

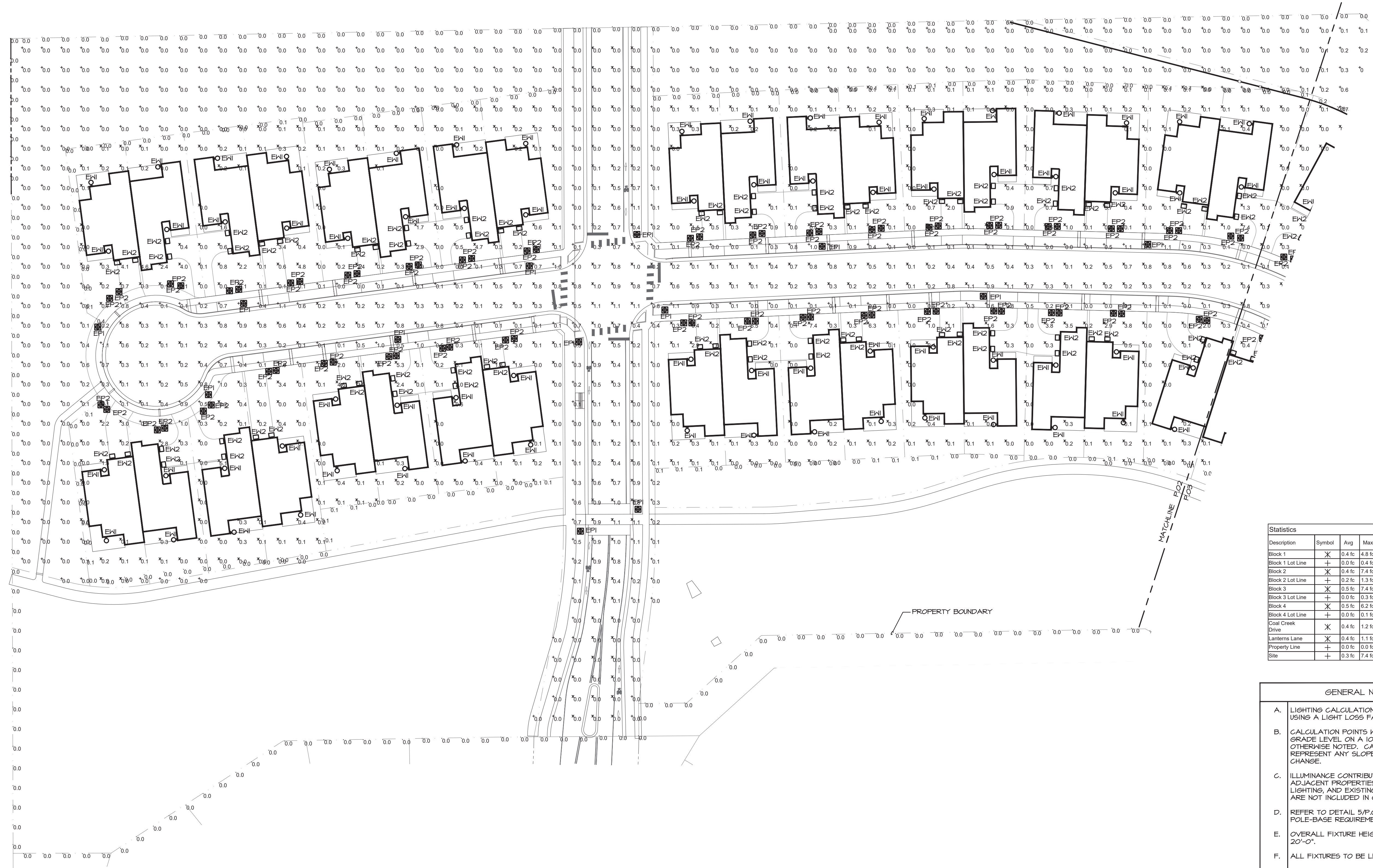
# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E

### ROCK CREEK RANCH FILING NO. 12A

**VESTED RIGHTS**  
 This Plan constitutes a site specific development plan as defined in Section 24-68-101, et, seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. Such a vested right shall be valid for a period of three (3) years, pursuant to approval by the Town of Superior Board of Trustees on 23rd Day of July, 2018

**NORRIS DESIGN**  
 Planning | Landscape Architecture | Project Promotion  
 1101 Bannock Street  
 Denver, Colorado 80204  
 P 303.892.1166  
 www.norris-design.com



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Block 1	X	0.4 fc	4.8 fc	0.0 fc	N/A	N/A
Block 1 Lot Line	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
Block 2	X	0.4 fc	7.4 fc	0.0 fc	N/A	N/A
Block 2 Lot Line	+	0.2 fc	1.3 fc	0.0 fc	N/A	N/A
Block 3	X	0.5 fc	7.4 fc	0.0 fc	N/A	N/A
Block 3 Lot Line	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
Block 4	X	0.5 fc	6.2 fc	0.0 fc	N/A	N/A
Block 4 Lot Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Coal Creek Drive	X	0.4 fc	1.2 fc	0.0 fc	N/A	N/A
Lanterns Lane	X	0.4 fc	1.1 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Site	+	0.3 fc	7.4 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- A. LIGHTING CALCULATIONS WERE CREATED USING A LIGHT LOSS FACTOR OF 1.0.
  - B. CALCULATION POINTS WERE TAKEN AT GRADE LEVEL ON A 10'X10' GRID, UNLESS OTHERWISE NOTED. CALCULATIONS DO NOT REPRESENT ANY SLOPE OF ELEVATION CHANGE.
  - C. ILLUMINANCE CONTRIBUTIONS FROM ADJACENT PROPERTIES, LANDSCAPE LIGHTING, AND EXISTING STREET LUMINAIRES ARE NOT INCLUDED IN CALCULATIONS.
  - D. REFER TO DETAIL 5/P.05 FOR POLE AND POLE-BASE REQUIREMENTS.
  - E. OVERALL FIXTURE HEIGHTS NOT TO EXCEED 20'-0".
  - F. ALL FIXTURES TO BE LED AND FULL CUTOFF.
  - G. STREET POLES TO BE MOUNTED 3'-6" OFF BACK-OF-CURB PER REQUIREMENTS OF TOWN STANDARDS.

NORTH  
  
**1 | PHOTOMETRIC PLAN 1**  
 P.02 SCALE: 1"=40'-0"

**ROCK CREEK RANCH FIL. NO. 12A**  
 FINAL PLAT SITE PLAN 35, AMENDMENT #1  
 SUPERIOR, COLORADO

OWNER:  
 SUPERIOR ROCK CREEK, LLC  
 1440 BLAKE ST. 3320  
 DENVER, CO 80202

APPLICANT:  
 BOULDER CREEK  
 NEIGHBORHOODS  
 712 MAIN STREET  
 LOUISVILLE, CO



DATE:  
 JANUARY 24, 2018  
 APRIL 18, 2018  
 JUNE 13, 2018  
 JULY 16, 2018  
 OCTOBER 5, 2018  
 OCTOBER 19, 2018

SHEET TITLE:  
 PHOTOMETRIC  
 PLAN 1

P.02  
 SHEET 49 OF 69

CHECKED BY:  
 DRAWN BY:  
 LV  
 RB/CTCM

**NOT FOR CONSTRUCTION**



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E

### ROCK CREEK RANCH FILING NO. 12A

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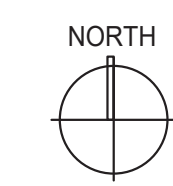
SHEET TITLE:  
 PHOTOMETRIC  
 PLAN 2

P.03

SHEET 50 OF 69

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Block 1	X	0.4 fc	4.8 fc	0.0 fc	N/A	N/A
Block 1 Lot Line	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
Block 2	X	0.4 fc	7.4 fc	0.0 fc	N/A	N/A
Block 2 Lot Line	+	0.2 fc	1.3 fc	0.0 fc	N/A	N/A
Block 3	X	0.5 fc	7.4 fc	0.0 fc	N/A	N/A
Block 3 Lot Line	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
Block 4	X	0.5 fc	6.2 fc	0.0 fc	N/A	N/A
Block 4 Lot Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Coal Creek Drive	X	0.4 fc	1.2 fc	0.0 fc	N/A	N/A
Lanterns Lane	X	0.4 fc	1.1 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Site	+	0.3 fc	7.4 fc	0.0 fc	N/A	N/A

- GENERAL NOTES
- A. LIGHTING CALCULATIONS WERE CREATED USING A LIGHT LOSS FACTOR OF 1.0.
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  - E. OVERALL FIXTURE HEIGHTS NOT TO EXCEED 20'-0".
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  - G. STREET POLES TO BE MOUNTED 3'-6" OFF BACK-OF-CURB PER REQUIREMENTS OF TOWN STANDARDS.



1 | PHOTOMETRIC PLAN 2  
 P.03 SCALE: 1"=40'-0"

CHECKED BY:  
 DRAWN BY:  
 LV  
 RB/CTCM

**NOT FOR CONSTRUCTION**



**FINAL PLAT SITE PLAN 35, AMENDMENT #1**  
**BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E**  
**ROCK CREEK RANCH FILING NO. 12A**

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Block 1	X	0.4 ft	4.8 ft	0.0 ft	N/A	N/A
Block 1 Lot Line	+	0.0 ft	0.4 ft	0.0 ft	N/A	N/A
Block 2	X	0.4 ft	7.4 ft	0.0 ft	N/A	N/A
Block 2 Lot Line	+	0.2 ft	1.3 ft	0.0 ft	N/A	N/A
Block 3	X	0.5 ft	7.4 ft	0.0 ft	N/A	N/A
Block 3 Lot Line	+	0.0 ft	0.3 ft	0.0 ft	N/A	N/A
Block 4	X	0.5 ft	6.2 ft	0.0 ft	N/A	N/A
Block 4 Lot Line	+	0.0 ft	0.1 ft	0.0 ft	N/A	N/A
Coal Creek Drive	X	0.4 ft	1.2 ft	0.0 ft	N/A	N/A
Luminaire Line	X	0.4 ft	1.1 ft	0.0 ft	N/A	N/A
Property Line	+	0.0 ft	0.0 ft	0.0 ft	N/A	N/A
Site	+	0.3 ft	7.4 ft	0.0 ft	N/A	N/A

