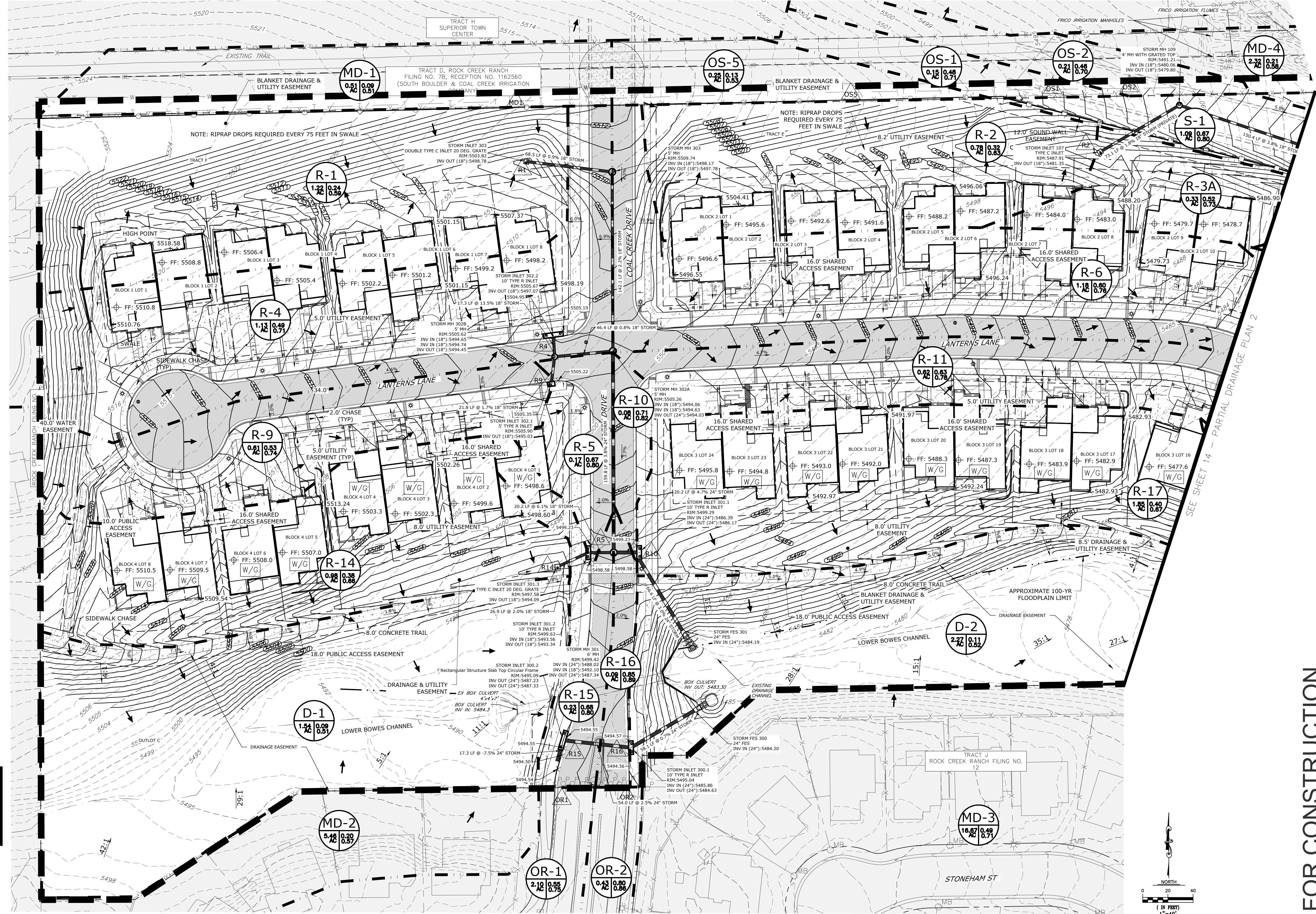
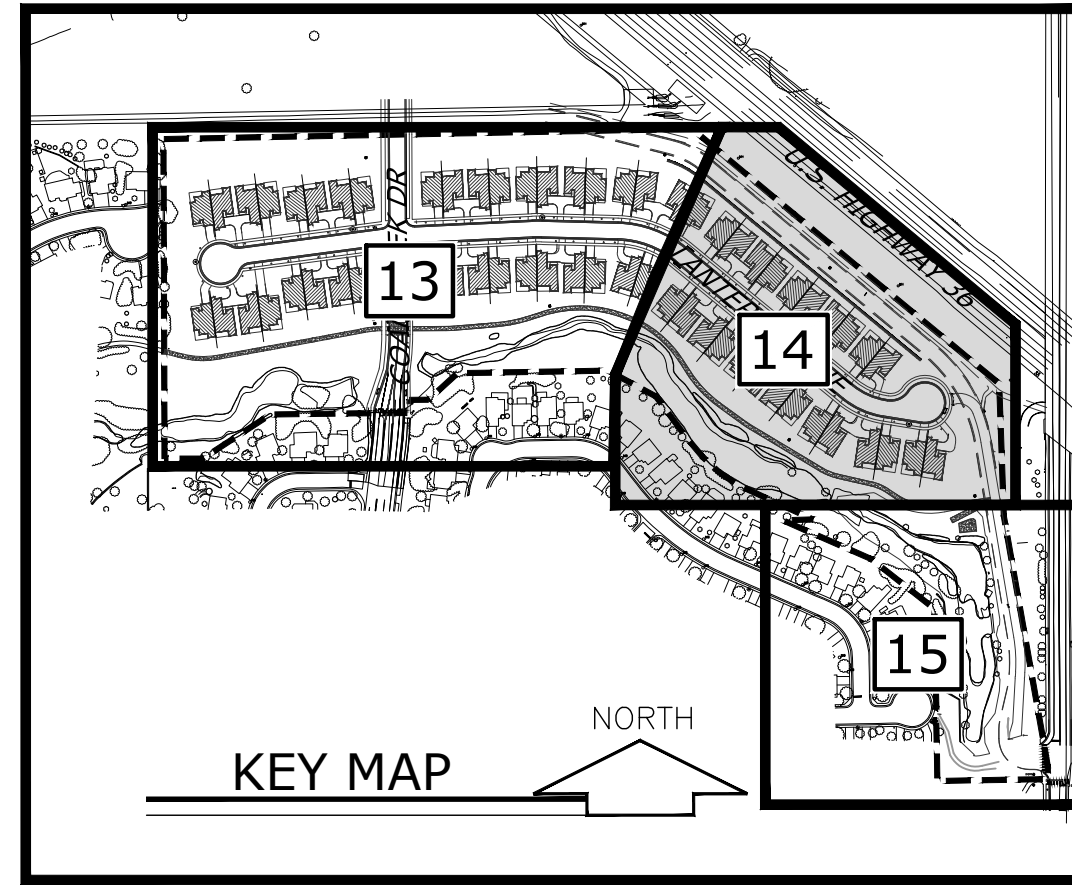


FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
ROCK CREEK RANCH FILING NO. 12A

VESTED RIGHTS
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FREDERICK, CO 80530
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WWW.CIVILRESOURCES.COM



DRAINAGE PLAN LEGEND:	
PROPOSED	EXISTING
N/A	PROPERTY LINE
---	EASEMENT
---	LIMIT FINAL PLAT SITE PLAN
---	LOT LINE
---	ASPHALT
---	OUTSIDE LIMITS
---	CONCRETE
---	BUILDING
---	GRAVEL
---	COLORLED, STAMPED CONCRETE
N/A	DRAINAGE CHANNEL
---	FENCE/POLE
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	LIGHT POLE
---	STORM INLET
---	STORM MANHOLE
---	SANITARY MANHOLE
---	FLOW ARROW
---	SOUND WALL
---	MATCHLINE
---	STORM PIPE
---	BASIN IDENTIFICATION
---	5-YR AND 100-YR RUNOFF COEFFICIENTS
---	BASIN AREA (AC)
---	DESIGN POINT
---	POTENTIAL WALKOUT/GARDEN LEVEL
---	SIDEWALK CHASE
---	RIPRAP
---	DRAINAGE BASIN
---	APPROX. 100-YR FLOODPLAIN
FF:XXXX	FINISHED FLOOR ELEVATIONS
---	A/C UNIT

ALL DOMESTIC WATER MAIN PIPE IS BLUE PVC C900 DR14 FULLY RESTRAINED
ALL REUSE WATER PIPE IS PURPLE PVC C900 CR14 FULLY RESTRAINED
ALL SANITARY SEWER PIPE IS GREEN SDR26
ALL HYDRANT BRANCH LINES ARE DIP CLASS 52
ALL STORM SEWER IS CLASS IV RCP UNLESS OTHERWISE NOTED
ALL DOMESTIC WATER SERVICE PIPE IS TYPE K COPPER
ALL SANITARY UNDERDRAIN IS WHITE PVC SDR26 PERFORATED
ALL SANITARY UNDERDRAIN SERVICE PIPE IS WHITE PVC SDR26 NON-PERFORATED

NOTE:
BUILDING CORNER AND DRIVEWAY SLOPES ARE SUBJECT TO CHANGE BASED ON INDIVIDUAL UNIT PLOT PLANS.

CHECKED BY: JAB
DRAWN BY: CAI



ROCK CREEK RANCH FIL. NO. 12A
FINAL PLAT SITE PLAN 35, AMENDMENT #1
SUPERIOR, COLORADO

OWNER:
SUPERIOR ROCK CREEK, LLC
1440 BLAKE ST. 3320
DENVER, CO 80202
APPLICANT:
BOULDER CREEK
NEIGHBORHOODS
712 MAIN STREET
LOUISVILLE, CO



DATE:
JANUARY 24, 2018
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OCTOBER 5, 2018
OCTOBER 19, 2018
SEPT 27, 2021
OCT 13, 2021

SHEET TITLE:
PARTIAL
DRAINAGE PLAN
1

13
SHEET 13 OF 69

NOT FOR CONSTRUCTION

FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
ROCK CREEK RANCH FILING NO. 12A

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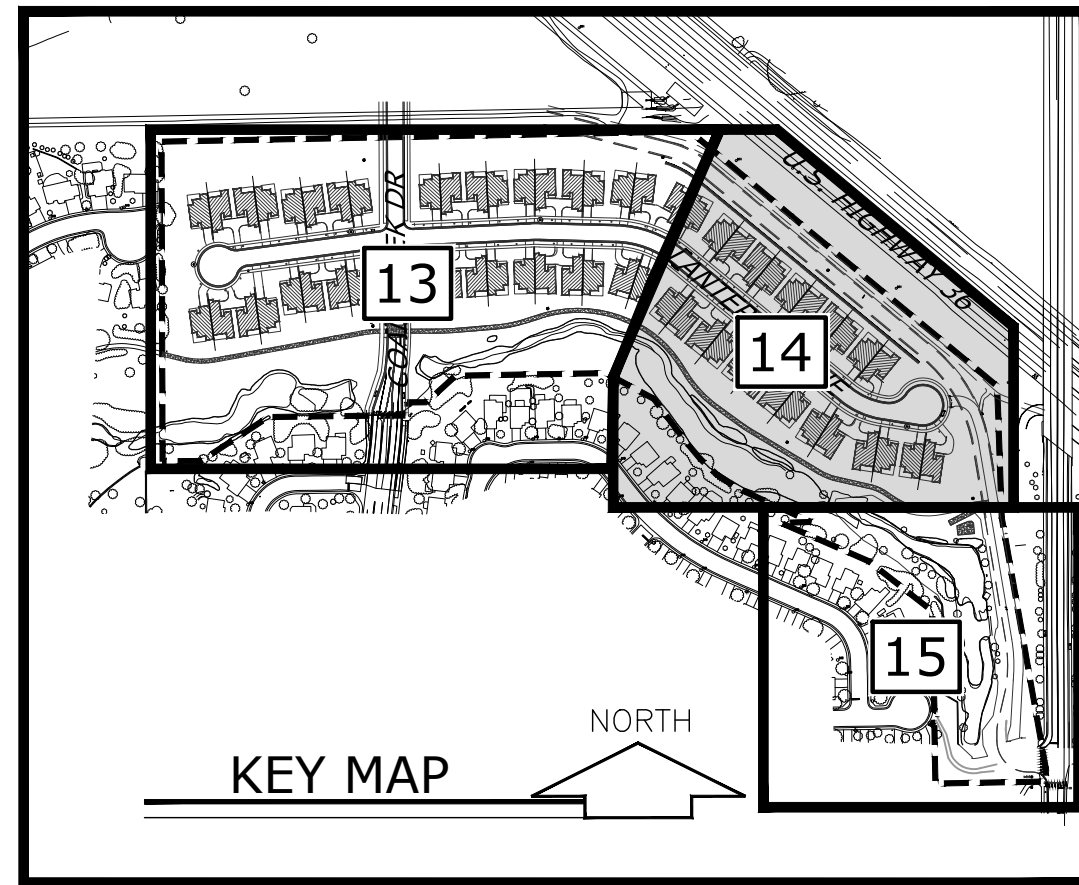
ROCK CREEK RANCH FIL. NO. 12A
FINAL PLAT SITE PLAN 35, AMENDMENT #1
SUPERIOR, COLORADO

