BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

10' TYPE R INLET RIM:5499.63

DRAINAGE & UTILITY

OWER BOWES CHANNEL

EASEMENT __ EX BOX CULVERT

BLANKET DRAINAGE &

NOTE: RIPRAP DROPS REQUIRED EVERY 75 FEET IN SWALE

VESTED RIGHTS

NOTE: RIPRAP DROPS

FEET IN SWALE

BLOCK 3 LOT 21

BLANKET DRAINAGE & UTILITY EASEMENT

LOWER BOWES CHANNEL

ACCESS EASEMENT

APPROXIMATE 100-YR

ROCK CREEK RANCH FILING NO

STONEHAM ST

FLOODPLAIN LIMIT

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323 5th STREET P.O. Box 680 FREDERICK, CO 80530 303.833.1416 WWW.CIVILRESOURCES.COM



OWNER: SUPERIOR ROCK CREEK, LLC

DENVER, CO 80202

1440 BLAKE ST. 3320

APPLICANT: **BOULDER CREEK NEIGHBORHOODS**

712 MAIN STREET LOUISVILLE, CO



DATE:

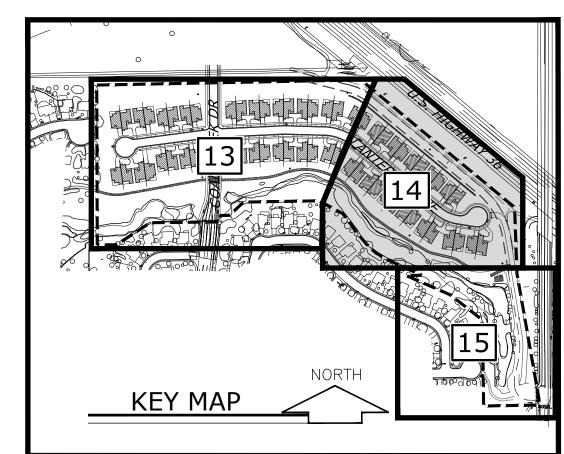
JANUARY 24, 2018 APRIL 18, 2018 JUNE 13, 2018 JULY 16, 2018

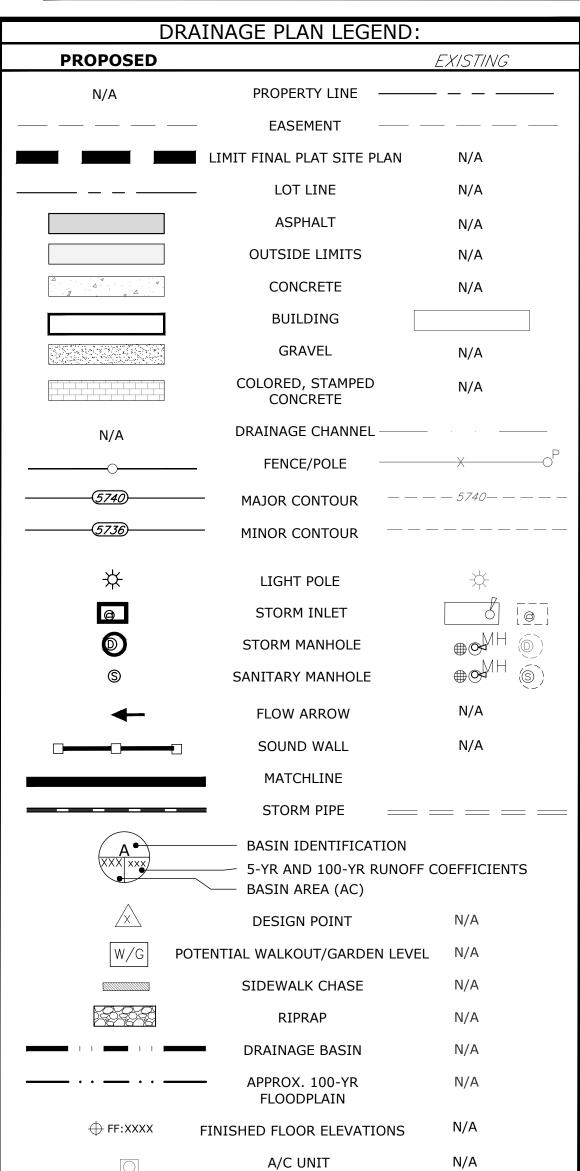
OCTOBER 5, 2018 OCTOBER 19, 2018

SEPT 27, 2021 OCT 13, 2021

PARTIAL **LL** DRAINAGE PLAN

SHEET 13 OF 69



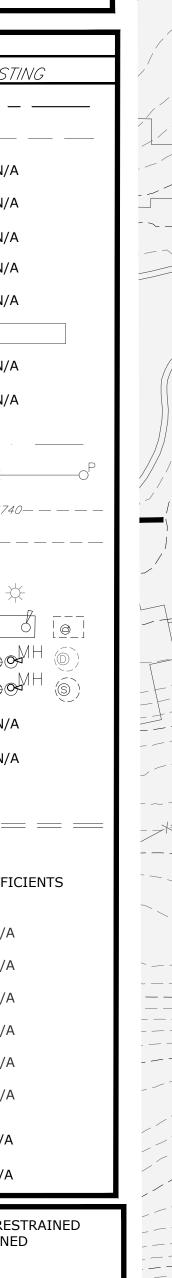


- ALL DOMESTIC WATER MAIN PIPE IS BLUE PVC C900 DR14 FULLY RESTRAINED
- ALL HYDRANT BRANCH LINES ARE DIP CLASS 52
- ALL STORM SEWER IS CLASS IV RCP UNLESS OTHERWISE NOTED
- ALL DOMESTIC WATER SERVICE PIPE IS TYPE K COPPER

- ALL SANITARY UNDERDRAIN IS WHITE PVC SDR26 PERFORATED ALL SANITARY UNDERDRAIN SERVICE PIPE IS WHITE PVC SDR26 NON-PERFORATED



BUILDING CORNER AND DRIVEWAY SLOPES ARE SUBJECT TO CHANGE BASED ON INDIVIDUAL UNIT PLOT PLANS.



NOTE:

ALL REUSE WATER PIPE IS PURPLE PVC C900 CR14 FULLY RESTRAINED ALL SANITARY SEWER PIPE IS GREEN SDR26

Know what's **below**. Call before you dig.

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

VESTED RIGHTS

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OWNER:

SUPERIOR ROCK CREEK, LLC 1440 BLAKE ST. 3320 DENVER, CO 80202

APPLICANT:

BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO



Call before you dig.

DATE:

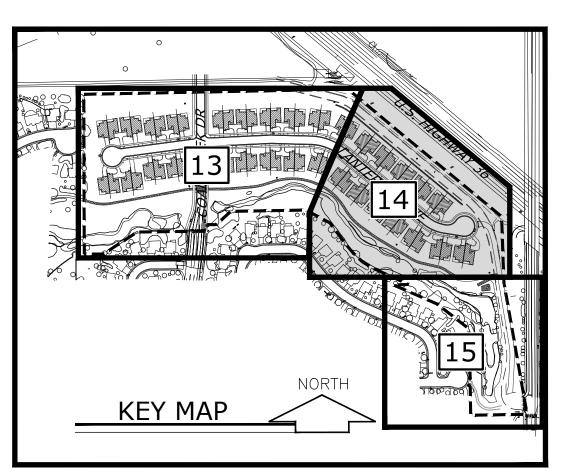
JANUARY 24, 2018 JUNE 13, 2018 JULY 16, 2018

OCTOBER 5, 2018 OCTOBER 19, 2018 SEPT 27, 2021 OCT 13, 2021

PARTIAL L DRAINAGE PLAN

14

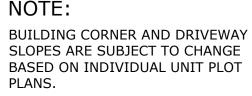
SHEET 14 OF 69



DF	RAINAGE PLAN LEGEND:	
PROPOSED		EXISTING
N/A	PROPERTY LINE ———	
	EASEMENT — —	
	LIMIT FINAL PLAT SITE PLAN	N/A
	LOT LINE	N/A
	ASPHALT	N/A
	OUTSIDE LIMITS	N/A
<u>A</u>	CONCRETE	N/A
	BUILDING	
	GRAVEL	N/A
	COLORED, STAMPED CONCRETE	N/A
N/A	DRAINAGE CHANNEL ———	
·	FENCE/POLE —	× • • • • • • • • • • • • • • • • • • •
(5740)	MAJOR CONTOUR	— <i>5740</i> — — — —
<u> </u>	MINOR CONTOUR ———	
*	LIGHT POLE	*
	STORM INLET	
(a)	STORM MANHOLE	●● MH (()
S	SANITARY MANHOLE	
←	FLOW ARROW	N/A
0	SOUND WALL	N/A
	MATCHLINE	
	STORM PIPE ========	
XXX XXX	BASIN IDENTIFICATION 5-YR AND 100-YR RUNOFF C BASIN AREA (AC)	OEFFICIENTS
\bigwedge	DESIGN POINT	N/A
W/G F	POTENTIAL WALKOUT/GARDEN LEVEL	N/A
	SIDEWALK CHASE	N/A
	RIPRAP	N/A
11 11	DRAINAGE BASIN	N/A
	APPROX. 100-YR FLOODPLAIN	N/A
⊕ FF:XXXX	FINISHED FLOOR ELEVATION	N/A
	A/C UNIT	N/A



ALL HYDRANT BRANCH LINES ARE DIP CLASS 52





Know what's **below**.