GENERAL NOTES	
A.	LIGHTING CALCULATIONS WERE CREATED USING A LIGHT LOSS FACTOR OF 1.0.
B.	CALCULATION POINTS WERE TAKEN AT GRADE LEVEL ON A 10'X10' GRID, UNLESS OTHERWISE NOTED. CALCULATIONS DO NOT REPRESENT ANY SLOPE OF ELEVATION CHANGE.
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**ROCK CREEK RANCH FIL. NO. 12A**  
**FINAL PLAT SITE PLAN 35, AMENDMENT #1**  
 SUPERIOR, COLORADO

OWNER:  
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 1440 BLAKE ST. 3320  
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SHEET TITLE:  
 PHOTOMETRIC  
 PLAN 3

P.04  
 SHEET 51 OF 69



1 | PHOTOMETRIC PLAN 3  
 P.04 | SCALE: 1"=40'-0"

**NOT FOR CONSTRUCTION**

CHECKED BY: LV  
 DRAWN BY: RB/CTCM



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E

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ROCK CREEK RANCH FIL. NO. 12A

FINAL PLAT SITE PLAN 35, AMENDMENT #1

SUPERIOR, COLORADO

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 OCTOBER 19, 2018

SHEET TITLE:  
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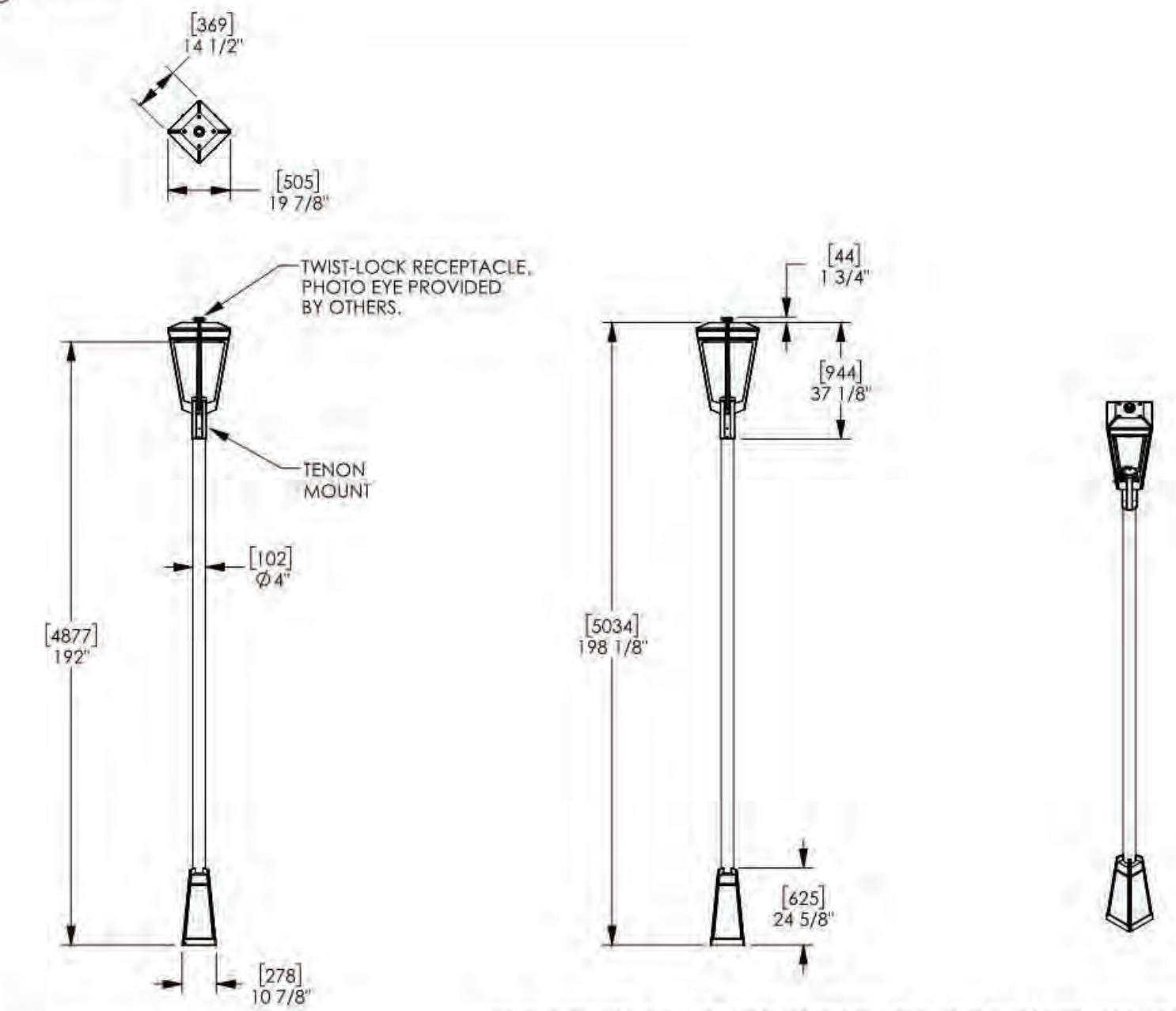
P.05  
 SHEET 52 OF 69

Ashbery  
 Product Drawing

(4) 3/4" x 18" THREADED RODS AND LEVELING NUTS INCLUDED

LED OPTIONS:

TYPE 3  
 TYPE 5  
 3000K  
 3500K  
 4000K

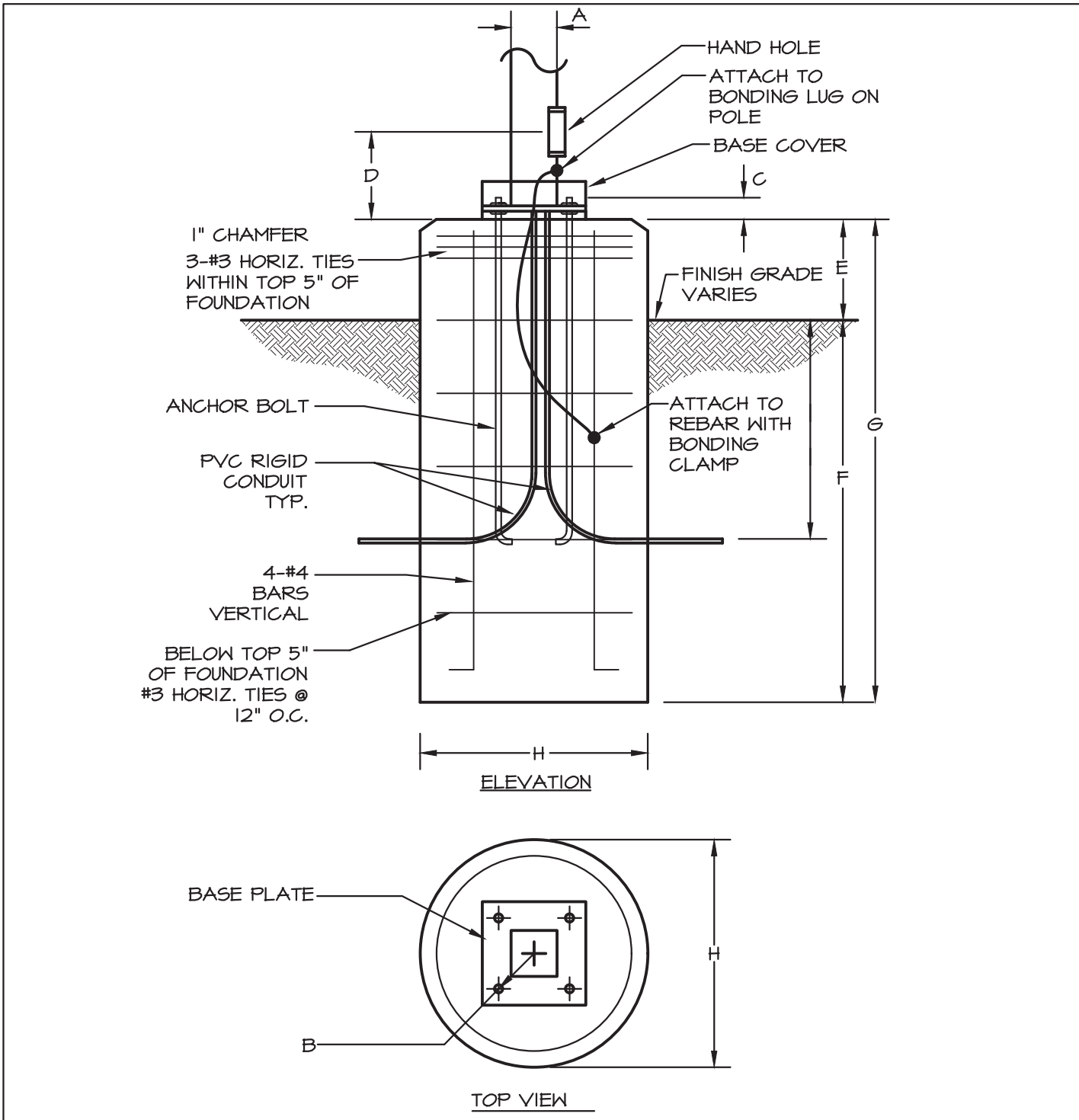


landscapeforms

Drawing: AP0023  
 Dimensions are in inches [mm]  
 Patent Pending

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1 | EP1  
 P.05 SCALE: NTS



POLE KEY	POLE HEIGHT	OVERALL HEIGHT	ARM LENGTH	A	ANCHOR BOLT DATA			D	E	F	G	H	I
EPI	16'0"	16'0"	N/A	4"	B	SIZE	C	0'0"	7'0"	7'0"	24"	36"	

5 | POLE BASE DETAIL

P.05 SCALE: N.T.S.

