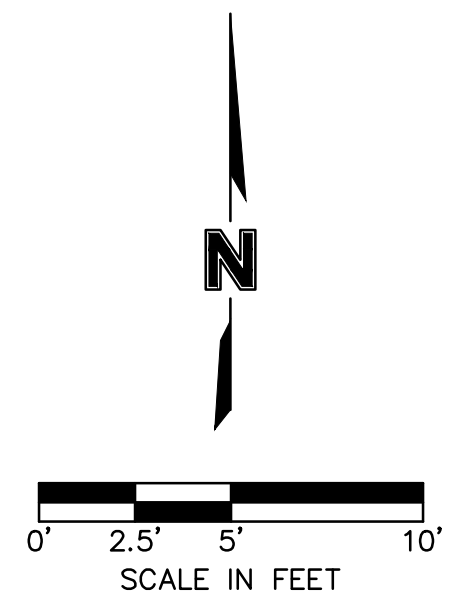
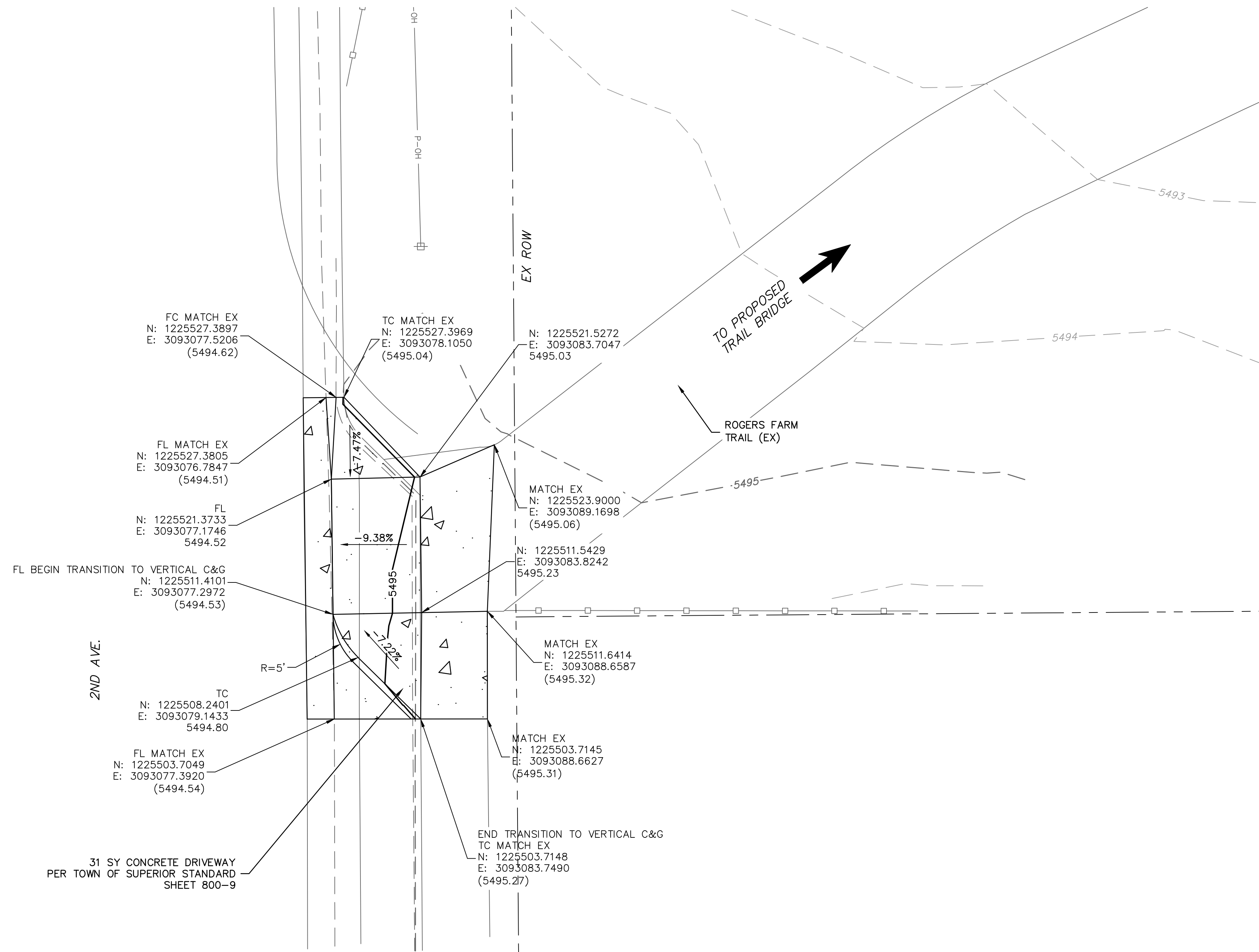


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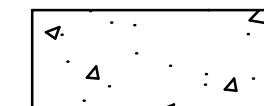
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LEGEND



INSTALL CONCRETE PAVEMENT
 (SEE TOWN OF SUPERIOR
 STANDARDS SECTION 900)

- TC: TOP BACK OF CURB
- FC: BOTTOM FACE OF CURB
- FL: FLOWLINE
- C&G: CURB AND GUTTER
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1	2023.11.16	TOWN ALLEY IMPROVEMENTS PLAN

2ND AVE DRIVEWAY DETAIL PLAN	2023
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD FINAL DESIGN	
SUPERIOR, CO	

drawn by:	SB
checked by:	MO
approved by:	SB
QA/QC by:	MO
project no.:	021-00854
drawing no.:	T_SIT_DWG
date:	11.20.2023

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GENERAL STRUCTURAL NOTES

DESIGN OF THE PEDESTRIAN BRIDGE ABUTMENTS IS IN ACCORDANCE WITH AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) LRFD GUIDE SPECIFICATIONS FOR THE DESIGN OF PEDESTRIAN BRIDGES, SECOND EDITION, AND THE AASHTO BRIDGE DESIGN SPECIFICATIONS, EIGHTH EDITION, INCLUDING SUBSEQUENT INTERIM REVISIONS.

BRIDGE DESIGN LOADING AS NOTED ON SHOP PLANS:
 - 90 PSF UNIFORM LIVE LOAD
 - 10,000 LB VEHICLE LOAD
 - 35 PSF WIND LOADING AGAINST HEIGHT OF STRUCTURE AS IF ENCLOSED

ALL CONSTRUCTION ASSOCIATED WITH THE PEDESTRIAN BRIDGE SHALL BE IN ACCORDANCE WITH THE CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.

PORTLAND CEMENT CONCRETE SHALL BE AS FOLLOWS:
 ABUTMENT/APPROACH CLASS D (fc' = 4500 PSI)
 DRILLED SHAFT CLASS BZ (fc' = 4000 PSI)

PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C150.

ALL REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 60.

ALL BENDS AND HOOKS SHALL MEET THE REQUIREMENTS OF AASHTO ARTICLE 5.10.8. ALL BEND DIMENSIONS FOR REINFORCING STEEL SHALL BE OUT TO OUT OF BARS.

ALL PLACEMENT DIMENSIONS FOR REINFORCING STEEL SHALL BE TO CENTER OF BARS UNLESS NOTED OTHERWISE.

CHAMFER ALL EXPOSED CORNERS 3/4", UNLESS OTHERWISE NOTED.

THE MINIMUM CLEARANCE MEASURED FROM THE FACE OF THE CONCRETE TO THE SURFACE OF ANY REINFORCING BAR SHALL BE 2" FOR FORMED SURFACES AND 3" FOR EARTH-CAST SURFACES, EXCEPT WHERE OTHERWISE NOTED.

FINAL ABUTMENT AND ANCHOR BOLT GEOMETRY SHALL BE VERIFIED WITH THE APPROVED BRIDGE MANUFACTURER SHOP DRAWINGS PRIOR TO POURING CONCRETE FOR ABUTMENTS.

ALL ABUTMENT DIMENSIONS MUST BE VERIFIED PRIOR TO TRUSS PLACEMENT.

DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.

ALL DIMENSIONS SHOWN ARE IN THE HORIZONTAL PLANE ONLY. NO ALLOWANCES HAVE BEEN MADE FOR VERTICAL CURVE.

PAYMENT FOR ALL MATERIALS REQUIRED FOR CONSTRUCTION OF ABUTMENTS, APPROACH SLABS, AND PEDESTRIAN HANDRAILS SHALL BE SUBSIDIARY TO "BRIDGE, PREFABRICATED STEEL INCLUDING ABUTMENTS".

ITEMS NOT QUANTIFIED DIRECTLY SHALL BE CONSIDERED SUBSIDIARY TO OTHER PAY ITEMS

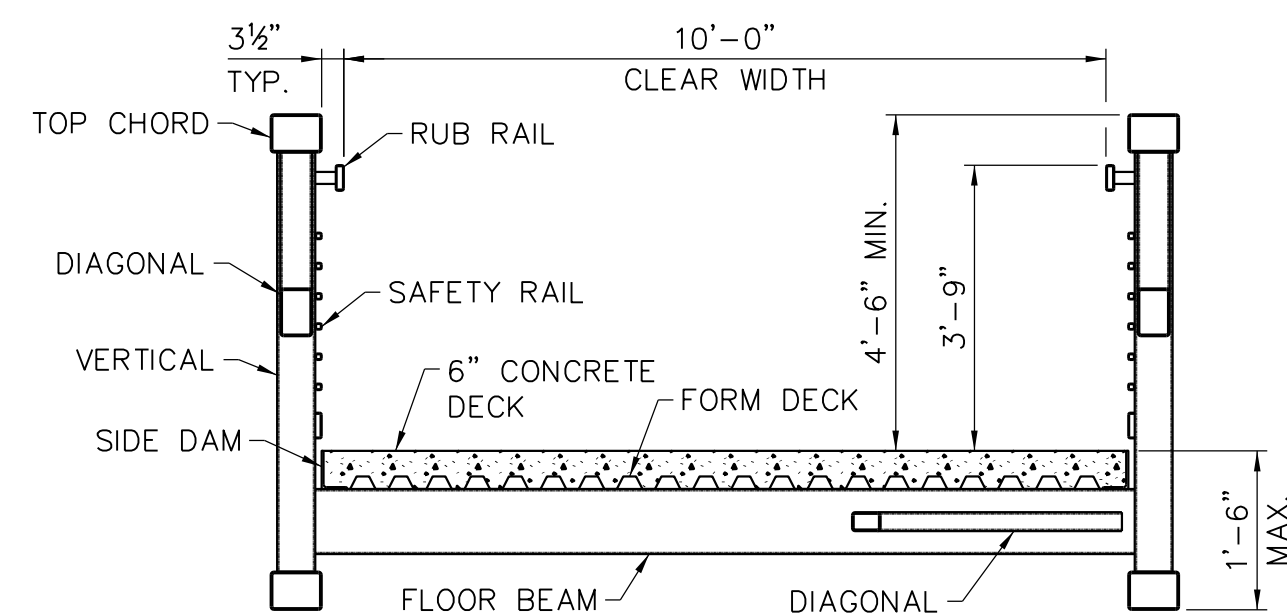
SHOP DRAWINGS REQUIRED FOR REVIEW:
 CONCRETE MIX DESIGNS
 PREFABRICATED PEDESTRIAN BRIDGE
 PEDESTRIAN HANDRAIL
 REMOVABLE BOLLARD

QUANTITIES

BRIDGE, PREFABRICATED STEEL INCLUDING ABUTMENTS	90	LF
(FOR INFORMATION ONLY) CONTRACTOR IS RESPONSIBLE FOR VERIFYING FOR INFORMATION QUANTITIES		
CONCRETE, CAST-IN-PLACE CLASS D	21.4	CY
STEEL REINFORCING	1645	LB
DRILLED SHAFT (18 INCH)	100	LF
PEDESTRIAN HANDRAIL	30	LF

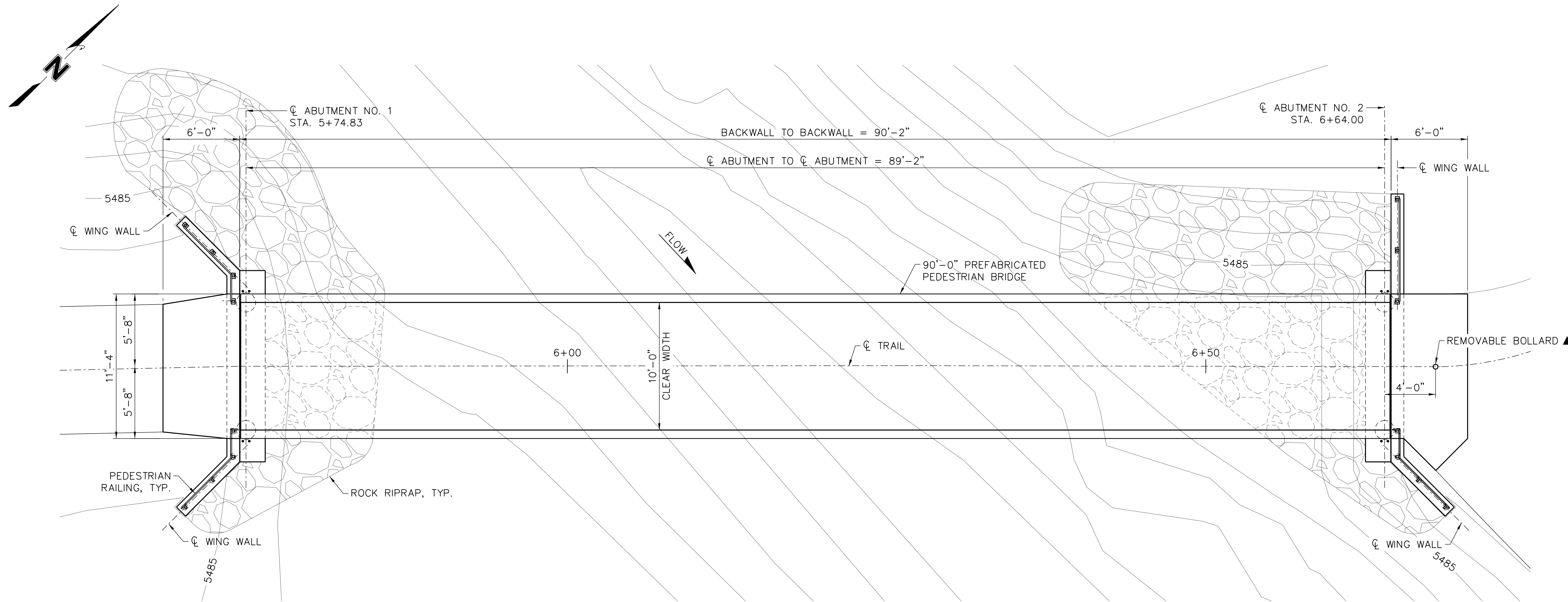
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PEDESTRIAN RAILING DETAILS	18



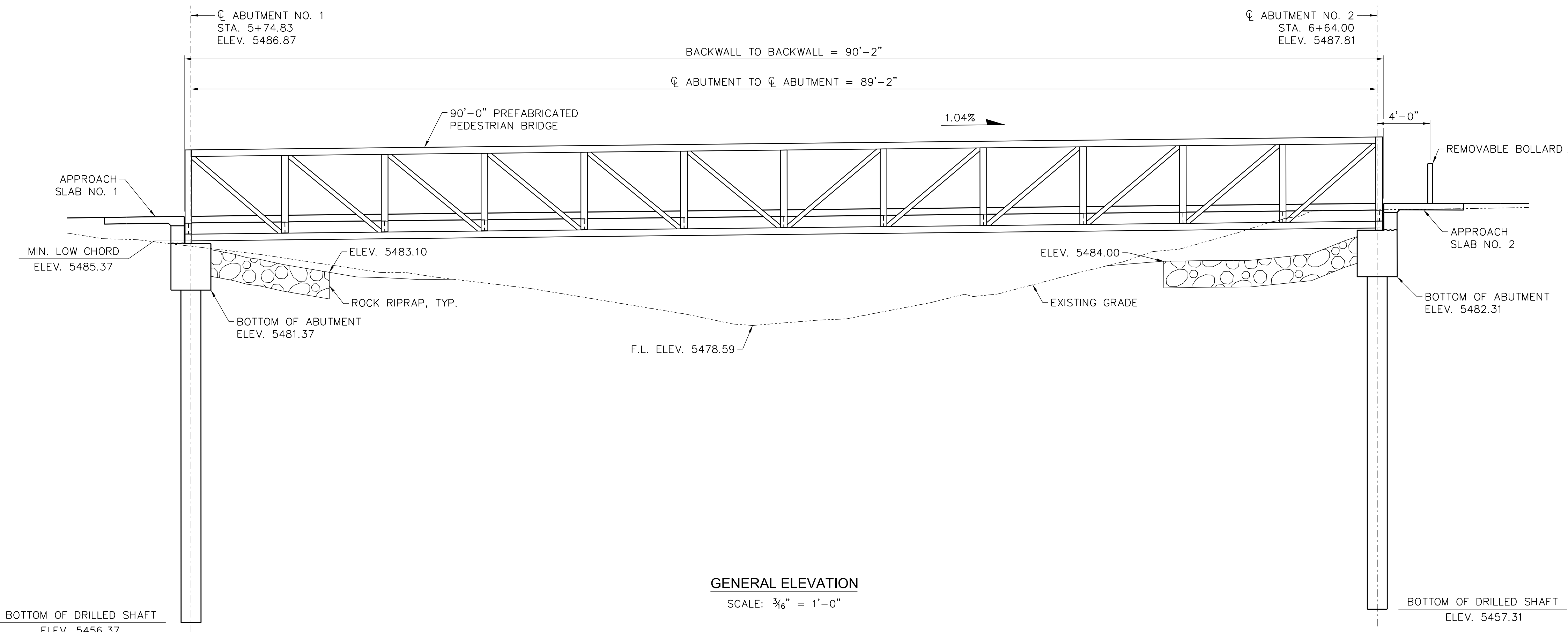
TYPICAL SECTION

SCALE: 3/8" = 1'-0"



GENERAL PLAN

SCALE: 3/8" = 1'-0"



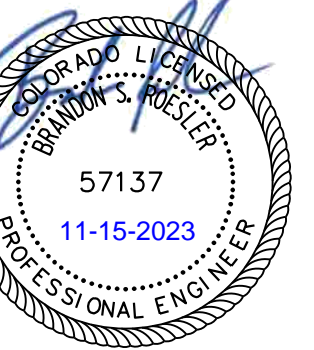
GENERAL ELEVATION

SCALE: 3/8" = 1'-0"

▲ BOLLARD MINIMUM DIMENSIONS SHALL BE 4 1/2" Ø AND 3'-0" TALL, MEASURED FROM TOP OF FINISHED GRADE. BOLLARD SHALL LOCK INTO PLACE. BOLLARD FOUNDATION SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND BE INCORPORATED INTO THE CONCRETE APPROACH SLAB. BOLLARD FOUNDATION SHALL HAVE A LID FOR WHEN BOLLARD IS REMOVED. PRODUCT SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING.