ALL STORM SEWER IS CLASS IV RCP UNLESS OTHERWISE NOTED

ALL DOMESTIC WATER SERVICE PIPE IS TYPE K COPPER

ALL SANITARY UNDERDRAIN IS WHITE PVC SDR26 PERFORATED ALL SANITARY UNDERDRAIN SERVICE PIPE IS WHITE PVC SDR26 NON-PERFORATED

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

SEE SHEET 14 - PARTIAL DRAINAGE

ROCK CREEK RANCH FILING NO.

(IN FEET) 1"=40'

100-YEAR PONDING LIMITS

X STÖRM WATER QUALITY OUTLET STRUCTURE RIM:5456.80 INV OUT (12"):5452.80

PERMANENT POOL WSE: 5453.0

100-YEAR PONDING

INV IN (15"):5454.45

BLANKET DRAINAGE, UTILITY & PUBLIC ACCESS EASEMENT

30.0' UTILITY & DRAINAGE.

EASEMENT

· BLANKET DRAINAGE \

STORM INLET 202 5' Type R INLET RIM:5460.14

23.0 UTILITY EASEMENT _ RECEPTION NO. 01246125

EL: 5459.39 6.4 AC-FT

__30.0' UTILITY & DRAINAGE

AMHERST ST

UTILITY & DRAINAGE

EASEMENT

EASEMENT

REC NO 01246125

VESTED RIGHTS

POND MAINTENANCE

47.3 LF @ 0.8% 36" STORM

ACCESS ROAD

20.0' EMERGENCY VEHICLE ACCESS / POTENTIAL

PROMENADE DRIVE EASEMENT

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323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416 WWW.CIVILRESOURCES.COM

OWNER: SUPERIOR ROCK CREEK, LLC

> 1440 BLAKE ST. 3320 DENVER, CO 80202

> > APPLICANT:

BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO



DATE:

JANUARY 24, 2018 JUNE 13, 2018 JULY 16, 2018

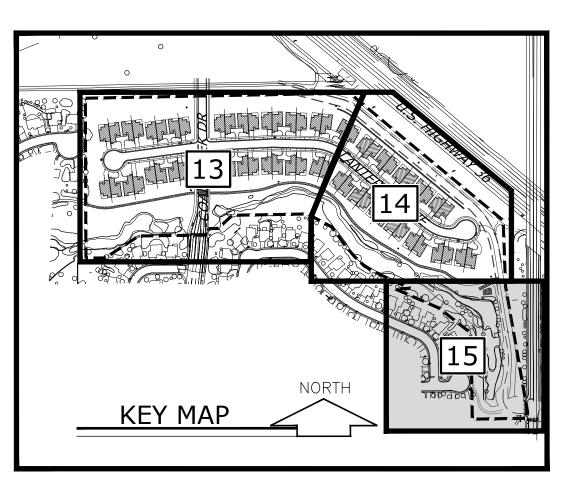
OCTOBER 5, 2018 OCTOBER 19, 2018

SEPT 27, 2021 OCT 13, 2021

SHEET TITLE:

PARTIAL L DRAINAGE PLAN

SHEET 15 OF 69



	AINAGE PLAN LEGEND:	
PROPOSED		<i>EXISTING</i>
N/A	PROPERTY LINE ————	
	EASEMENT — —	
	LIMIT FINAL PLAT SITE PLAN	N/A
	LOT LINE	N/A
	ASPHALT	N/A
	OUTSIDE LIMITS	N/A
A	CONCRETE	N/A
	BUILDING	
	GRAVEL	N/A
	COLORED, STAMPED CONCRETE	N/A
N/A	DRAINAGE CHANNEL ———	
· · · · · ·	- FENCE/POLE	X
5740	— MAJOR CONTOUR ———	- — 5740— — -
<u>5736</u>	MINOR CONTOUR ———	
*	LIGHT POLE	÷_
a	STORM INLET	
(5)	STORM MANHOLE	⊕⊘ MH ((())
S	SANITARY MANHOLE	
←	FLOW ARROW	N/A
	SOUND WALL	N/A
	MATCHLINE	
	STORM PIPE === :	_ = = =
A XXX XXX	BASIN IDENTIFICATION 5-YR AND 100-YR RUNOFF BASIN AREA (AC)	COEFFICIENTS
\bigwedge	DESIGN POINT	N/A
W/G PC	TENTIAL WALKOUT/GARDEN LEVEL	N/A
	SIDEWALK CHASE	N/A
	RIPRAP	N/A
	DRAINAGE BASIN	N/A
	APPROX. 100-YR	N/A

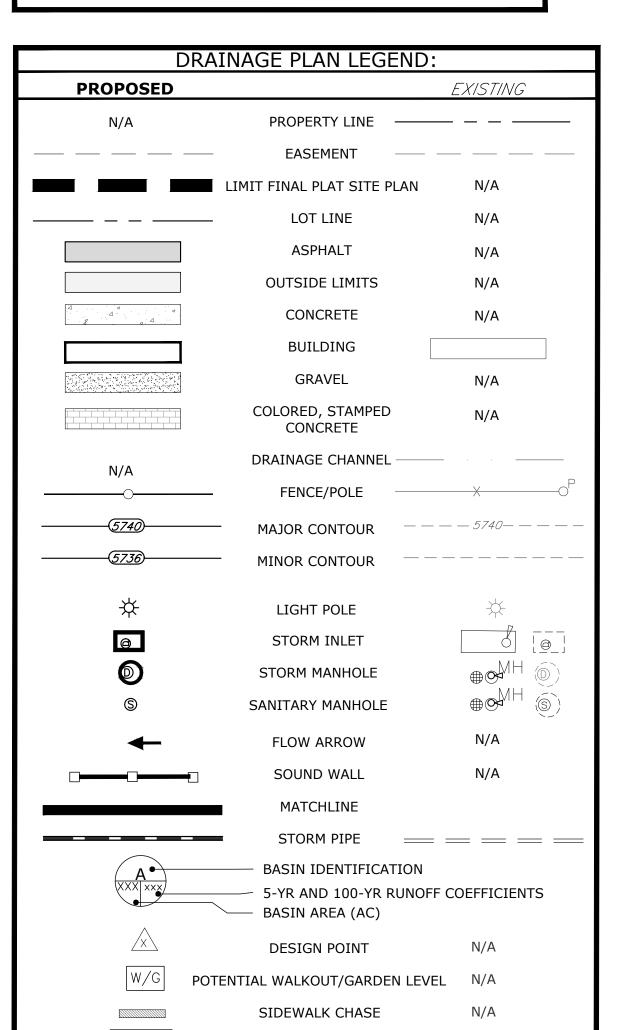
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ALL SANITARY UNDERDRAIN SERVICE PIPE IS WHITE PVC SDR26 NON-PERFORATED

BUILDING CORNER AND DRIVEWAY SLOPES ARE SUBJECT TO CHANGE BASED ON INDIVIDUAL UNIT PLOT



Know what's **below**.