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP			MAX WATTS	FINISH	QTY	MOUNTING LOCATION	INFORMATION BOF/BFD/OFH	NOTES
					QTY	WATT	TYPE						
EP1	TRADITIONAL LED POST-TOP TYPE 3 DISTRIBUTION, DARK SKY	LANDSCAPE FORMS	ASHBERY #AF0023, TYPE 3, 3000K, INTEGRAL PHOTOCELL RECEPTACLE	120/277V	1	25	LED	25	BRONZE	21	POLE	16' TOP	
EP2	OUTDOOR POLE LANTERN LIGHT LOW-LEVEL FENCE POST-TOP, NOT STREET LIGHTING	KICHLER	49583OZ (OLDE BRONZE)	120	1	40	LED	40	BRONZE	124	POST	4' TOP	
EW1	EXTERIOR RESIDENTIAL WALL SCENCE DARK SKY COMPLIANT	KICHLER	49059OZ (OLDE BRONZE)	120	1	40	LED	40	BRONZE	124	TOP SURFACE WALL	6' BOF	
EW2	EXTERIOR GARAGE WALL SCENCE DARK SKY COMPLIANT	KICHLER	49061OZ (OLDE BRONZE)	120	1	40	LED	40	BRONZE	124	SURFACE WALL	6' BOF	

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, TOP - TOP OF FIXTURE, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH

**Pallerton Way Collection**  
 Pallerton Way 1 Light Outdoor Post Lantern - OZ  
 49583OZ (Olde Bronze)



Dimensions	
Height	23.00"
Width	8.50"

Alternate Lamps					
Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Hybrid	CFL	23-30W		

Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_

**Ordering Information**  
 Product ID 49583OZ  
 Finish Olde Bronze  
 Collection Pallerton Way Collection

**Dimensions**  
 Weight 7.70 LBS

**Specifications**  
 Material Aluminum  
 Diffuser Description Etched Seeded

**Electrical**  
 Voltage 120V

**Qualifications**  
 Safety Rated Wet  
 Warranty www.kichler.com/warranty

**Primary Lamping**  
 Light Source Incandescent  
 Lamp Included Not Included  
 # of Bulbs/LED Modules 1  
 Max or Nominal Watt 100W  
 Socket Wire 105  
 Socket Type Medium  
 Lamp Type A21

Kichler  
 7711 East Pleasant Valley Road  
 Cleveland, Ohio 44131-8010  
 Toll free: 866.558.5706 or kichler.com

Notes:  
 1) Information provided is subject to change without notice.  
 All values are design or typical values when measured under laboratory conditions.  
 2) Incandescent Equivalent: The incandescent equivalent is presented as an approximate number and is for reference only.



2 | EP2 - LOW-LEVEL ABOVE RESIDENCE FENCING  
 P.05 SCALE: NONE

**Ripley Collection**  
 Ripley 1 Light Outdoor Wall Light in Olde Bronze  
 49059OZ (Olde Bronze)



Dimensions	
Height	7.50"
Width	8.00"

Alternate Lamps					
Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Alternate	INCA	60W		

Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_

**Ordering Information**  
 Product ID 49059OZ  
 Finish Olde Bronze  
 Collection Ripley Collection

**Dimensions**  
 Extension 9.25"  
 Height from center of Wall opening 2.50"  
 Base Backplate 5.25 DIA  
 Weight 0.50 LBS

**Specifications**  
 Material Aluminum

**Electrical**  
 Voltage 120V

**Qualifications**  
 Safety Rated Wet  
 Dark Sky Yes  
 Warranty www.kichler.com/warranty

**Primary Lamping**  
 Light Source Incandescent  
 Lamp Included Not Included  
 # of Bulbs/LED Modules 1  
 Max or Nominal Watt 40W  
 Socket Wire 150  
 Socket Type Medium  
 Lamp Type R14FL

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3 | EW1  
 P.05 SCALE: NONE

**Ripley Collection**  
 Ripley 1 Light Outdoor Wall Lantern in Olde Bronze  
 49061OZ (Olde Bronze)



Dimensions	
Height	10.00"
Width	12.00"

Alternate Lamps					
Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Alternate	INCA	60W		

Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_

**Ordering Information**  
 Product ID 49061OZ  
 Finish Olde Bronze  
 Collection Ripley Collection

**Dimensions**  
 Extension 13.00"  
 Height from center of Wall opening 3.25"  
 Weight 1.50 LBS

**Specifications**  
 Material Aluminum

**Electrical**  
 Voltage 120V

**Qualifications**  
 Safety Rated Wet  
 Dark Sky Yes  
 Warranty www.kichler.com/warranty

**Primary Lamping**  
 Light Source Incandescent  
 Lamp Included Not Included  
 # of Bulbs/LED Modules 1  
 Max or Nominal Watt 40W  
 Socket Wire 150  
 Socket Type Medium  
 Lamp Type R14FL

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 Cleveland, Ohio 44131-8010  
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4 | EW2  
 P.05 SCALE: NONE

CHECKED BY:  
 DRAWN BY:  
 LV  
 RB/CTCM

NOT FOR CONSTRUCTION



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

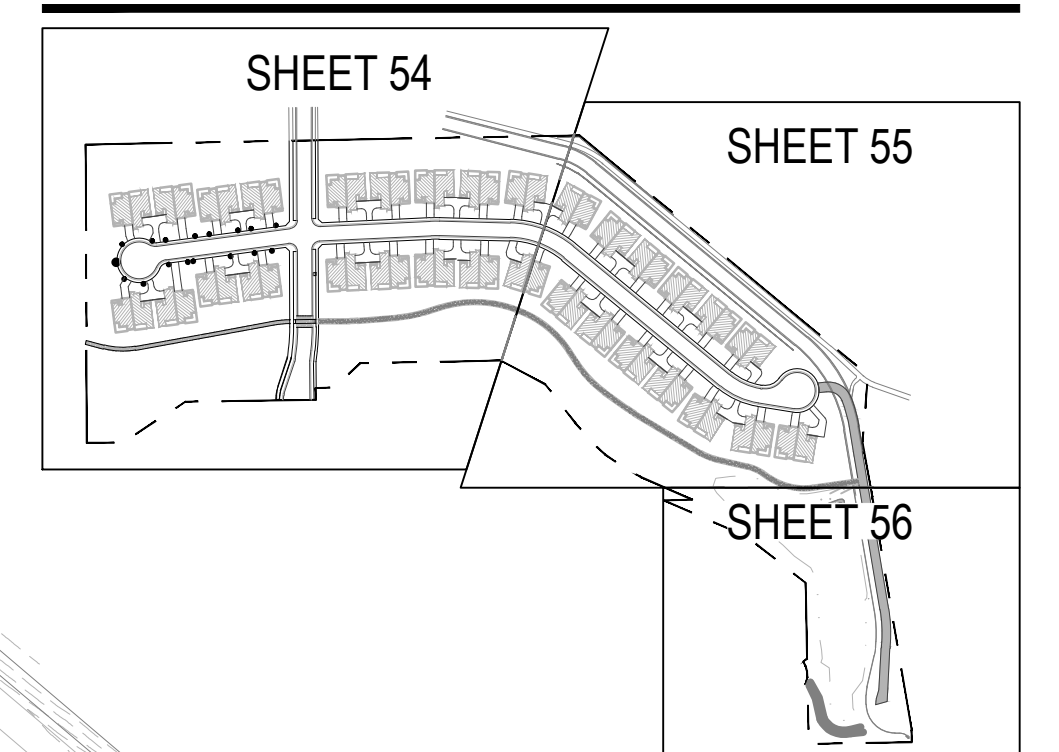
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Denver, Colorado 80204  
P 303.892.1166

www.norris-design.com

KEY MAP: NTS



### LEGEND

- |  |                        |  |                       |
|--|------------------------|--|-----------------------|
|  | CANOPY TREE            |  | SOD                   |
|  | EVERGREEN TREES        |  | IRRIGATED NATIVE SEED |
|  | ORNAMENTAL TREE        |  |                       |
|  | DECIDUOUS SHRUBS       |  |                       |
|  | EVERGREEN SHRUBS       |  |                       |
|  | PROPOSED STREET LIGHT  |  |                       |
|  | PET STATION            |  |                       |
|  | EXISTING VEGETATION    |  |                       |
|  | STEEL EDGER            |  |                       |
|  | PROPERTY BOUNDARY      |  |                       |
|  | 3-RAIL FENCE           |  |                       |
|  | SOUND WALL (RE: CIVIL) |  |                       |

### NOTES:

- IF CONSTRUCTION OF PROMENADE DRIVE HAS NOT COMMENCED PRIOR TO ISSUANCE OF FINAL BUILDING PERMIT TO DEVELOPER, THEN LANDSCAPE AND IRRIGATION IMPROVEMENTS WITHIN OUTLOT A SHALL BE INSTALLED BY DEVELOPER. THESE IMPROVEMENTS WITHIN OUTLOT A SHALL CONSIST OF INSTALLING AND MAINTAINING THROUGH THE TOWN'S TWO-YEAR WARRANTY PERIOD THE PLANTING BED NORTH OF THE SOUND WALL AND IRRIGATED NATIVE SEED AREA AS SHOWN ON SHEET 54, 55 AND 56 OF THIS FINAL PLAT SITE PLAN. IF CONSTRUCTION OF PROMENADE DRIVE COMMENCES PRIOR TO ISSUANCE OF DEVELOPER'S FINAL BUILDING PERMIT, DEVELOPER SHALL NOT BE RESPONSIBLE FOR INSTALLING AND MAINTAINING IRRIGATED NATIVE SEED AREA, ADDITIONAL IMPROVEMENTS SHOWN ON SHEET 57 OF THIS FINAL PLAT SITE PLAN, OR FURTHER MAINTENANCE OF IMPROVEMENTS PREVIOUSLY INSTALLED IN OUTLOT A BEGINNING ON THE DATE PROMENADE DRIVE CONSTRUCTION IS INITIATED AND UPON INSPECTION AND ACCEPTANCE OF THESE IMPROVEMENTS BY THE TOWN.