OWNER:
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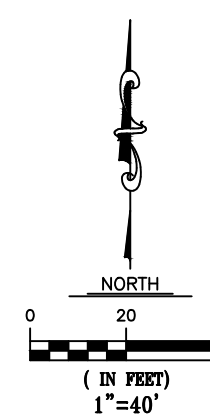
SHEET TITLE:
PARTIAL
DRAINAGE PLAN
2
14
SHEET 14 OF 69



DRAINAGE PLAN LEGEND:	
PROPOSED	EXISTING
N/A	PROPERTY LINE
---	EASEMENT
---	LIMIT FINAL PLAT SITE PLAN
---	LOT LINE
---	ASPHALT
---	OUTSIDE LIMITS
---	CONCRETE
---	BUILDING
---	GRAVEL
---	COLORLED, STAMPED CONCRETE
---	DRAINAGE CHANNEL
---	FENCE/POLE
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	LIGHT POLE
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---	FLOW ARROW
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---	BASIN IDENTIFICATION
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---	DESIGN POINT
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---	SIDEWALK CHASE
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---	A/C UNIT

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NOTE:
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SEE SHEET 15 - PARTIAL DRAINAGE PLAN 3

CHECKED BY: JAB
DRAWN BY: DL



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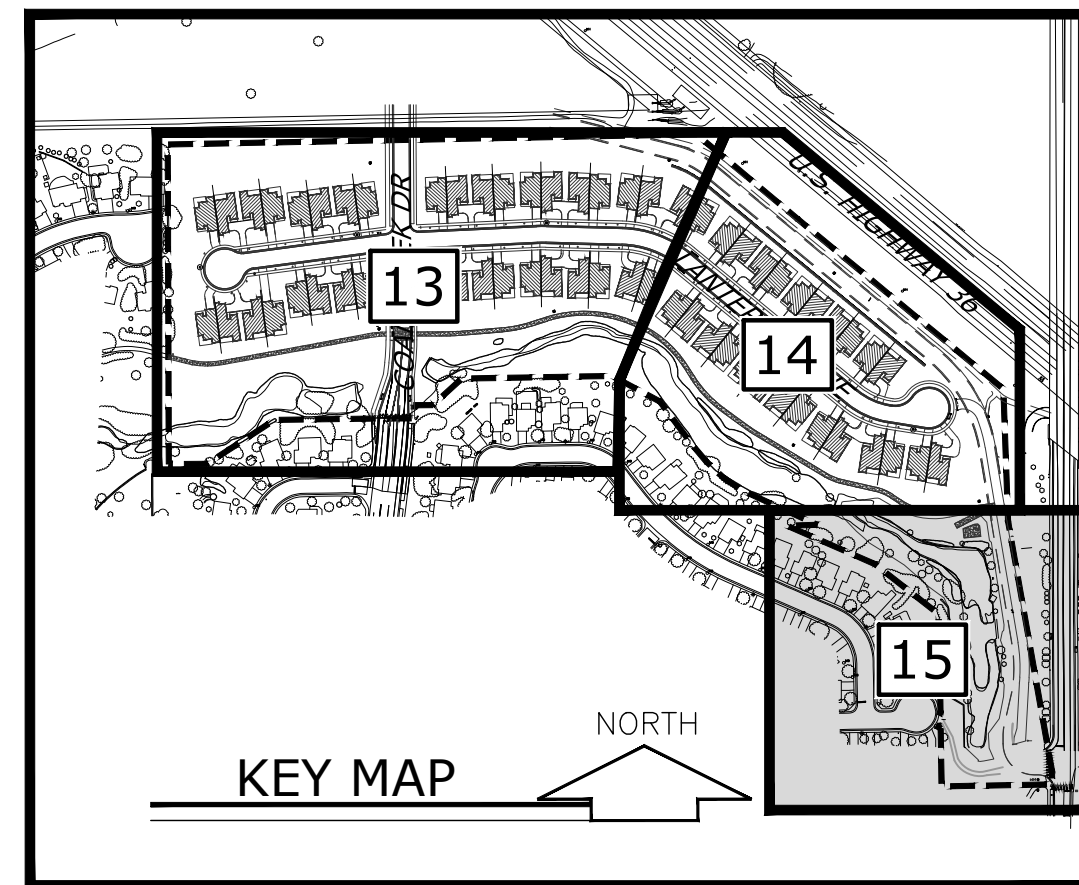
FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
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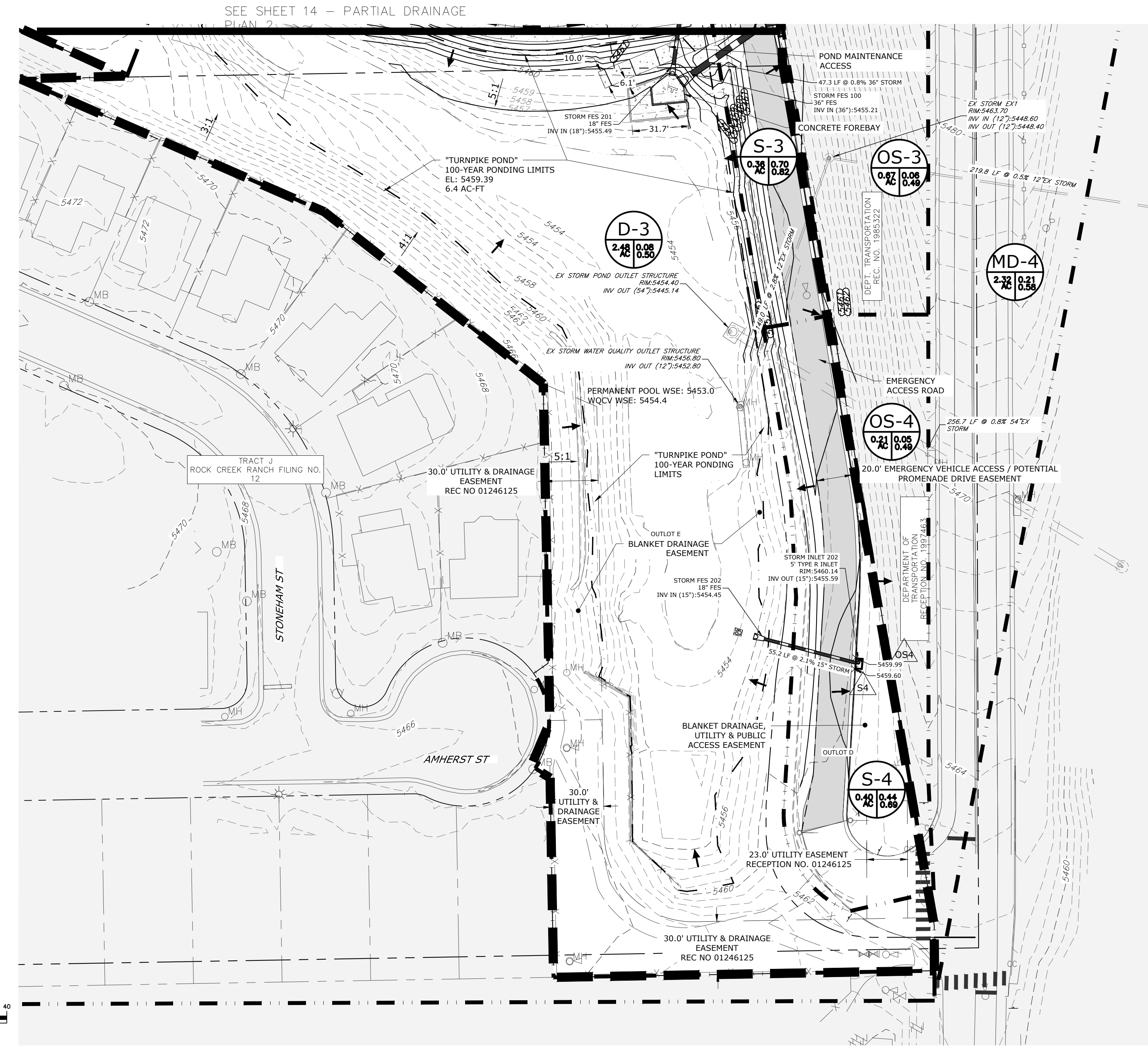
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FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM



DRAINAGE PLAN LEGEND:	
PROPOSED	EXISTING
N/A	PROPERTY LINE
---	EASEMENT
---	LIMIT FINAL PLAT SITE PLAN
---	LOT LINE
---	ASPHALT
---	OUTSIDE LIMITS
---	CONCRETE
---	BUILDING
---	GRAVEL
---	COLORED, STAMPED CONCRETE
N/A	DRAINAGE CHANNEL
---	FENCE/POLE
---	MAJOR CONTOUR
---	MINOR CONTOUR
☀	LIGHT POLE
⊠	STORM INLET
⊙	STORM MANHOLE
⊙	SANITARY MANHOLE
→	FLOW ARROW
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FINAL PLAT SITE PLAN 35, AMENDMENT #1
SUPERIOR, COLORADO

OWNER:
SUPERIOR ROCK CREEK, LLC
1440 BLAKE ST. 3320
DENVER, CO 80202

APPLICANT:
BOULDER CREEK NEIGHBORHOODS
712 MAIN STREET
LOUISVILLE, CO



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SHEET TITLE:
PARTIAL DRAINAGE PLAN
3