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

VESTED RIGHTS

TYPICAL PRIVATE RETAINING WALL

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P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

OWNER:

1440 BLAKE ST. 3320 **DENVER, CO 80202**

BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO

JANUARY 24, 2018 APRIL 18, 2018 JUNE 13, 2018 JULY 16, 2018

OCTOBER 5, 2018 OCTOBER 19, 2018 SEPT 27, 2021

SHEET TITLE:

SOUND WALL

16





SUPERIOR ROCK CREEK, LLC

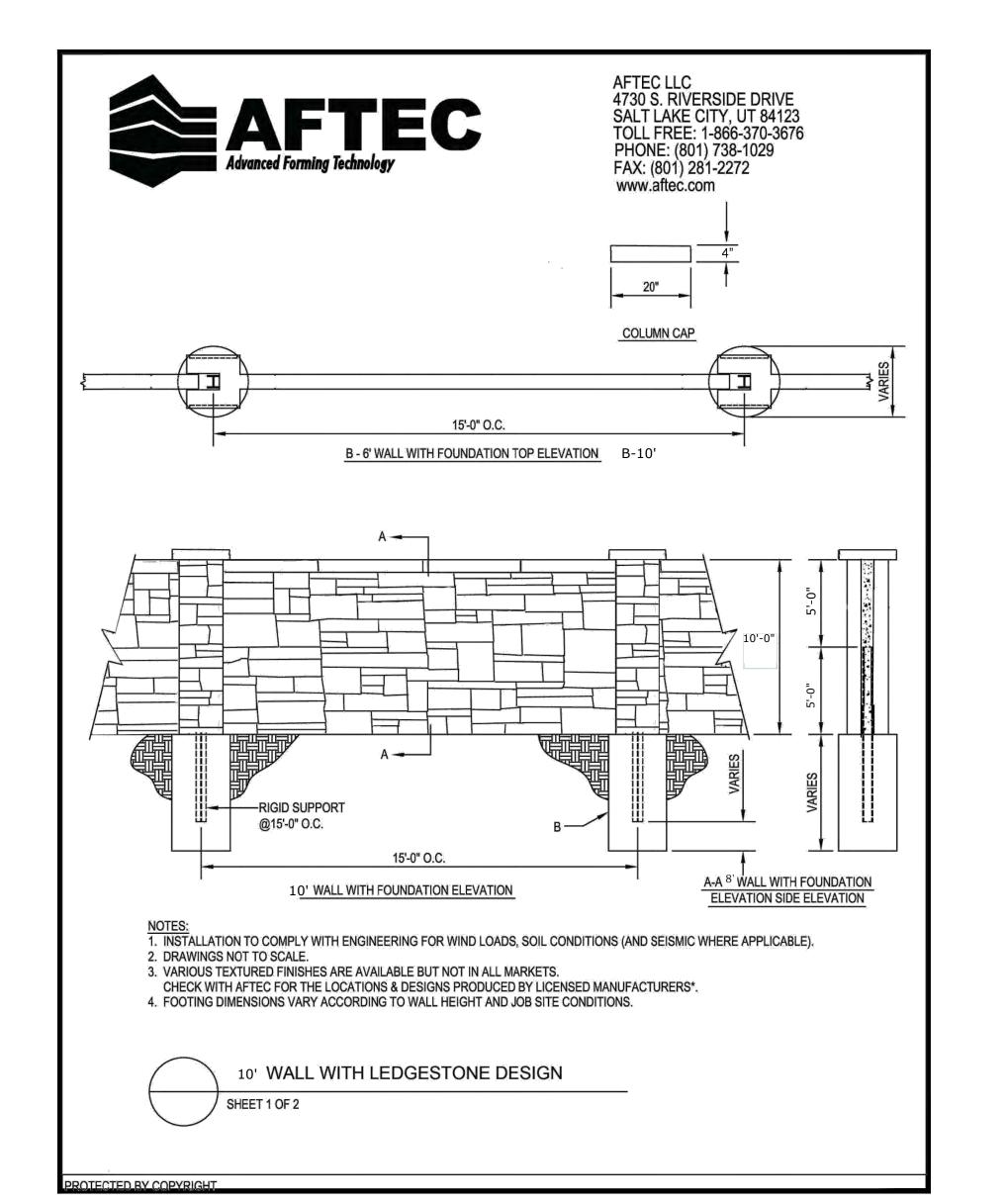
APPLICANT:

DATE:

OCT 13, 2021

DETAILS

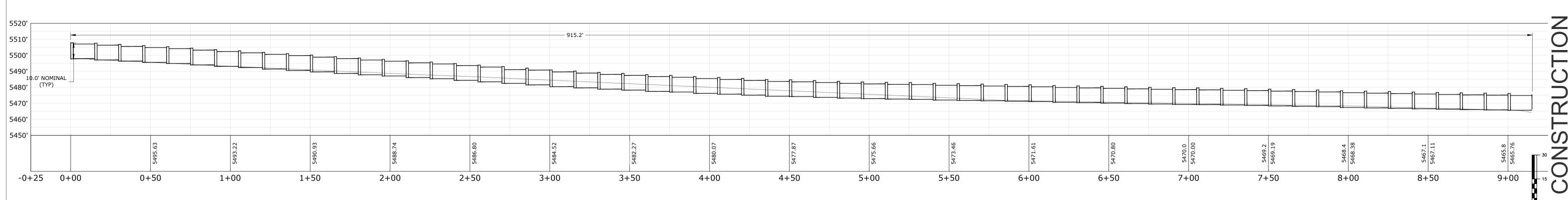
SHEET 16 OF 69





SOUND WALL PANELS - NTS

SOUND WALL IMAGE - NTS



BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E **ROCK CREEK RANCH FILING NO. 12A**

OWNER'S SUITE

2-CAR GARAGE

EQUINOX

16'-0" MIN.

CONC. DRIVEWAY 4'X4' PATTERN

20' MIN. TO GARAGE

GREAT ROOM

BEDROOM #2

OWNER'S SUITE

TRIUMPH

2-CAR GARAGE

5' SIDEWALK

15.0' TO OPEN SPACE, 17' FOR BLOCK 2 LOTS 11-20

TRELLIS BEAMS TIGHT TO UNDERSIDE OF BOX SOFFIT 2X4 CROSSPIECES

17.5' ADDITIONAL PARKING SPACE

OUTSIDE OF

EASEMENT

8'-0" MIN.

8'-0" MIN.

VESTED RIGHTS

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1101 Bannock Street Denver, Colorado 80204 P 303.892.1166

www.norris-design.com

OWNER: SUPERIOR ROCK CREEK, LLC

> 1440 BLAKE ST. 3320 DENVER, CO 80202

APPLICANT: **BOULDER CREEK**

NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO



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JANUARY 24, 2018 APRIL 18, 2018 JUNE 13, 2018

JULY 16, 2018 OCTOBER 5, 2018

OCTOBER 19, 2018 SEPTEMBER 27, 2021 OCTOBER 13, 2021

SHEET TITLE: ARCHITECTURAL

EQUINOX - TRIUMPH: ARCHITECTURAL ELEMENTS DETAILS

SCALE:1/8"=1'

SHEET 17 OF 69

MATERIAL NOTES:

- 2. PATIO WALLS TO BE SPLIT FACED GRAY CONCRETE BLOCK.
- FENCE TO BE BLACK POWDERCOAT.
- 4. FENCE COLUMNS TO BE STONE VENEER TO MATCH BUILDING ELEVATION.
- TRELLIS TO BE DOUGLAS FIR, STAINED TO MATCH COLOR OF TRIM.



1. ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

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Denver, Colorado 80204
P 303.892.1166

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ROCK CREEK RANCH FIL. NO. 1. FINAL PLAT SITE PLAN 35, AMENDMENT #1

OWNER:
SUPERIOR ROCK CREEK, LLC

1440 BLAKE ST. 3320 DENVER, CO 80202

APPLICANT:

BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO



DATE:

JANUARY 24, 2018

APRIL 18, 2018

JUNE 13, 2018

JULY 16, 2018

OCTOBER 5, 2018

JULY 16, 2018
OCTOBER 5, 2018
OCTOBER 19, 2018
SEPTEMBER 27, 2021
OCTOBER 13, 2021

SEPTEMBER 27, 202 OCTOBER 13, 2021

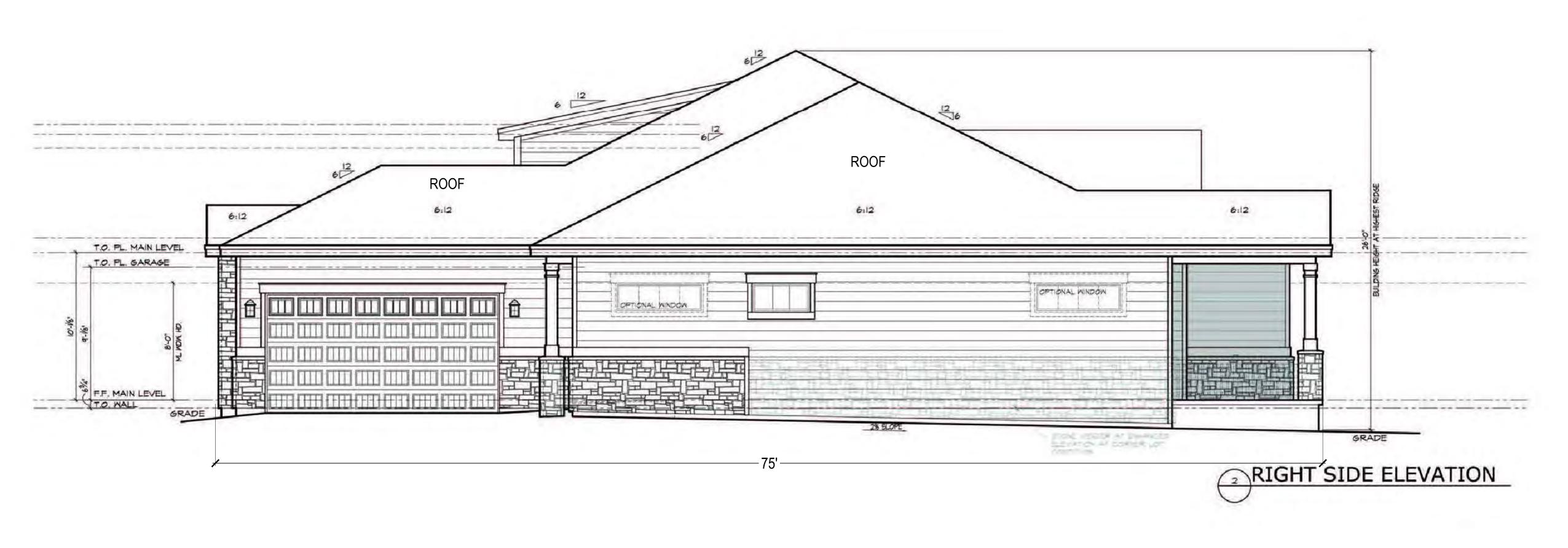
SHEET TITLE:

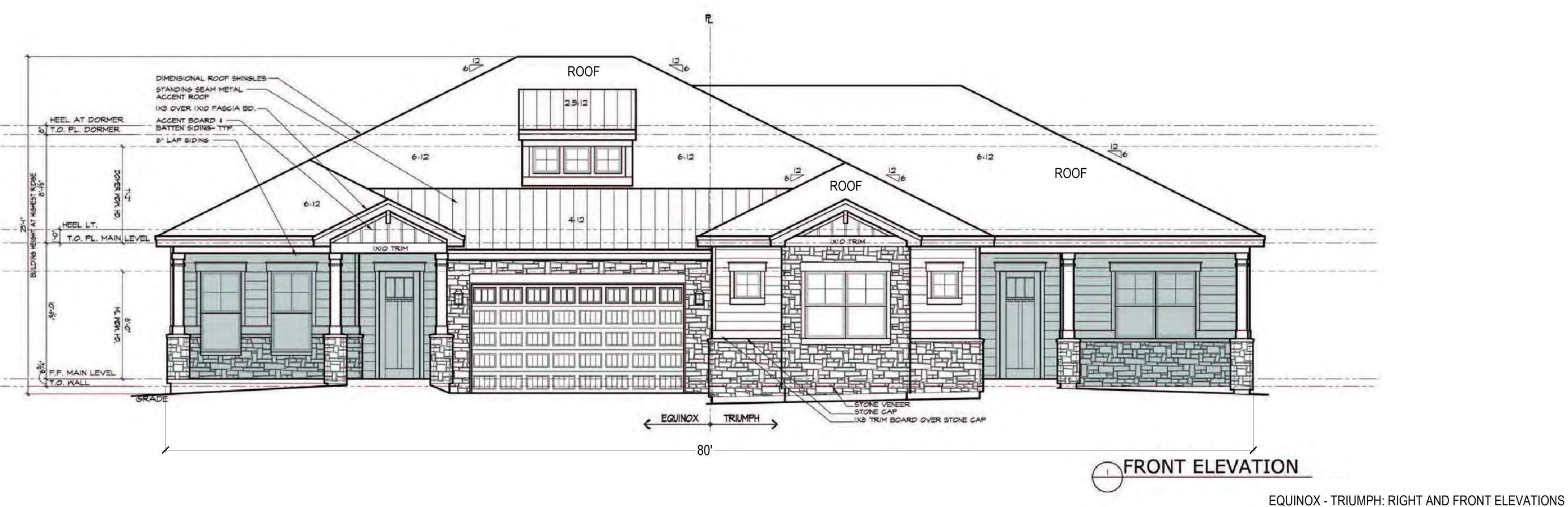
O ARCHITECTURA

ELEVATIONS

18 SHEET 18 OF 69

SCALE:1/4"=1'





NOTE

ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

Y: RB/CT/

CHECKED BY: DRAWN BY:

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E **ROCK CREEK RANCH FILING NO. 12A**

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)))) NORRIS DESIGN

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OWNER: SUPERIOR ROCK CREEK, LLC

> 1440 BLAKE ST. 3320 DENVER, CO 80202

APPLICANT:

BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO



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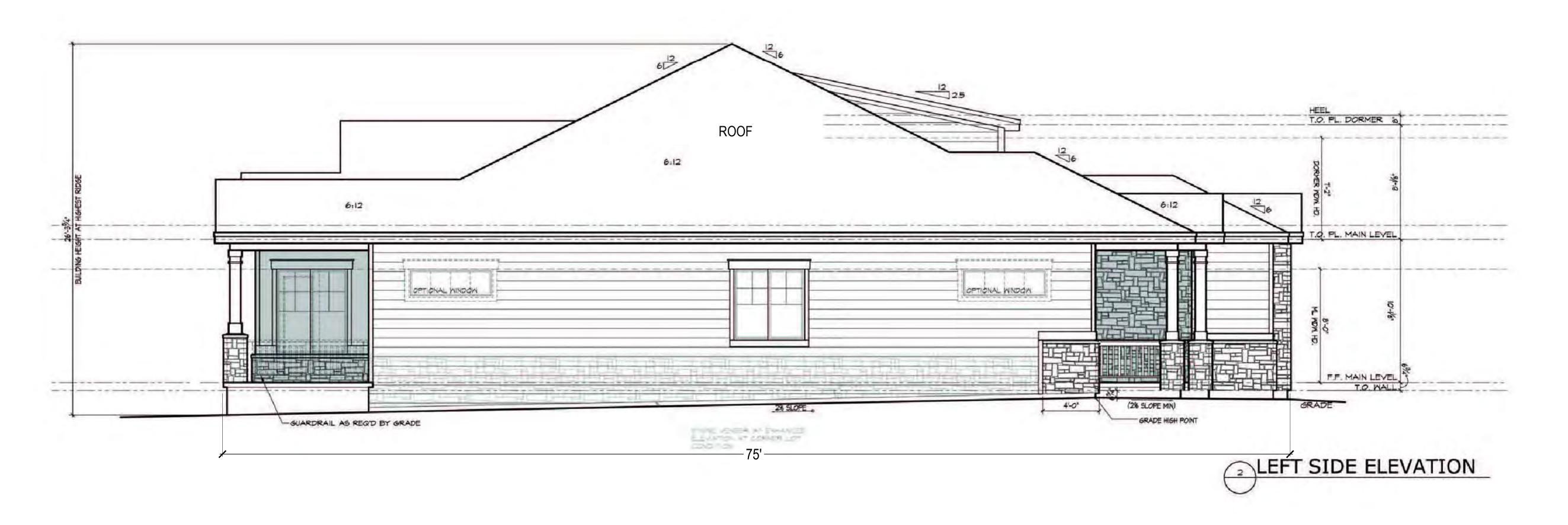
JANUARY 24, 2018 APRIL 18, 2018 JUNE 13, 2018

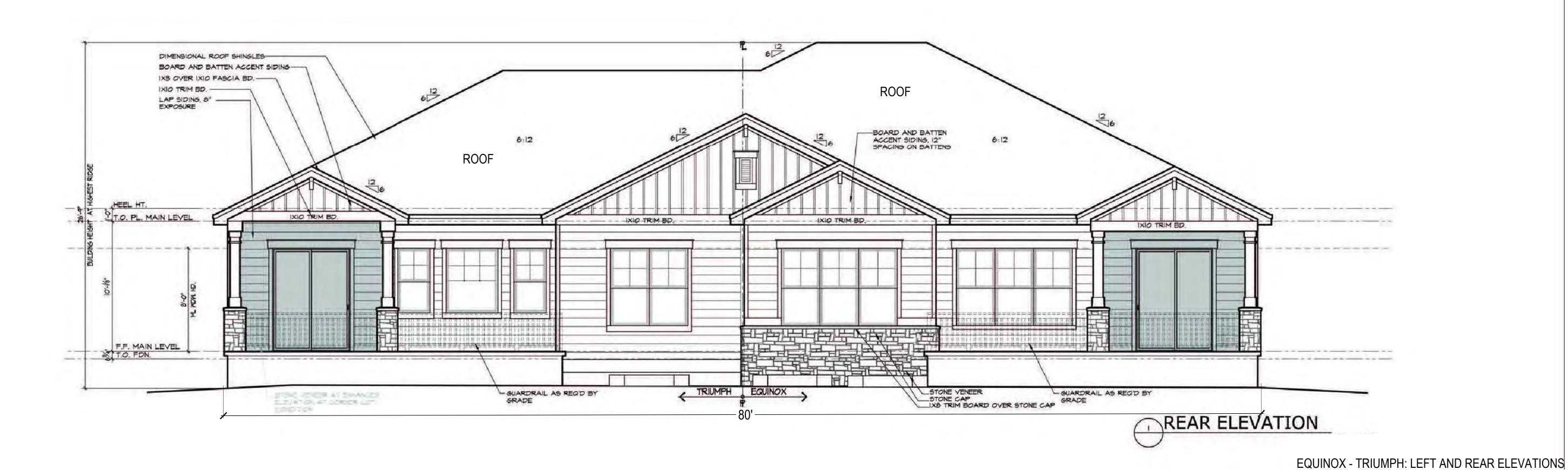
JULY 16, 2018 OCTOBER 5, 2018 <u>SEPTEMBER 27, 2021</u>