### ABBREVIATED LANDSCAPE PLANT LIST (RE: SHEET 58)

SYM.	COMMON NAME	MATURE HT./SPD.
<b>DECIDUOUS CANOPY TREES</b>		
CAL	WESTERN CATALPA	HT: 50' / SPD: 30'
EKC	ESPRESSO KENTUCKY COFFEETREE	HT: 50' / SPD: 30'
ELM	ACCOLADE ELM	HT: 50' / SPD: 30'
GLL	GLENLEVEN LINDEN	HT: 45' / SPD: 30'
LAN	LANCELEAF COTTONWOOD	HT: 50' / SPD: 30'
MSS	STATE STREET MAPLE	HT: 40' / SPD: 30'
SKY	SKYLINE HONEY LOCUST	HT: 50' / SPD: 30'
<b>EVERGREEN TREES</b>		
AUS	AUSTRIAN PINE	HT: 50' / SPD: 20'
BSP	BAKERI SPRUCE	HT: 30' / SPD: 10'
CBS	COLORADO BLUE SPRUCE	HT: 60' / SPD: 25'
PON	PONDEROSA PINE	HT: 40' / SPD: 25'
VWP	VANDERWOLF'S PYRAMID PINE	HT: 20' / SPD: 10'
<b>DECIDUOUS ORNAMENTAL TREES</b>		
ABS	AUTUMN BRILLIANCE SERVICEBERRY	HT: 15' / SPD: 10'
JTL	JAPANESE TREE LILAC	HT: 15' / SPD: 12'
SPR	SPRING SNOW CRABAPPLE	HT: 20' / SPD: 15'
TCH	THORNLESS COCKSPUR HAWTHORN	HT: 20' / SPD: 15'
<b>DECIDUOUS SHRUBS (7'+ SPREAD)</b>		
CPL	COMMON PURPLE LILAC	HT: 15' / SPD: 8'
STS	STAGHORN SUMAC	HT: 10' / SPD: 8'
VBV	BURKWOOD VIBURNUM	HT: 6' / SPD: 8'
<b>DECIDUOUS SHRUBS (5' -7' SPREAD)</b>		
BMS	BLUE MIST SPIREA	HT: 3' / SPD: 3'
MKL	MISS KIM LILAC	HT: 5' / SPD: 5'
<b>DECIDUOUS SHRUBS (2' - 5' SPREAD)</b>		
AWS	ANTHONY WATERER SPIREA	HT: 3' / SPD: 3'
KEL	KELSEY DOGWOOD	HT: 2' / SPD: 2'
KNO	KNOCK OUT ROSE (RED)	HT: 3' / SPD: 4'
KNY	KNOCK OUT ROSE (YELLOW)	HT: 4' / SPD: 4'
<b>EVERGREEN SHRUBS</b>		
CCB	CORAL BEAUTY COTONEASTER	HT: 2' / SPD: 6'
MPA	MANZANITA PANCHITO	HT: 2' / SPD: 4'
WTJ	WILTONI BLUE RUG JUNIPER	HT: 6" / SPD: 6'
<b>UPRIGHT EVERGREENS</b>		
MEJ	MEDORA JUNIPER	HT: 10' / SPD: 5'
<b>ORNAMENTAL GRASSES</b>		
AVG	BLUE AVENA GRASS	HT: 2' / SPD: 2'
FRG	FEATHER REED GRASS	HT: 4' / SPD: 2'
HFG	HARDY FOUNTAIN GRASS	HT: 3' / SPD: 2'
PMG	PURPLE MAIDAN GRASS	HT: 3' / SPD: 2'
SHG	SHENANDOAH SWITCHGRASS	HT: 3' / SPD: 2'
<b>PERENNIALS</b>		
BES	BLACK EYED SUSAN	
DDY	STELLA D'ORO DAYLILY	
DSD	DWARF SHASTA DAISY	
VSB	GOODNESS GROWS VERONICA SPEEDWELL	



**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

**OWNER:**  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

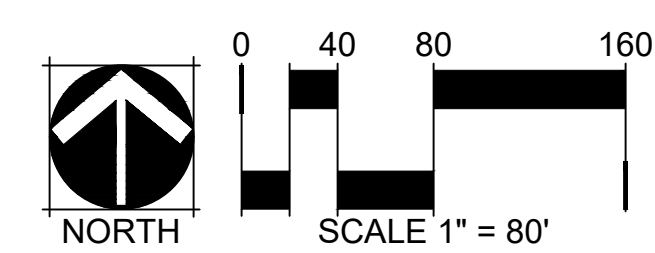
**APPLICANT:**  
BOULDER CREEK  
NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO



**DATE:**

JANUARY 24, 2018
APRIL 18, 2018
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OCTOBER 19, 2018
SEPTEMBER 27, 2021
OCTOBER 13, 2021

**SHEET TITLE:**  
OVERALL  
LANDSCAPE PLAN



**NOT FOR CONSTRUCTION**

CHECKED BY: LV  
DRAWN BY: RB/CTCM



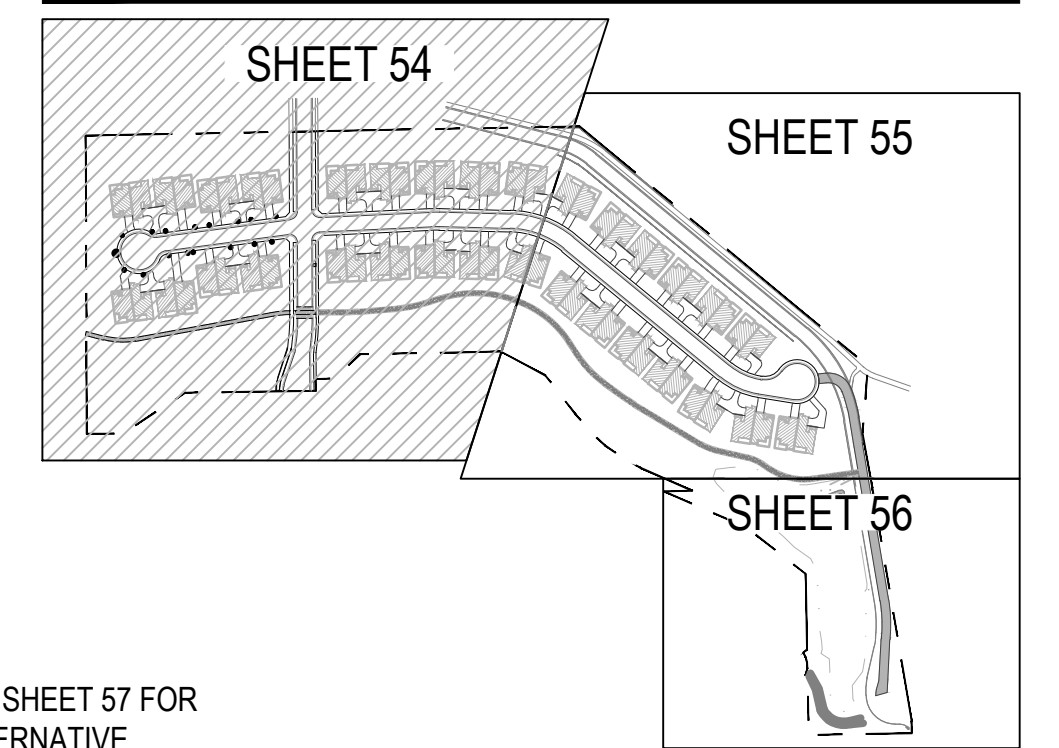
# FINAL PLAT SITE PLAN 35, AMENDMENT #1

**BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E**  
**ROCK CREEK RANCH FILING NO. 12A**

**VESTED RIGHTS**  
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**NORRIS DESIGN**  
 Planning | Landscape Architecture | Project Promotion  
 1101 Bannock Street  
 Denver, Colorado 80204  
 P 303.892.1166  
 www.norris-design.com

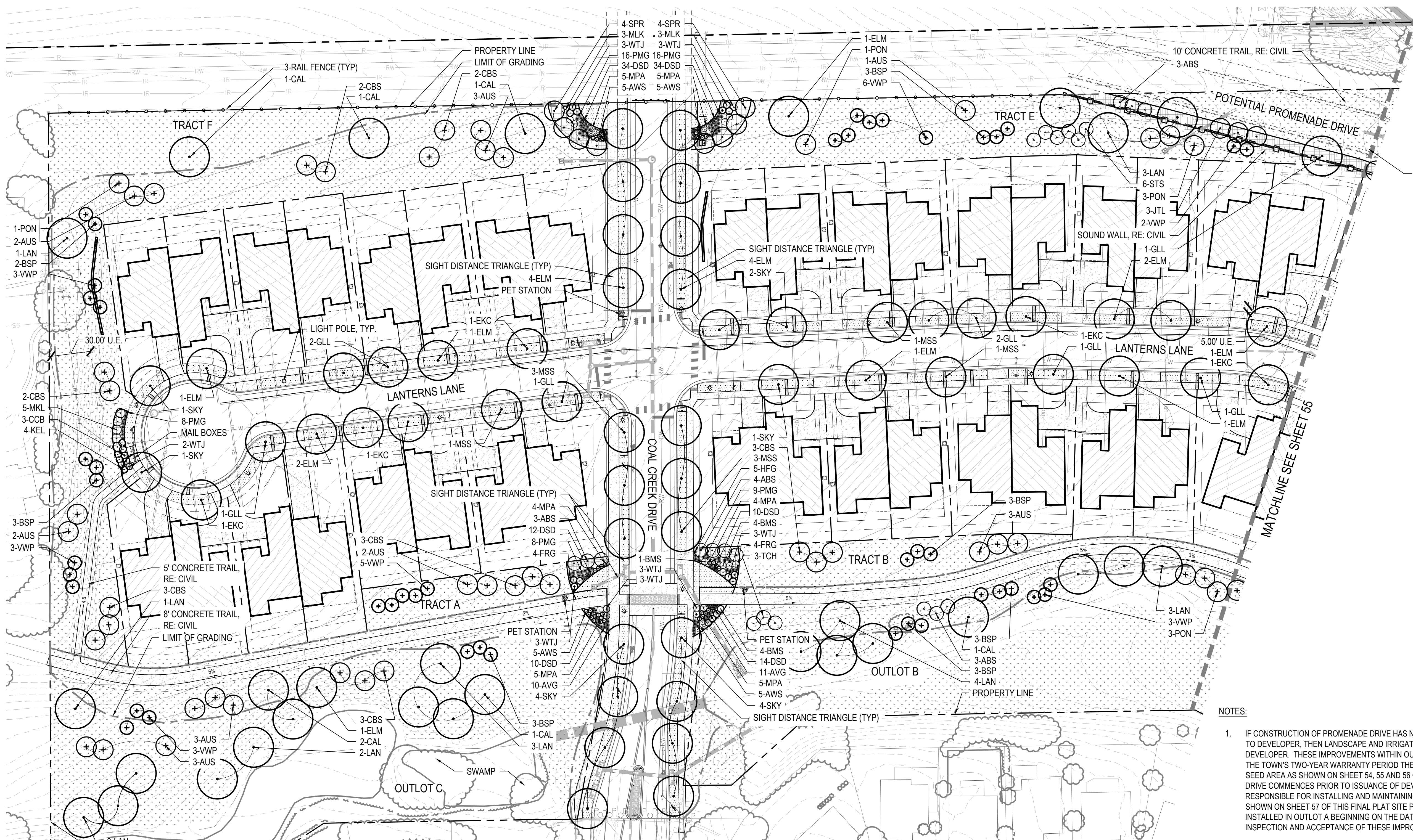
KEY MAP: NTS



SEE SHEET 57 FOR ALTERNATIVE LANDSCAPE PLAN.