15
SHEET 15 OF 69

CHECKED BY: JAB
DRAWN BY: DL

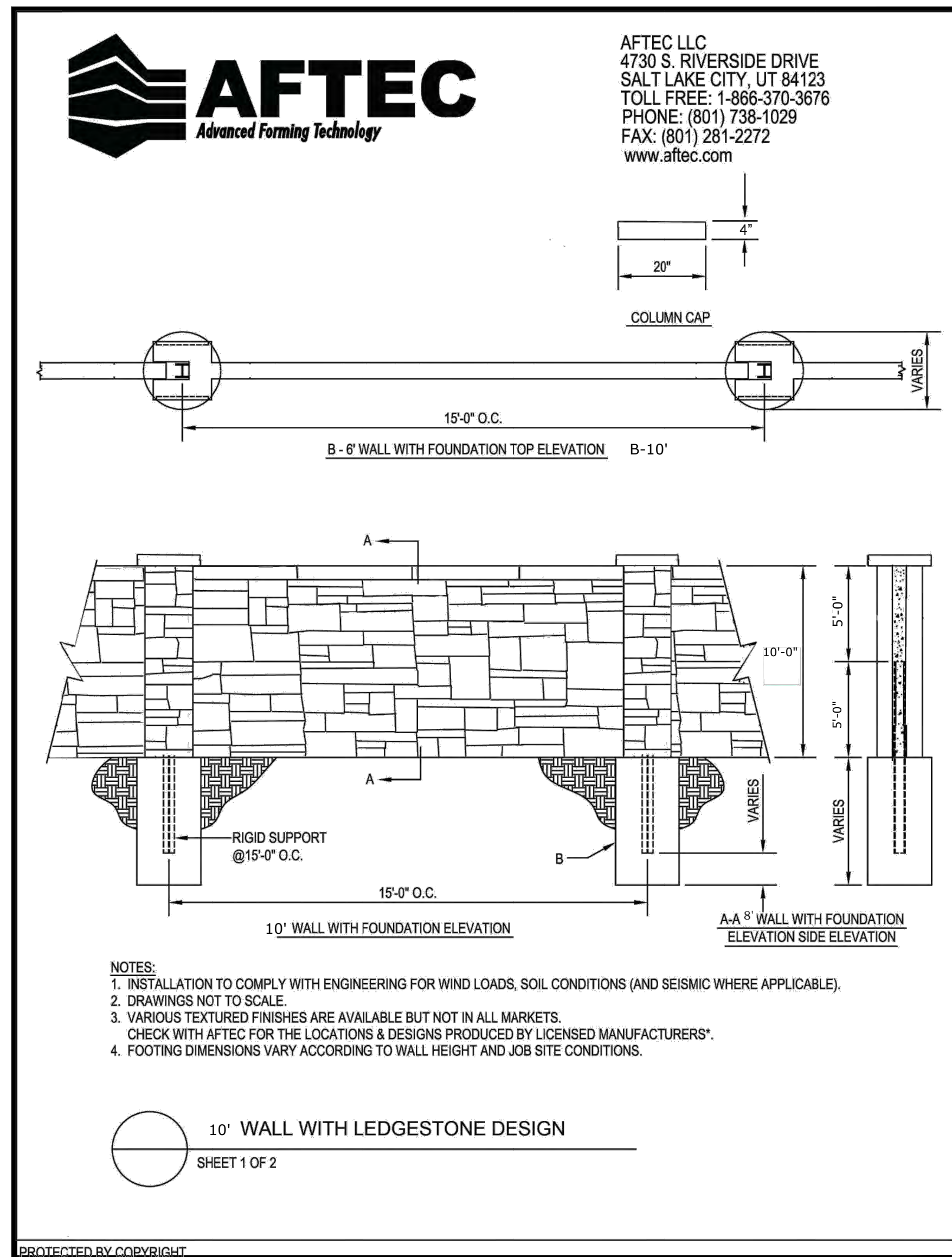


NOT FOR CONSTRUCTION

FINAL PLAT SITE PLAN 35, AMENDMENT #1
 BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
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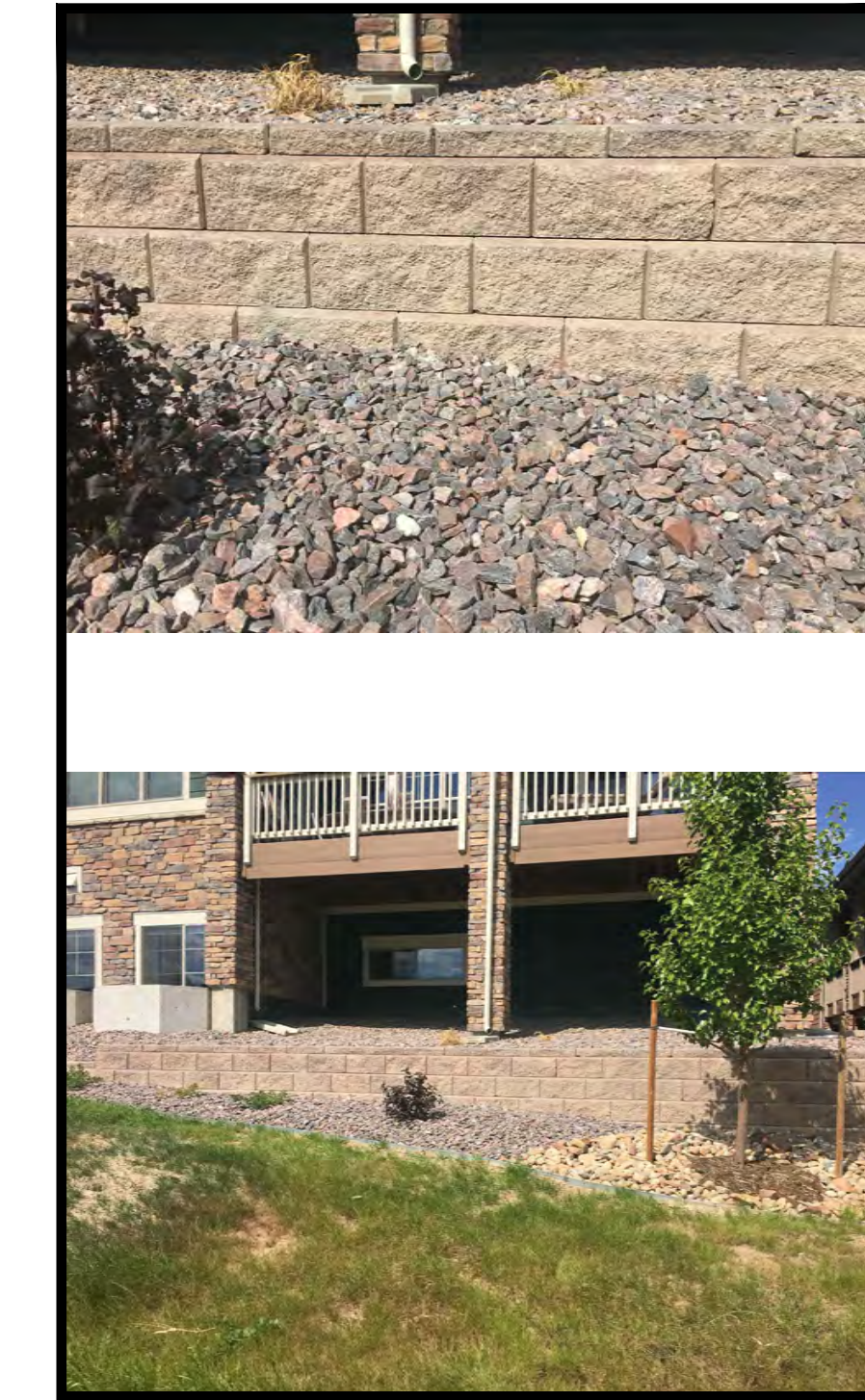

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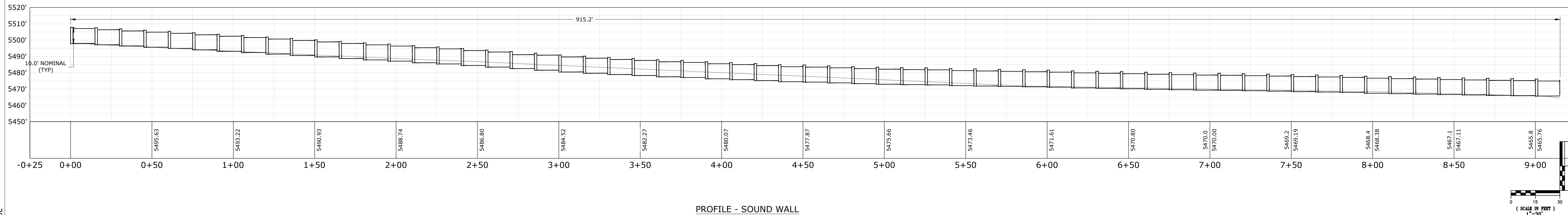
SOUND WALL PANELS - NTS



SOUND WALL IMAGE - NTS



TYPICAL PRIVATE RETAINING WALL



ROCK CREEK RANCH FIL. NO. 12A
 FINAL PLAT SITE PLAN 35, AMENDMENT #1
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 NEIGHBORHOODS
 712 MAIN STREET
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 OCT 13, 2021


SHEET TITLE:
 SOUND WALL
 DETAILS
 16
 SHEET 16 OF 69

NOT FOR CONSTRUCTION

CHECKED BY: JAB
 DRAWN BY: DL

FINAL PLAT SITE PLAN 35, AMENDMENT #1
BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
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FINAL PLAT SITE PLAN 35, AMENDMENT #1
 SUPERIOR, COLORADO

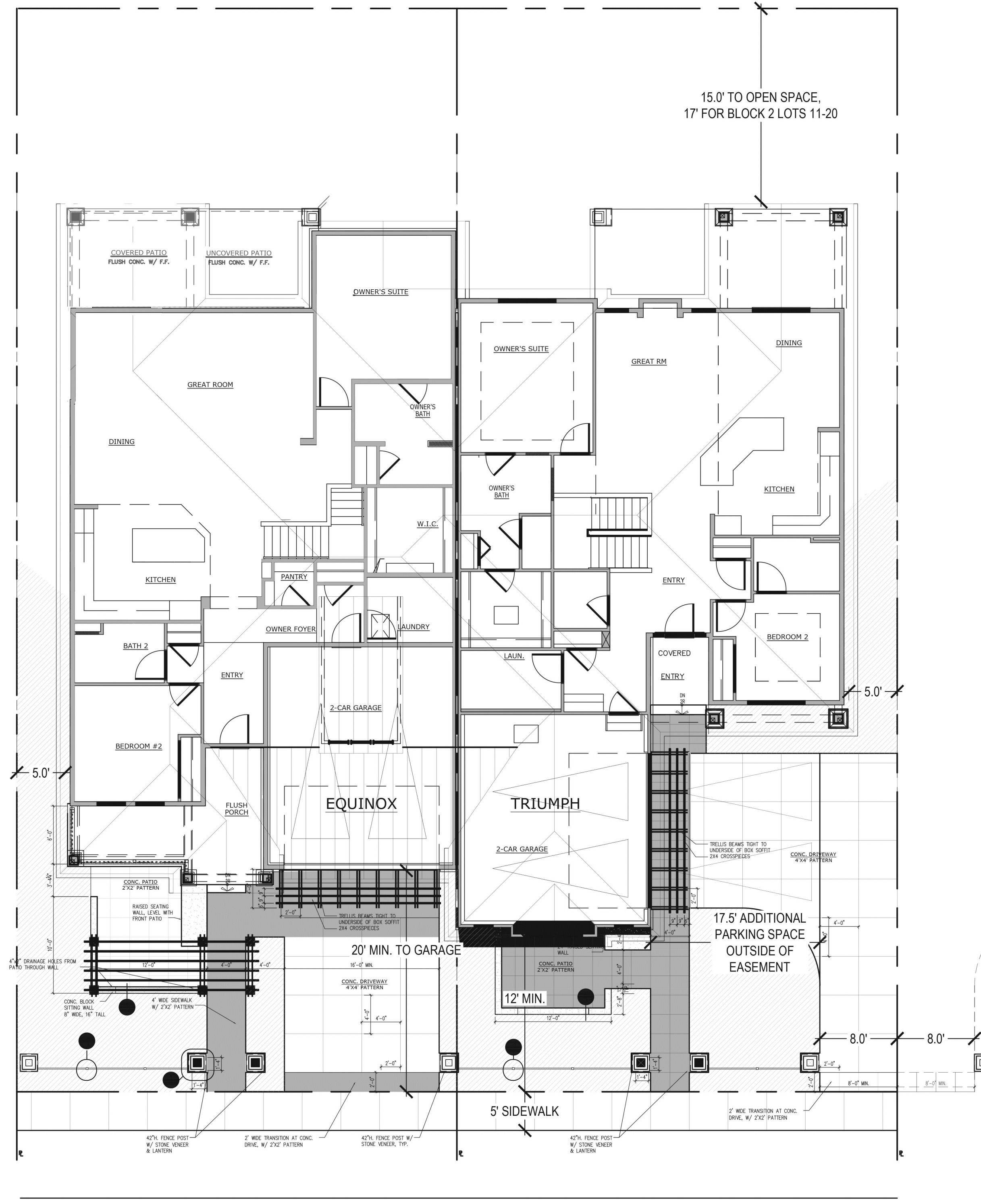
OWNER:
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 DENVER, CO 80202
APPLICANT:
 BOULDER CREEK
 NEIGHBORHOODS
 712 MAIN STREET
 LOUISVILLE, CO