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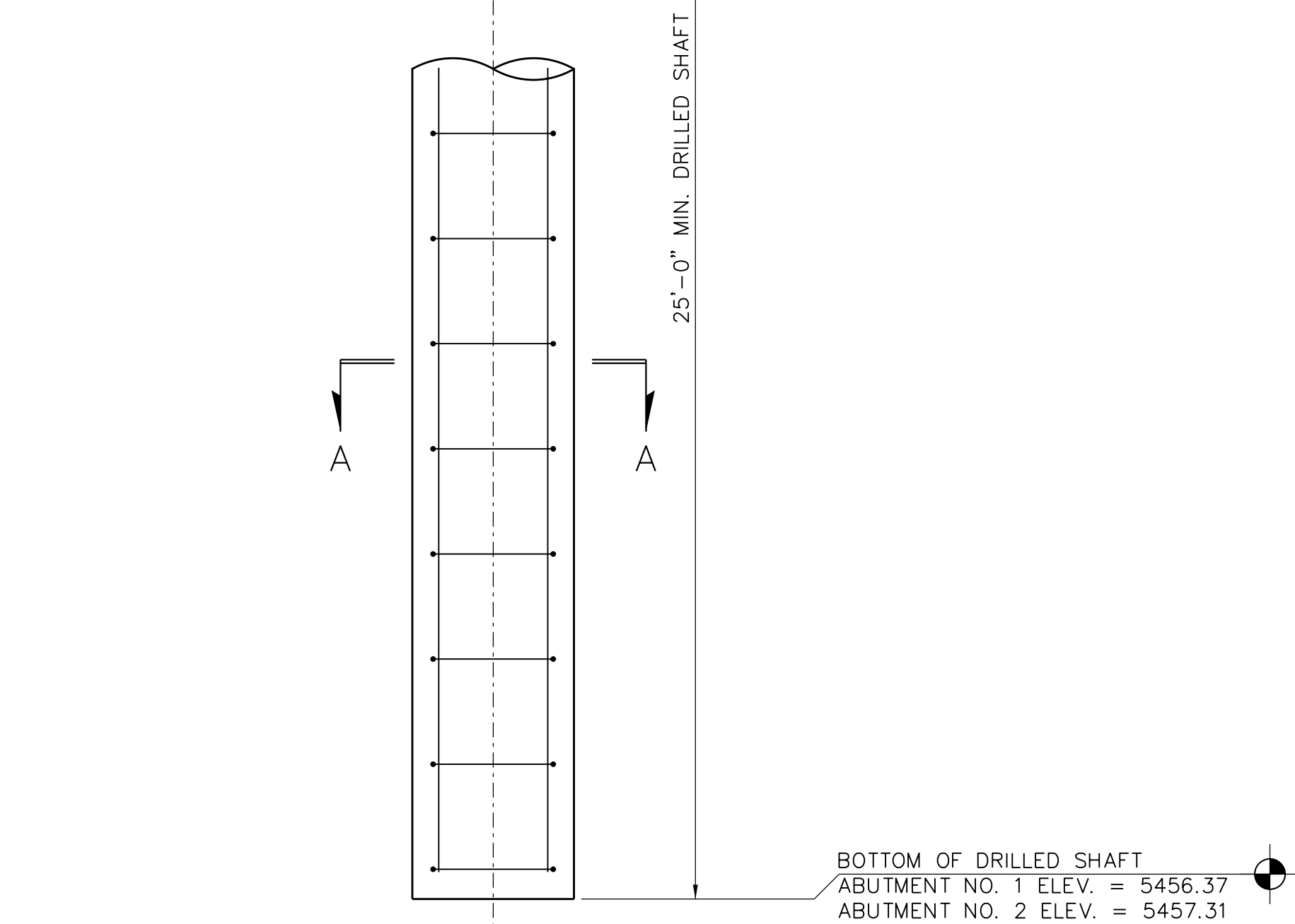
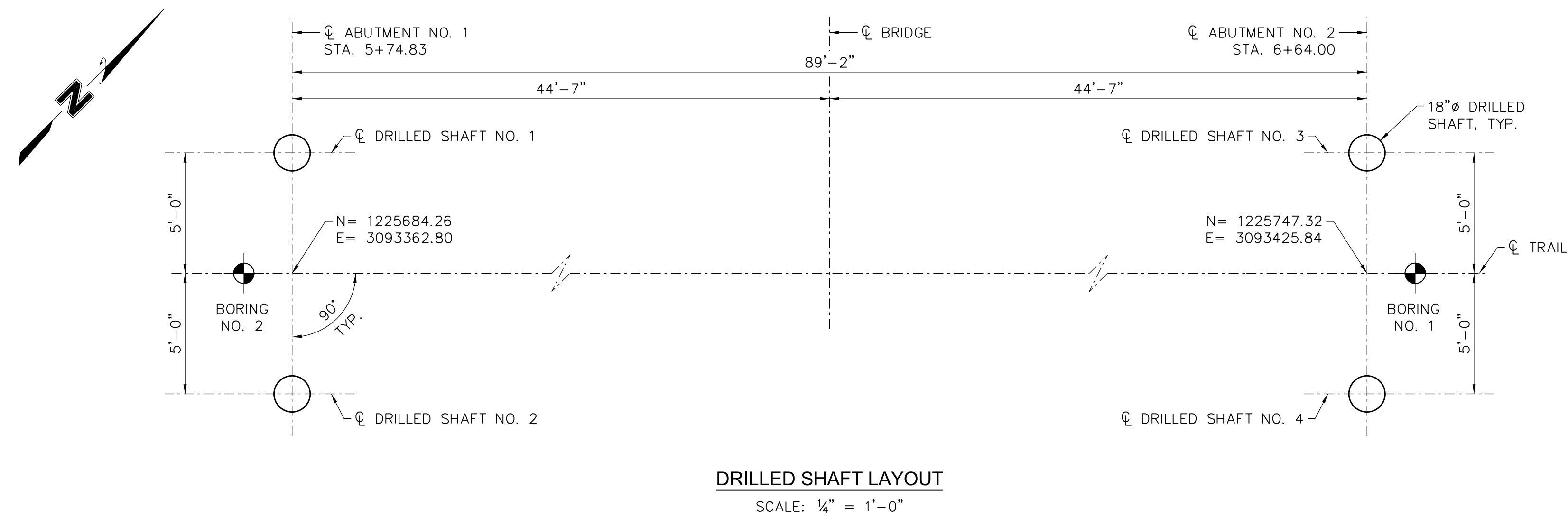
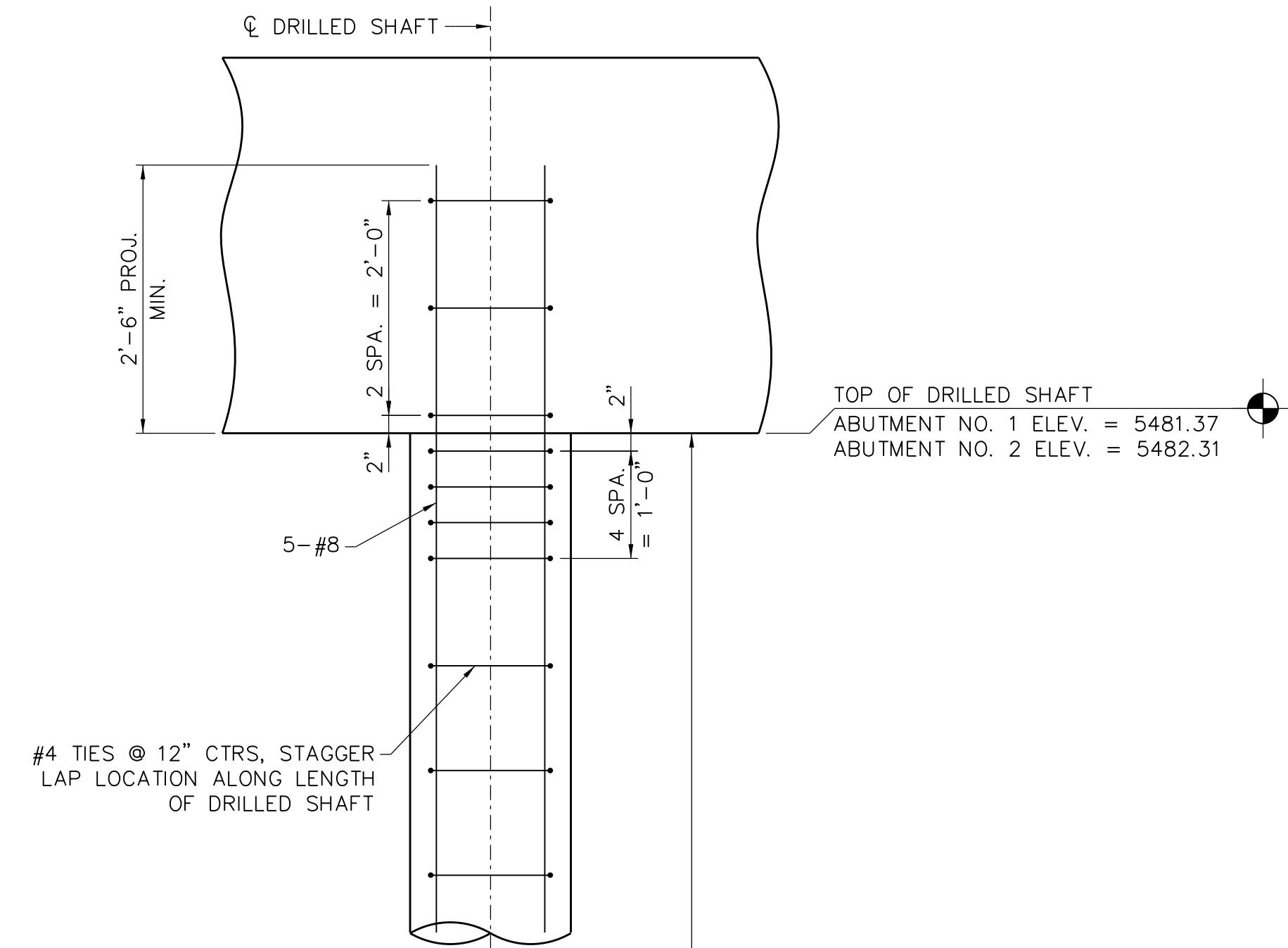
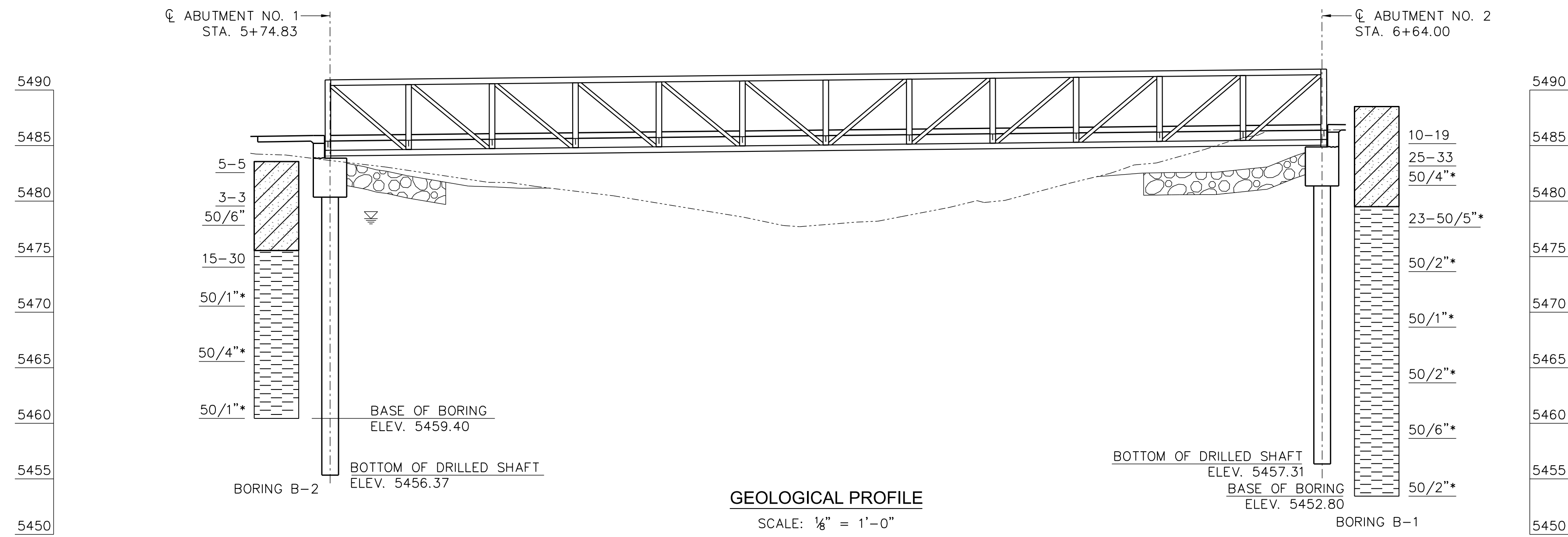
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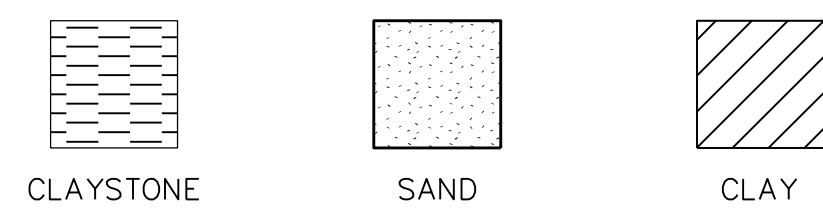
PEDESTRIAN BRIDGE NOTES,
 GENERAL PLAN AND ELEVATION
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 FINAL DESIGN
 SUPERIOR, CO
 2023

drawn by:	TAT
checked by:	JAD
approved by:	BSR
QA/QC by:	BSR
project no.:	021-00854
drawing no.:	NA
date:	04.21.2023



DRILLED SHAFT NOTES

- DRILLED SHAFT CONSTRUCTION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS IN GEOTECHNICAL ENGINEERING REPORT
- SPlicing OF VERTICAL BARS WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- TOP OF DRILLED CAISSONS SHALL BE WITHING 2" OF PLAN AND SHALL NOT DEVIATE MORE THAN 1" IN 10'-0" FROM PLUMB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUPPORT FOR REINFORCING STEEL CAGES DURING FABRICATION, ERECTION AND CONCRETE PLACEMENT. PLANS SHOWING REINFORCING CAGE SUPPORT AND METHODS OF ERECTION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- DRILLED SHAFT EXCAVATIONS SHALL BE COMPLETED WITH SINGLE FLIGHT AUGER, ROCK AUGER, OR BUCKET AUGER BITS TO THE SPECIFIED TIP ELEVATION.
- AFTER EXCAVATION AND CLEANING, NO MORE THAN 1/2" OF LOOSE MATERIAL SHALL REMAIN ACROSS 50% OF THE DRILLED SHAFT BASE.
- CONCRETE SHOULD BE AVAILABLE ON THE SITE AT THE TIME OF DRILLING SO THAT SHAFT HOLES CAN BE FILLED WITH CONCRETE IMMEDIATELY UPON COMPLETION OF DRILLING, CLEANING AND INSPECTION.
- DRILLED SHAFT SHALL HAVE A MINIMUM OF 20'-0" PENETRATION BELOW LOWEST ADJACENT FINAL GRADE.
- A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER SHALL BE ON SITE FOR DRILLED SHAFT INSTALLATION.
- CONCRETE SHALL BE PLACED USING A BOTTOM HOPPER OR TREMIE PIPE TO PREVENT POTENTIAL AGGREGATE SEGREGATION OR SIDEWALL DISTURBANCE. A MINIMUM EMBEDMENT DEPTH OF 5 FT SHOULD BE MAINTAINED IF A TREMIE PIPE IS USED TO PLACE CONCRETE.
- THE ANTICIPATED SUBSURFACE CONDITIONS AND DEPTHS WHERE SATISFACTORY BEARING MATERIAL MAY BE ENCOUNTERED ARE INDICATED. HOWEVER, NO WARRANTY OF SUBSURFACE CONDITIONS AND DEPTHS WHERE SATISFACTORY BEARING MATERIAL MAY BE ENCOUNTERED SHALL BE INFERRED. THE BOTTOM ELEVATION OF ANY SHAFT MAY BE RAISED OR LOWERED FROM THAT SHOWN ON THE PROJECT PLANS AND ORDERED BY THE ENGINEER. IF ANY SHAFT IS DEEPEINED, THE REINFORCEMENT BARS SHALL BE EXTENDED ACCORDINGLY, AS DIRECTED BY THE ENGINEER.
- ABUTMENTS TO BE SUPPORTED ON CAST-IN-PLACE CONCRETE DRILLED SHAFTS WITH A MINIMUM BEARING CAPACITY OF 91 KIPS.
- DESIGN BEARING INCLUDES END BEARING AND SIDE FRICTION IN ALL LAYERS.
- GRANULAR SOILS WERE ENCOUNTERED ON THE PROJECT SITE THAT ARE PRONE TO CAVING AND SLOUGHING. THE USE OF A TEMPORARY CASING MAY BE REQUIRED TO MAINTAIN BOREHOLE STABILITY.

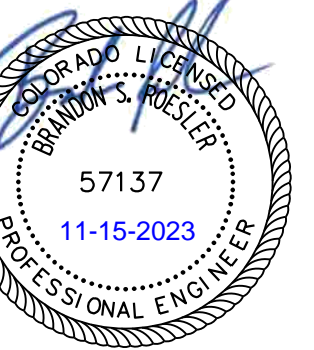


NOTES:
THE BORINGS, AS LOGGED ON THE PLANS, REPRESENT THE CHARACTER OF THE SUBSOIL AT THE LOCATION INDICATED. NO GUARANTEE IS MADE THAT THE SUBSOIL CONDITIONS VARY UNIFORMLY BETWEEN OR OUTSIDE THE GIVEN LOCATION.
NUMBERS BESIDE THE BORINGS INDICATE THE NUMBER OF BLOWS REQUIRED TO DRIVE A STANDARD PENETROMETER, OF 2" O.D. THE SECOND AND THIRD 6" UNLESS OTHERWISE NOTED, USING A 140 LB HAMMER FALLING 30 INCHES IN ACCORDANCE WITH ASTM D1586 PROCEDURES.
* INDICATES MAXIMUM NUMBER OF BLOWS WAS ACHIEVED WITHOUT 6" MOVEMENT.
INDICATES ELEVATION AT WHICH WATER WAS ENCOUNTERED DURING DRILLING OPERATIONS. NOTE THAT NO WATER WAS ENCOUNTERED AT BORING HOLE NO. 1

11/19/2023 5:37:42 PM
 User: JAD
 Project: COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 Drawing: GEOTECHNICAL DESIGN

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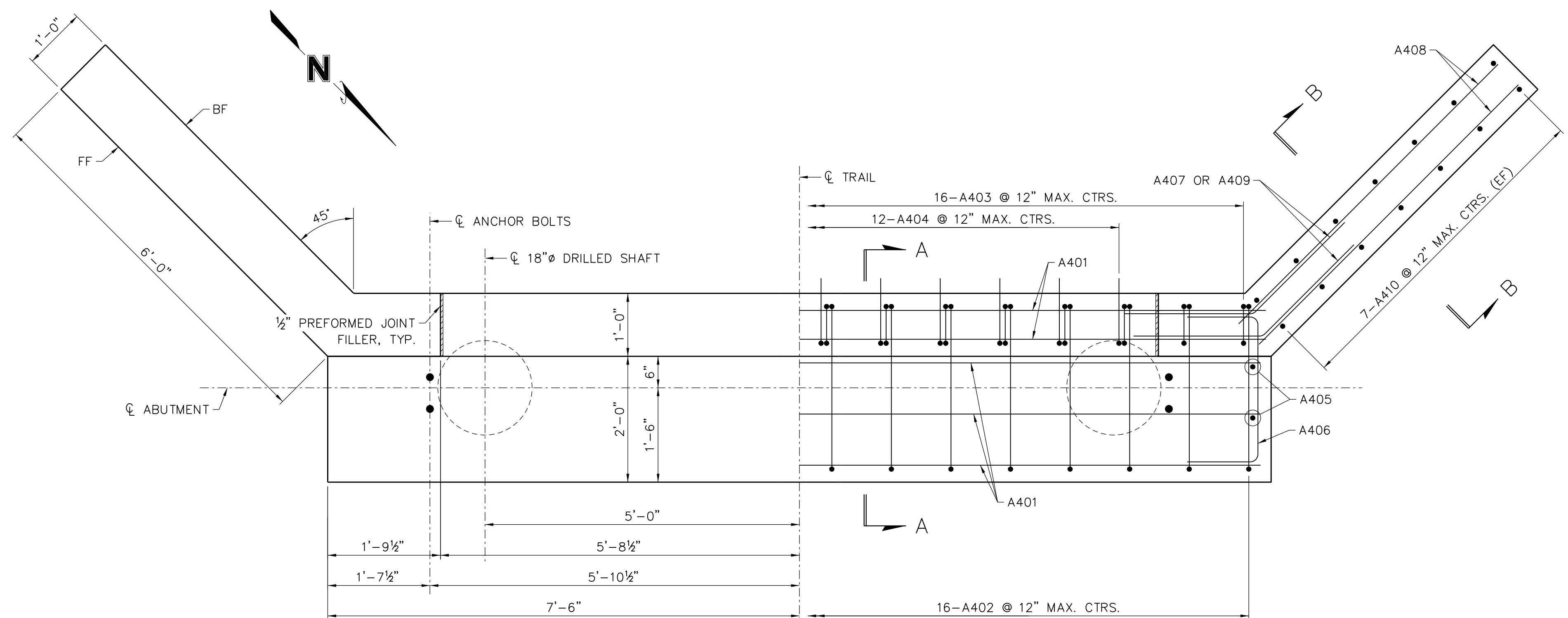
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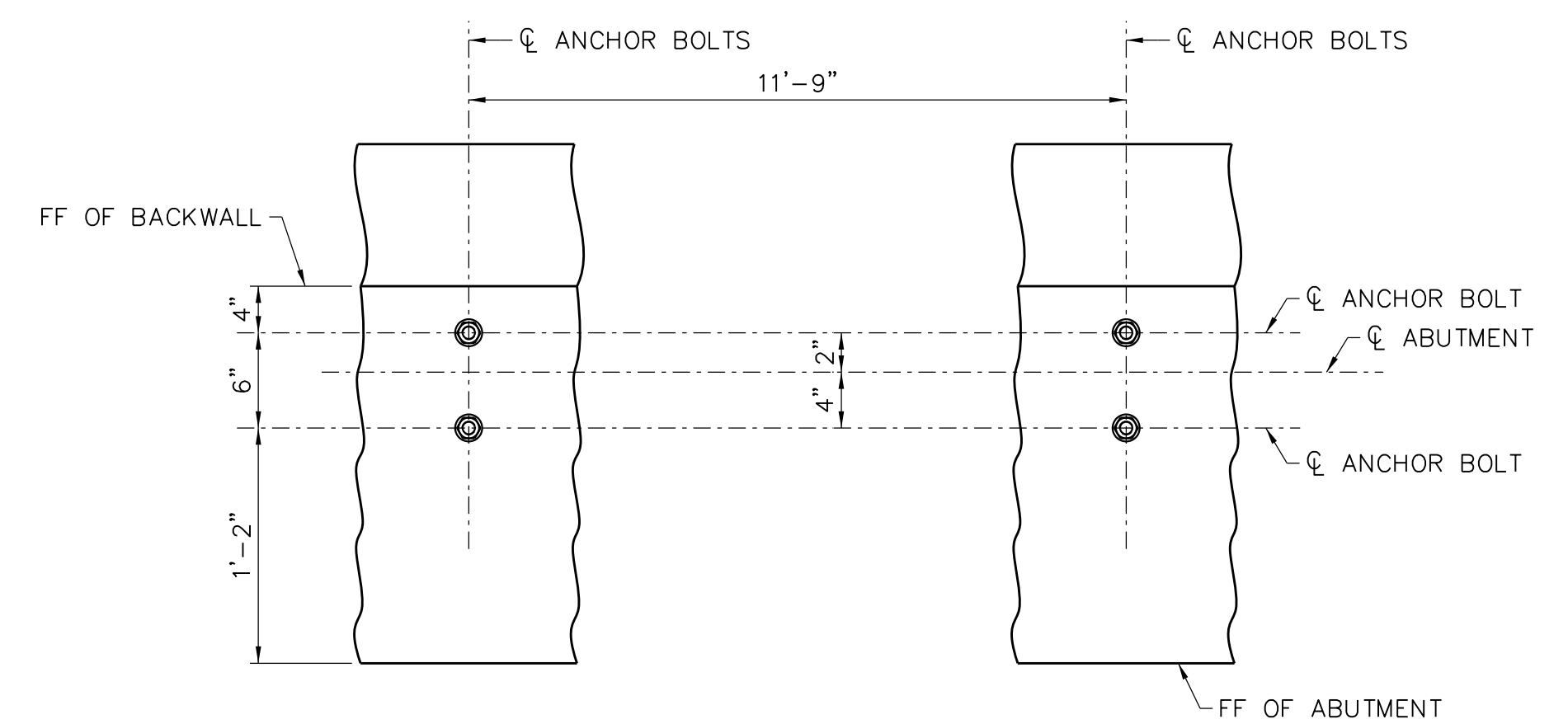
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GEOLOGICAL PROFILE AND DRILLED SHAFT DETAILS
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
FINAL DESIGN
 SUPERIOR, CO 2023

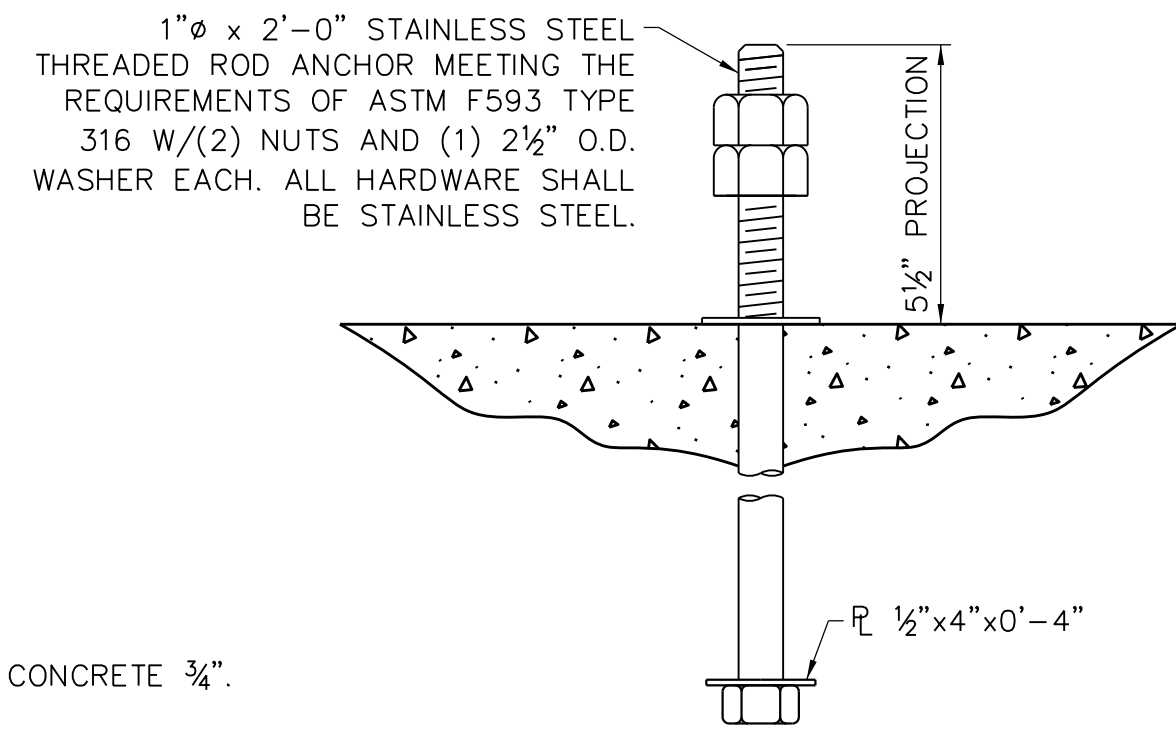
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 approved by: BSR
 QA/QC by: BSR
 project no.: 021-00854
 drawing no.: NA
 date: 04.21.2023