**LEGEND**

- SOD
- IRRIGATED NATIVE SEED
- PLANTING BED
- STEEL EDGER
- LIMITS OF GRADING
- PROPERTY BOUNDARY
- 3-RAIL FENCE
- PROPOSED SANITARY LINE
- PROPOSED WATER LINE
- CANOPY TREE
- EVERGREEN TREES
- ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- PROPOSED STREET LIGHT
- PET STATION
- EXISTING VEGETATION



**NOTES:**

- IF CONSTRUCTION OF PROMENADE DRIVE HAS NOT COMMENCED PRIOR TO ISSUANCE OF FINAL BUILDING PERMIT TO DEVELOPER, THEN LANDSCAPE AND IRRIGATION IMPROVEMENTS WITHIN OUTLOT A SHALL BE INSTALLED BY DEVELOPER. THESE IMPROVEMENTS WITHIN OUTLOT A SHALL CONSIST OF INSTALLING AND MAINTAINING THROUGH THE TOWN'S TWO-YEAR WARRANTY PERIOD THE PLANTING BED NORTH OF THE SOUND WALL AND IRRIGATED NATIVE SEED AREA AS SHOWN ON SHEET 54, 55 AND 56 OF THIS FINAL PLAT SITE PLAN. IF CONSTRUCTION OF PROMENADE DRIVE COMMENCES PRIOR TO ISSUANCE OF DEVELOPER'S FINAL BUILDING PERMIT, DEVELOPER SHALL NOT BE RESPONSIBLE FOR INSTALLING AND MAINTAINING IRRIGATED NATIVE SEED AREA, ADDITIONAL IMPROVEMENTS SHOWN ON SHEET 57 OF THIS FINAL PLAT SITE PLAN, OR FURTHER MAINTENANCE OF IMPROVEMENTS PREVIOUSLY INSTALLED IN OUTLOT A BEGINNING ON THE DATE PROMENADE DRIVE CONSTRUCTION IS INITIATED AND UPON INSPECTION AND ACCEPTANCE OF THESE IMPROVEMENTS BY THE TOWN.

**ABBREVIATED LANDSCAPE PLANT LIST (RE: SHEET 58)**

SYM.	COMMON NAME	MATURE HT./SPD.
<b>DECIDUOUS CANOPY TREES</b>		
CAL	WESTERN CATALPA	HT: 50' / SPD: 30'
EKC	ESPRESSO KENTUCKY COFFEETREE	HT: 50' / SPD: 12'
ELM	ACCOLADE ELM	HT: 50' / SPD: 30'
GLL	GLENLEVEN LINDEN	HT: 45' / SPD: 30'
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MSS	STATE STREET MAPLE	HT: 40' / SPD: 30'
SKY	SKYLINE HONEY LOCUST	HT: 50' / SPD: 30'
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PON	PONDEROSA PINE	HT: 40' / SPD: 25'
VWP	VANDERWOLF'S PYRAMID PINE	HT: 20' / SPD: 10'

**DECIDUOUS ORNAMENTAL TREES**

ABS	AUTUMN BRILLANCE SERVICEBERRY	HT: 15' / SPD: 10'
JTL	JAPANESE TREE LILAC	HT: 15' / SPD: 12'
SPR	SPRING SNOW CRABAPPLE	HT: 20' / SPD: 15'
TCH	THORNLESS COCKSPUR HAWTHORN	HT: 20' / SPD: 15'

**DECIDUOUS SHRUBS (7'+ SPREAD)**

CPL	COMMON PURPLE LILAC	HT: 15' / SPD: 8'
STS	STAGHORN SUMAC	HT: 10' / SPD: 8'
VBU	BURKWOOD VIBURNUM	HT: 6' / SPD: 8'

**DECIDUOUS SHRUBS (5' - 7' SPREAD)**

BMS	BLUE MIST SPIREA	HT: 3' / SPD: 3'
MKL	MISS KIM LILAC	HT: 5' / SPD: 5'

**DECIDUOUS SHRUBS (2' - 5' SPREAD)**

AWS	ANTHONY WATERER SPIREA	HT: 3' / SPD: 3'
KEL	KELSEY DOGWOOD	HT: 2' / SPD: 2'
KNO	KNOCK OUT ROSE (RED)	HT: 3' / SPD: 4'
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**EVERGREEN SHRUBS**

CCB	CORAL BEAUTY COTONEASTER	HT: 2' / SPD: 6'
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**UPRIGHT EVERGREENS**

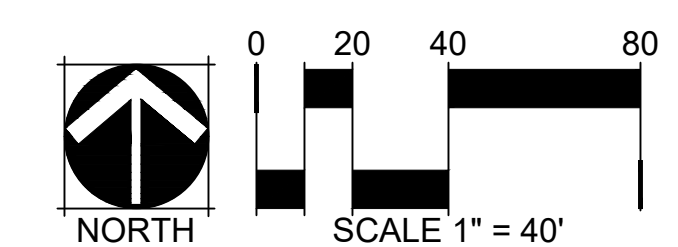
MEJ	MEDORA JUNIPER	HT: 10' / SPD: 5'
-----	----------------	-------------------

**ORNAMENTAL GRASSES**

AVG	BLUE AVENA GRASS	HT: 2' / SPD: 2'
FRG	FEATHER REED GRASS	HT: 4' / SPD: 2'
HFG	HARDY FOUNTAIN GRASS	HT: 3' / SPD: 2'
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**PERENNIALS**

BES	BLACK EYED SUSAN
DDY	STELLA D'ORO DAYLILY
DSD	DWARF SHASTA DAISY
VSB	GOODNESS GROWS VERONICA SPEEDWELL



**ROCK CREEK RANCH FIL. NO. 12A**  
 FINAL PLAT SITE PLAN 35, AMENDMENT #1  
 SUPERIOR, COLORADO

**OWNER:**  
 SUPERIOR ROCK CREEK, LLC  
 1440 BLAKE ST. 3320  
 DENVER, CO 80202

**APPLICANT:**  
 BOULDER CREEK  
 NEIGHBORHOODS  
 712 MAIN STREET  
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 SEPTEMBER 27, 2021  
 OCTOBER 13, 2021

**SHEET TITLE:**  
 LANDSCAPE  
 PLAN

54  
 SHEET 54 OF 69

**NOT FOR CONSTRUCTION**

CHECKED BY: LV  
 DRAWN BY: RB/CTCM



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

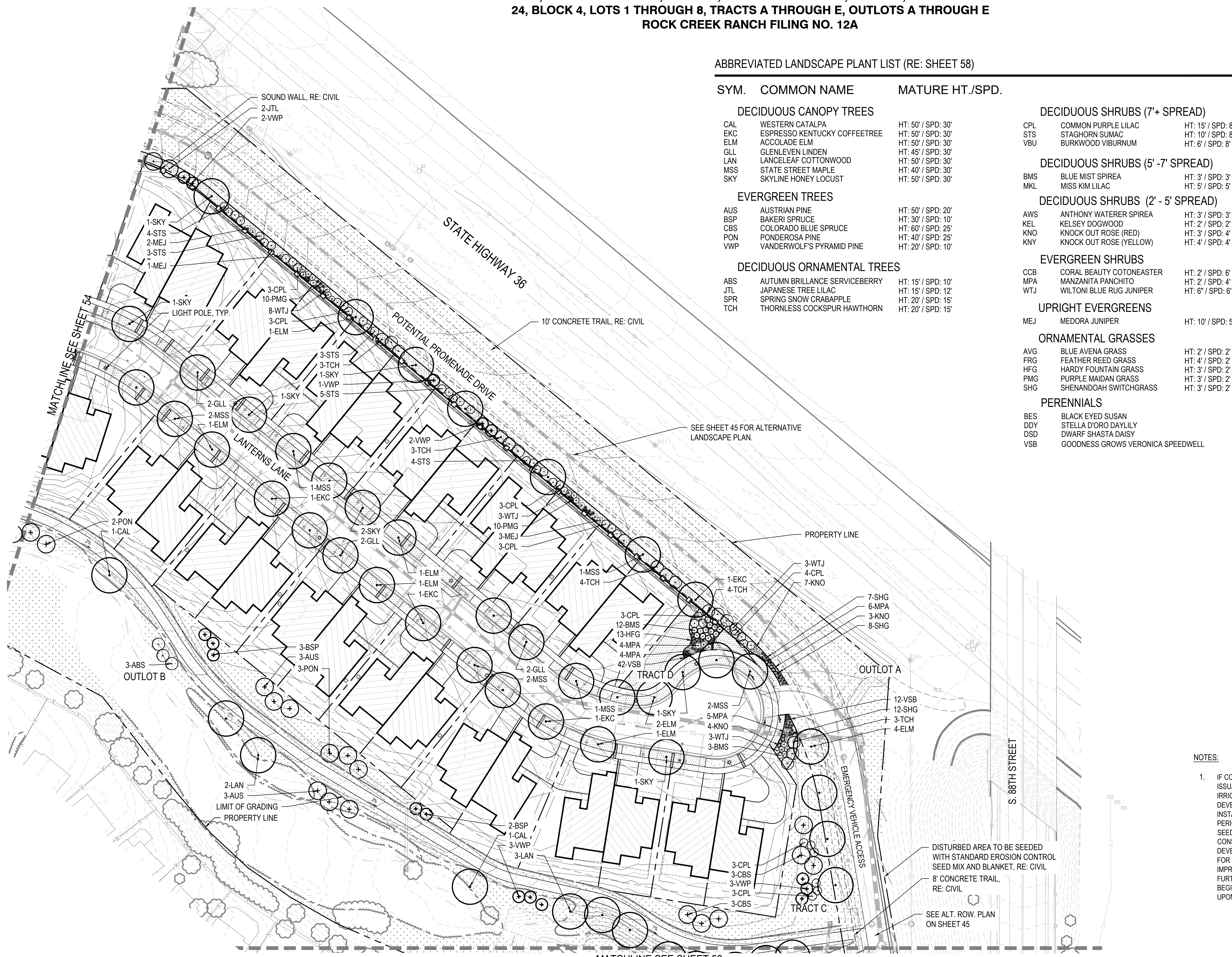
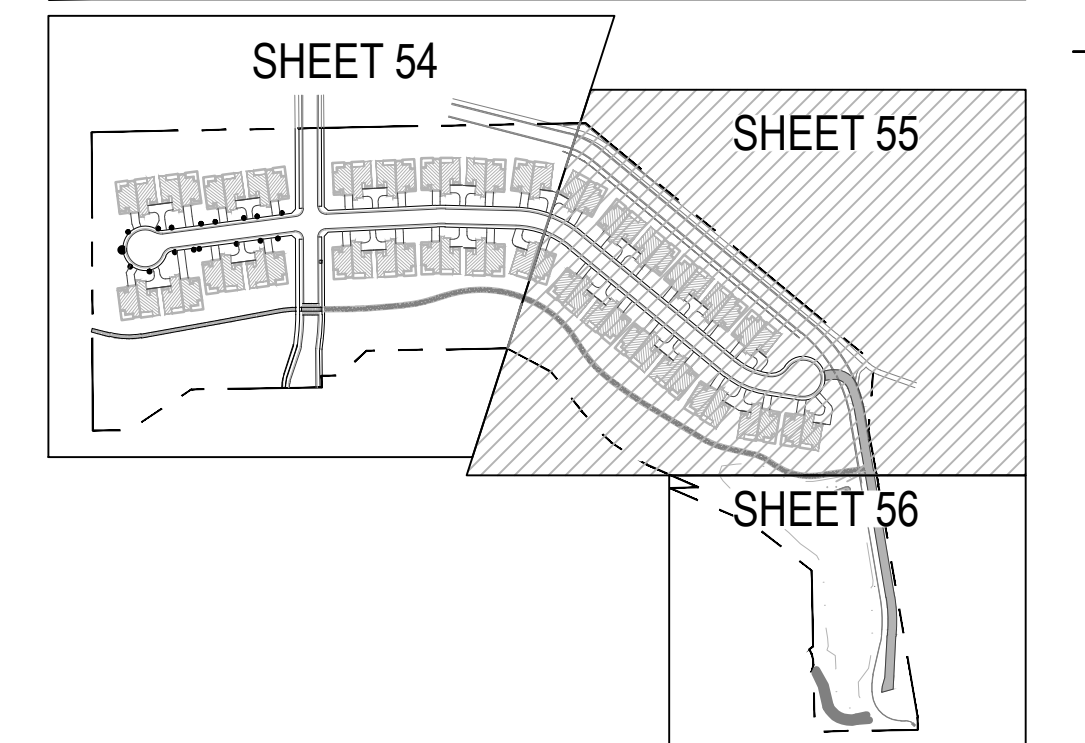
## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