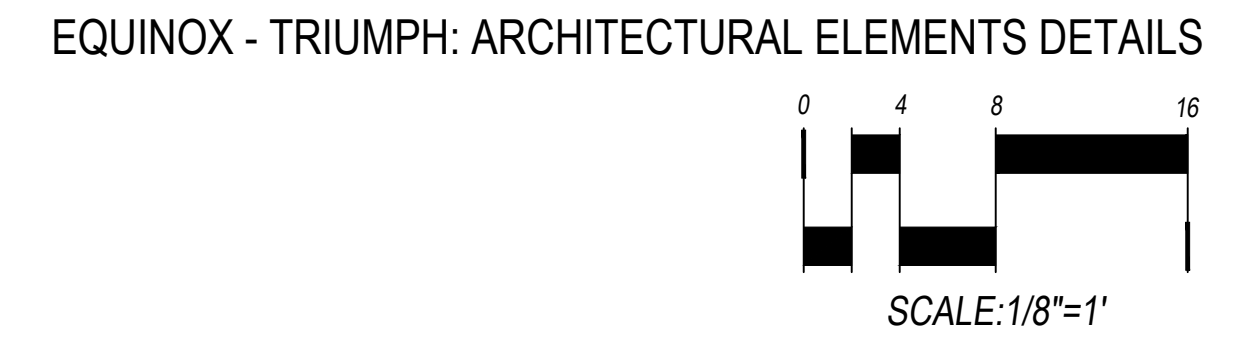
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OCTOBER 5, 2018
OCTOBER 19, 2018
SEPTEMBER 27, 2021
OCTOBER 13, 2021

SHEET TITLE:
 ARCHITECTURAL
 PLAN
 17
 SHEET 17 OF 69



- MATERIAL NOTES:**
1. ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.
 2. PATIO WALLS TO BE SPLIT FACED GRAY CONCRETE BLOCK.
 3. FENCE TO BE BLACK POWDERCOAT.
 4. FENCE COLUMNS TO BE STONE VENEER TO MATCH BUILDING ELEVATION.
 5. TRELLIS TO BE DOUGLAS FIR, STAINED TO MATCH COLOR OF TRIM.




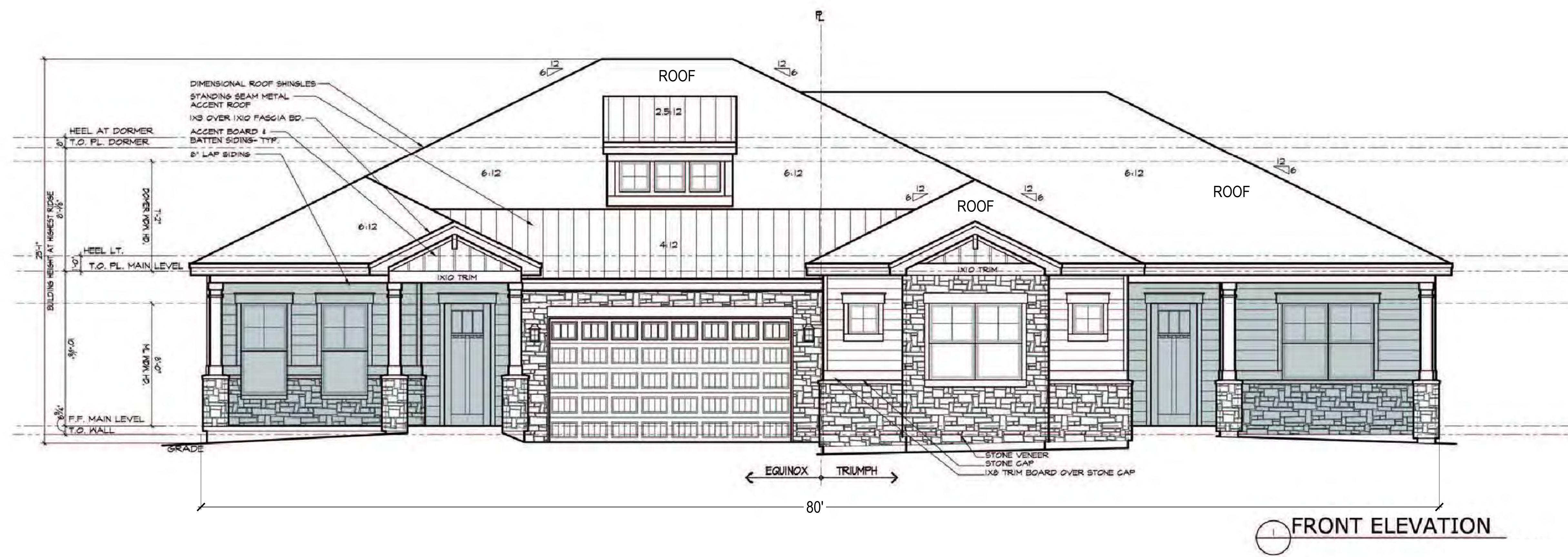
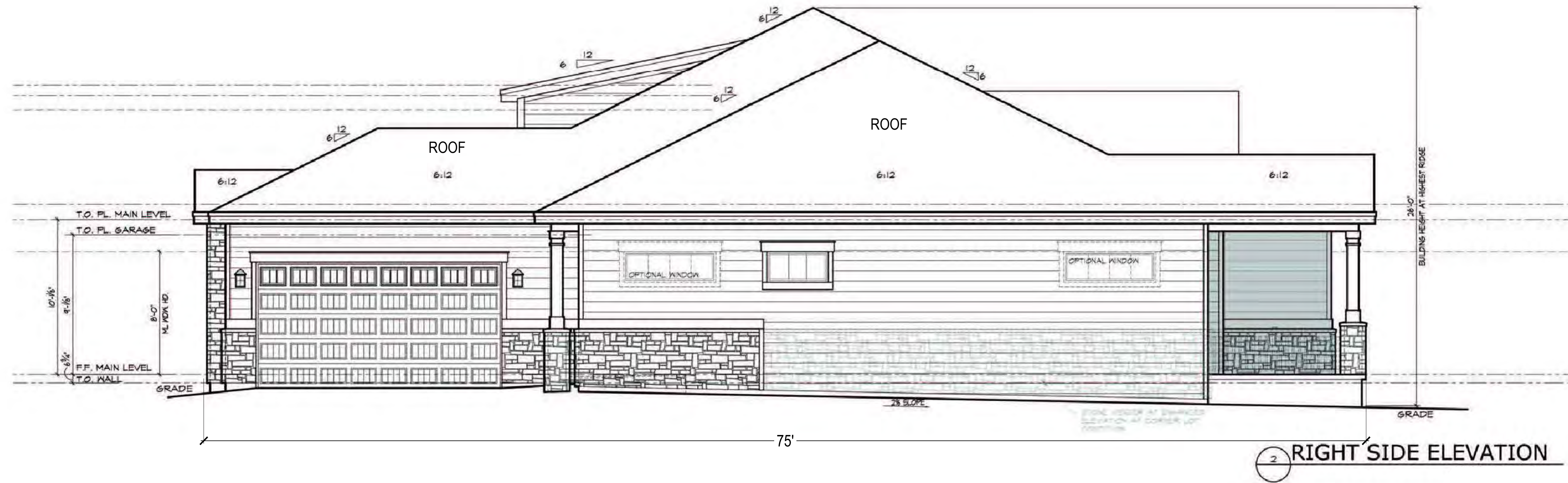
CHECKED BY: LV
 DRAWN BY: RB/CTCM

NOT FOR CONSTRUCTION

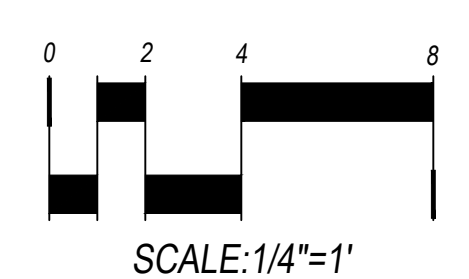
FINAL PLAT SITE PLAN 35, AMENDMENT #1
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EQUINOX - TRIUMPH: RIGHT AND FRONT ELEVATIONS



- NOTES:**
- ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

ROCK CREEK RANCH FIL. NO. 12A
FINAL PLAT SITE PLAN 35, AMENDMENT #1
 SUPERIOR, COLORADO

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 1440 BLAKE ST. 3320
 DENVER, CO 80202

APPLICANT:
 BOULDER CREEK
 NEIGHBORHOODS
 712 MAIN STREET
 LOUISVILLE, CO



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SHEET TITLE:
 ARCHITECTURAL
 ELEVATIONS

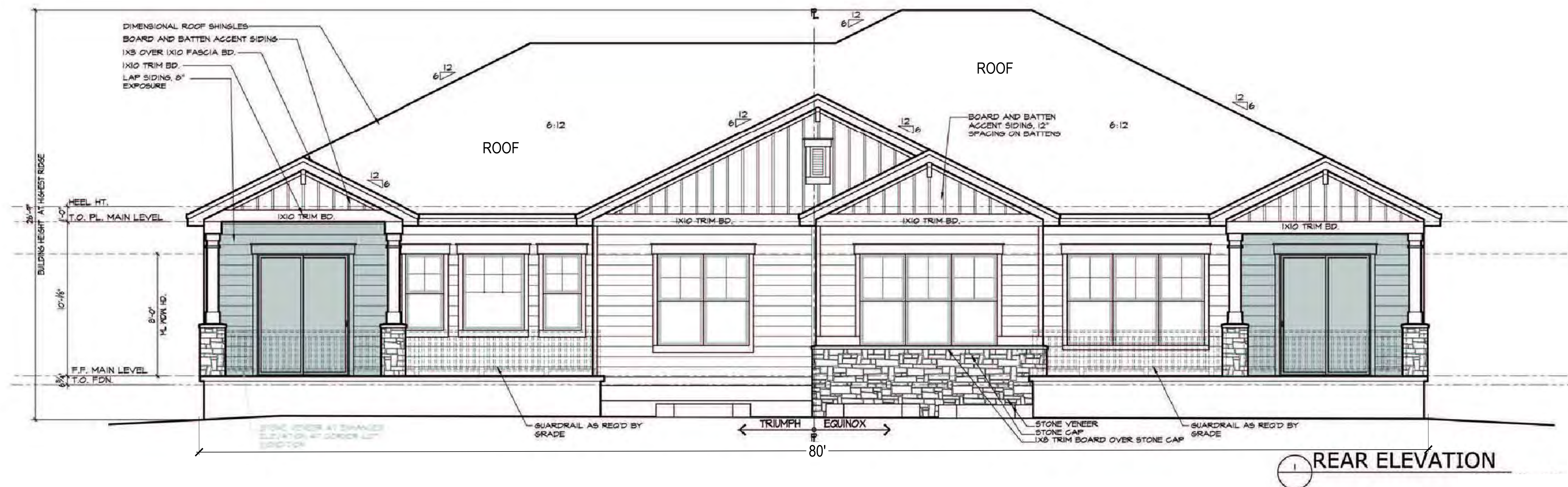
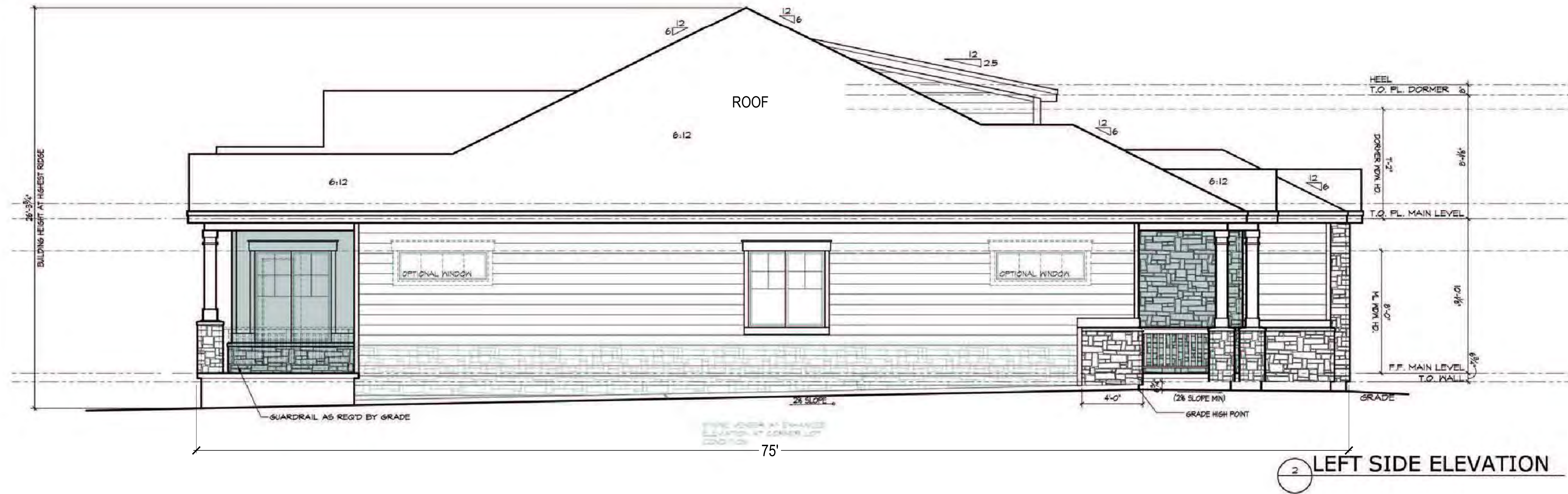
NOT FOR CONSTRUCTION