OCTOBER 19, 2018 OCTOBER 13, 2021

> SHEET TITLE: **ELEVATIONS**

> > SHEET 19 OF 69





ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

CHECKED BY: DRAWN BY:

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E **ROCK CREEK RANCH FILING NO. 12A**

VESTED RIGHTS

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OWNER:

SUPERIOR ROCK CREEK, LLC

1440 BLAKE ST. 3320 DENVER, CO 80202

APPLICANT: **BOULDER CREEK**

712 MAIN STREET LOUISVILLE, CO

NEIGHBORHOODS

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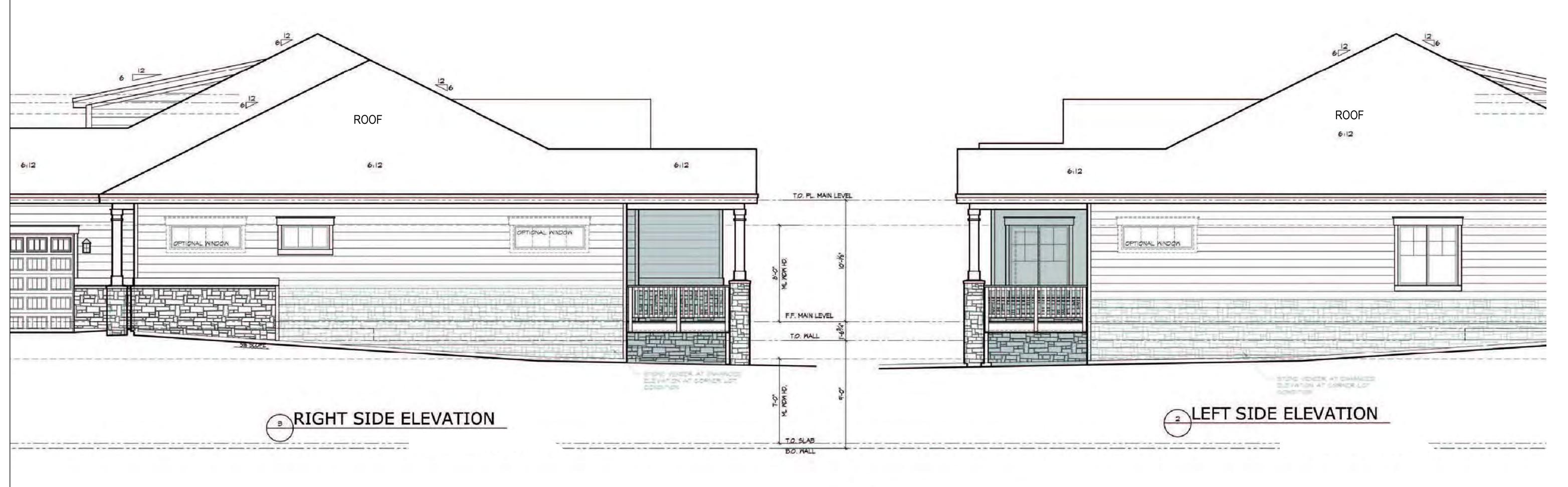
JANUARY 24, 2018 APRIL 18, 2018

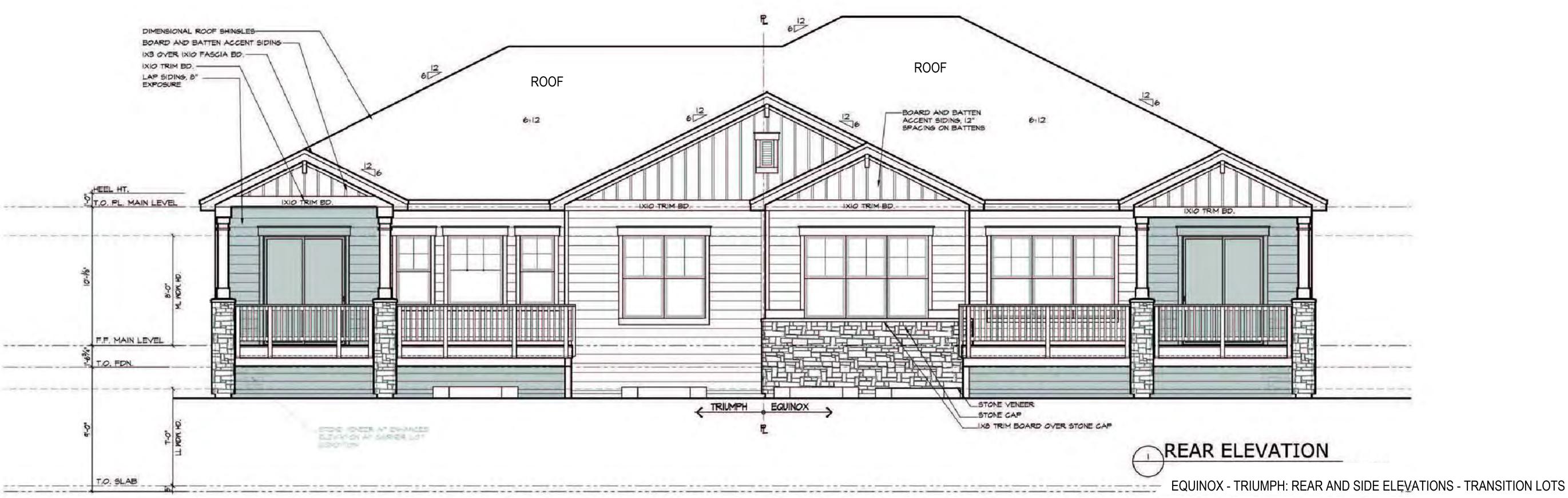
JULY 16, 2018 OCTOBER 5, 2018 OCTOBER 19, 2018 <u>SEPTEMBER 27, 2021</u>

OCTOBER 13, 2021

ELEVATIONS

SHEET 20 OF 69





NOTES:

ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

CHECKED BY DRAWN BY:

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E

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OWNER:

1440 BLAKE ST. 3320 **DENVER, CO 80202**

APPLICANT:

BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO



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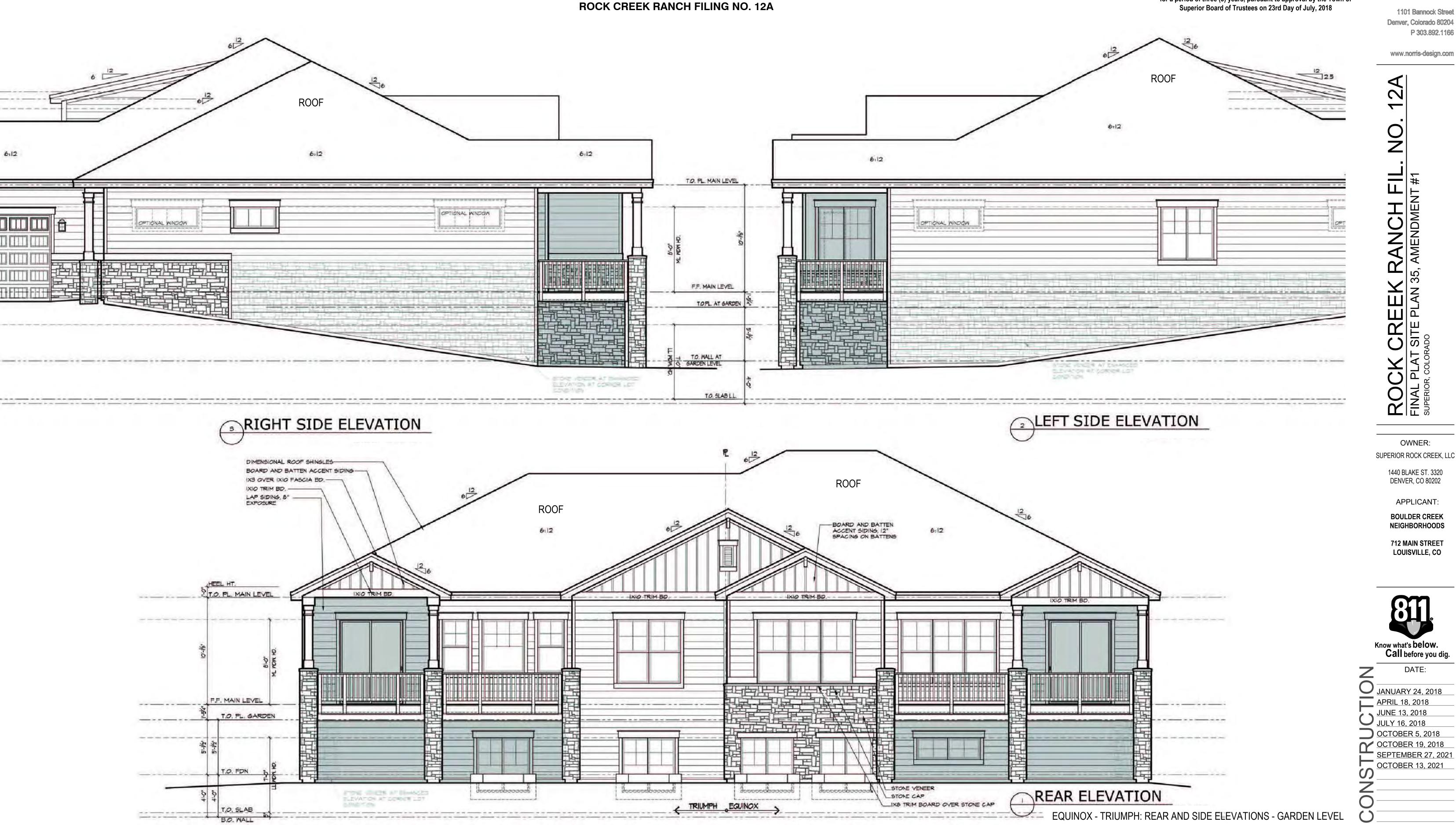
JANUARY 24, 2018 APRIL 18, 2018 JUNE 13, 2018

JULY 16, 2018 OCTOBER 5, 2018 OCTOBER 19, 2018 **SEPTEMBER 27, 2021** OCTOBER 13, 2021

ELEVATIONS

SHEET 21 OF 69

SCALE:1/4"=1'



CHECKED BY DRAWN BY:

ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

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OCK CREEK RANCH FIL. NO. 12
AL PLAT SITE PLAN 35, AMENDMENT #1

OWNER:

1440 BLAKE ST. 3320 DENVER, CO 80202

SUPERIOR ROCK CREEK, LLC

APPLICANT:
BOULDER CREEK

NEIGHBORHOODS
712 MAIN STREET

LOUISVILLE, CO

ow what's helow

Call before you dig.

JANUARY 24, 2018

APRIL 18, 2018

JUNE 13, 2018

JULY 16, 2018

JUNE 13, 2018

JULY 16, 2018

OCTOBER 5, 2018

OCTOBER 19, 2018

SEPTEMBER 27, 202

OCTOBER 19, 2018
SEPTEMBER 27, 2021
OCTOBER 13, 2021

SHEET TITLE:

O ARCH. COLORED

LL ELEVATIONS

22 SHEET 22 OF 69

SCALE:1/4"=1

EQUINOX - TRIUMPH: COLORED ELEVATIONS

FRONT ELEVATION





NOTES:

CHECKED BY: DRAWN BY: ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

NOTE: ELEVATION TO DEMONSTRATE COLOR REPRESENTATION ONLY - SEE SHEETS 18-21 FOR ELEVATIONS

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E **ROCK CREEK RANCH FILING NO. 12A**

OWNER'S SUITE

TRIUMPH

2-CAR GARAGE

5' SIDEWALK

GREAT RM

15.0' TO OPEN SPACE, 17' FOR BLOCK 2 LOTS 11-20

> 17.5' Additional PARKING SPACE,

> > **EASEMENT**

____8'-0' MIN._____

VESTED RIGHTS

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OWNER: SUPERIOR ROCK CREEK, LLC

> 1440 BLAKE ST. 3320 **DENVER, CO 80202**

APPLICANT:

BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET LOUISVILLE, CO



JANUARY 24, 2018

APRIL 18, 2018 JUNE 13, 2018 JULY 16, 2018 OCTOBER 5, 2018

OCTOBER 19, 2018

SEPTEMBER 27, 2021 OCTOBER 13, 2021

SHEET TITLE: ARCHITECTURAL LLELEMENTS DETAILS

SHEET 23 OF 69

SOLSTICE - TRIUMPH: ARCHITECTURAL ELEMENTS DETAILS

SCALE:1/8"=1'

1. ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

2-CAR GARAGE

SOLSTICE

CONC. DRIVEWAY 4'X4' PATTERN

- 2. PATIO WALLS TO BE SPLIT FACED GRAY CONCRETE BLOCK.
- FENCE TO BE BLACK POWDERCOAT.

MATERIAL NOTES:

GREAT ROOM

10'-10"

42"H. FENCE POST W/ STONE VENEER & LANTERN

- 4. FENCE COLUMNS TO BE STONE VENEER TO MATCH BUILDING ELEVATION.
- 5. TRELLIS TO BE DOUGLAS FIR, STAINED TO MATCH COLOR OF TRIM.

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

<u>VESTED RIGHTS</u>

This Plan constitutes a site specific development plan as defined in Section 24-68-101, et, seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at he Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. Such a vested right shall be valid for a period of three (3) years, pursuant to approval by the Town of Superior Board of Trustees on 23rd Day of July, 2018

NORRIS DESIGN
Planning | Landscape Architecture | Project Promotion

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Denver, Colorado 80204
P 303.892.1166