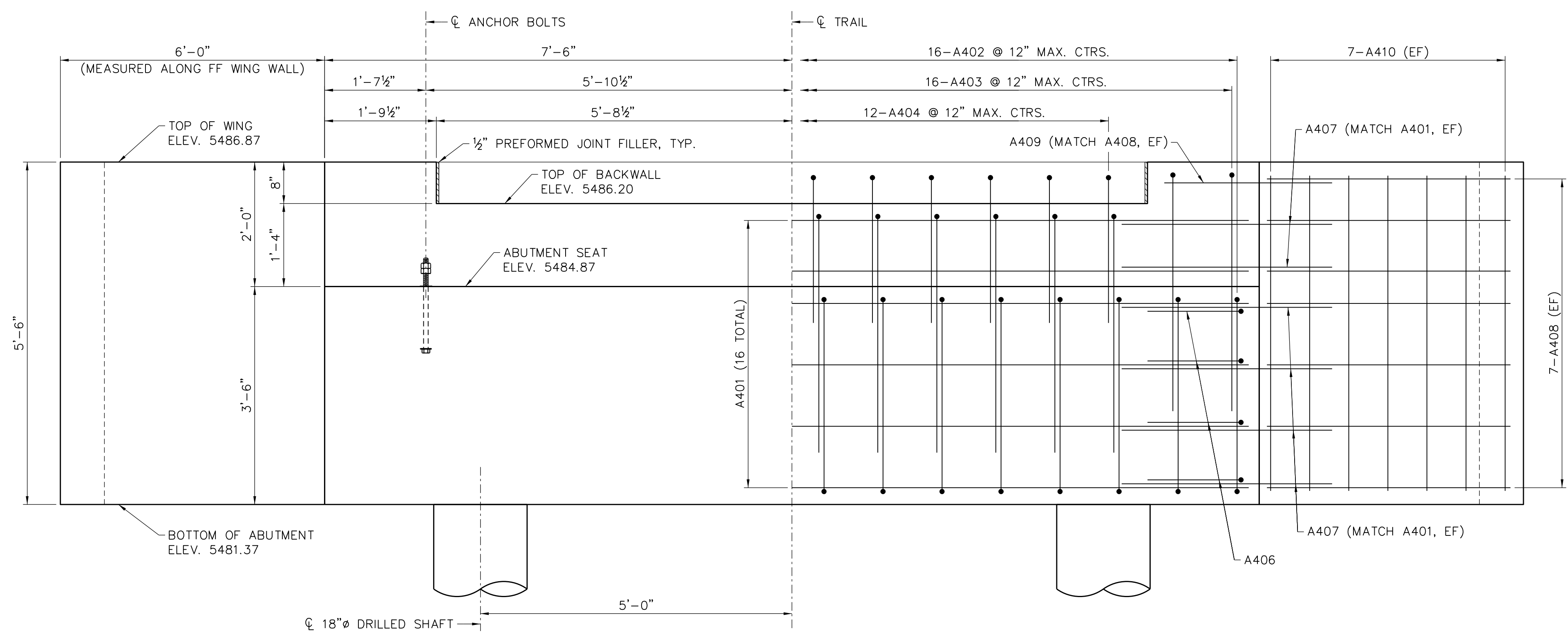
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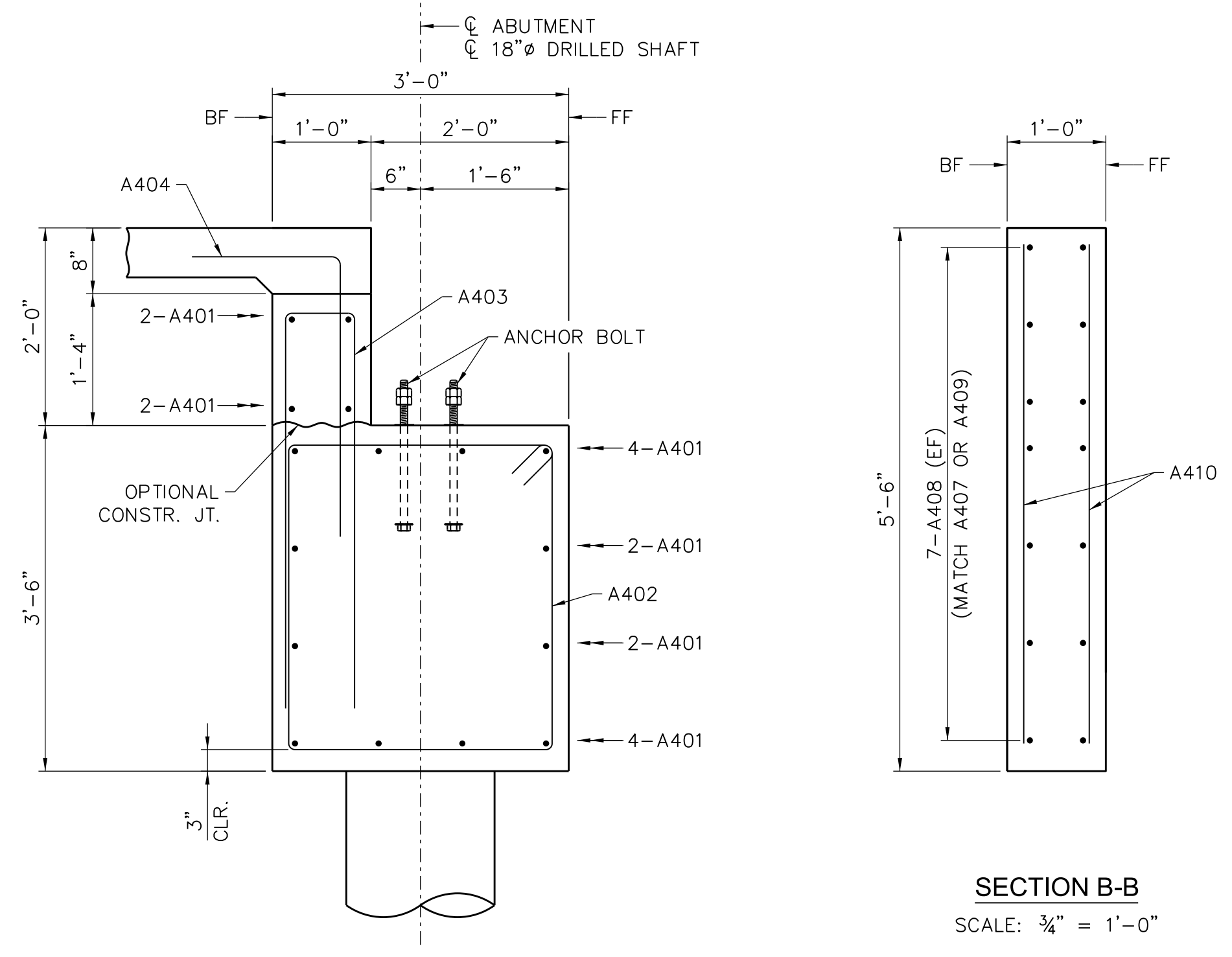
ANCHOR BOLT LAYOUT
NOT TO SCALE



ANCHOR BOLT DETAIL
NOT TO SCALE



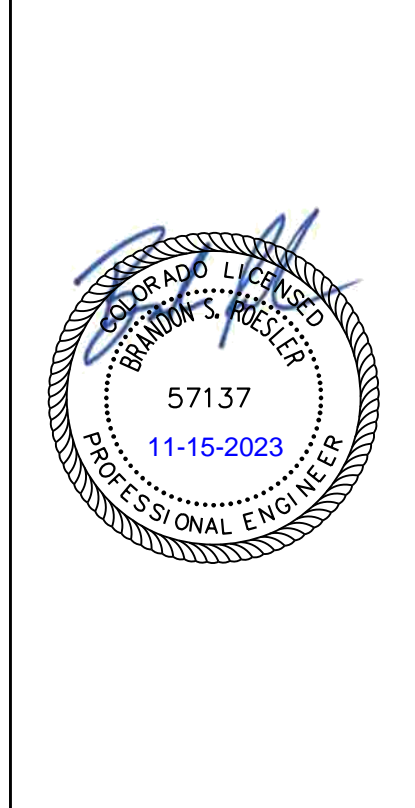
ELEVATION OF ABUTMENT NO. 1
(SYMM. ABOUT ϕ TRAIL)
SCALE: $\frac{3}{4}$ " = 1'-0"



SECTION A-A
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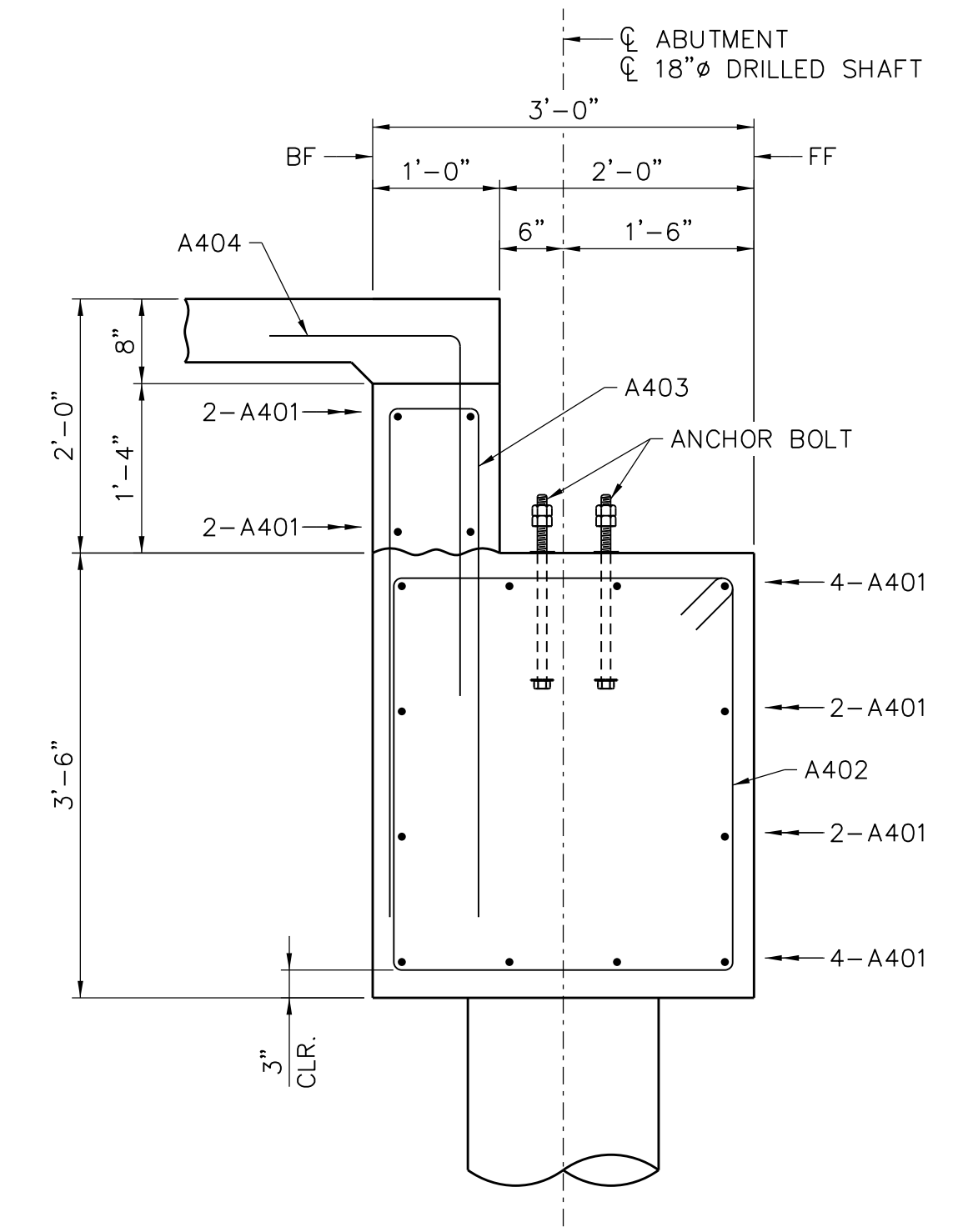
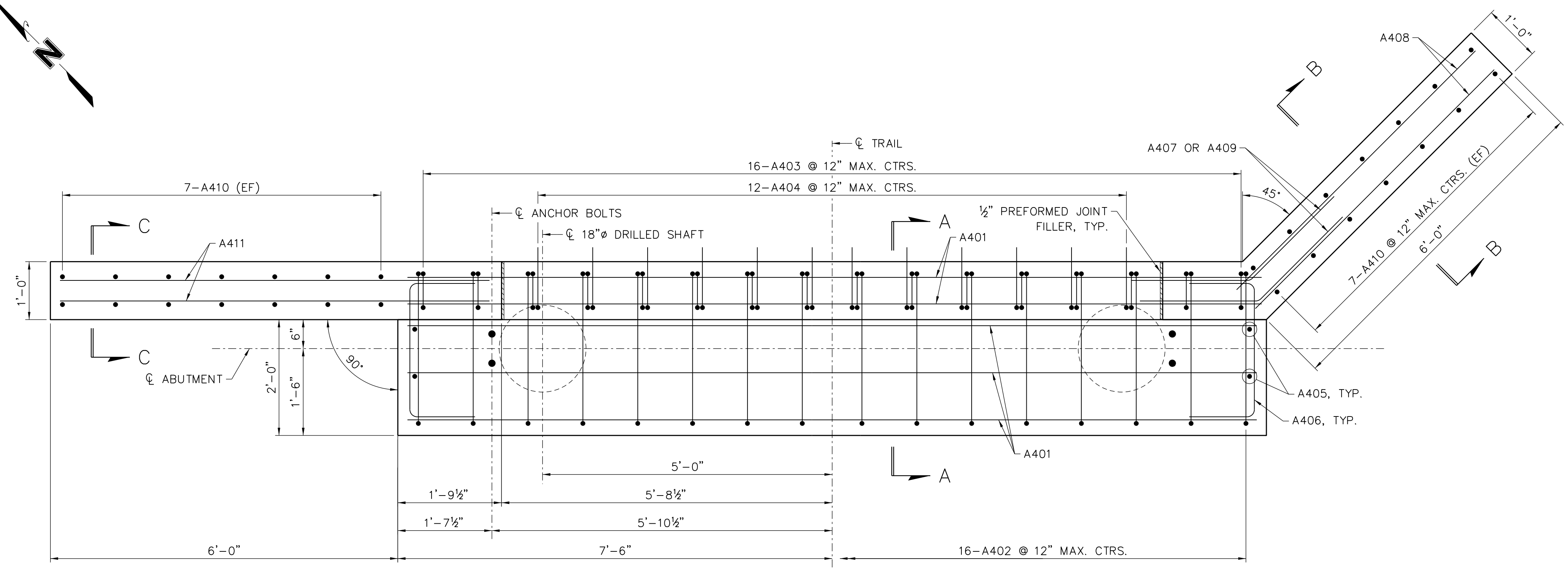
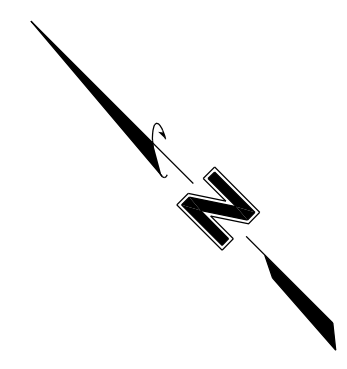
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 Drawing: PEDESTRIAN BRIDGE ABUTMENT NO. 1 DETAILS

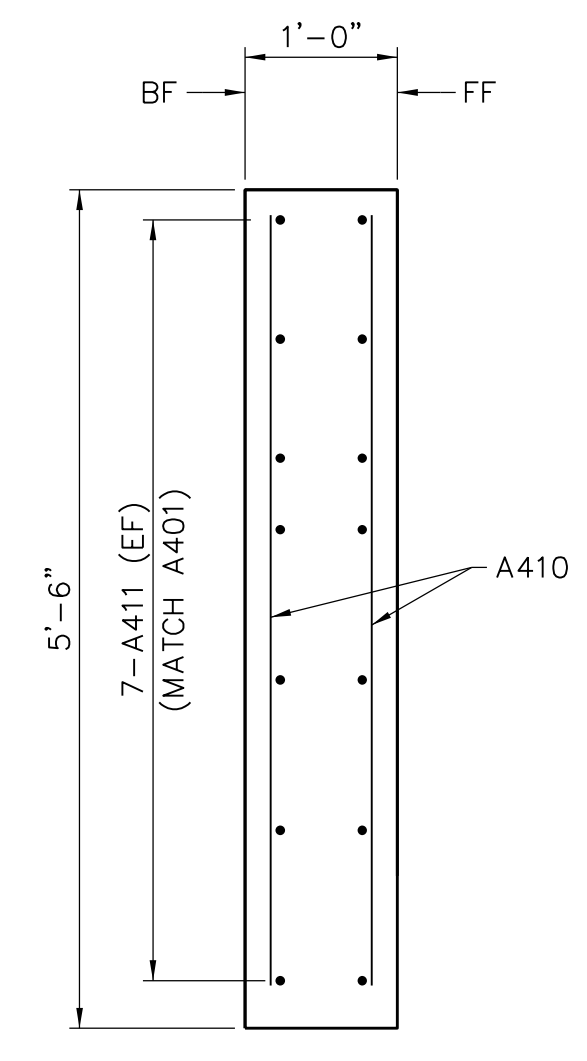
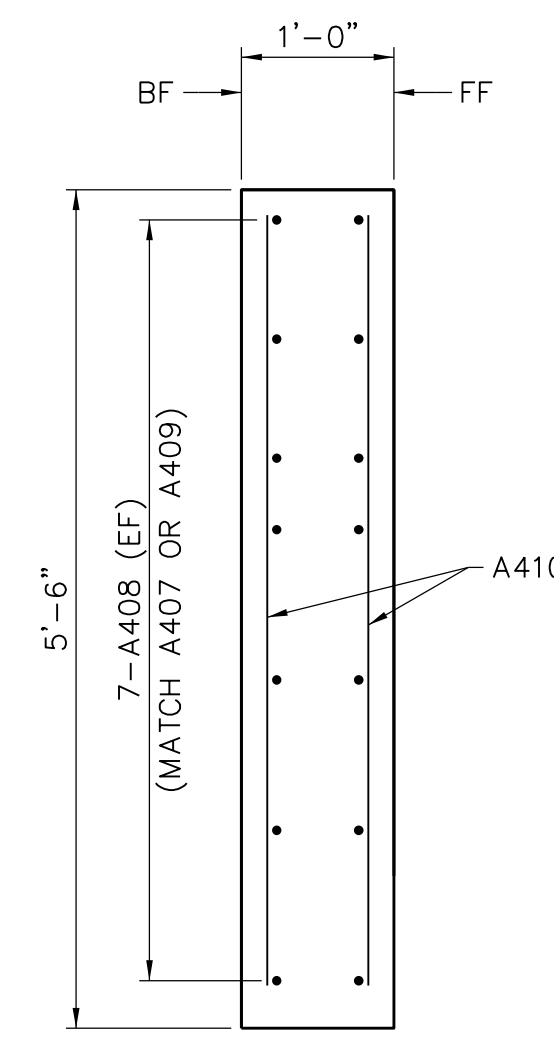
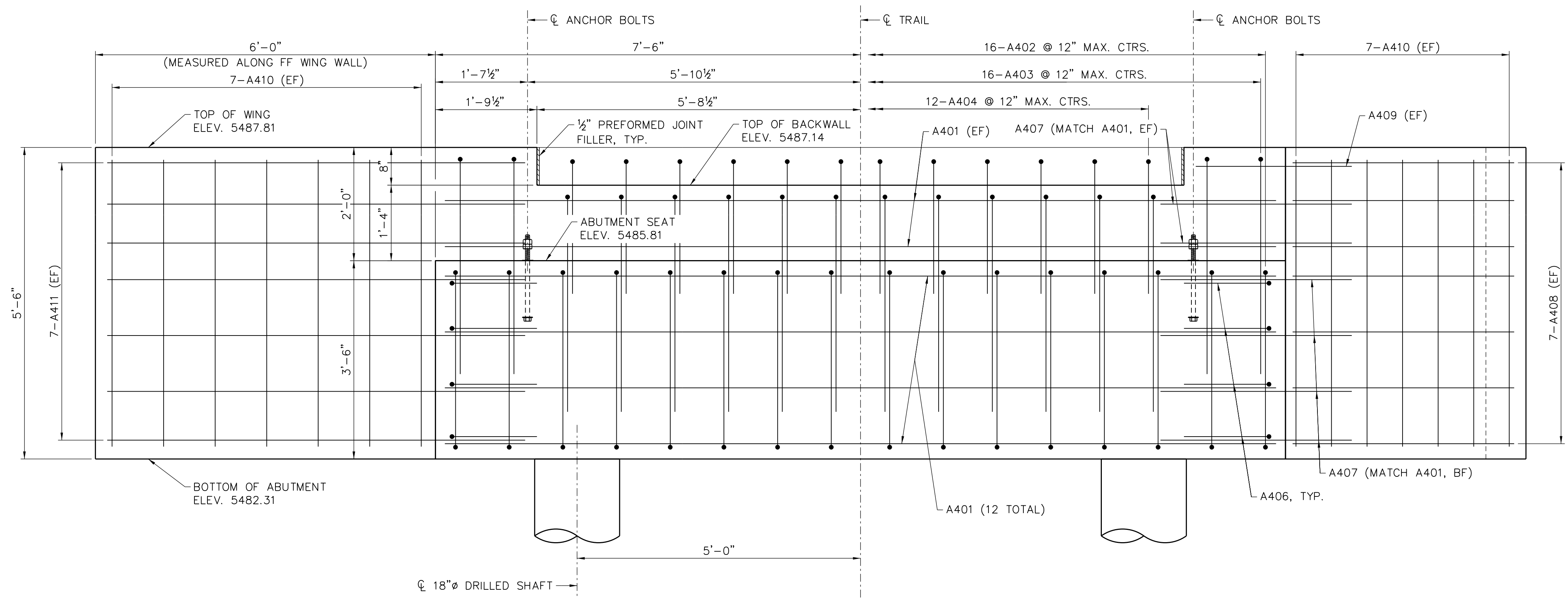


REV. NO.	DATE	REVISIONS DESCRIPTION

PEDESTRIAN BRIDGE ABUTMENT NO. 1 DETAILS	2023
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD	
SUPERIOR, CO	
FINAL DESIGN	



NOTE:
CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4"