CHECKED BY:
 DRAWN BY:
 LV
 RB/CTCM

FINAL PLAT SITE PLAN 35, AMENDMENT #1
BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
ROCK CREEK RANCH FILING NO. 12A

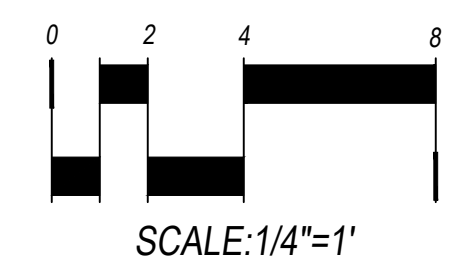
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EQUINOX - TRIUMPH: LEFT AND REAR ELEVATIONS

NOTES:
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OCTOBER 13, 2021

SHEET TITLE:
 ARCHITECTURAL
 ELEVATIONS

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CHECKED BY: LV
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FINAL PLAT SITE PLAN 35, AMENDMENT #1
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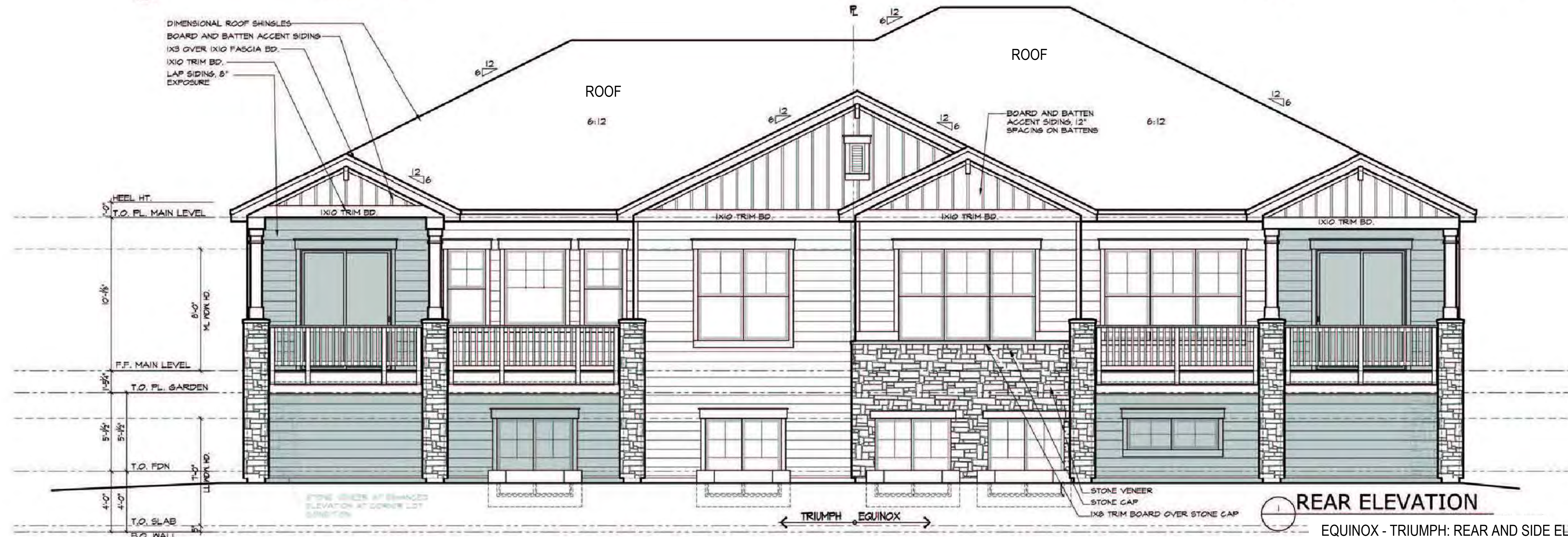
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3 RIGHT SIDE ELEVATION

2 LEFT SIDE ELEVATION



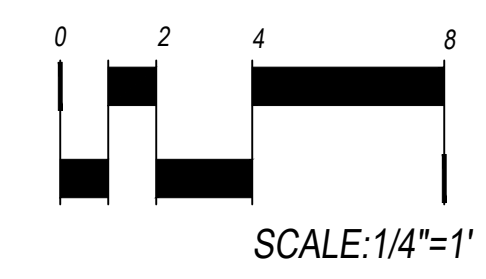
1 REAR ELEVATION

EQUINOX - TRIUMPH: REAR AND SIDE ELEVATIONS - GARDEN LEVEL

- DIMENSIONAL ROOF SHINGLES
- BOARD AND BATTEN ACCENT SIDING
- 1X3 OVER 1X10 FASCIA BD.
- 1X10 TRIM BD.
- LAP SIDING, 8" EXPOSURE

- BOARD AND BATTEN ACCENT SIDING, 12" SPACING ON BATTENS

NOTES:
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ROCK CREEK RANCH FIL. NO. 12A
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SHEET TITLE:
 ARCHITECTURAL ELEVATIONS


21
 SHEET 21 OF 69

NOT FOR CONSTRUCTION

CHECKED BY: LV
 DRAWN BY: RB/CTCM

FINAL PLAT SITE PLAN 35, AMENDMENT #1
 BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
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2 RIGHT SIDE ELEVATION



1 FRONT ELEVATION
 EQUINOX - TRIUMPH: COLORED ELEVATIONS

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 OCTOBER 13, 2021

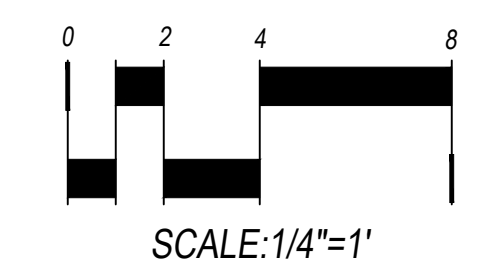
SHEET TITLE:
 ARCH. COLORED
 ELEVATIONS

22
 SHEET 22 OF 69

NOT FOR CONSTRUCTION

NOTES:
 1. ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.

NOTE: ELEVATION TO DEMONSTRATE COLOR REPRESENTATION ONLY -
 SEE SHEETS 18-21 FOR ELEVATIONS



CHECKED BY: LV
 DRAWN BY: RB/CTCM

FINAL PLAT SITE PLAN 35, AMENDMENT #1
BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E
ROCK CREEK RANCH FILING NO. 12A

VESTED RIGHTS
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 SUPERIOR, COLORADO

OWNER:
 SUPERIOR ROCK CREEK, LLC

1440 BLAKE ST. 3320
 DENVER, CO 80202

APPLICANT:

BOULDER CREEK
 NEIGHBORHOODS

712 MAIN STREET
 LOUISVILLE, CO



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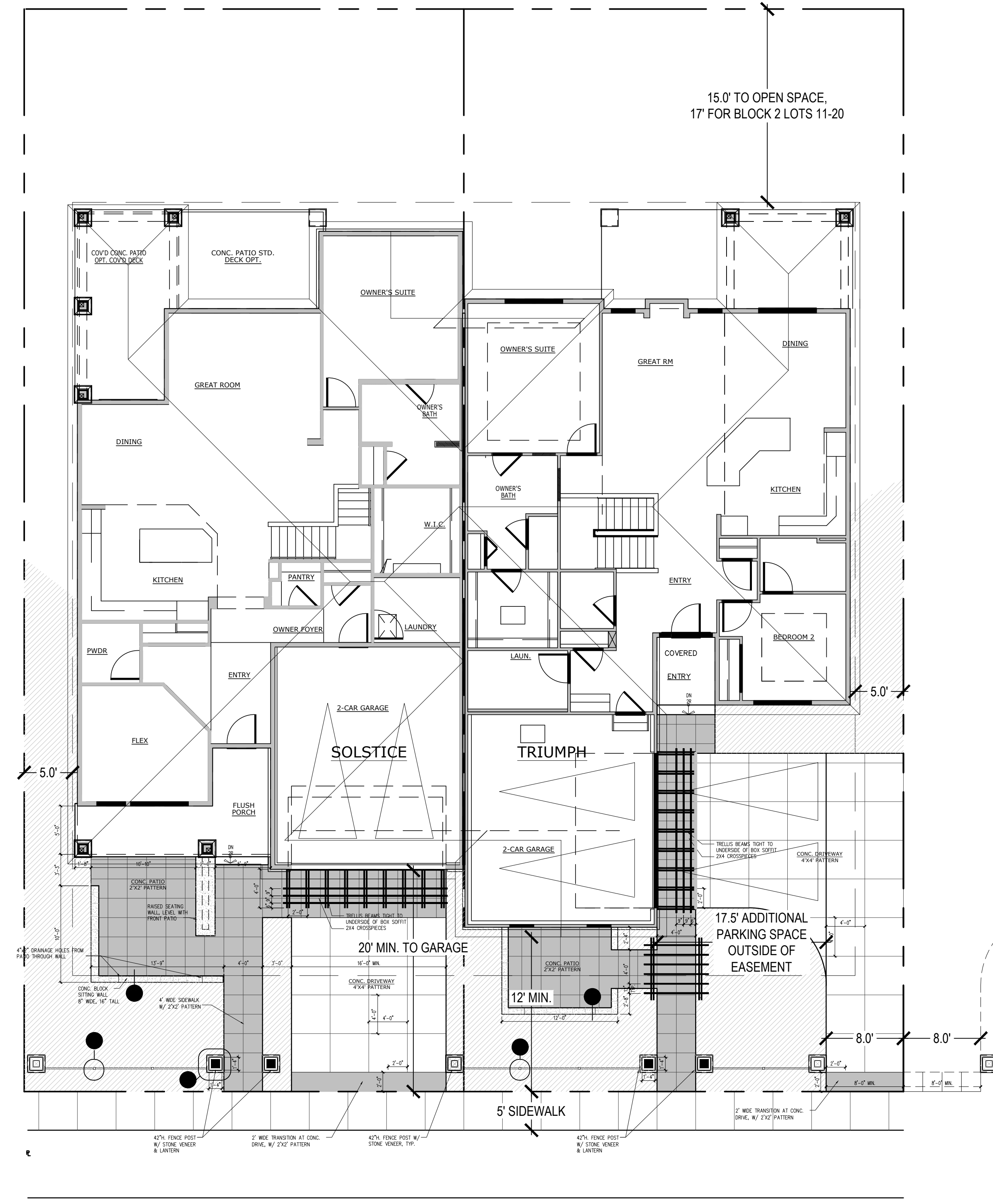
NOT FOR CONSTRUCTION

SHEET TITLE:

ARCHITECTURAL
 ELEMENTS DETAILS

23

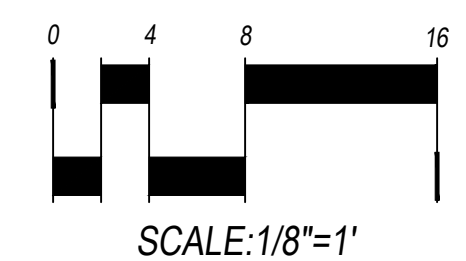
SHEET 23 OF 69



MATERIAL NOTES:

1. ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.
2. PATIO WALLS TO BE SPLIT FACED GRAY CONCRETE BLOCK.
3. FENCE TO BE BLACK POWDERCOAT.
4. FENCE COLUMNS TO BE STONE VENEER TO MATCH BUILDING ELEVATION.
5. TRELIS TO BE DOUGLAS FIR, STAINED TO MATCH COLOR OF TRIM.