www.norris-design.com

大OCK CKEEK KANCH FIL. NO. FINAL PLAT SITE PLAN 35, AMENDMENT #1 SUPERIOR, COLORADO

OWNER: SUPERIOR ROCK CREEK, LLC

> 1440 BLAKE ST. 3320 DENVER, CO 80202

APPLICANT:
BOULDER CREEK

NEIGHBORHOODS
712 MAIN STREET

LOUISVILLE, CO

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ARY 24, 201 _ 18, 2018

APRIL 18, 2018

JUNE 13, 2018

JULY 16, 2018

OCTOBER 5, 2018

OCTOBER 19, 2018

OCTOBER 5, 2018
OCTOBER 19, 2018
SEPTEMBER 27, 2021
OCTOBER 13, 2021

SHEET TITL

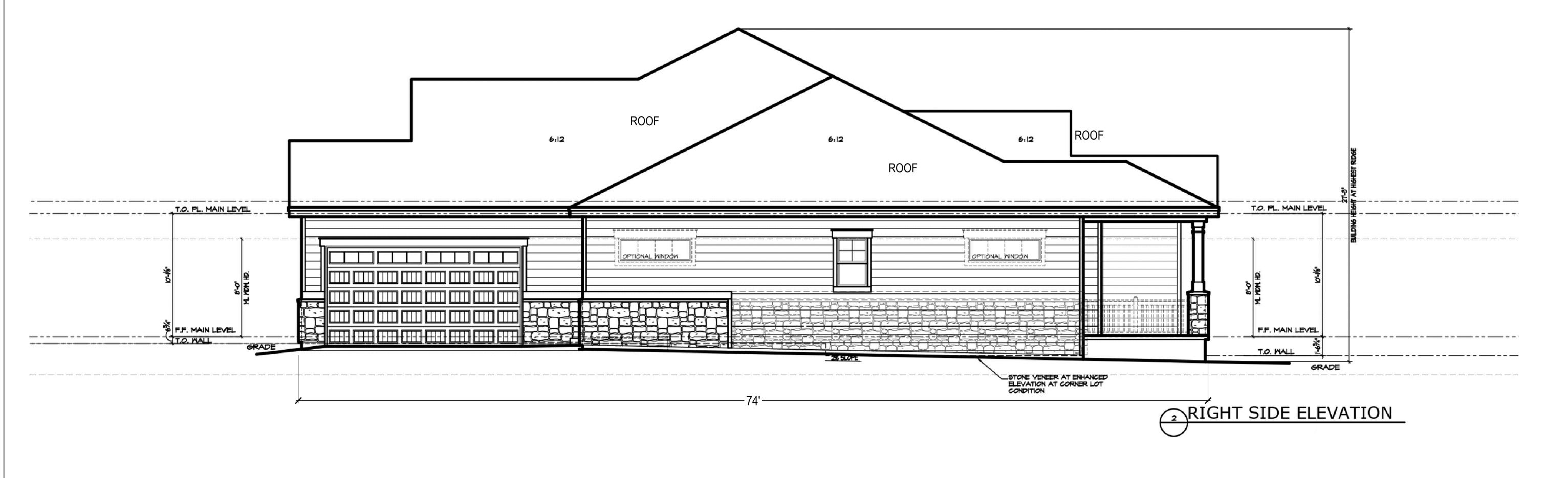
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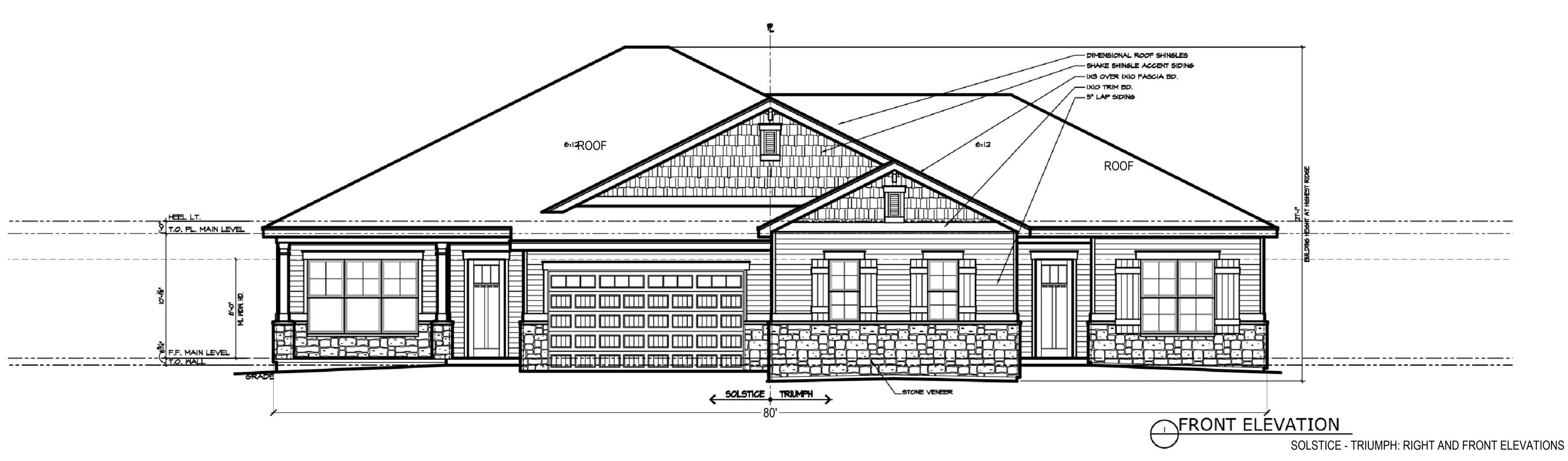
SCALE:1/4"=1'

ELEVATIONS

24

24 SHEET 24 OF 69





NOTES:

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BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E

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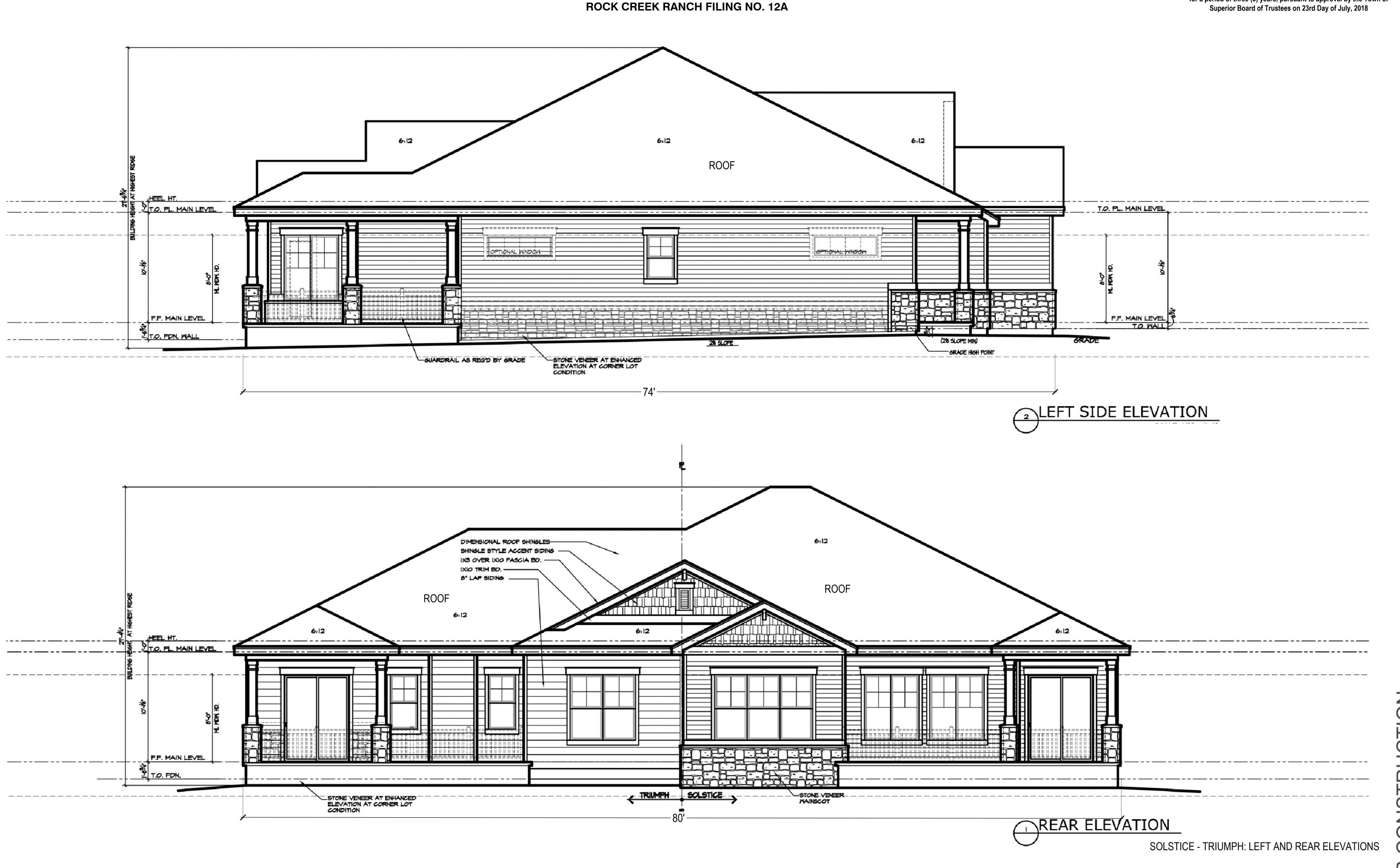
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BOULDER CREEK NEIGHBORHOODS 712 MAIN STREET

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SEPTEMBER 27, 2021 OCTOBER 13, 2021



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BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E **ROCK CREEK RANCH FILING NO. 12A**

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APPLICANT: **BOULDER CREEK**