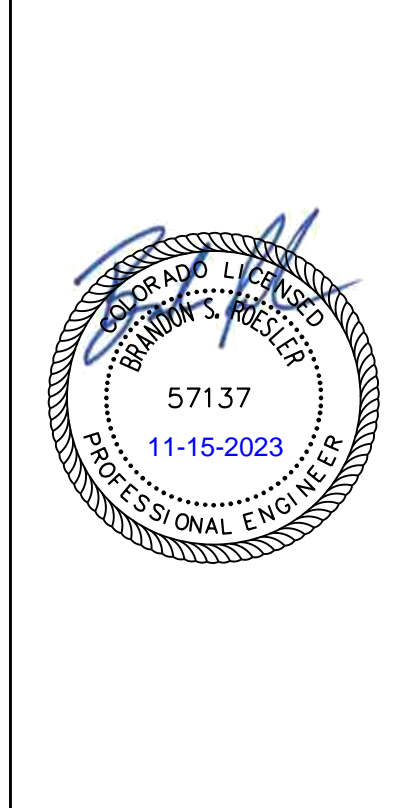


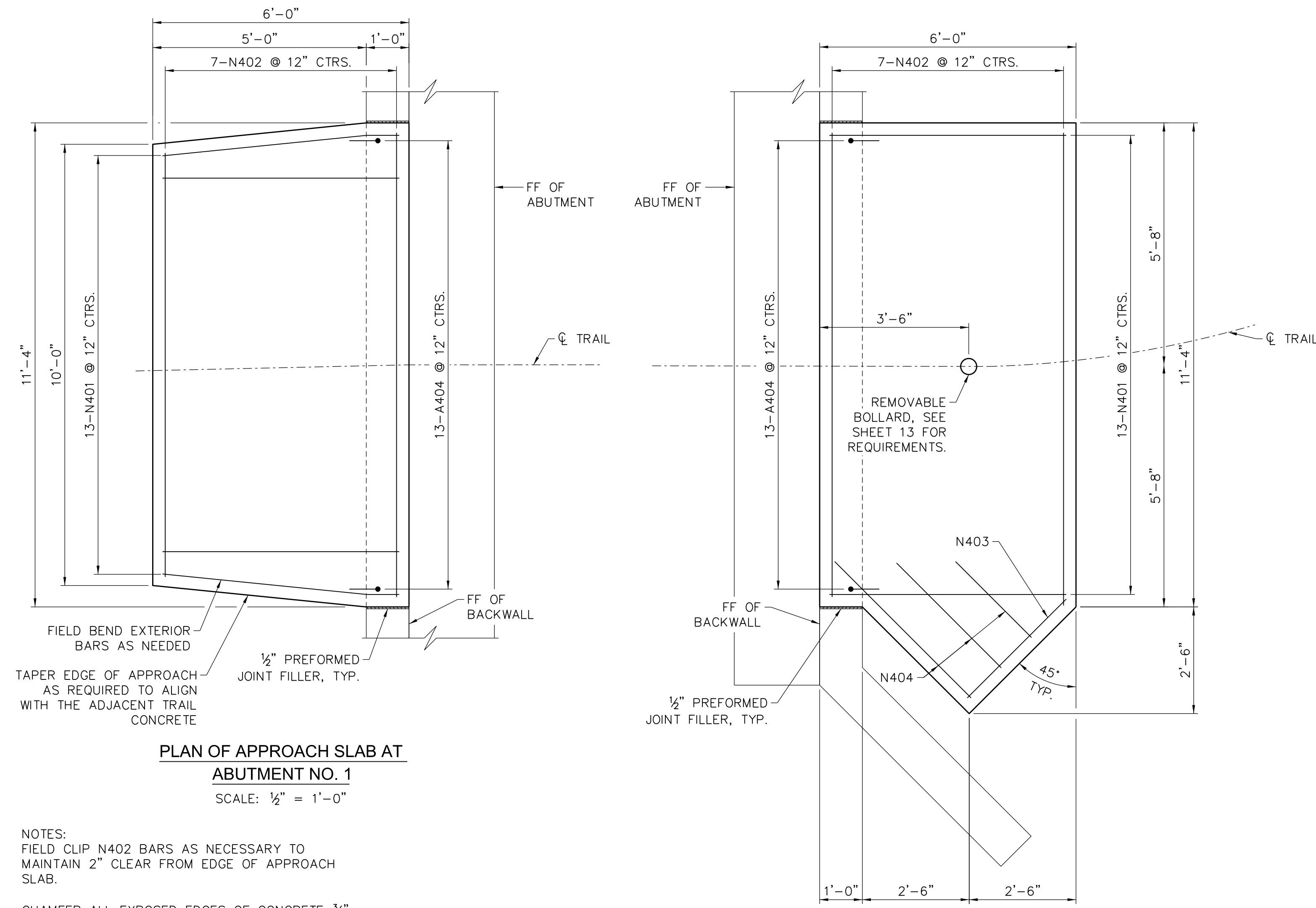
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 User: JAD
 Project: PEDESTRIAN BRIDGE AT 2ND AVENUE TO MCCASLIN BLVD
 Drawing: PEDESTRIAN BRIDGE ABUTMENT NO. 2 DETAILS

REV. NO.	DATE	REVISIONS DESCRIPTION

PEDESTRIAN BRIDGE ABUTMENT NO. 2 DETAILS
 COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
 SUPERIOR, CO
 2023

drawn by: TAT
 checked by: JAD
 approved by: BSR
 QA/QC by: BSR
 project no.: 021-00854
 drawing no.: NA
 date: 04.21.2023

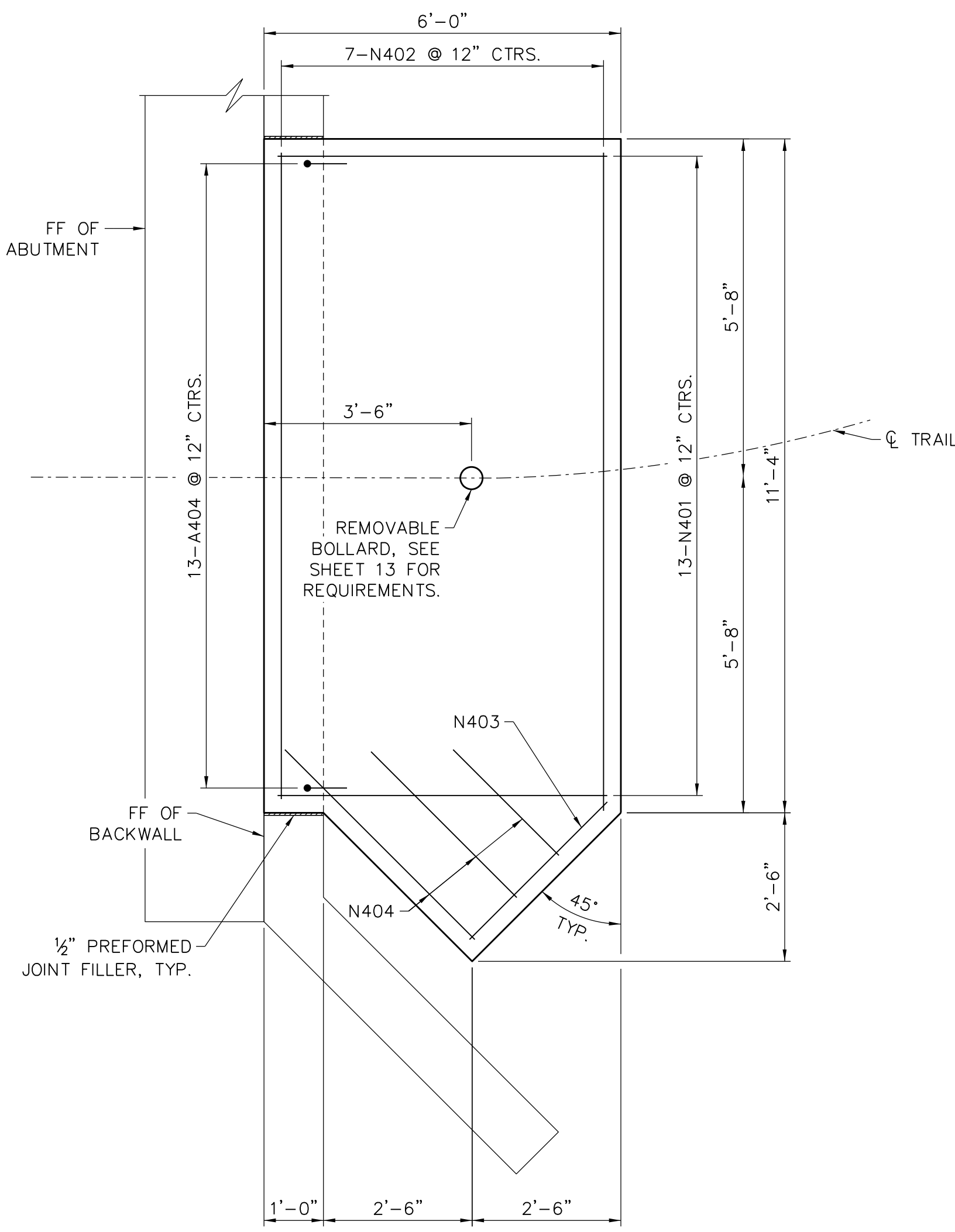




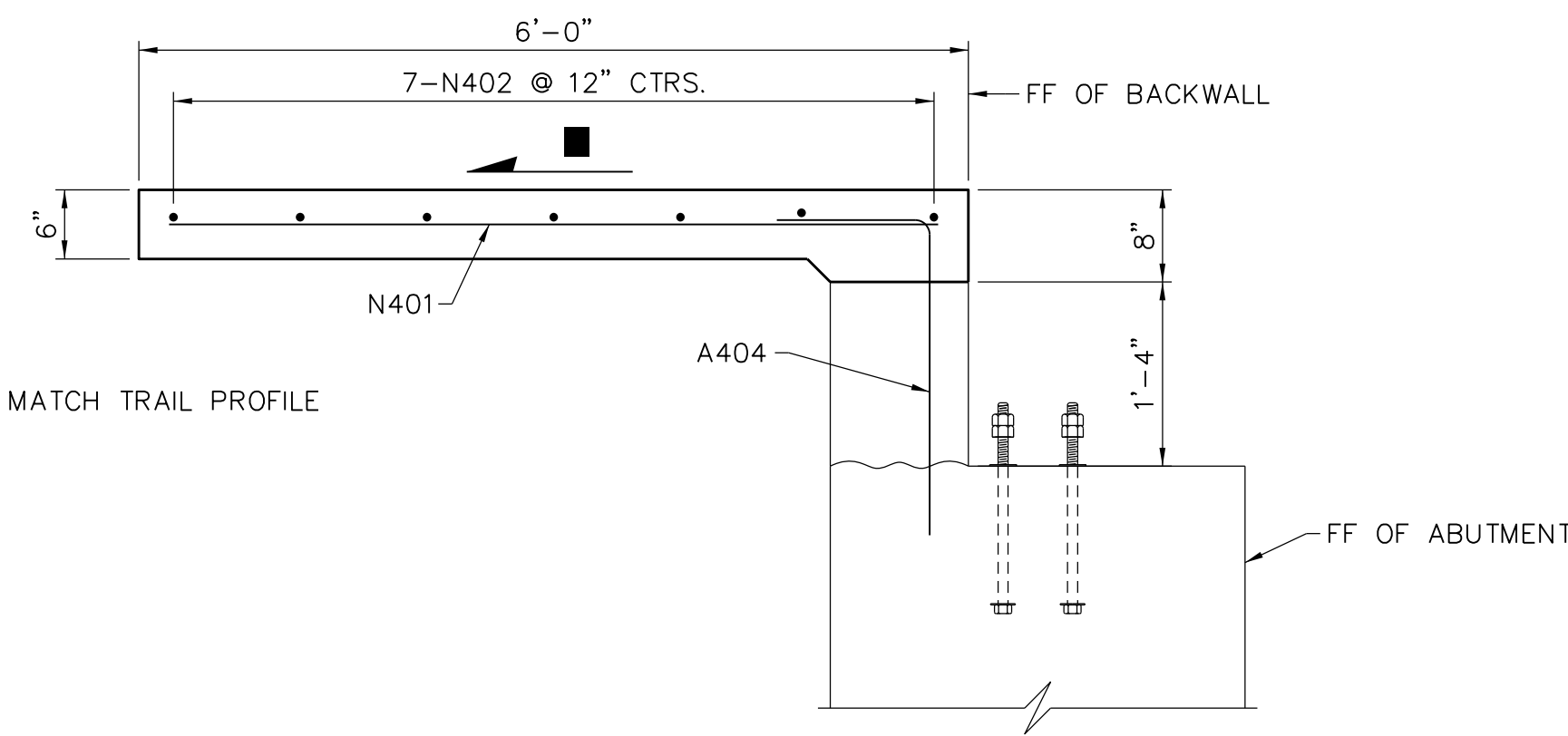
**PLAN OF APPROACH SLAB AT
ABUTMENT NO. 1**
SCALE: 1/2" = 1'-0"

NOTES:
FIELD CLIP N402 BARS AS NECESSARY TO
MAINTAIN 2" CLEAR FROM EDGE OF APPROACH
SLAB.

CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4".

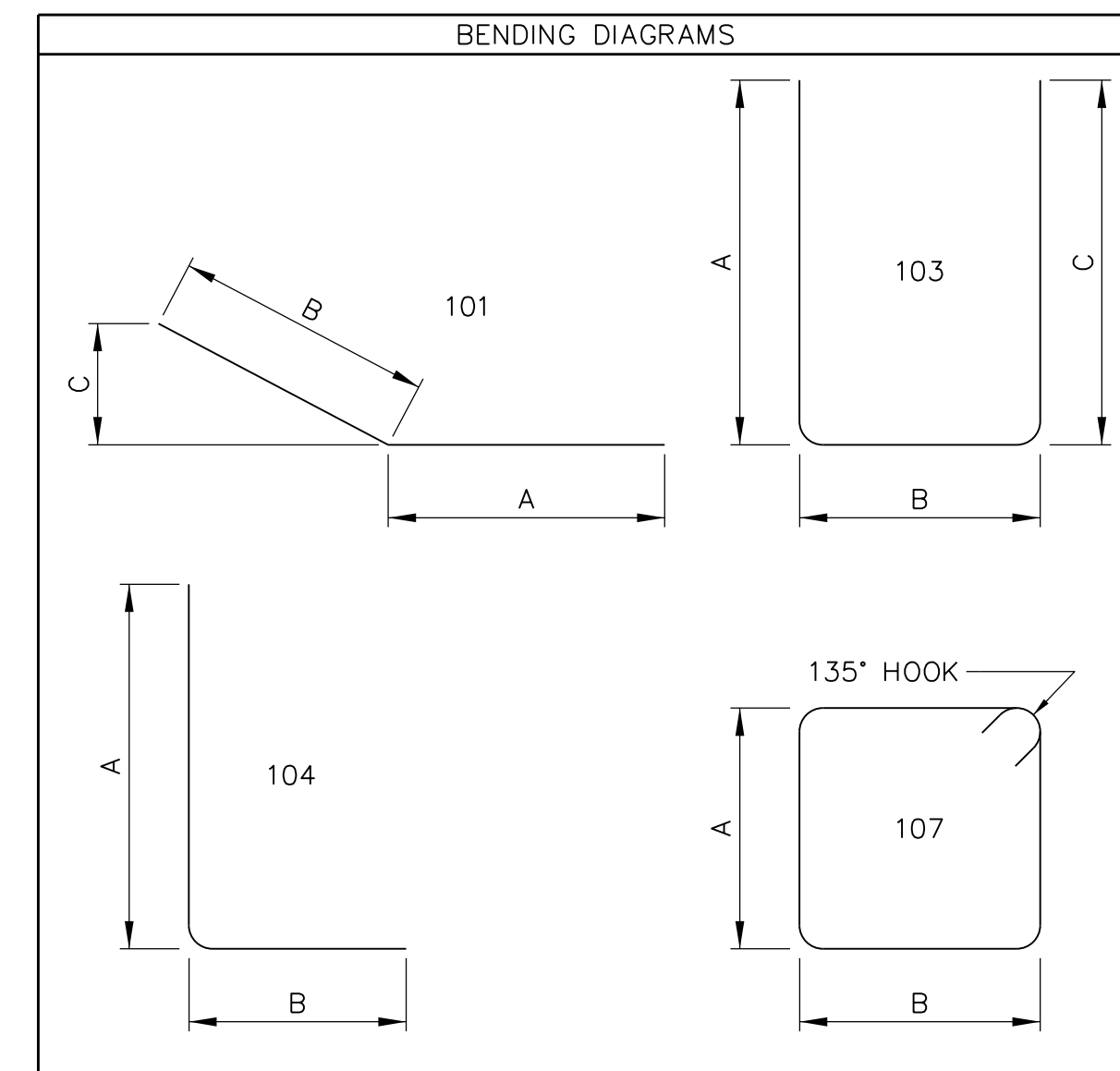


**PLAN OF APPROACH SLAB AT
ABUTMENT NO. 2**
SCALE: 1/2" = 1'-0"



TYPICAL SECTION OF APPROACH SLABS
SCALE: 1/2" = 1'-0"

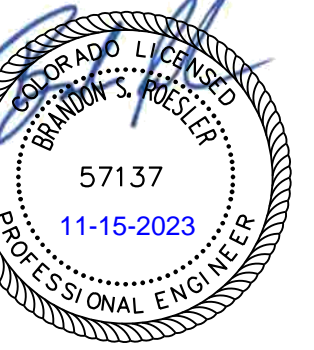
BILL OF BARS												
MARK	NO.	LENGTH	TYPE	"A"	"B"	"C"	"D"	"E"	"F"	PIN	HOOK	WEIGHT
												LB
ABUTMENT NO. 1												
A401	16	14'-8"	STR									157 LB
A402	16	12'-3"	107	3'-1"	2'-8"					2"	4 1/2"	131 LB
A403	16	8'-8"	103	4'-0"	0'-8"	4'-0"				2"		93 LB
A404	13	4'-4"	104	2'-0"	2'-4"					3"		38 LB
A405	4	3'-1"	STR									9 LB
A406	8	6'-8"	103	1'-10"	3'-0"	1'-10"				2"		36 LB
A407	24	4'-0"	101	2'-0"	2'-0"	1'-5"				3"		65 LB
A408	28	5'-10"	STR									110 LB
A409	4	3'-3"	101	1'-3"	2'-0"	1'-3"				3"		9 LB
A410	28	5'-1"	STR									96 LB
SUBTOTAL =												744 LB
ABUTMENT NO. 2												
A401	16	14'-8"	STR									157 LB
A402	16	12'-3"	107	3'-1"	2'-8"					2"	4 1/2"	131 LB
A403	16	8'-8"	103	4'-0"	0'-8"	4'-0"				2"		93 LB
A404	13	4'-4"	104	2'-0"	2'-4"					3"		38 LB
A405	4	3'-1"	STR									9 LB
A406	8	6'-8"	103	1'-10"	3'-0"	1'-10"				2"		36 LB
A408	14	5'-10"	STR									55 LB
A410	28	5'-10"	STR									96 LB
A411	14	7'-5"	STR									70 LB
SUBTOTAL =												685 LB
APPROACH SLAB NO. 1												
N401	13	5'-8"	STR									50 LB
N402	7	11'-0"	STR									52 LB
SUBTOTAL =												102 LB
APPROACH SLAB NO. 2												
N401	13	5'-8"	STR									50 LB
N402	7	11'-0"	STR									52 LB
N403	1	3'-2"	STR									3 LB
N404	3	3'-6", AVE.	STR									8 LB
SUBTOTAL =												113 LB



BAR SETS				
MARK	MAX LENGTH	MIN LENGTH	NO. OF SETS	BAR PER SET
N404	4'-6"	2'-6"	1	3

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PEDESTRIAN BRIDGE APPROACH SLAB
DETAILS AND BILL OF BARS

COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
FINAL DESIGN

SUPERIOR, CO

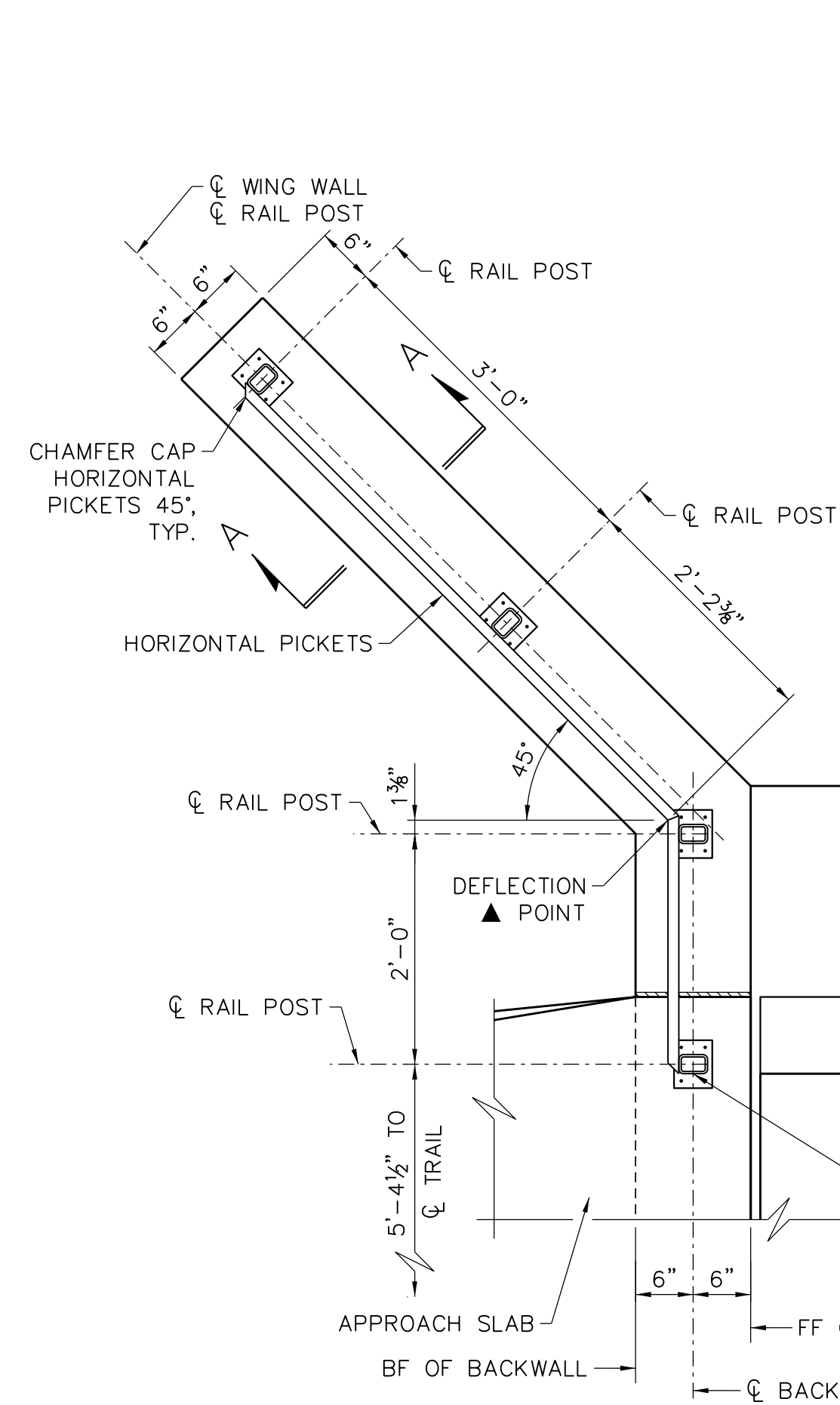
2023

drawn by: TAT
checked by: JAD
approved by: BSR
QA/QC by: BSR
project no.: 021-00854
drawing no.: NA
date: 04.21.2023