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### ABBREVIATED LANDSCAPE PLANT LIST (RE: SHEET 58)

SYM.	COMMON NAME	MATURE HT./SPD.
<b>DECIDUOUS CANOPY TREES</b>		
CAL	WESTERN CATALPA	HT: 50' / SPD: 30'
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ELM	ACCOLADE ELM	HT: 50' / SPD: 30'
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MSS	STATE STREET MAPLE	HT: 40' / SPD: 30'
SKY	SKYLINE HONEY LOCUST	HT: 50' / SPD: 30'
<b>EVERGREEN TREES</b>		
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SPR	SPRING SNOW CRABAPPLE	HT: 20' / SPD: 15'
TCH	THORNLESS COCKSPUR HAWTHORN	HT: 20' / SPD: 15'
<b>DECIDUOUS SHRUBS (7'+ SPREAD)</b>		
CPL	COMMON PURPLE LILAC	HT: 15' / SPD: 8'
STS	STAGHORN SUMAC	HT: 10' / SPD: 8'
VBU	BURKWOOD VIBURNUM	HT: 6' / SPD: 8'
<b>DECIDUOUS SHRUBS (5' - 7' SPREAD)</b>		
BMS	BLUE MIST SPIREA	HT: 3' / SPD: 3'
MKL	MISS KIM LILAC	HT: 5' / SPD: 5'
<b>DECIDUOUS SHRUBS (2' - 5' SPREAD)</b>		
AWS	ANTHONY WATERER SPIREA	HT: 3' / SPD: 3'
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<b>UPRIGHT EVERGREENS</b>		
MEJ	MEDORA JUNIPER	HT: 10' / SPD: 5'
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AVG	BLUE AVENA GRASS	HT: 2' / SPD: 2'
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<b>PERENNIALS</b>		
BES	BLACK EYED SUSAN	
DDY	STELLA D'ORO DAY LILY	
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VSB	GOODNESS GROWS VERONICA SPEEDWELL	

### KEY MAP: NTS



### LEGEND

	SOD
	IRRIGATED NATIVE SEED
	PLANTING BED
	STEEL EDGER
	LIMITS OF GRADING
	PROPERTY BOUNDARY
	3-RAIL FENCE
	PROPOSED SANITARY LINE
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### NOTES:

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**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

**OWNER:**  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

**APPLICANT:**  
BOULDER CREEK  
NEIGHBORHOODS  
712 MAIN STREET  
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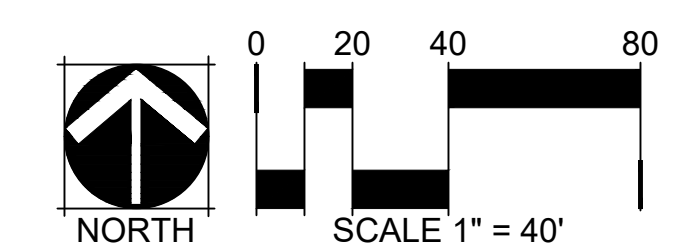
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SEPTEMBER 27, 2021  
OCTOBER 13, 2021