SOLSTICE - TRIUMPH: ARCHITECTURAL ELEMENTS DETAILS

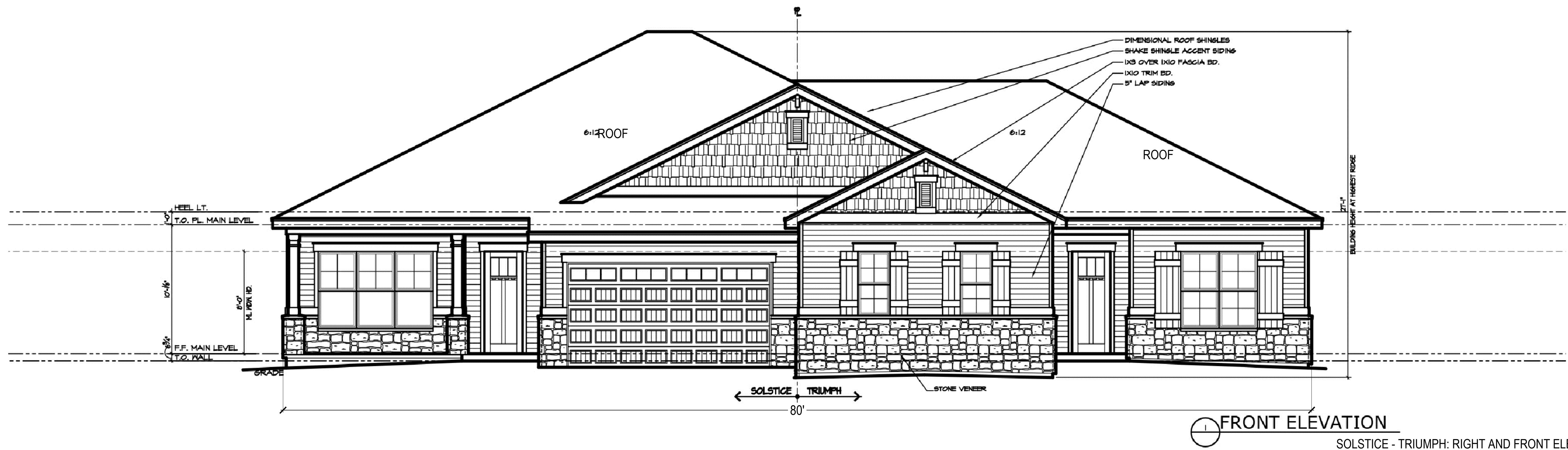
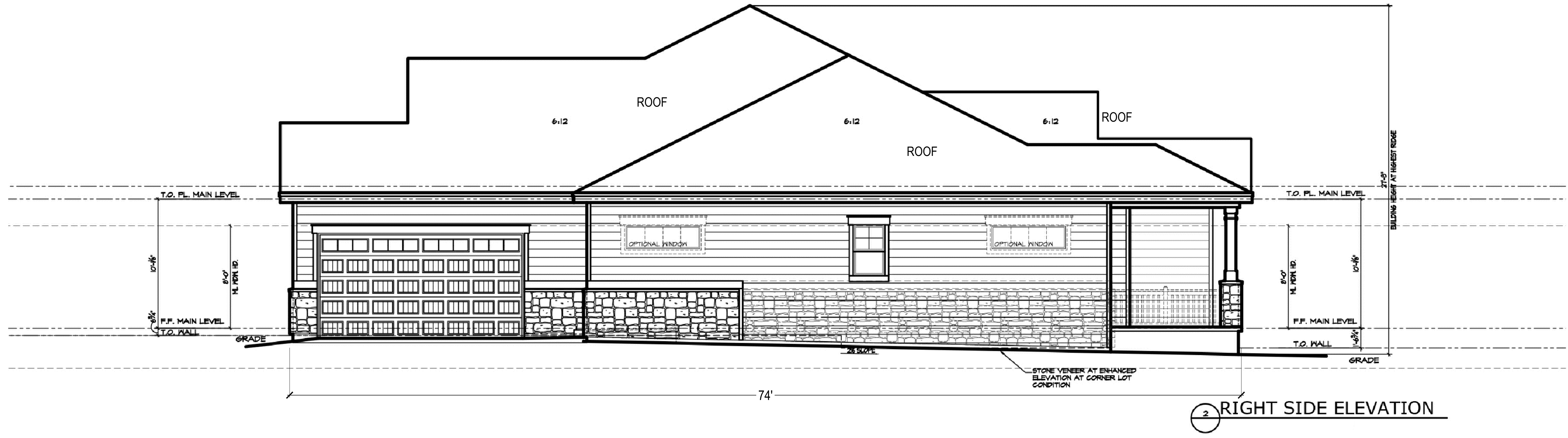


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 DRAWN BY: RB/CTCM

FINAL PLAT SITE PLAN 35, AMENDMENT #1
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 SUPERIOR, COLORADO

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 1440 BLAKE ST. 3320
 DENVER, CO 80202
 APPLICANT:
 BOULDER CREEK
 NEIGHBORHOODS
 712 MAIN STREET
 LOUISVILLE, CO

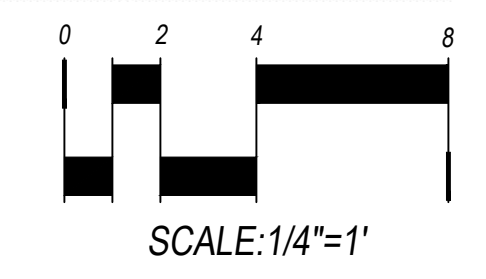

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SHEET TITLE:
 ARCHITECTURAL
 ELEVATIONS

24
 SHEET 24 OF 69

NOTES:
 1. ALL ADJACENT RESIDENCES AND RESIDENCES THAT FACE ONE ANOTHER SHALL NOT BE FINISHED IN IDENTICAL COLOR SCHEMES.



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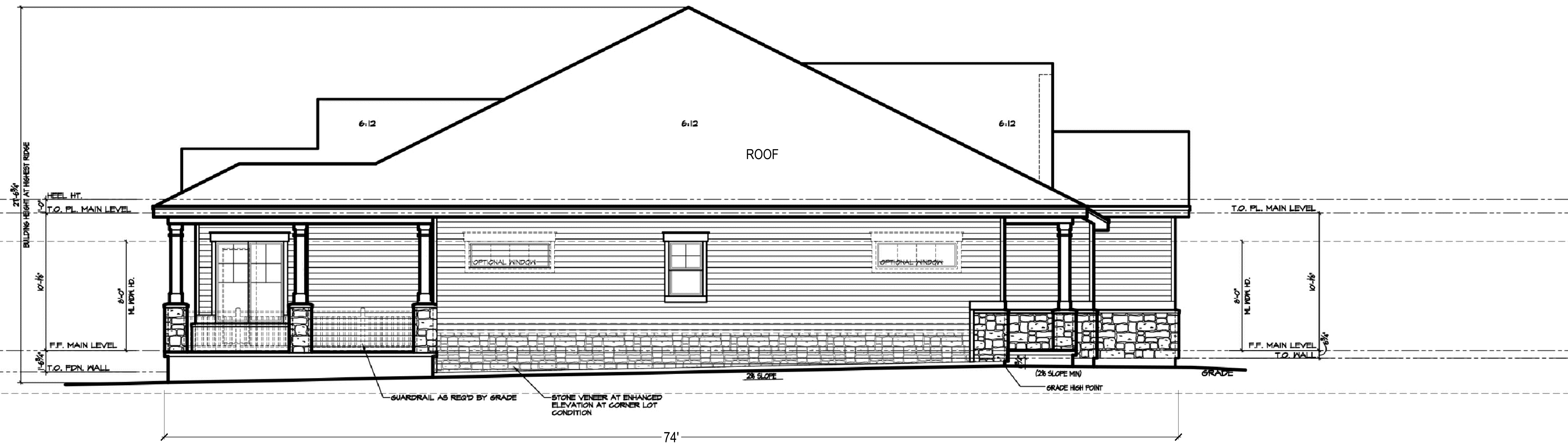
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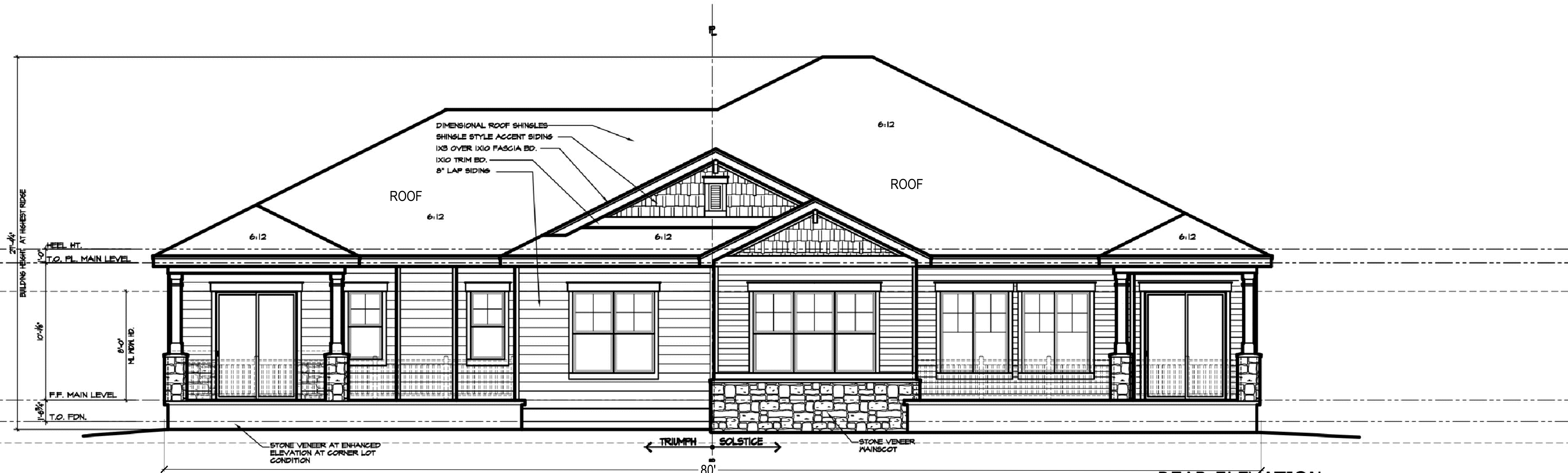
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- OCTOBER 13, 2021