SHEET
17 OF 23

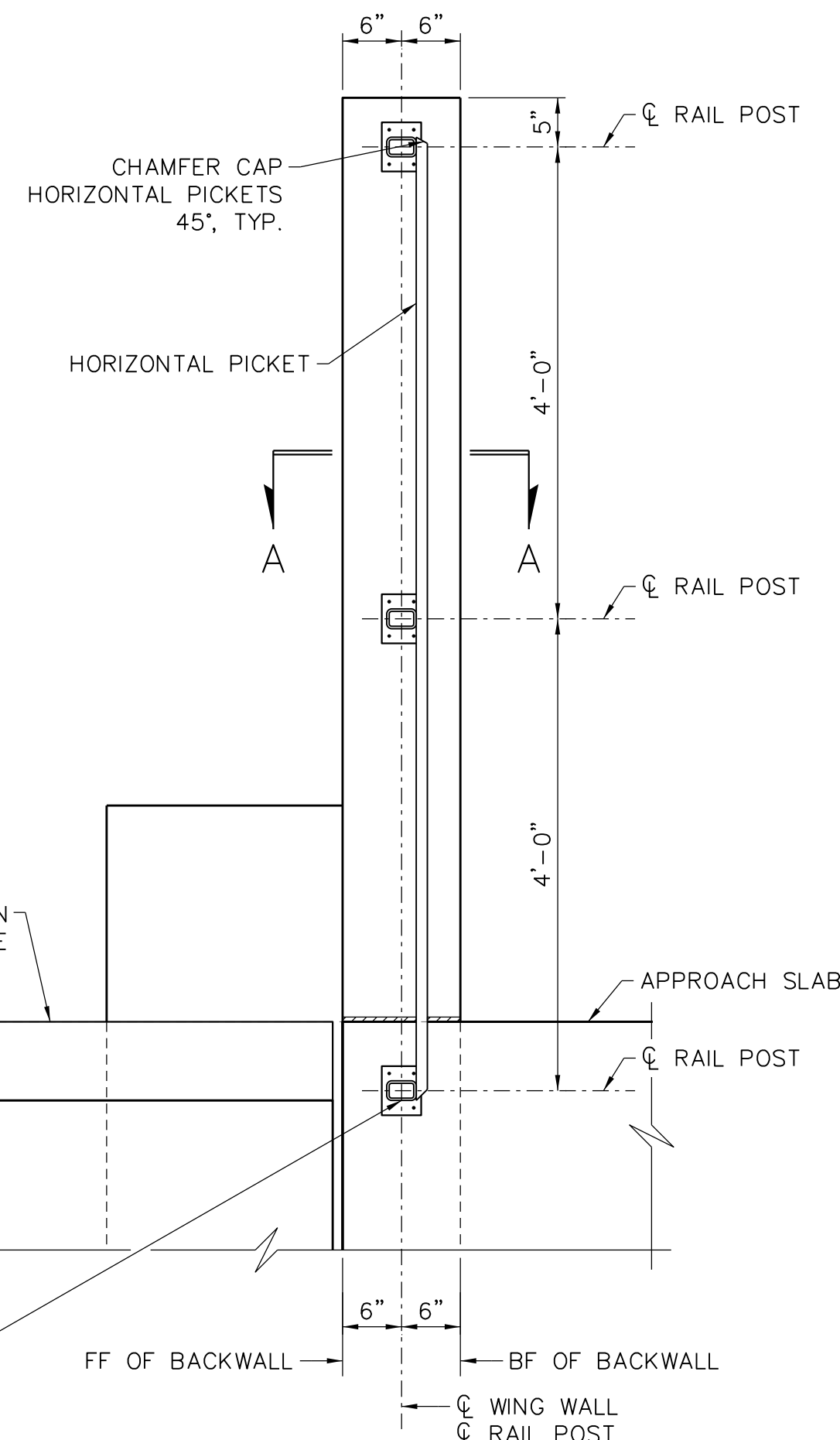
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User: bsr
Project: Coal Creek At 2nd Avenue To McCaslin Blvd
Drawing: Pedestrian Bridge Approach Slab Details And Bill Of Bars - 021-00854

11/21/2023 5:30:39 PM
 User: JAD
 Project: Final Design
 Drawing: PEDESTRIAN RAILING DETAILS

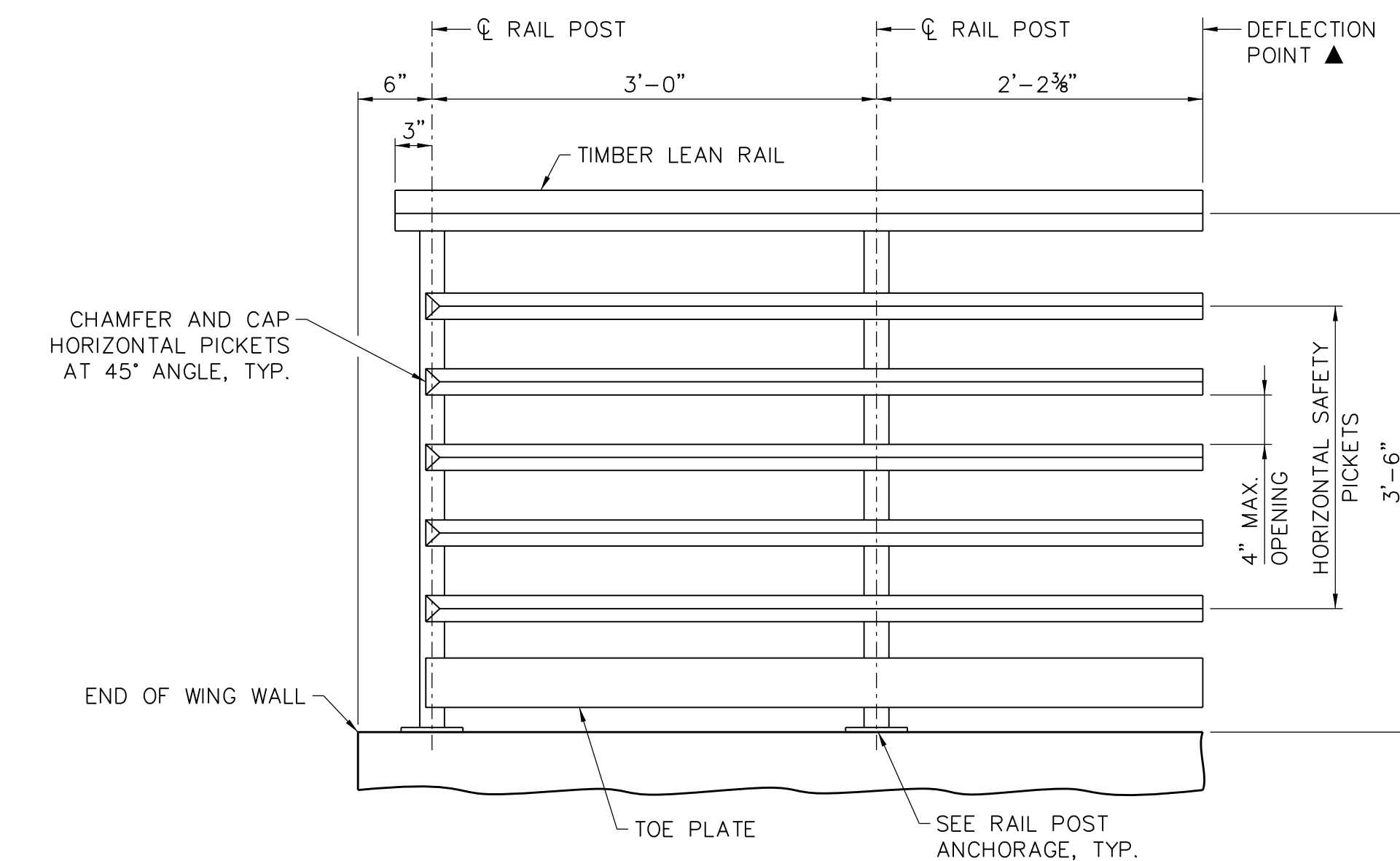


PLAN OF PEDESTRIAN RAILING - LAYOUT A
 (ABUTMENT NO. 1 EACH WING)
 (ABUTMENT NO. 2 SOUTH WING)
 SCALE: 3/4" = 1'-0"

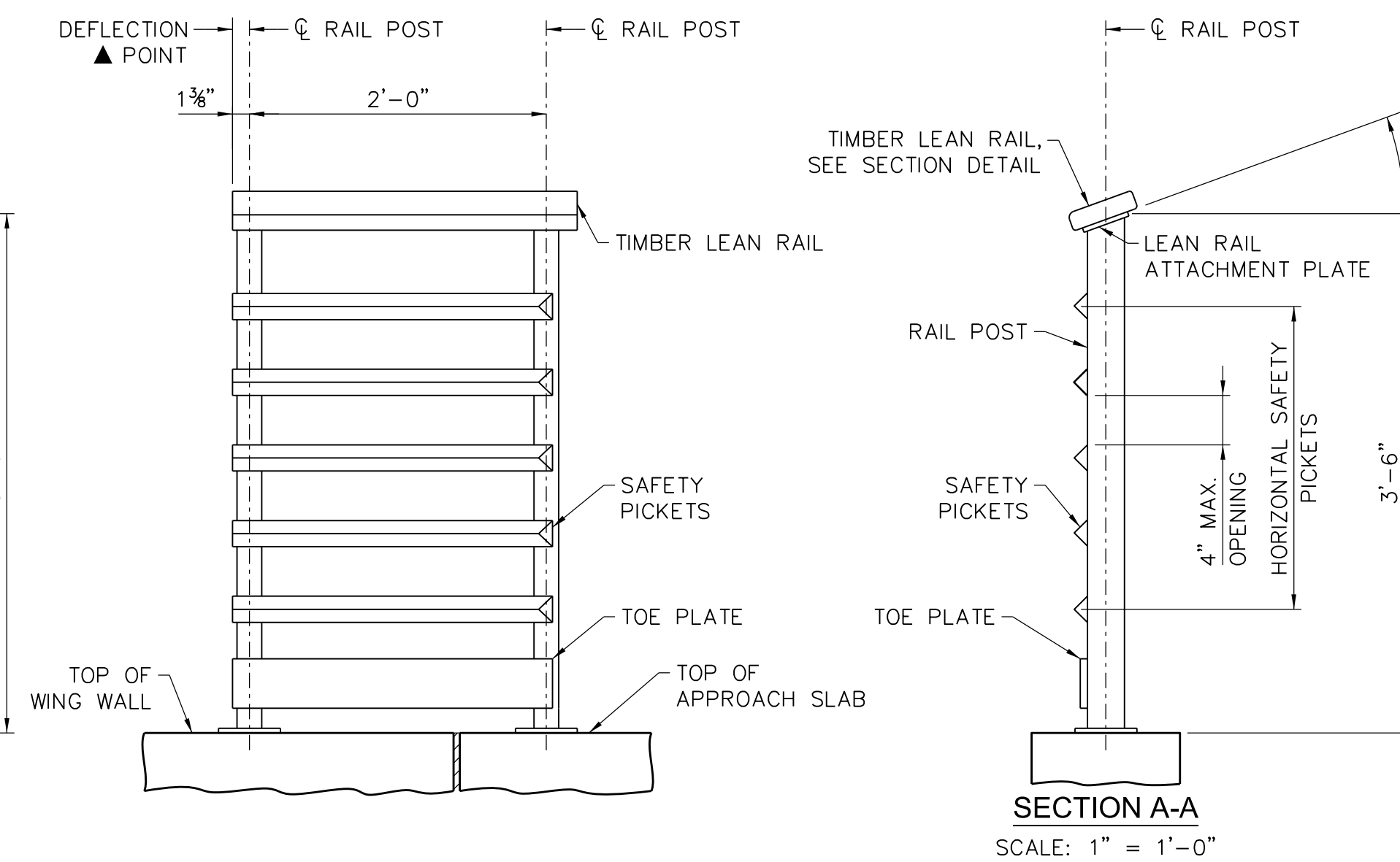
▲ MITER HORIZONTAL MEMBERS AT THE DEFLECTION



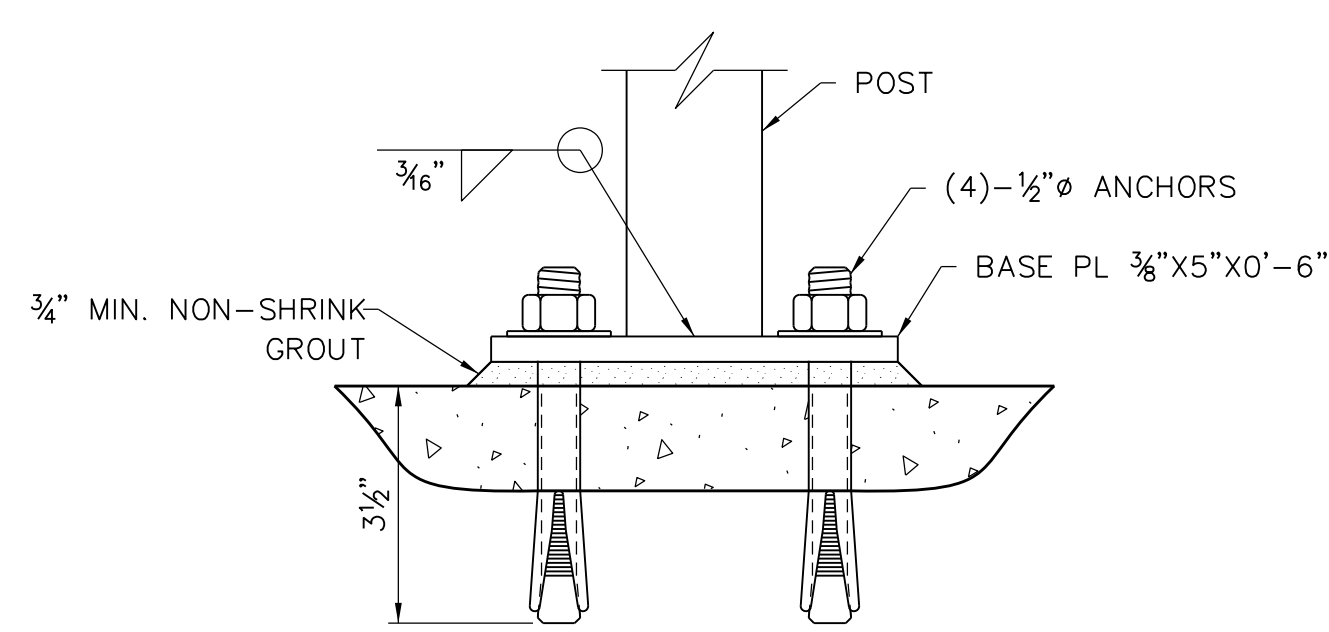
PLAN OF PEDESTRIAN RAILING - LAYOUT B
 (ABUTMENT NO. 2 NORTH WING)
 SCALE: 3/4" = 1'-0"



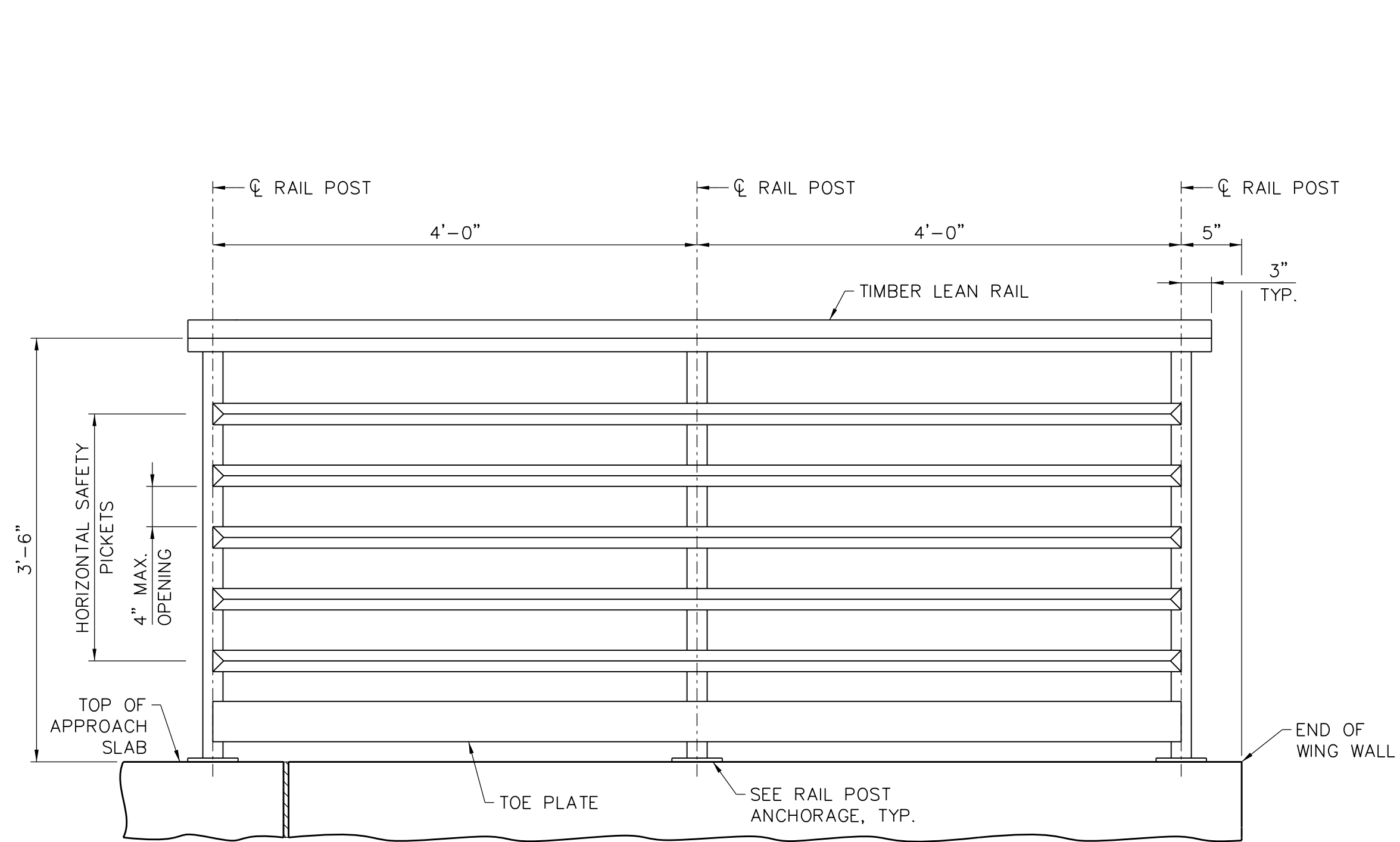
ELEVATION OF PEDESTRIAN RAILING - LAYOUT A
 (ABUTMENT NO. 1 EACH WING)
 (ABUTMENT NO. 2 SOUTH WING)
 SCALE: 1" = 1'-0"



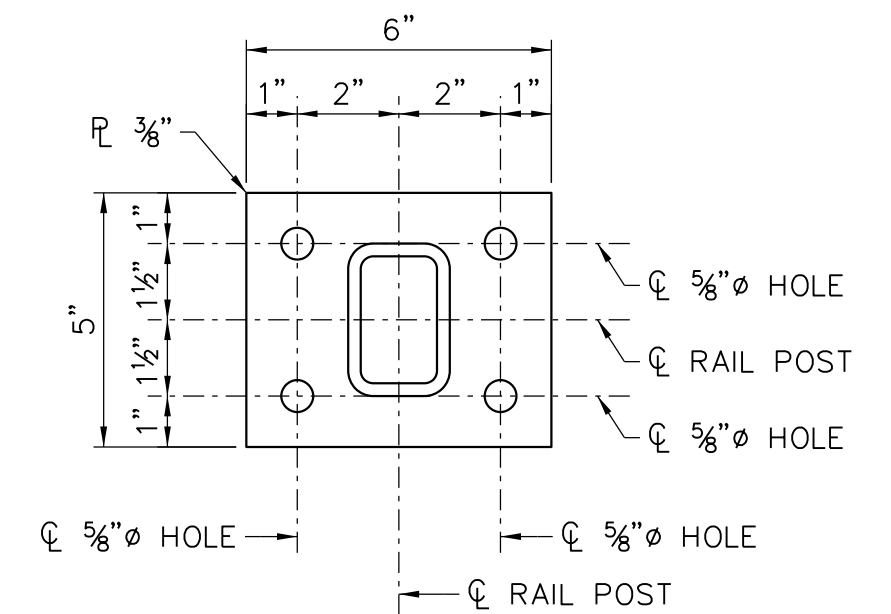
SECTION A-A
 SCALE: 1" = 1'-0"



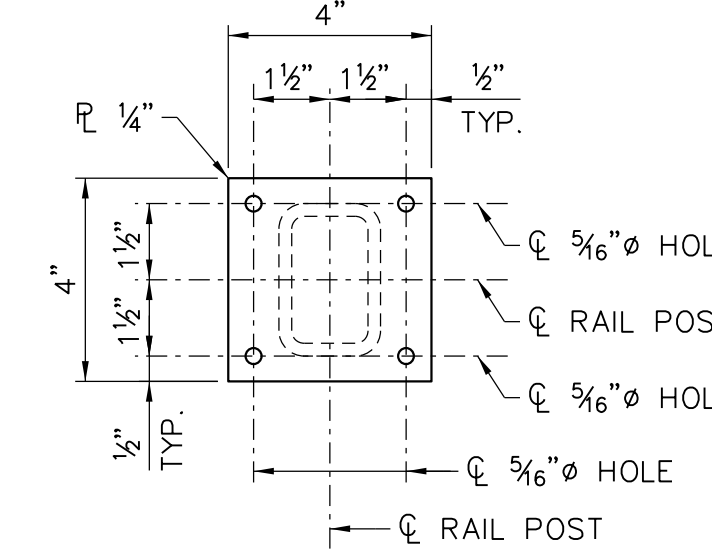
RAIL POST ANCHORAGE
 SCALE: 3" = 1'-0"



PLAN OF PEDESTRIAN RAILING - LAYOUT B
 (ABUTMENT NO. 2 NORTH WING)
 SCALE: 1" = 1'-0"



BASE PLATE
 SCALE: 3" = 1'-0"



LEAN RAIL ATTACHMENT PLATE
 SCALE: 3" = 1'-0"

NOTES:
 HORIZONTAL PICKETS AND TOE PLATE SHALL MATCH PEDESTRIAN BRIDGE MEMBERS AND SPACING. FINAL MEMBERS AND SPACING TO BE DETERMINED ONCE FINAL BRIDGE SHOP DRAWINGS ARE APPROVED.

CONTRACTOR SHALL FIELD MEASURE APPROACH SLABS AND ABUTMENTS TO VERIFY PEDESTRIAN RAILING DIMENSIONS PRIOR TO RAILING FABRICATION.

STEEL SECTIONS FOR PEDESTRIAN RAILING SHALL BE WEATHERING STEEL AND MEET THE REQUIREMENTS OF ASTM A847 OR ASTM A588 AS APPLICABLE.

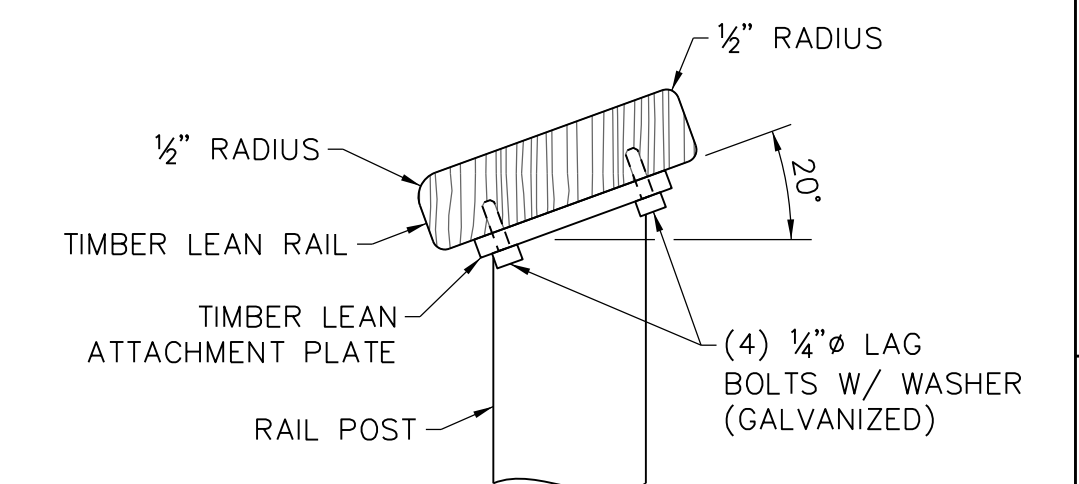
WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1

TIMBER LEAN RAIL SHALL BE NOMINAL 2X6 IPE HARDWOOD.