**SHEET TITLE:**  
LANDSCAPE  
PLAN

55  
SHEET 55 OF 69



**NOT FOR CONSTRUCTION**



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

**BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E**  
**ROCK CREEK RANCH FILING NO. 12A**

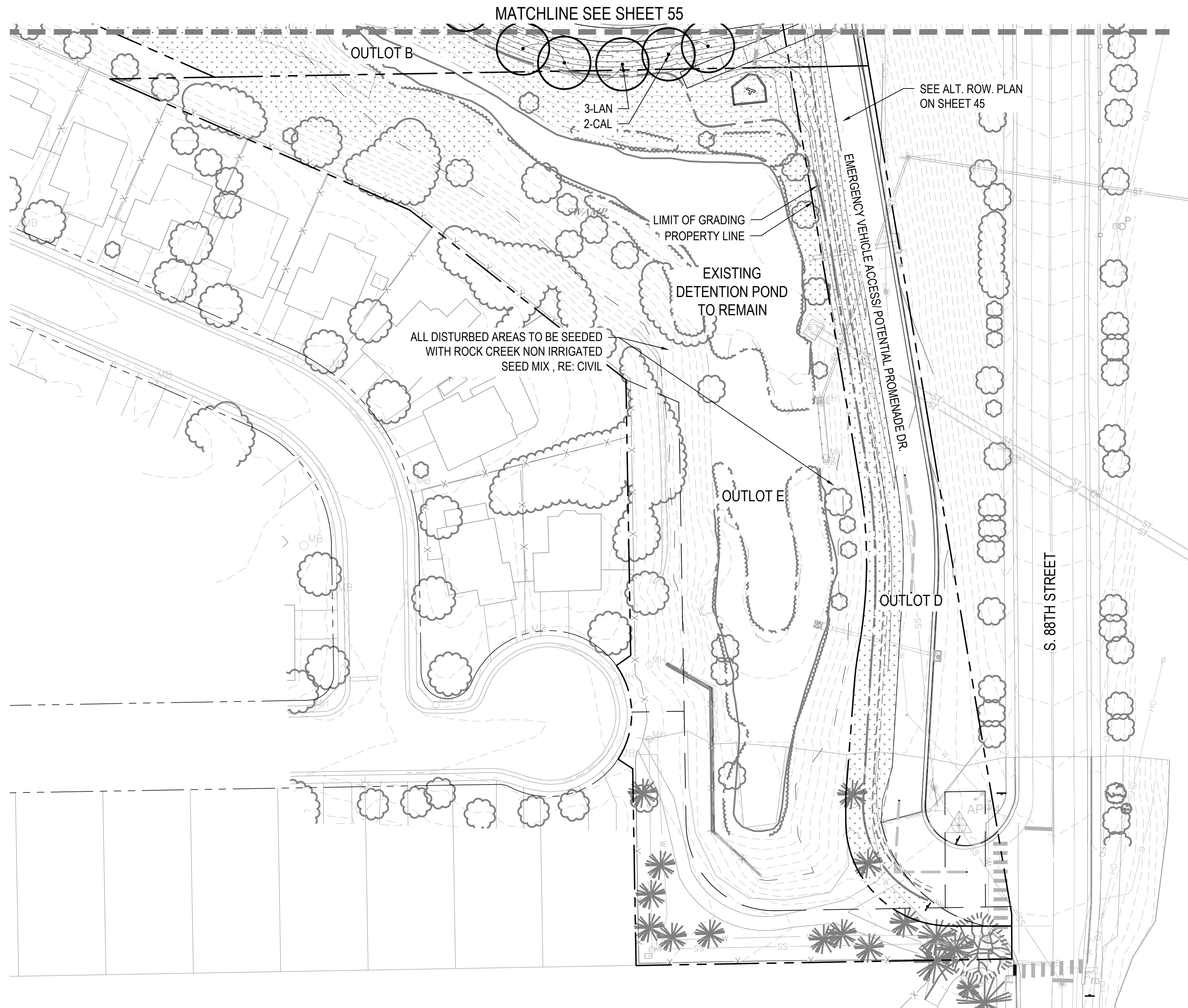
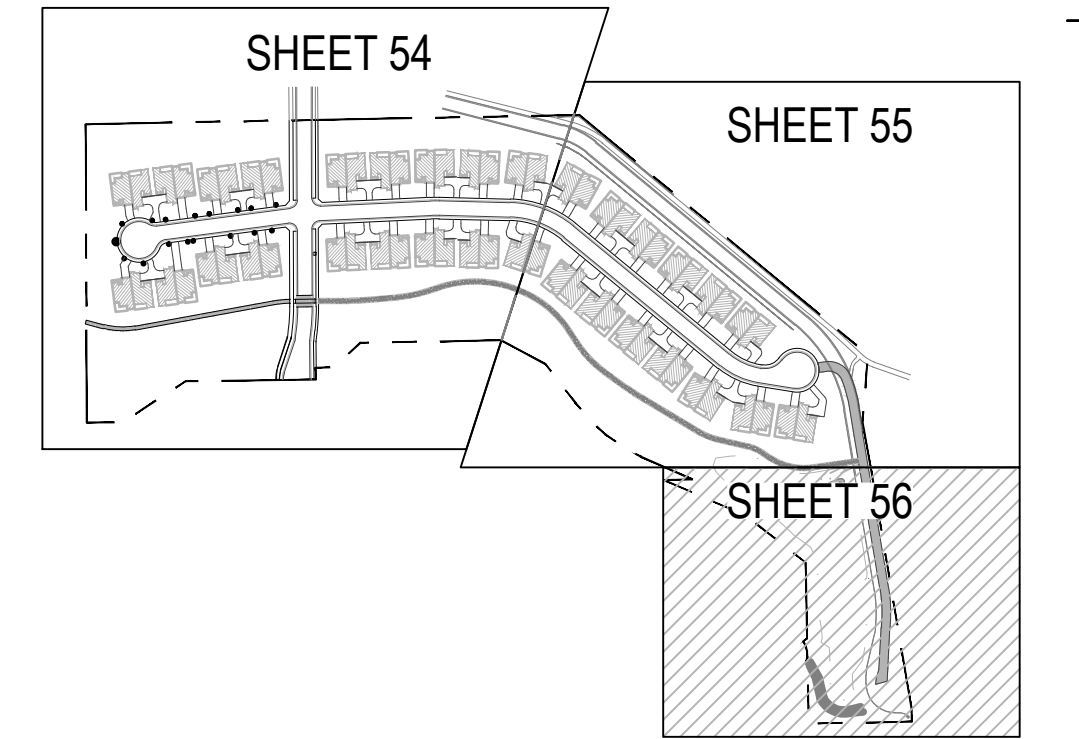
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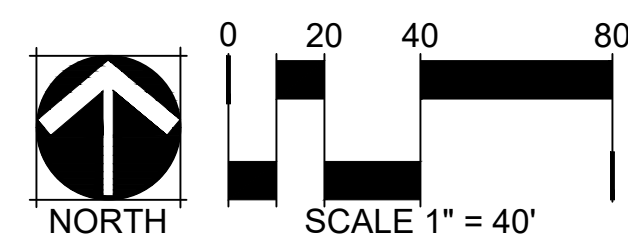
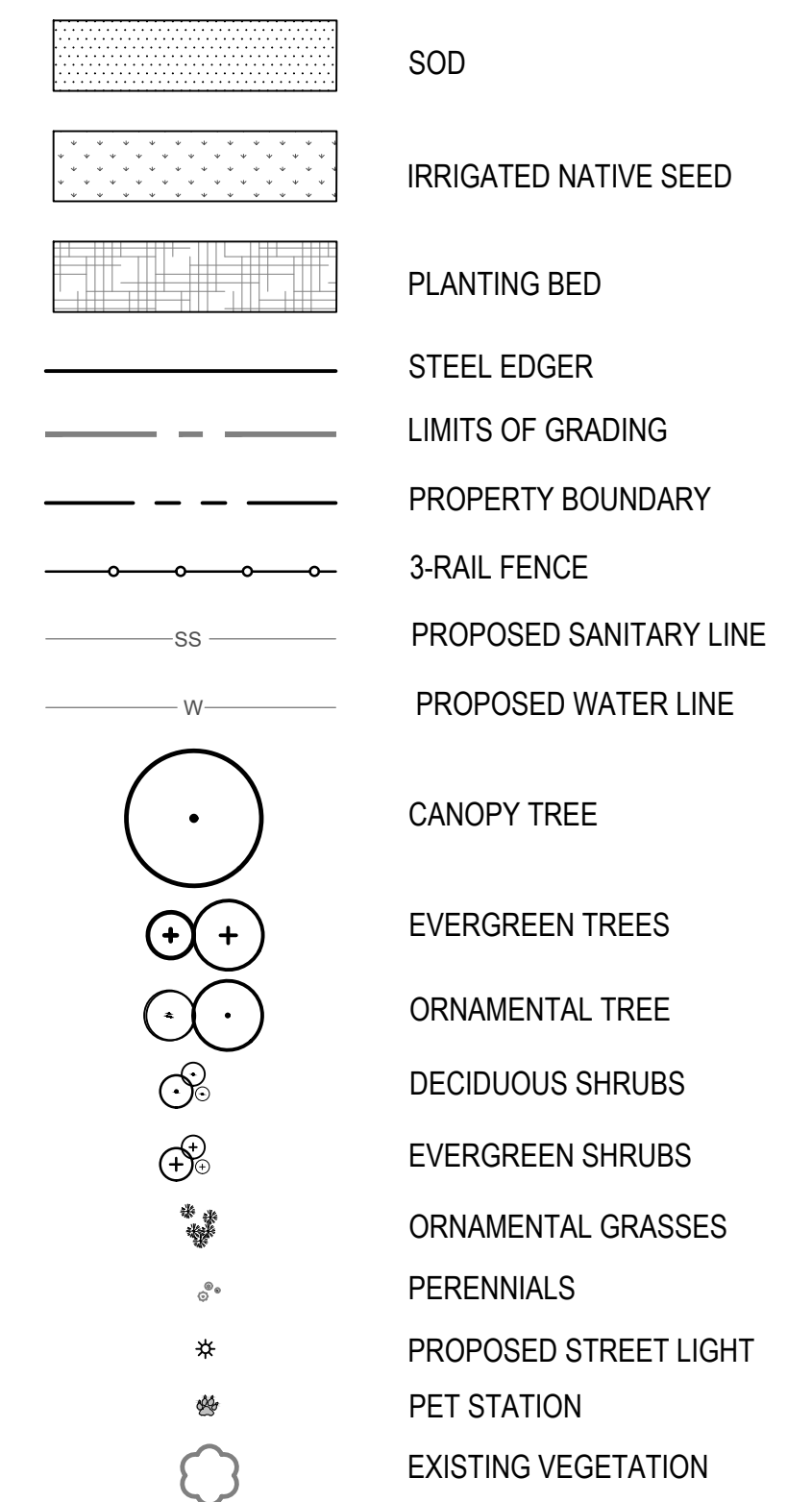
KEY MAP: NTS



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LEGEND



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 FINAL PLAT SITE PLAN 35, AMENDMENT #1  
 SUPERIOR, COLORADO

**OWNER:**  
 SUPERIOR ROCK CREEK, LLC  
 1440 BLAKE ST. 3320  
 DENVER, CO 80202

**APPLICANT:**  
 BOULDER CREEK  
 NEIGHBORHOODS  
 712 MAIN STREET  
 LOUISVILLE, CO



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- OCTOBER 13, 2021

**SHEET TITLE:**  
 LANDSCAPE  
 PLAN

56  
 SHEET 56 OF 69

**NOT FOR CONSTRUCTION**

CHECKED BY: LV  
 DRAWN BY: RB/CTCM



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

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712 MAIN STREET  
LOUISVILLE, CO



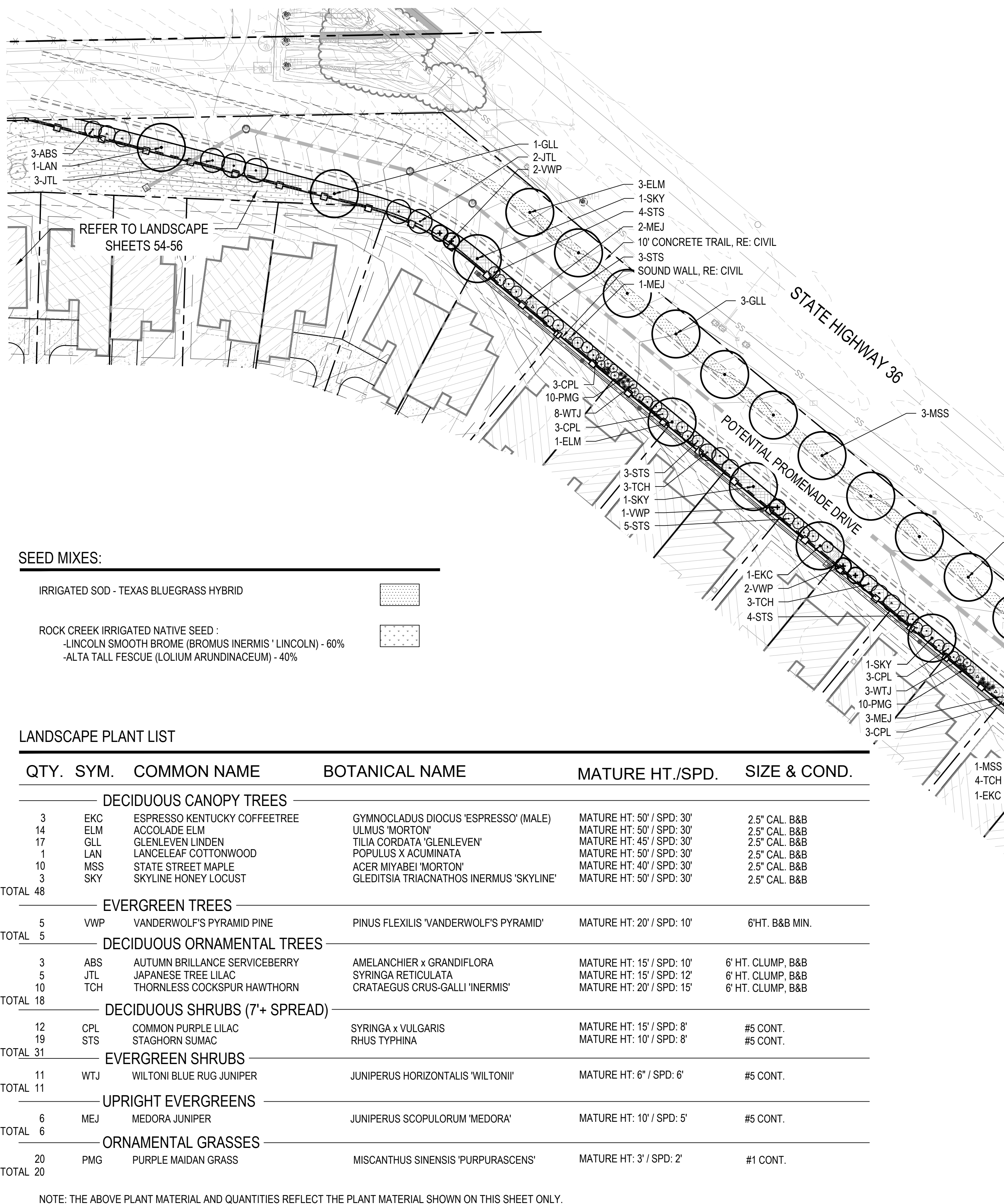
Know what's below.  
Call before you dig.