SHEET TITLE:
 ARCHITECTURAL
 ELEVATIONS

25
 SHEET 25 OF 69



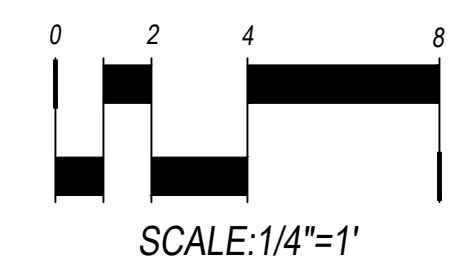
2 LEFT SIDE ELEVATION



1 REAR ELEVATION

SOLSTICE - TRUMP: LEFT AND REAR ELEVATIONS

NOTES:
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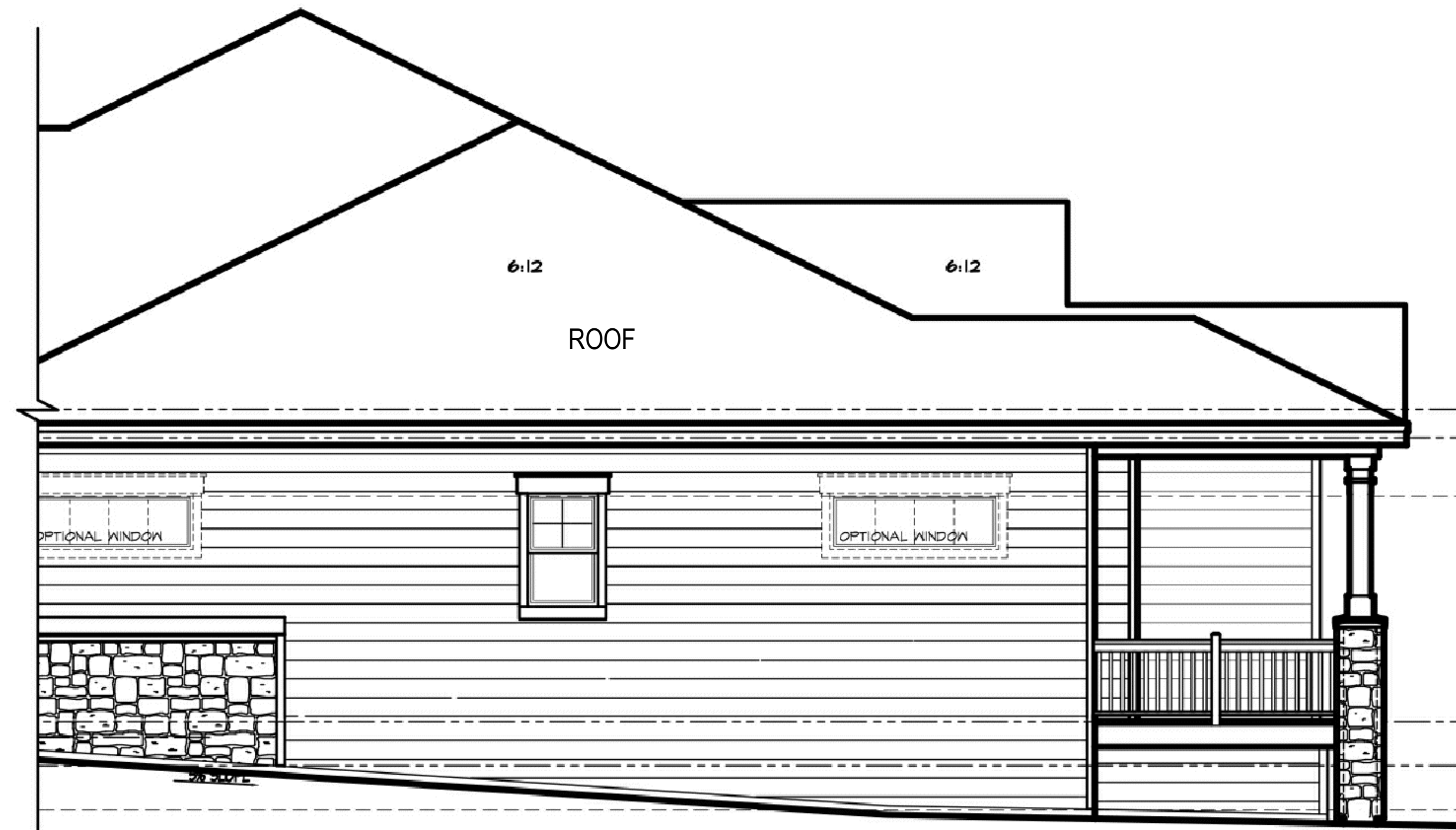
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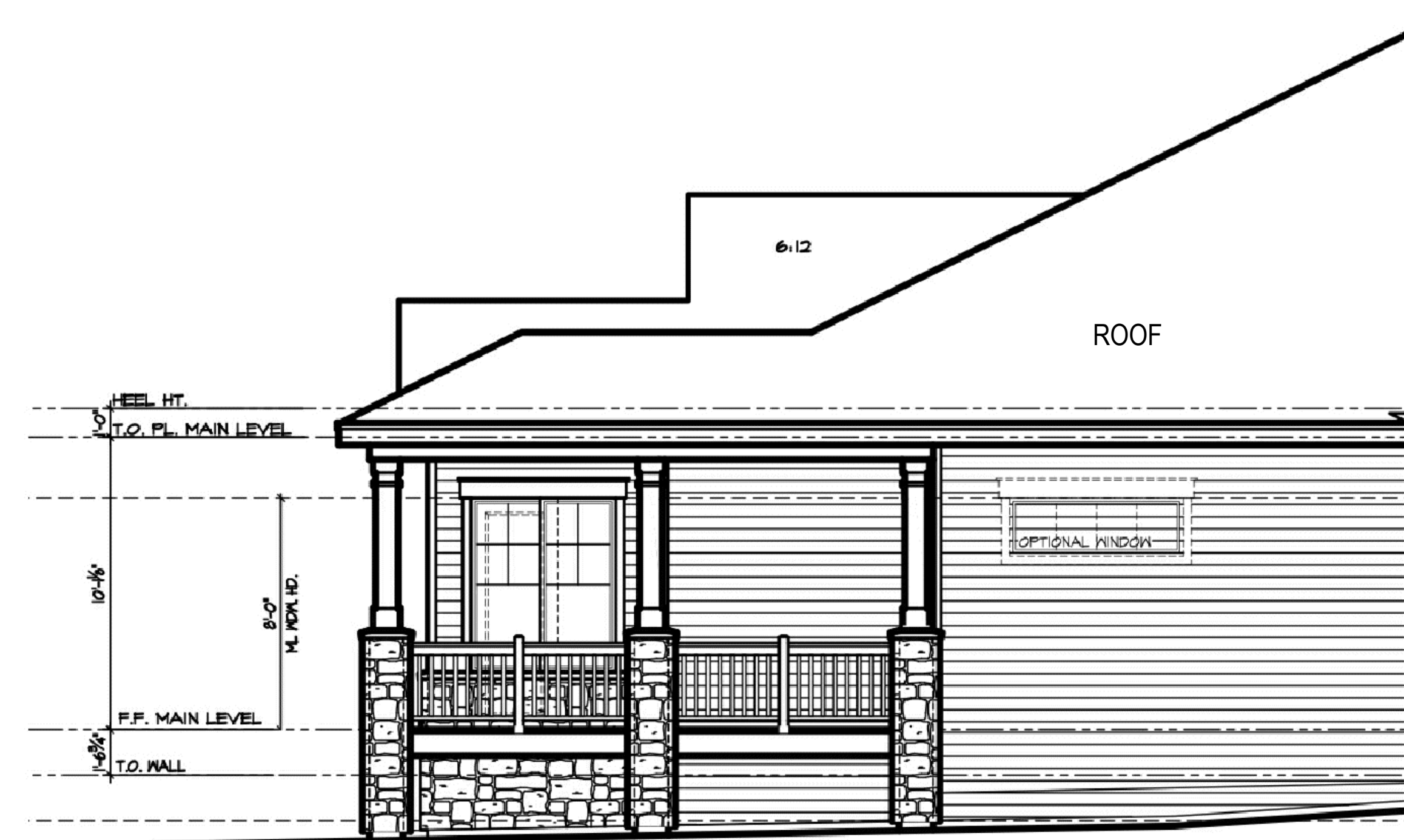


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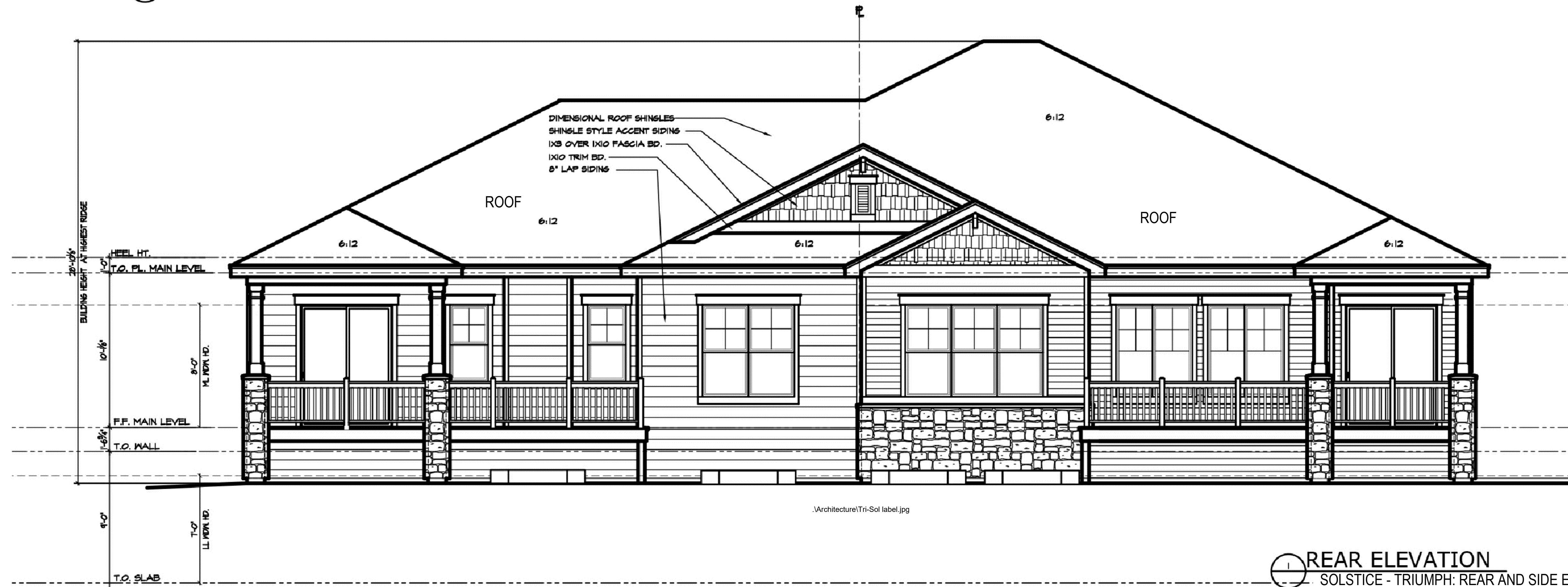
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3 RIGHT SIDE ELEVATION

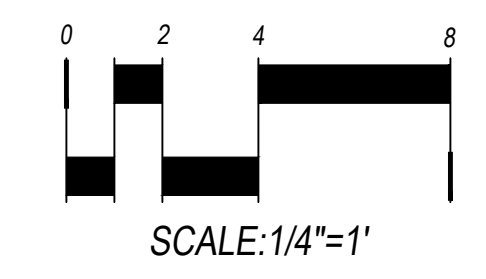


2 LEFT SIDE ELEVATION



1 REAR ELEVATION
 SOLSTICE - TRIUMPH: REAR AND SIDE ELEVATIONS - TRANSITION LOTS

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SHEET TITLE:
 ARCHITECTURAL
 ELEVATIONS