RAIL POST ANCHORS SHALL BE POST INSTALLED 1/2" DIA. HILTI QWIK BOLT 3 ANCHORS. ANCHORS SHALL HAVE A HOT DIP GALVANIZED FINISH AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

STRUCTURAL SECTIONS:

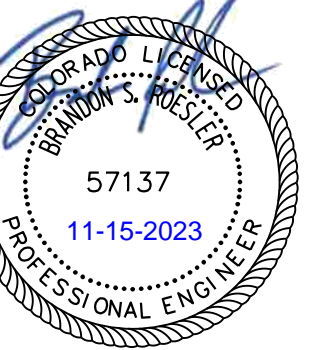
- RAIL POST: HSS 3"x2"x1/4"
- HORIZONTAL PICKETS: TBD
- TOE PLATE: TBD
- BASE PLATE: PL 3/8"x5"x0'-6"
- LEAN RAIL ATTACHMENT PLATE: PL 1/4"x4"x0'-4"



SECTION OF TIMBER LEAN RAIL
 SCALE: 3" = 1'-0"

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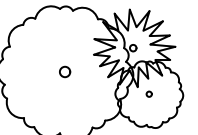
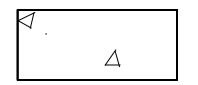

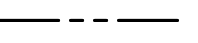




REV. NO.	DATE	DESCRIPTION

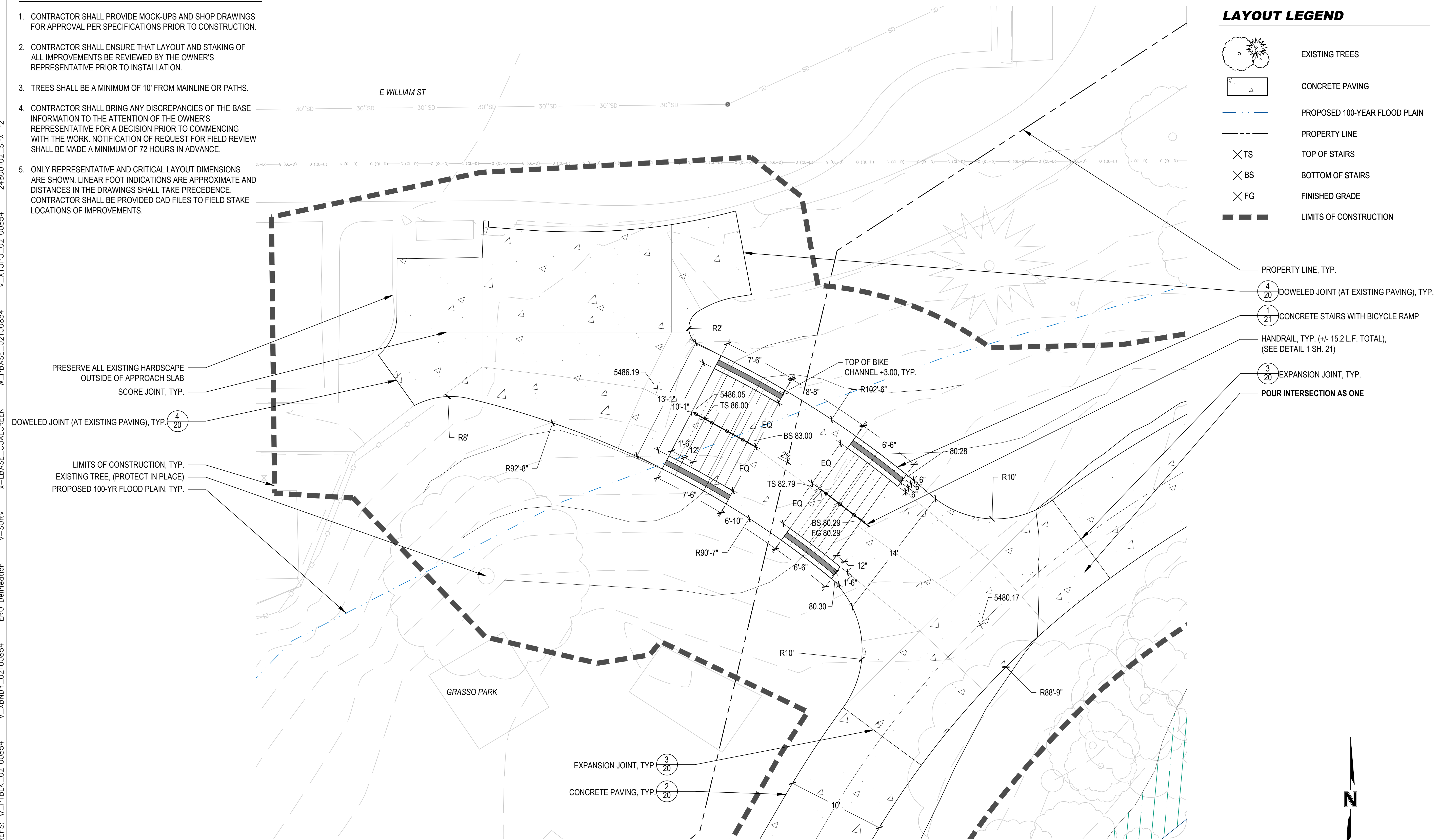
drawn by: TAT
 checked by: JAD
 approved by: BSR
 QA/QC by: BSR
 project no.: 021-00854
 drawing no.: NA
 date: 04.21.2023

LAYOUT NOTES

1. CONTRACTOR SHALL PROVIDE MOCK-UPS AND SHOP DRAWINGS FOR APPROVAL PER SPECIFICATIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ENSURE THAT LAYOUT AND STAKING OF ALL IMPROVEMENTS BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. TREES SHALL BE A MINIMUM OF 10' FROM MAINLINE OR PATHS.
4. CONTRACTOR SHALL BRING ANY DISCREPANCIES OF THE BASE INFORMATION TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK. NOTIFICATION OF REQUEST FOR FIELD REVIEW SHALL BE MADE A MINIMUM OF 72 HOURS IN ADVANCE.
5. ONLY REPRESENTATIVE AND CRITICAL LAYOUT DIMENSIONS ARE SHOWN. LINEAR FOOT INDICATIONS ARE APPROXIMATE AND DISTANCES IN THE DRAWINGS SHALL TAKE PRECEDENCE. CONTRACTOR SHALL BE PROVIDED CAD FILES TO FIELD STAKE LOCATIONS OF IMPROVEMENTS.

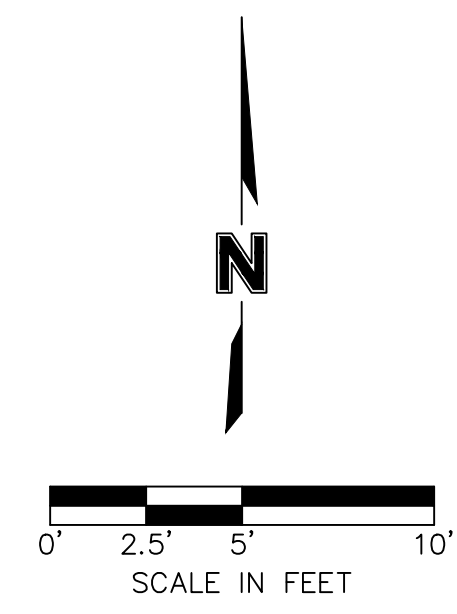
LAYOUT LEGEND

-  EXISTING TREES
-  CONCRETE PAVING
-  PROPOSED 100-YEAR FLOOD PLAIN
-  PROPERTY LINE
-  TOP OF STAIRS
-  BOTTOM OF STAIRS
-  FINISHED GRADE
-  LIMITS OF CONSTRUCTION



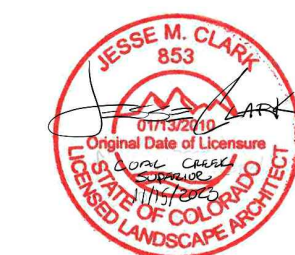
1 STAIR CONNECTION TO EAST WILLIAM STREET (WITH BICYCLE RAMP)

1" = 5'-0"



DWG: S:\Olsson\MHFD\Coal Creek Superior\2 DESIGN\5 CAD\Sheet Files\SLA_CoalCreek_Trail&Amenity_Site_Enlargement.dwg
 DATE: Nov. 15, 2023 4:31pm
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FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.



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drawn by: BC
checked by: NP/LJC
approved by: JC
project no.: 021.00854
drawing no.:
date: 11.15.2023

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19 of 23

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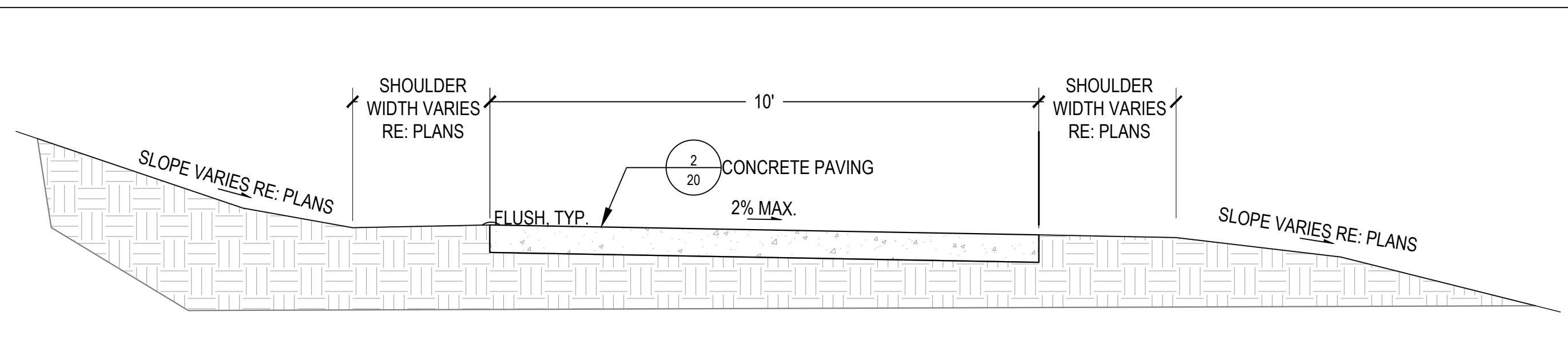
TRAIL AND AMENITY ENLARGMENT
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
FINAL DESIGN
SUPERIOR, CO
2023

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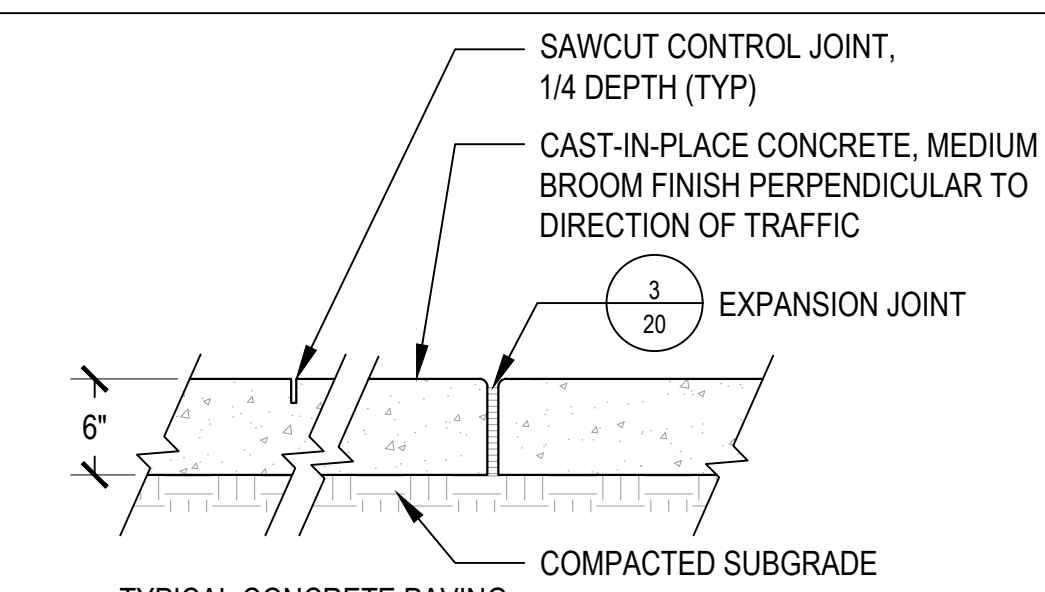
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UTILITY LOCATIONS
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THE EXISTING UTILITIES SHOWN
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PLOTTED FROM THE BEST
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OF THE CONTRACTOR TO FIELD
VERIFY THE LOCATION OF ALL
UTILITIES PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION ACTIVITIES.

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DWG: S:\Olsson\MHFD\Coal Creek Superior\2 DESIGN\5 CAD\Sheet Files\SLA_CoalCreek_Trail&Amenity_Details.dwg
DATE: Nov. 15, 2023 4:31pm
XREFS: CONCRETE PAVING
xx-TRAIL SECTION_10'
xx-TRAIL SECTION STAIRS
x-CONCRETE STAIRS
x-CONCRETE STAIRS WITH CHEEK WALL
x-HAND RAIL
CONCRETE DOWELED CONNECTION

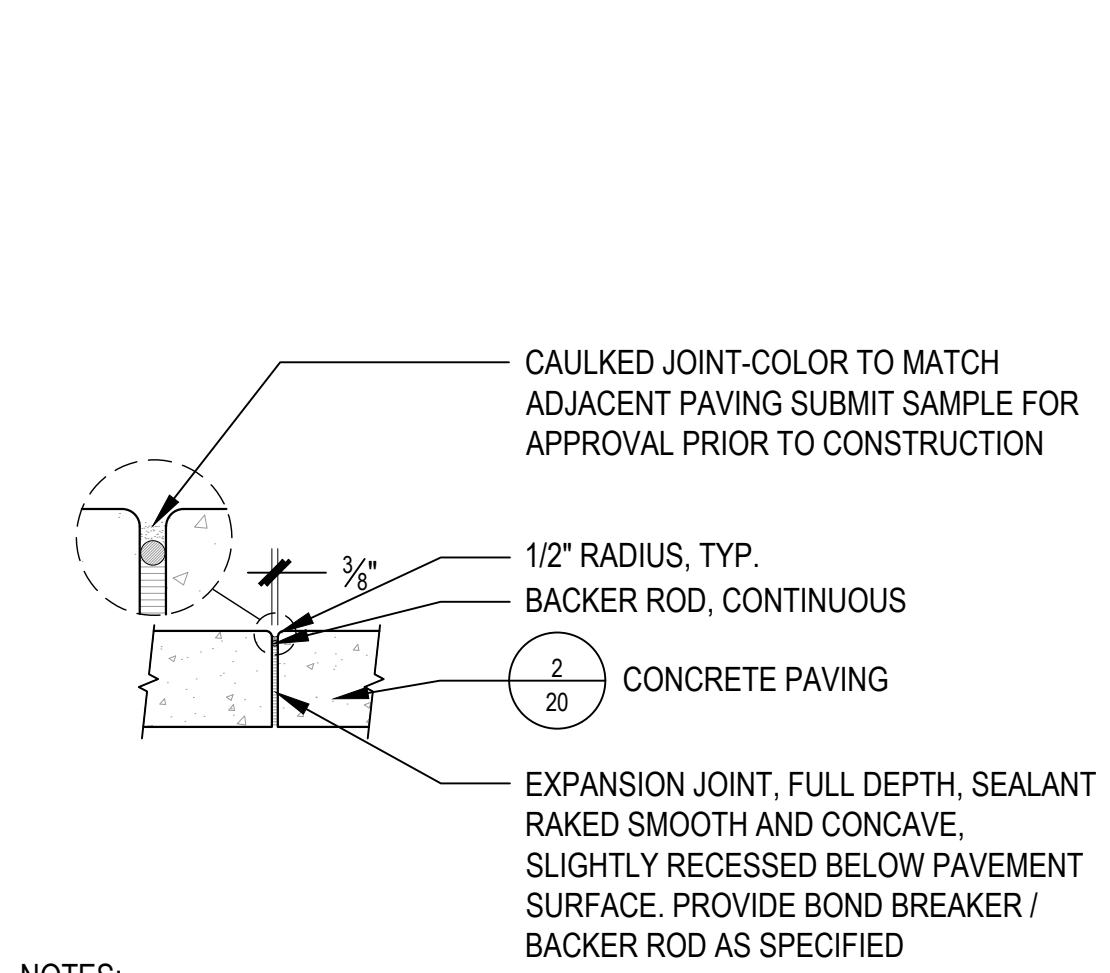


1 TYPICAL CONCRETE TRAIL SECTION NOT TO SCALE



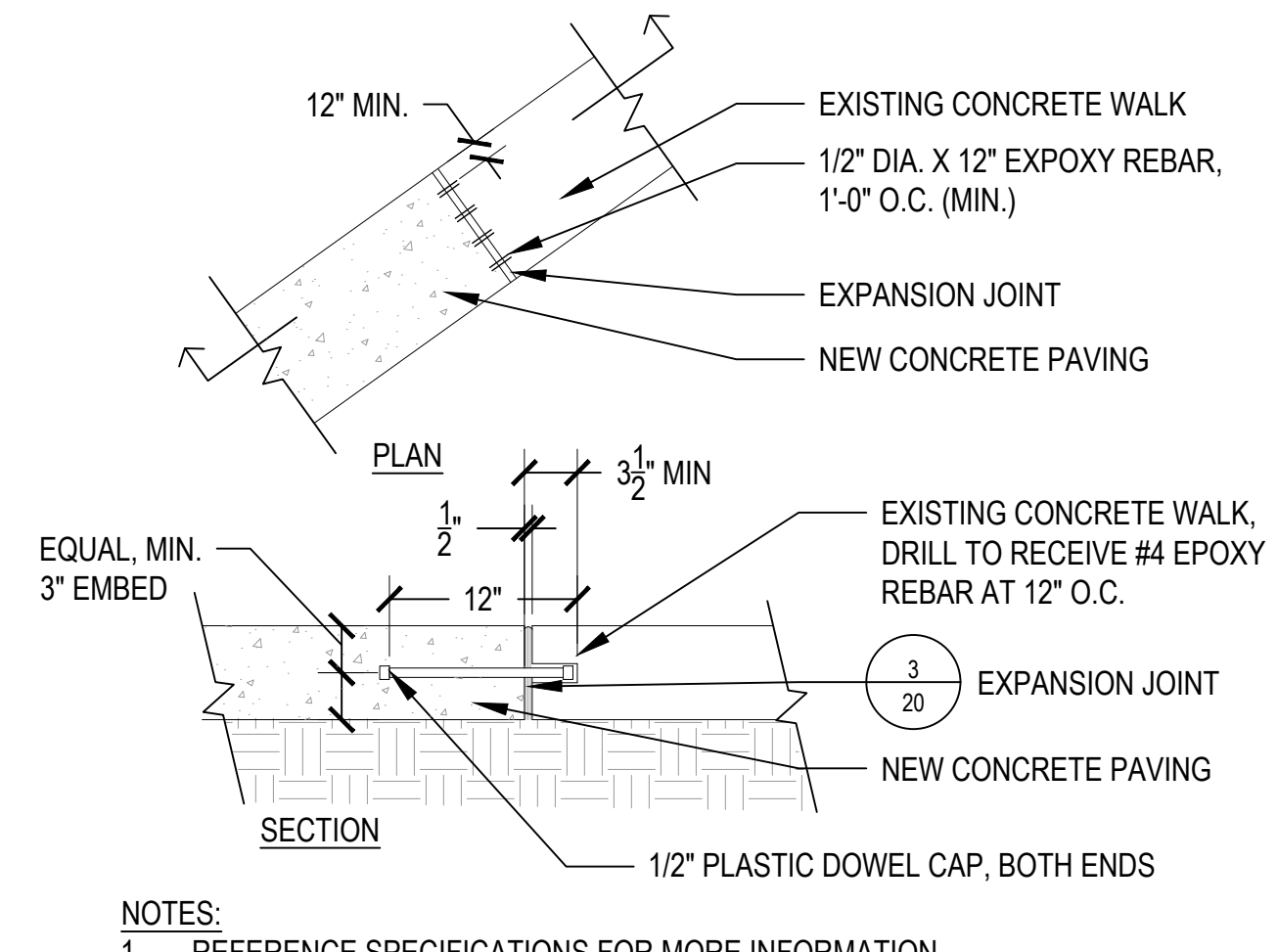
2 TYPICAL CONCRETE PAVING NOT TO SCALE

- NOTES:
- REFER TO LEGEND ON PLANS AND SPECIFICATIONS FOR FINISHES.
 - REFERENCE SPECIFICATION 832.00 FOR CONCRETE INFORMATION.
 - PROVIDE 1/2" RADIUS EDGES AT ALL TOOLED EDGES AND EXPANSION JOINTS.
 - PROVIDE CONTROL AND EXPANSION JOINTS WHERE INDICATED ON PLANS.
 - PROVIDE CONTROL JOINTS NOT MORE THAN 10'-0" ON CENTER, OR AS INDICATED ON THE PLANS.
 - ALL WALKS TO HAVE MAXIMUM 1.8% CROSS SLOPE.
 - CONTRACTOR SHALL VERIFY ELEVATIONS, PRODUCTS, AND TECHNICAL DATA WITH PROJECT MANAGER PRIOR TO CONSTRUCTION.
 - CONTROL JOINT TO BE 1/4 DEPTH OF SLAB THICKNESS, 1.5" MAXIMUM.
 - CONTROL JOINTS SHALL BE SAWCUT, NOT TOOLED.