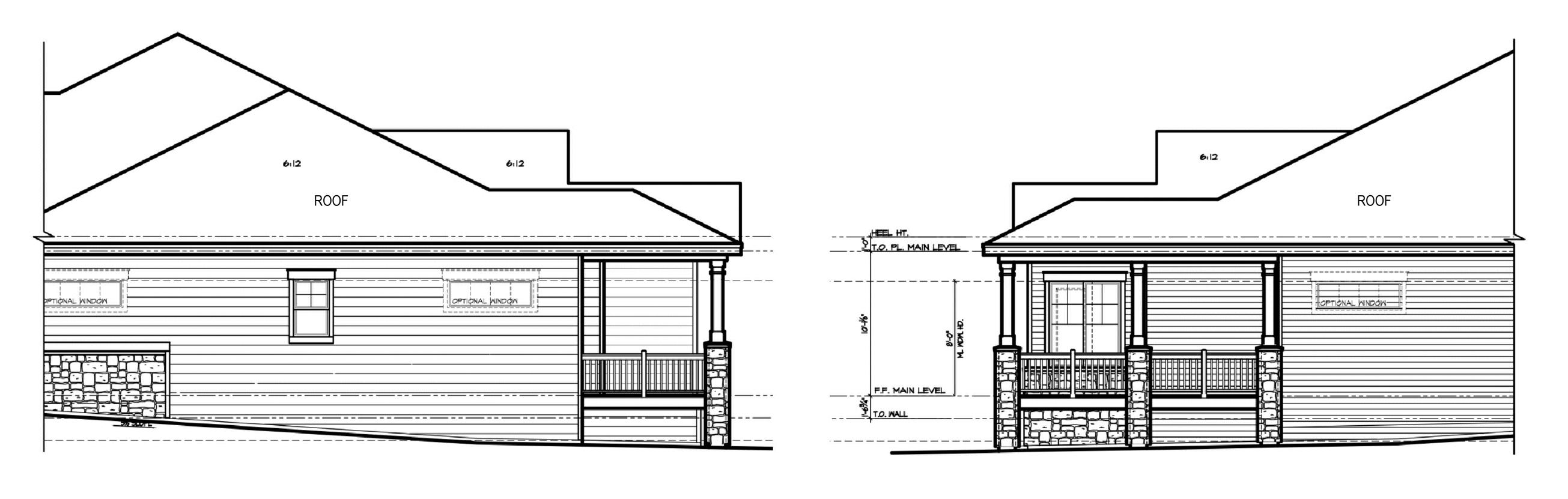
NEIGHBORHOODS 712 MAIN STREET

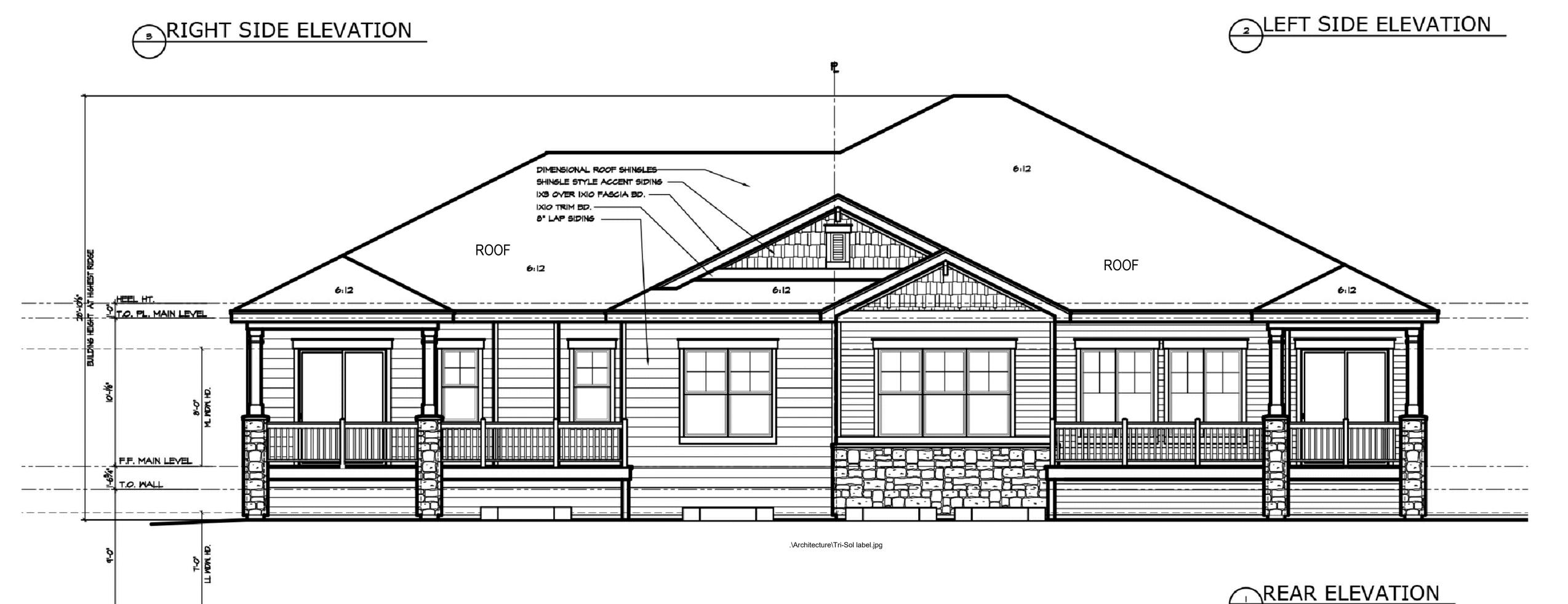
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ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

SCALE:1/4"=1'

SOLSTICE - TRIUMPH: REAR AND SIDE ELEVATIONS - TRANSITION LOTS

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E **ROCK CREEK RANCH FILING NO. 12A**

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APPLICANT: **BOULDER CREEK**

712 MAIN STREET LOUISVILLE, CO

NEIGHBORHOODS

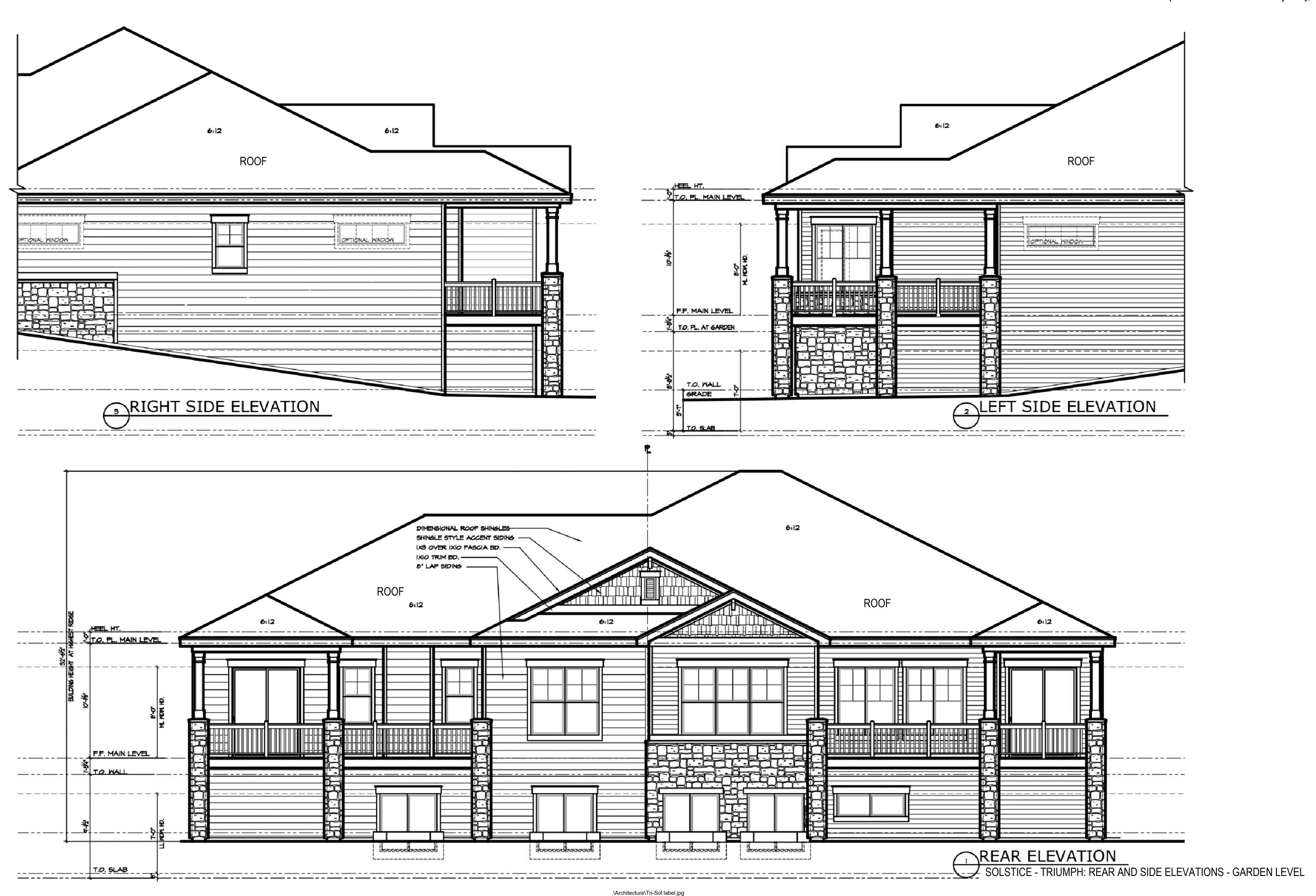
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ELEVATIONS

SCALE:1/4"=1'



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BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E **ROCK CREEK RANCH FILING NO. 12A**

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APPLICANT: **BOULDER CREEK**

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JANUARY 24, 2018 APRIL 18, 2018 JUNE 13, 2018

JULY 16, 2018 OCTOBER 5, 2018 OCTOBER 19, 2018 <u>SEPTEMBER 27, 2021</u>

OCTOBER 13, 2021

SHEET TITLE: ARCH. COLORED **ELEVATIONS**

SHEET 28 OF 69

SCALE:1/4"=1'





FRONT ELEVATION

SOLSTICE - TRIUMPH: COLORED ELEVATIONS

NOTES:

1. ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

ELEVATION TO DEMONSTRATE COLOR REPRESENTATION ONLY - SEE SHEETS 24-27 FOR ACTUAL ELEVATIONS