26
 SHEET 26 OF 69

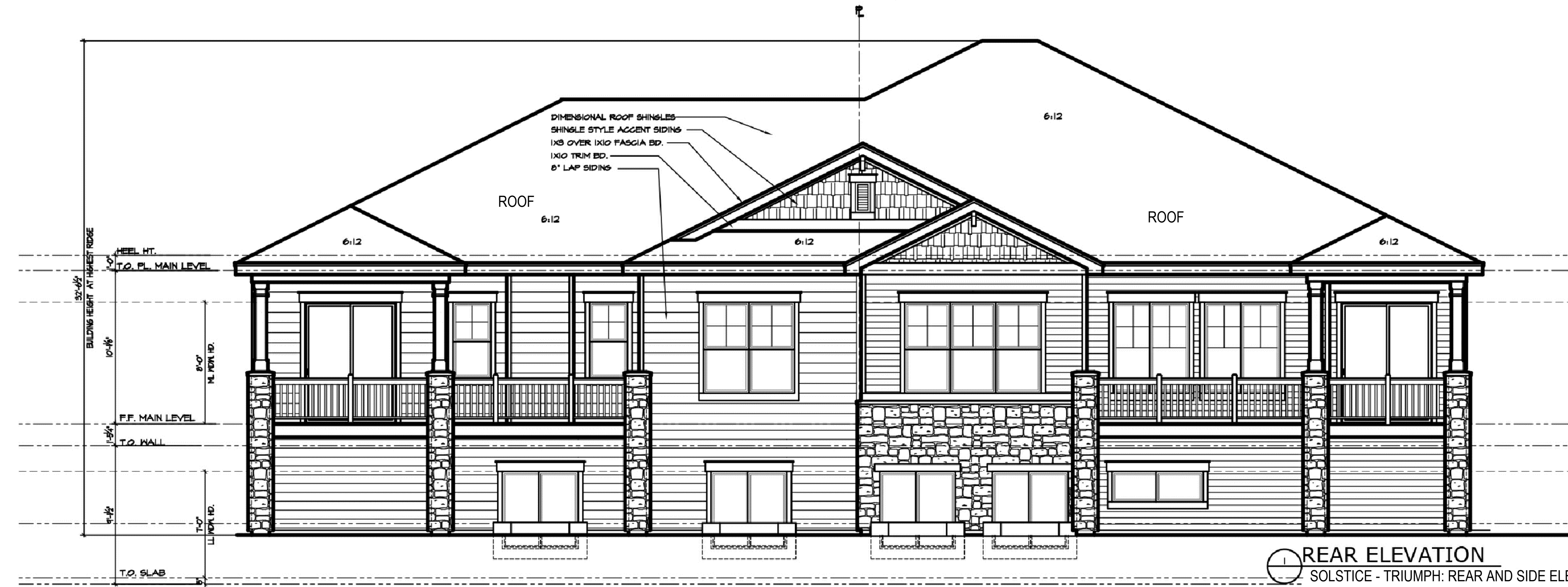
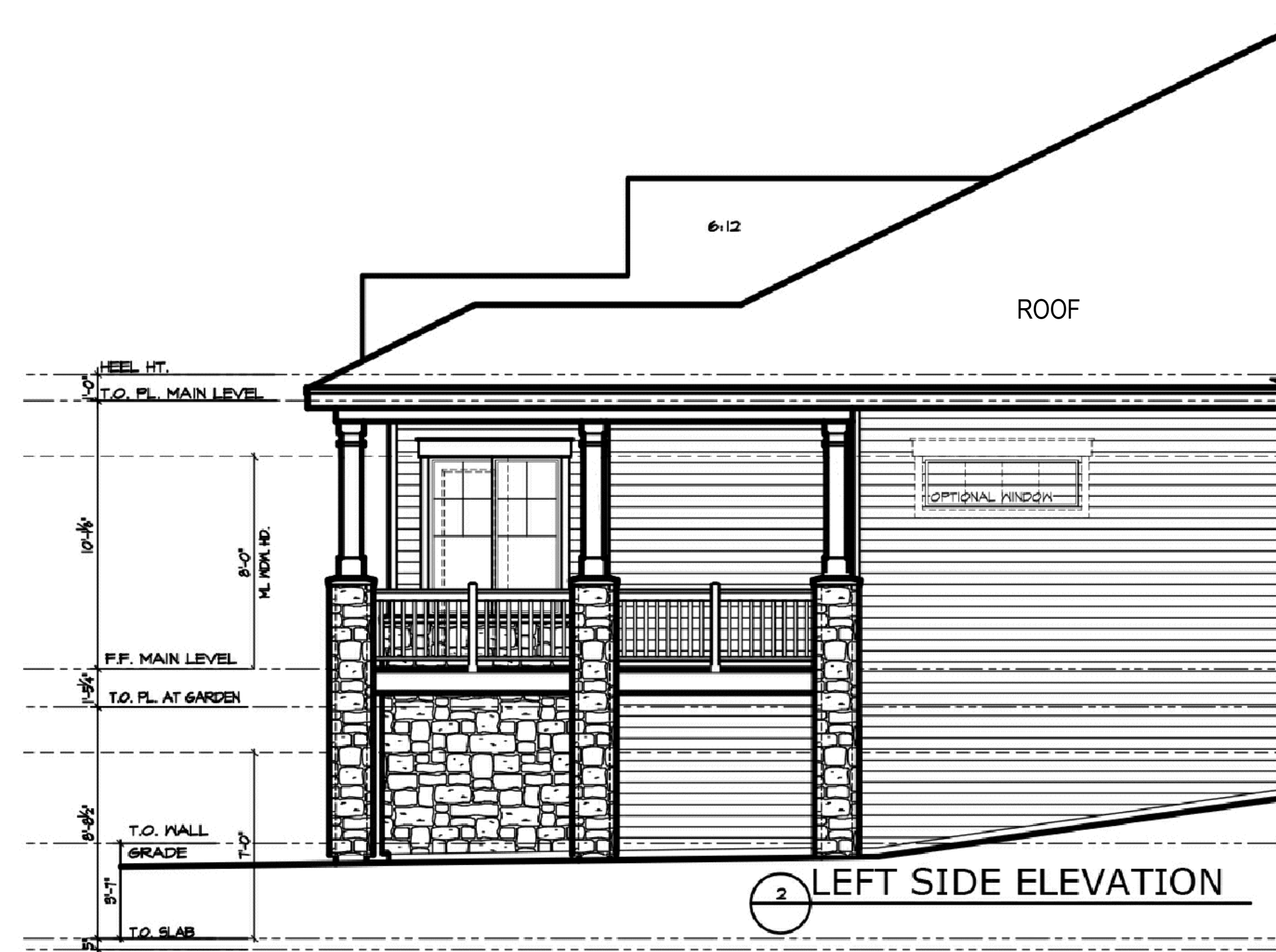
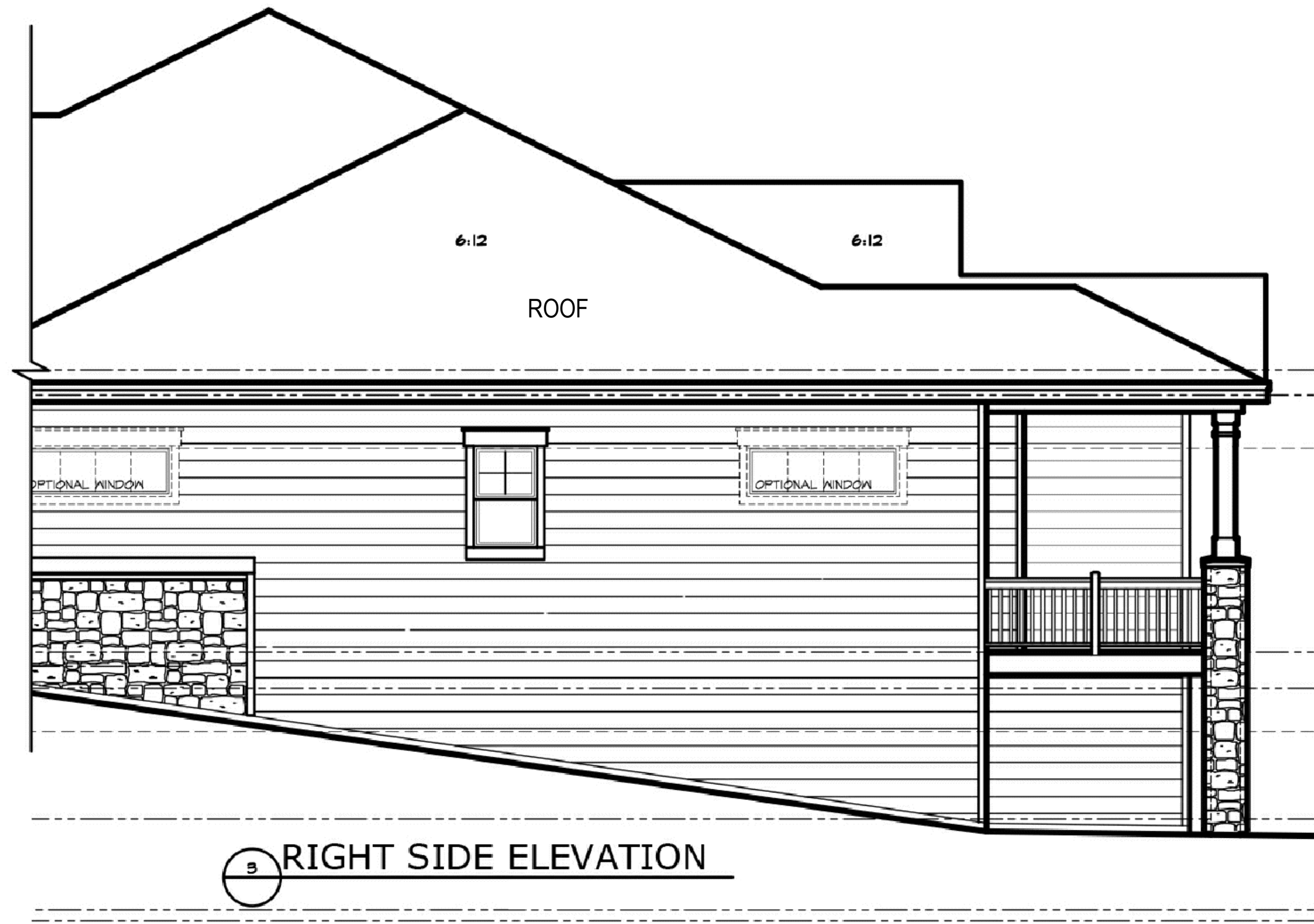
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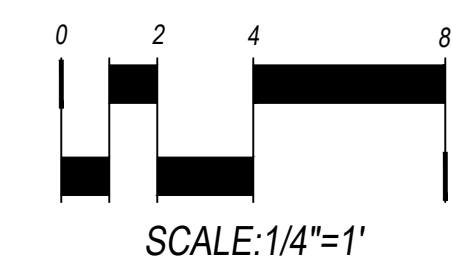
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SHEET TITLE:
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27
 SHEET 27 OF 69

NOT FOR CONSTRUCTION

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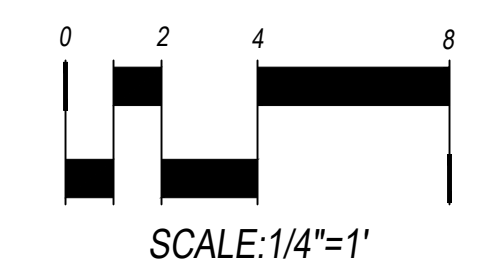
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SHEET TITLE:
 ARCH. COLORED
 ELEVATIONS

28
 SHEET 28 OF 69

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