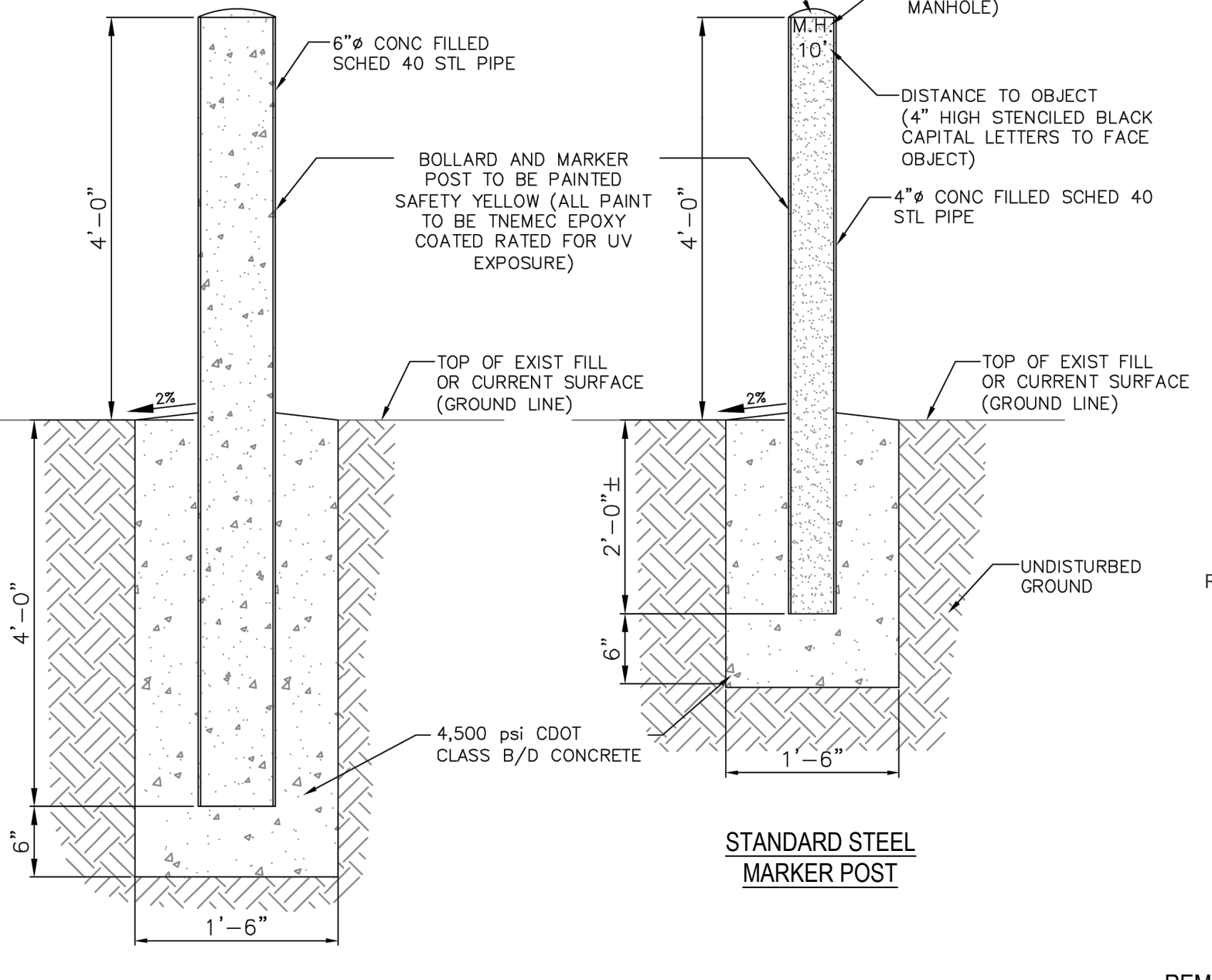
- NOTES:
- REFERENCE SPECIFICATIONS FOR MORE INFORMATION.
 - REFER TO PLANS FOR LAYOUT INFORMATION AND ELEVATIONS.
 - CONTRACTOR SHALL VERIFY ELEVATIONS, PRODUCTS, AND TECHNICAL DATA WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

3 EXPANSION JOINT NOT TO SCALE



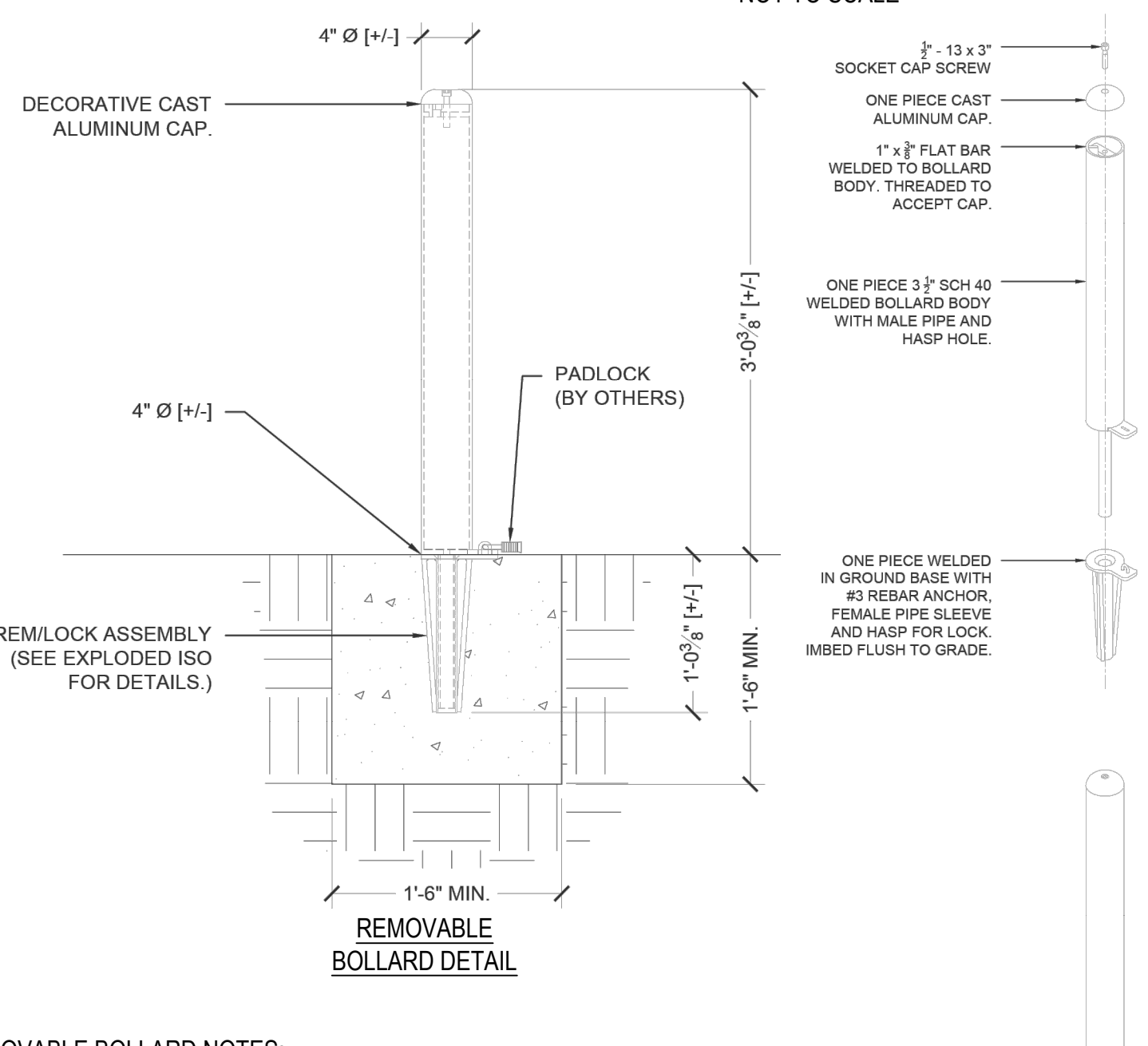
- NOTES:
- REFERENCE SPECIFICATIONS FOR MORE INFORMATION.
 - REFER TO PLANS FOR LAYOUT INFORMATION AND ELEVATIONS.
 - CONTRACTOR SHALL VERIFY ELEVATIONS, PRODUCTS, AND TECHNICAL DATA WITH PROJECT MANAGER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE EPOXY DATA FOR APPROVAL BY PROJECT MANAGER PRIOR TO CONSTRUCTION.

4 DOWELED JOINT NOT TO SCALE



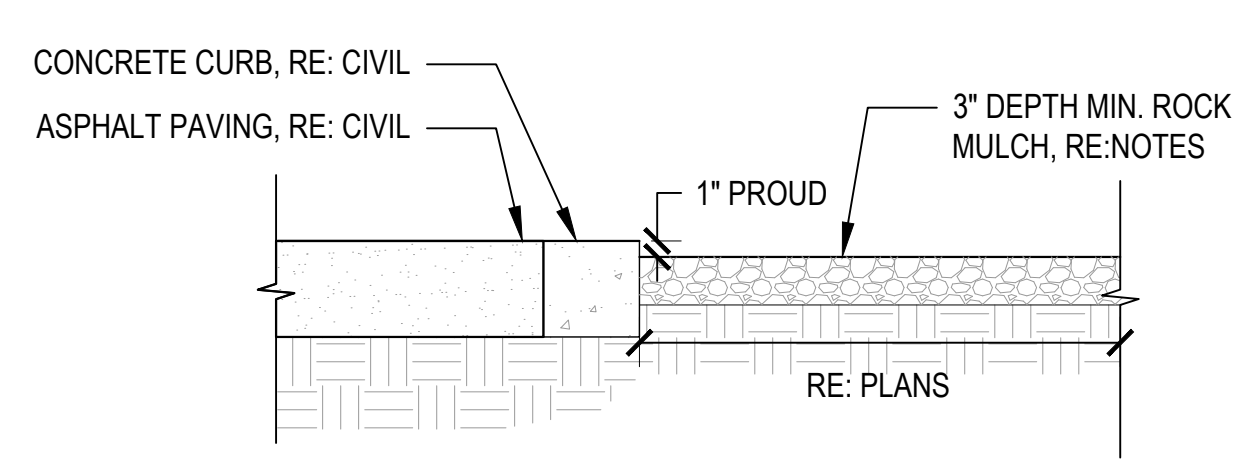
- BOLLARD DETAIL
- NOTES:
- BOLLARD DETAIL USED TO PROTECT OBJECTS SUCH AS FIRE HYDRANTS, SAMPLING STATIONS, ETC.
 - MARKER POST DETAIL USED FOR LOCATING MANHOLES, VALVE BOXES NOT INSTALLED IN CONCRETE OR ASPHALT.

5 BOLLARD (SUPERIOR) NOT TO SCALE



- REMOVABLE BOLLARD NOTES:
- PRODUCT: CLASSIC BOLLARD, EB-36 REMLOCK, BY URBAN ACCESSORIES, OR APPROVED EQUAL.
 - FABRICATED BODY MATERIAL TO BE MILD CARBON STEEL, ASTM A36, FINISHED WITH POLYESTER POWDER COAT, "LEMON", AS DEFINED BY URBAN ACCESSORIES. ALL VISIBLE WELDS TO BE GROUND SMOOTH ON OUTSIDE EDGES.
 - FABRICATION WILL BE TRUE AND SQUARE, OR DIAMETER, AND SIZED WITHIN 1/8".
 - DIMENSIONS SHOWN ARE NOMINAL.
 - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

6 REMOVABLE BOLLARD DETAIL NOT TO SCALE

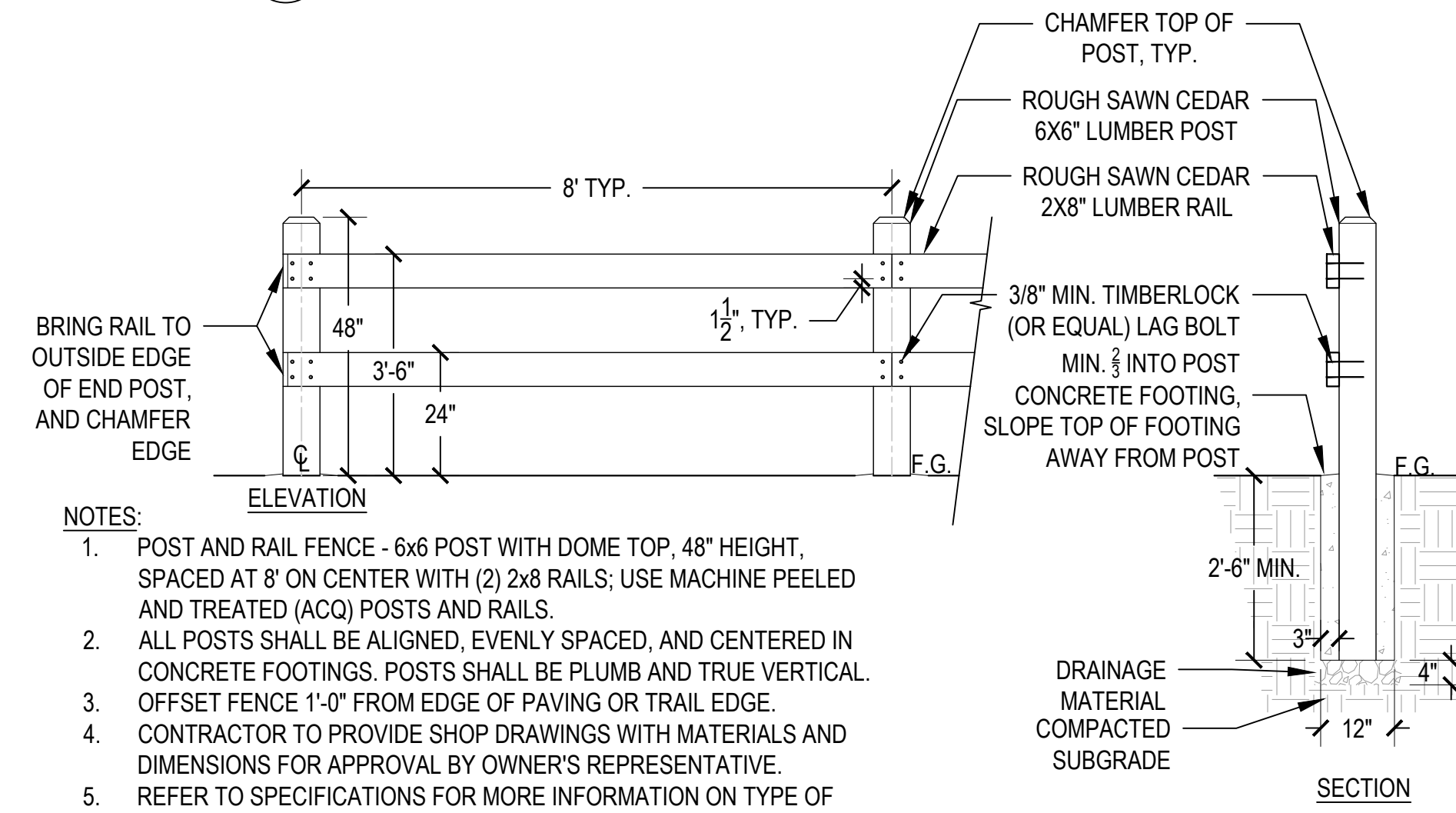


- NOTES:
- APPLY MULCH ON TOP EXISTING GRADE.
 - ROCK MULCH 1 1/4" COLORADO ROSE DECORATIVE LANDSCAPE ROCK, AS DEFINED BY PIONEER SAND & GRAVEL, OR APPROVED EQUAL.
 - REFER TO SPECIFICATION 1062.01 (THE TOWN OF SUPERIOR DESIGN STANDARDS AND SPECIFICATIONS).



SOURCE: PIONEER SAND & GRAVEL

6 LANDSCAPE ROCK MULCH (PARKING LOT BUFFER) NOT TO SCALE



- NOTES:
- POST AND RAIL FENCE - 6X6 POST WITH DOME TOP, 48" HEIGHT, SPACED AT 8' ON CENTER WITH (2) 2X8 RAILS; USE MACHINE PEELLED AND TREATED (ACQ) POSTS AND RAILS.
 - ALL POSTS SHALL BE ALIGNED, EVENLY SPACED, AND CENTERED IN CONCRETE FOOTINGS. POSTS SHALL BE PLUMB AND TRUE VERTICAL. OFFSET FENCE 1'-0" FROM EDGE OF PAVING OR TRAIL EDGE.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS WITH MATERIALS AND DIMENSIONS FOR APPROVAL BY OWNER'S REPRESENTATIVE.
 - REFER TO SPECIFICATIONS FOR MORE INFORMATION ON TYPE OF WOOD AND TREATMENT.

7 TWO-RAIL FENCE NOT TO SCALE



CHARACTER IMAGE NOT TO SCALE

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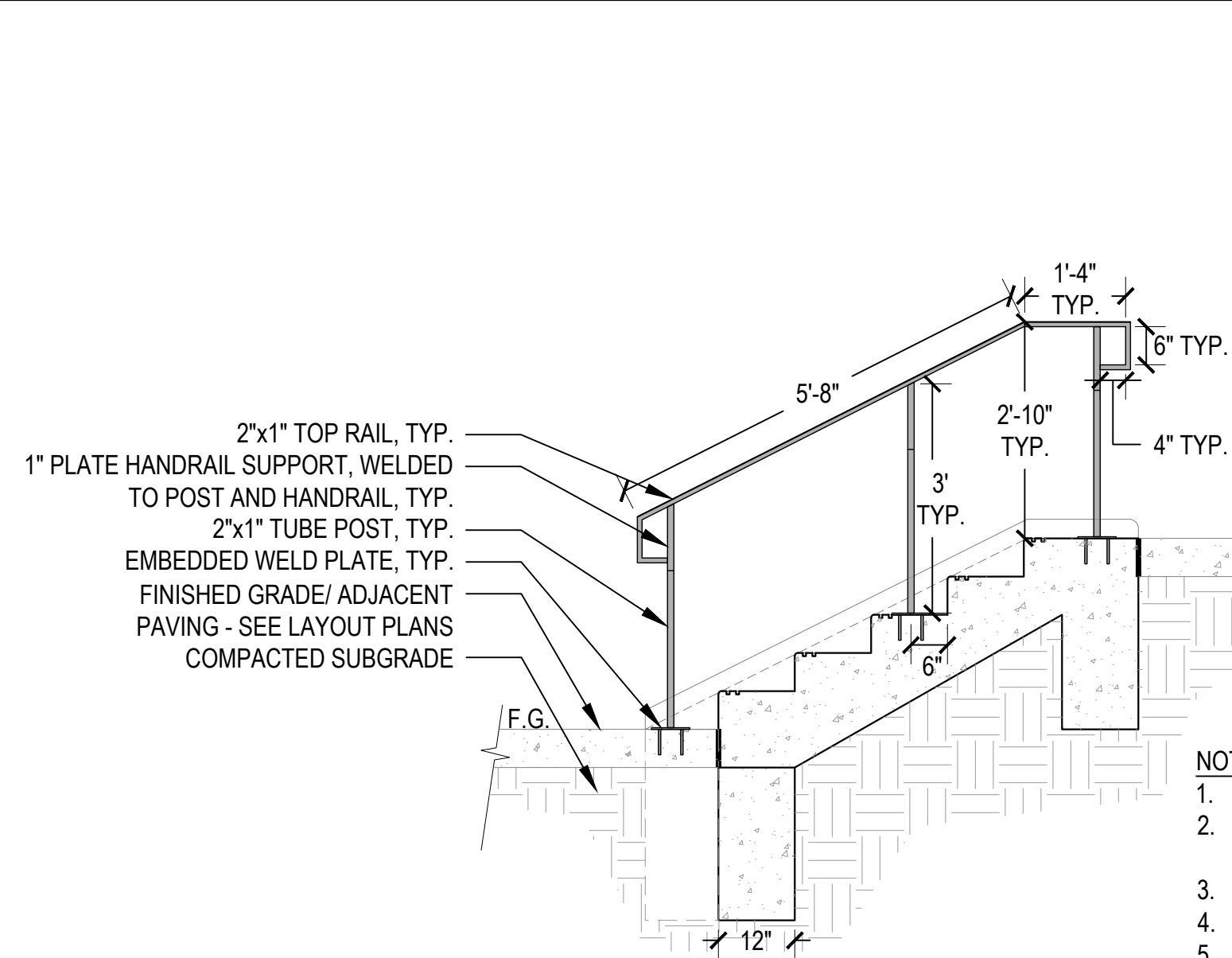
REV. NO.	DATE	REVISIONS DESCRIPTION

TRAIL AND AMENITY DETAILS
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
FINAL DESIGN
SUPERIOR, CO
2023

drawn by:	BC
checked by:	NPL/C
approved by:	JC
QA/QC by:	
project no.:	021.00854
drawing no.:	
date:	11.15.2023

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20 of 23

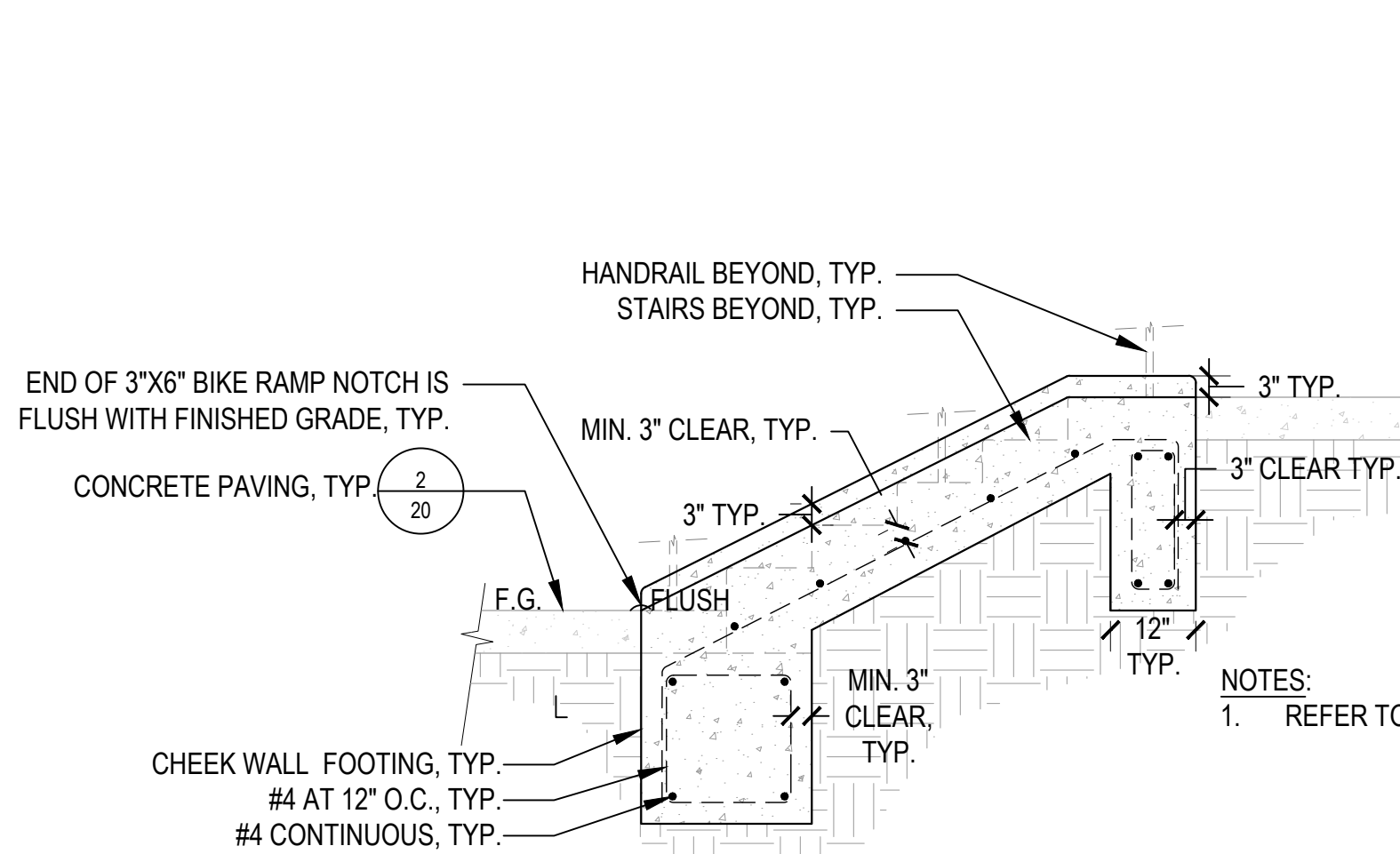
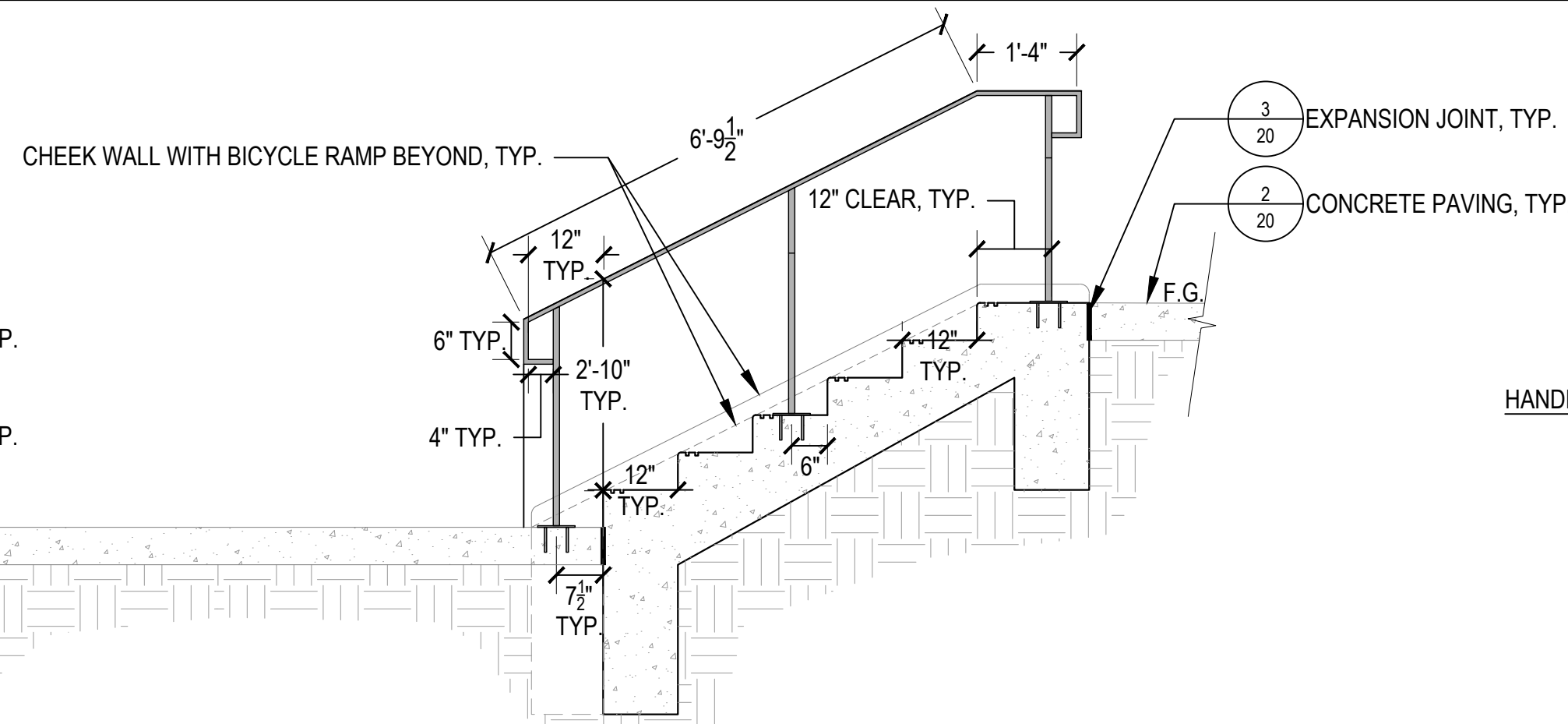
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 CONCRETE PAVING
 CONCRETE EXPANSION JOINT
 CONCRETE DOWELLED CONNECTION
 CONCRETE STAIRS
 CONCRETE STAIRS WITH CHEEK WALL
 TRAIL SECTION_10'
 HAND RAIL
 CONCRETE STAIRS WITH CHEEK WALL



HANDRAIL - LONGITUDINAL SECTION

NOTES:

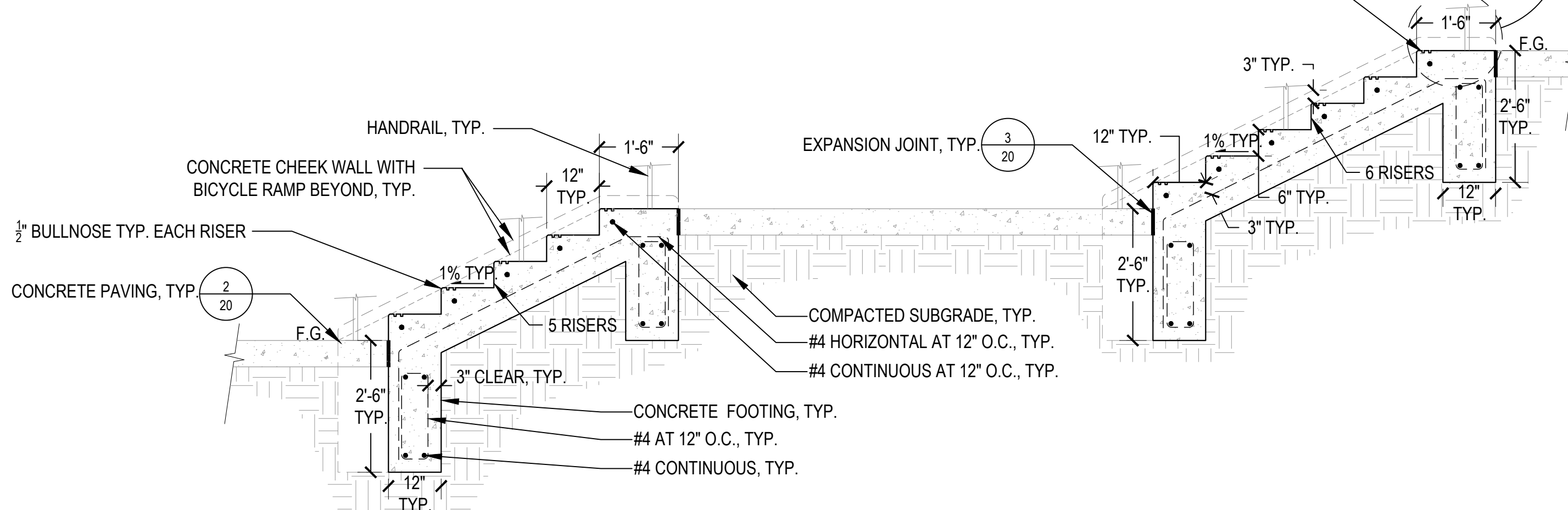
1. STAIRS SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF HANDRAIL INCLUDING ALL WELDED CONNECTIONS FOR APPROVAL PRIOR TO INSTALLATION.
3. HANDRAIL FINISHES AND HARDWARE SHALL BE POWDER COATED BLACK.
4. REFER TO SPECIFICATIONS FOR FINISHES AND MORE INFORMATION.
5. ONE SAWCUT CONTROL JOINT TO BE CENTERED IN MIDDLE OF EACH SET OF STAIRS ALIGNED WITH LOWER FLATWORK SCORE JOINT.
6. HANDRAIL TO BE PLACED AT MIDPOINT OF STAIRS, (RE:PLANS).



CHEEK WALL WITH BICYCLE RAMP - LONGITUDINAL SECTION

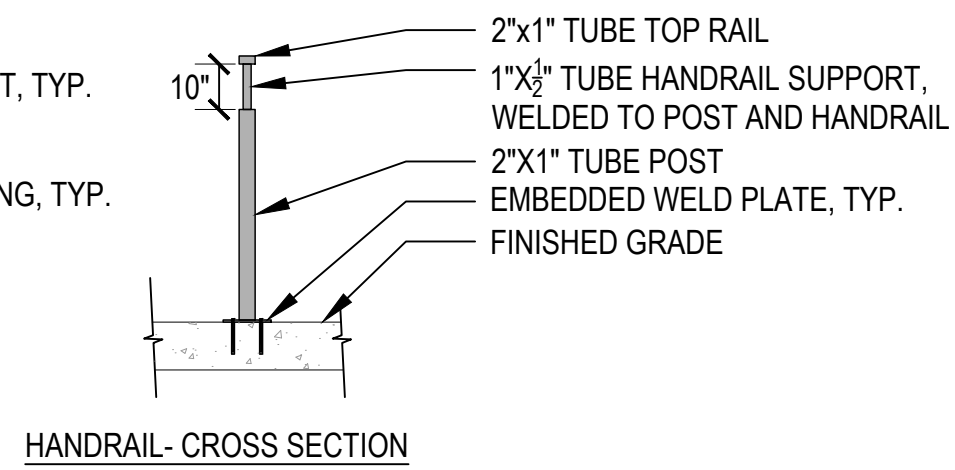
NOTES:

1. REFER TO NOTES AT "STAIRS-LONGITUDINAL SECTION".

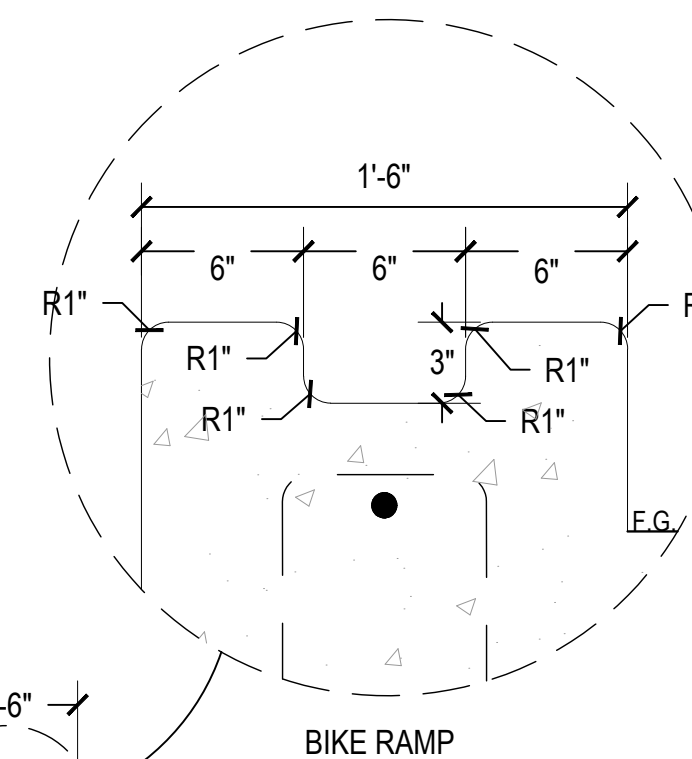


STAIRS - LONGITUDINAL SECTION

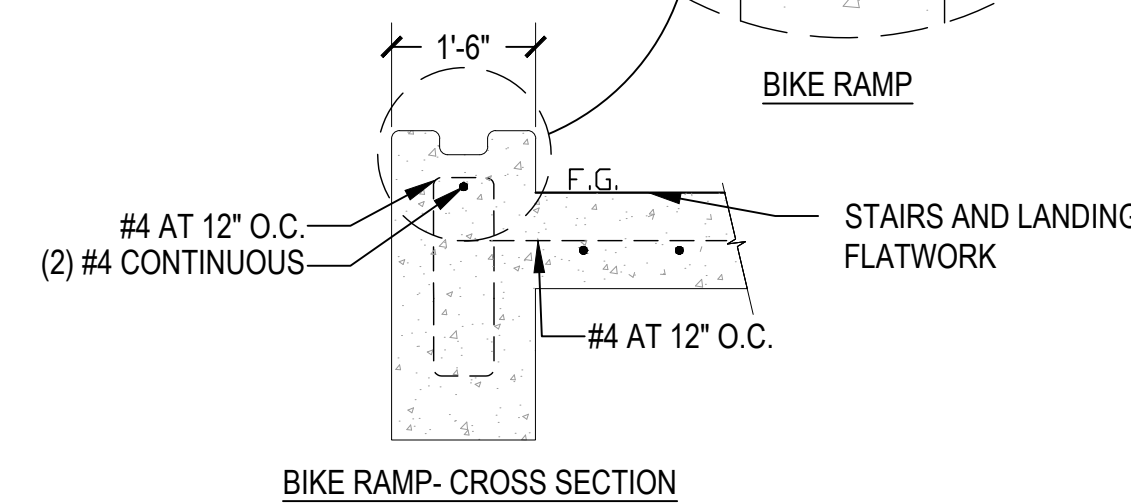
1 CONCRETE STAIRS WITH BICYCLE RAMP



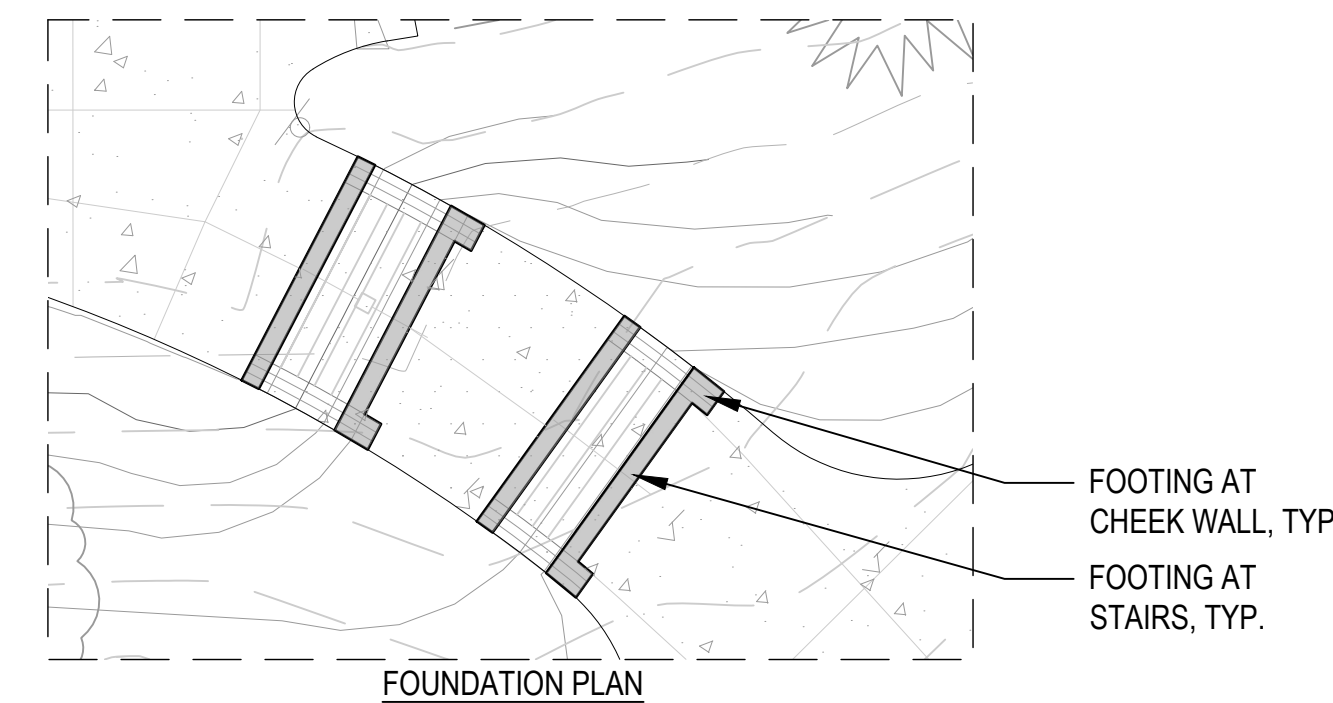
HANDRAIL - CROSS SECTION



BIKE RAMP



BIKE RAMP - CROSS SECTION



FOUNDATION PLAN

NOTES:

1. REFER TO SPECIFICATIONS FOR FINISHES
2. REFER BACK TO PLANS FOR LAYOUT INFO AND ELEVATIONS.
3. CONTRACTOR SHALL VERIFY ELEVATIONS, PRODUCTS, AND TECHNICAL DATA WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PROVIDE A MOCKUP TO ILLUSTRATE FINISH, COLOR, AND TEXTURE FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
5. WARNING STRIP SHALL BE APPLIED TO ALL STAIR TREADS.
6. MINIMUM 3" CLEAR MOUNT IN CONCRETE TO REBAR
7. BOTTOM SET OF STAIRS TO HAVE (5) RISERS, AND TOP SET OF STAIRS TO HAVE (6) RISERS.

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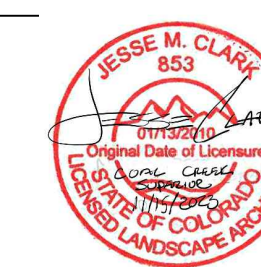
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REV. NO.	DATE	REVISIONS DESCRIPTION

TRAIL AND AMENITY DETAILS
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD
FINAL DESIGN
 SUPERIOR, CO
 2023

drawn by: BC
 checked by: NP/LC
 approved by: JC
 QA/QC by:
 project no.: 021.00854
 drawing no.:
 date: 11.15.2023

CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
811
 CALL 3-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.



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 21 of 23

DWG: S:\Olsson\MHFD_Coal_Creek_Superior_2_DESIGN_5_CAD\Sheet_Files\SLA_CoalCreek_PLANTING_PLAN.dwg
 DATE: Nov. 15, 2023 4:32pm
 USER: Nick Piche
 V-SURV
 X-TOPO_02100854
 X-LBASE_COALCREEK
 X-PBASE_COALCREEK
 W_PP_02100854
 W_PBASE_02100854
 24800102_SPX_P2
 W_PBASE_02100854



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PLANTING PLAN	2023
COAL CREEK AT 2ND AVENUE TO MCCASLIN BLVD FINAL DESIGN	
SUPERIOR, CO	

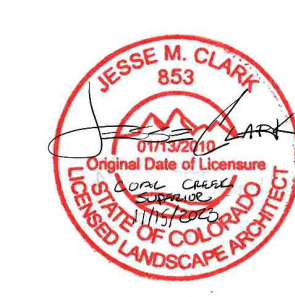
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PLANTING LEGEND

	EXISTING TREES		LANDSCAPE ROCK MULCH		PROPERTY LINE
	UPLAND SEED MIX		PROPOSED 100-YEAR FLOOD PLAIN		LIMITS OF CONSTRUCTION

PLANTING NOTES
 1. REFER TO SHEET 23 FOR PLANTING NOTES.



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DWG: S:\Olsson\MHFD_Creek_Superior_2_DESIGN\5_CAD\Sheet_Files\SLA_CoalCreek_PLANTING_DETAILS.dwg
 DATE: Nov. 15, 2023 4:32pm
 USER: Nick Piche
 xx:PLANT_Evergreen
 XREFS: W_P|BLK_02100854
 xx:PLANT_Shrub_Planting
 xx:PLANT_Cottonwood_Deep
 xx:PLANT_Cottonwood_Pole

PLANTING NOTES

1. MODIFICATION OF EXISTING IRRIGATION SYSTEM WILL BE NECESSARY IN GRASSO PARK. THESE MODIFICATIONS SHALL ENSURE COVERAGE TO ALL DISTURBED AREAS FOR REESTABLISHMENT OF VEGETATION. REVIEW AND APPROVAL OF CHANGES SHALL BE THROUGH TOWN OF SUPERIOR STAFF PRIOR TO INSTALLATION.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLAN. SHOULD ANY DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE SHOWN IN THE DRAWINGS, THE DRAWINGS SHALL TAKE PRECEDENCE.
3. ALL PLANT MATERIAL SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. CONTRACTOR SHALL ENSURE PLANT MATERIAL MEET THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRESELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIALS PER THE SPECIFICATIONS.
5. CONTRACTOR SHALL STAKE PLANT LOCATIONS FOR THE REVIEW BY THE OWNER'S REPRESENTATIVE, PRIOR TO DIGGING PLANTING PITS. THE CONTRACTOR SHALL RELOCATE ANY PLANT AS DIRECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING AT NO ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR SHALL SOD AND MULCH AREAS NOTED WITHIN THE CONSTRUCTION LIMITS. ANY LANDSCAPE AREAS BEYOND DISTURBED BY CONSTRUCTION OPERATIONS, NOT DIRECTED BY OWNER'S REPRESENTATIVE, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONFINE ALL OPERATIONS TO THE CONSTRUCTION LIMITS SHOWN. THE CONTRACTOR WILL STAKE THE SODDING LIMITS AND OBTAIN REVIEW FROM THE OWNER'S REPRESENTATIVE PRIOR TO SODDING.
7. CONTAMINATION OF PLANTING MIX/TOPSOIL TO REMAIN DURING CONSTRUCTION WILL REQUIRE COMPLETE REPLACEMENT AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL EVALUATE EXISTING PLANT MATERIAL DESIGNATED FOR REMOVAL WITH OWNER'S REPRESENTATIVE. FOLLOWING REVIEW, THE CONTRACTOR SHALL TRANSPLANT ANY PLANT MATERIAL IDENTIFIED AS WORTHY. IF TRANSPLANT CANNOT BE ACCOMPLISHED IN A TIMELY FASHION, CONTRACTOR SHALL APPROPRIATELY STORE THE PLANT MATERIAL AND TRANSPLANT AT A TIME TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROVIDE THESE SERVICES AT NO ADDITIONAL COST TO OWNER.

PLANTING SCHEDULE

UPLAND SEED MIX					
SCIENTIFIC NAME AND VARIETY	COMMON NAME	PLS lbs/ac	PLS/sq ft	% of PLS/sq ft	
GRAMINOIDS					
<i>Achnatherum hymenoides</i>	INDIAN RICEGRASS	1.61	6		4
<i>Buchloe dactyloides 'Top Gun'</i>	BUFFALOGRASS	14.00	18		12
<i>Bouteloua curtipendula 'Butte'</i>	SIDEOATS GRAMA	2.74	12		8
<i>Bouteloua gracilis 'Lovington'</i>	BLUE GRAMA	0.95	18		12
<i>Elymus trachycaulus ssp. trachycaulus 'San Luis'</i>	SLENDER WHEATGRASS	1.64	6		4
<i>Koeleria macrantha</i>	PRAIRIE JUNEGRASS	0.11	6		4
<i>Nassella viridula 'Lodorm'</i>	GREEN NEEDLEGRASS	1.41	6		4
<i>Pascopyrum smithii 'Arriba'</i>	WESTERN WHEATGRASS	7.03	15		10
<i>Schizachyrium scoparium</i>	LITTLE BLUESTEM	1.01	6		4
<i>Sorghastrum nutans</i>	YELLOW INDIANGRASS	1.54	6		4
<i>Sporobolus airoides</i>	ALKALI SACATON	0.15	6		4
<i>Stipa comata</i>	NEEDLE AND THREAD	2.27	6		4
	GRAMINOID TOTAL	34.46	111		74
FORBS					
<i>Asclepias tuberosa</i>	BUTTERFLY MILKWEED	2.85	5		3
<i>Castilleja linariifolia</i>	WYOMING INDIAN PAINTBRUSH	0.04	5		3
<i>Cleome serrulata</i>	ROCKY MOUNTAIN BEEPLANT	2.03	3		2
<i>Dalea purpurea</i>	PURPLE PRAIRIE CLOVER	1.19	8		5
<i>Heterotheca villosa</i>	HAIRY GOLDENASTER	0.78	6		4
<i>Mentzelia decapetala</i>	TEN-PETAL BLAZING STAR	0.65	5		3
<i>Oenothera caespitosa</i>	EVENING PRIMROSE	0.20	6		4
<i>Penstemon angustifolius</i>	BROADBEARD BEARDTONGUE	0.59	3		2
	FORB TOTAL	8.32	39		26
	MIX TOTAL	42.78	150		100

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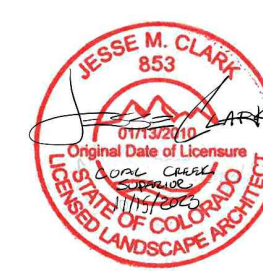
PLANTING NOTES AND SCHEDULE

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