**DATE:**

JANUARY 24, 2018  
APRIL 18, 2018  
JUNE 13, 2018  
JULY 16, 2018  
OCTOBER 5, 2018  
OCTOBER 19, 2018  
SEPTEMBER 27, 2021  
OCTOBER 13, 2021

**SHEET TITLE:**  
PROMENADE  
LANDSCAPE -  
FULL BUILD OUT

57  
SHEET 57 OF 69



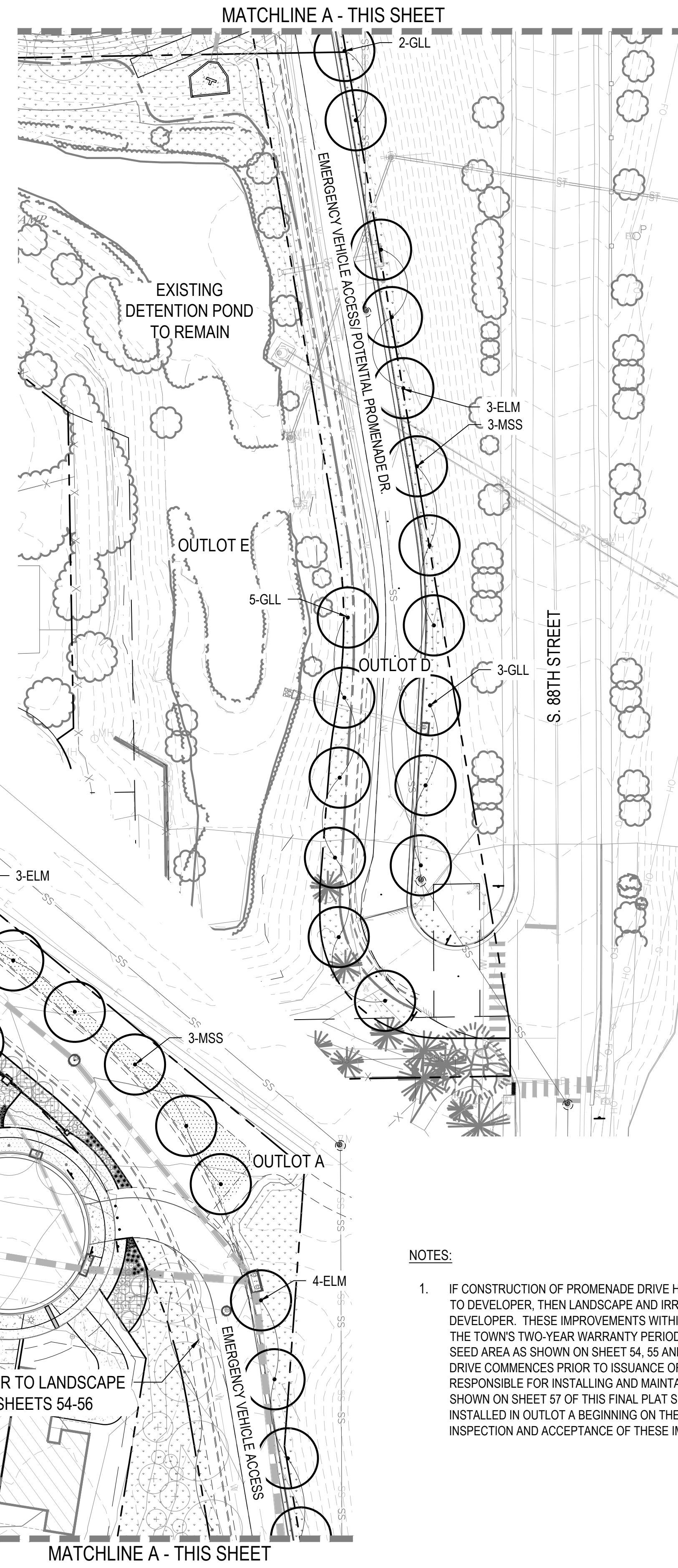
- SEED MIXES:**
- IRRIGATED SOD - TEXAS BLUEGRASS HYBRID
  - ROCK CREEK IRRIGATED NATIVE SEED :
    - LINCOLN SMOOTH BROME (BROMUS INERMIS ' LINCOLN) - 60%
    - ALTA TALL FESCUE (LOLIUM ARUNDINACEUM) - 40%

**LANDSCAPE PLANT LIST**

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	MATURE HT./SPD.	SIZE & COND.
<b>DECIDUOUS CANOPY TREES</b>					
3	EKC	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO' (MALE)	MATURE HT: 50' / SPD: 30'	2.5' CAL. B&B
14	ELM	ACCOLADE ELM	ULMUS 'MORTON'	MATURE HT: 50' / SPD: 30'	2.5' CAL. B&B
17	GLL	GLENLEVEN LINDEN	TILIA CORDATA 'GLENLEVEN'	MATURE HT: 45' / SPD: 30'	2.5' CAL. B&B
1	LAN	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	MATURE HT: 50' / SPD: 30'	2.5' CAL. B&B
10	MSS	STATE STREET MAPLE	ACER MIYABEI 'MORTON'	MATURE HT: 40' / SPD: 30'	2.5' CAL. B&B
3	SKY	SKYLINE HONEY LOCUST	GLEDITSIA TRIACNATHOS INERMUS 'SKYLINE'	MATURE HT: 50' / SPD: 30'	2.5' CAL. B&B
TOTAL	48				
<b>EVERGREEN TREES</b>					
5	VWP	VANDERWOLF'S PYRAMID PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	MATURE HT: 20' / SPD: 10'	6'HT. B&B MIN.
TOTAL	5				
<b>DECIDUOUS ORNAMENTAL TREES</b>					
3	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELANCHIER x GRANDIFLORA	MATURE HT: 15' / SPD: 10'	6' HT. CLUMP, B&B
5	JTL	JAPANESE TREE LILAC	SYRINGA RETICULATA	MATURE HT: 15' / SPD: 12'	6' HT. CLUMP, B&B
10	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI 'INERMIS'	MATURE HT: 20' / SPD: 15'	6' HT. CLUMP, B&B
TOTAL	18				
<b>DECIDUOUS SHRUBS (7+ SPREAD)</b>					
12	CPL	COMMON PURPLE LILAC	SYRINGA x VULGARIS	MATURE HT: 15' / SPD: 8'	#5 CONT.
19	STS	STAGHORN SUMAC	RHUS TYPHINA	MATURE HT: 10' / SPD: 8'	#5 CONT.
TOTAL	31				
<b>EVERGREEN SHRUBS</b>					
11	WTJ	WILTONI BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONI'	MATURE HT: 6' / SPD: 6'	#5 CONT.
TOTAL	11				
<b>UPRIGHT EVERGREENS</b>					
6	MEJ	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	MATURE HT: 10' / SPD: 5'	#5 CONT.
TOTAL	6				
<b>ORNAMENTAL GRASSES</b>					
20	PMG	PURPLE MAIDAN GRASS	MISCANTHUS SINENSIS 'PURPURASCENS'	MATURE HT: 3' / SPD: 2'	#1 CONT.
TOTAL	20				

NOTE: THE ABOVE PLANT MATERIAL AND QUANTITIES REFLECT THE PLANT MATERIAL SHOWN ON THIS SHEET ONLY.

**PROMENADE ROAD CONDITION**

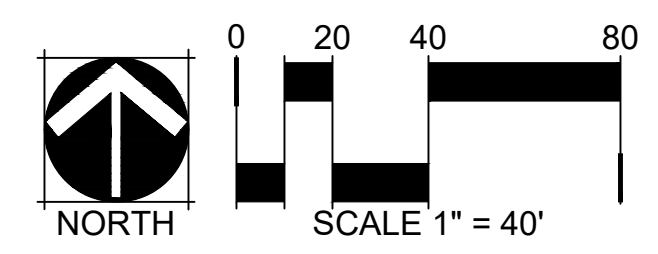


**LEGEND**

- IRRIGATED SOD
- IRRIGATED NATIVE SEED
- PLANTING BED
- STEEL EDGER
- LIMITS OF GRADING
- PROPERTY BOUNDARY
- 3-RAIL FENCE
- PROPOSED SANITARY LINE
- PROPOSED WATER LINE
- CANOPY TREE
- EVERGREEN TREES
- ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- PROPOSED STREET LIGHT
- PET STATION
- EXISTING VEGETATION

**NOTES:**

- IF CONSTRUCTION OF PROMENADE DRIVE HAS NOT COMMENCED PRIOR TO ISSUANCE OF FINAL BUILDING PERMIT TO DEVELOPER, THEN LANDSCAPE AND IRRIGATION IMPROVEMENTS WITHIN OUTLOT A SHALL BE INSTALLED BY DEVELOPER. THESE IMPROVEMENTS WITHIN OUTLOT A SHALL CONSIST OF INSTALLING AND MAINTAINING THROUGH THE TOWN'S TWO-YEAR WARRANTY PERIOD THE PLANTING BED NORTH OF THE SOUND WALL AND IRRIGATED NATIVE SEED AREA AS SHOWN ON SHEET 54, 55 AND 56 OF THIS FINAL PLAT SITE PLAN. IF CONSTRUCTION OF PROMENADE DRIVE COMMENCES PRIOR TO ISSUANCE OF DEVELOPER'S FINAL BUILDING PERMIT, DEVELOPER SHALL NOT BE RESPONSIBLE FOR INSTALLING AND MAINTAINING IRRIGATED NATIVE SEED AREA, ADDITIONAL IMPROVEMENTS SHOWN ON SHEET 57 OF THIS FINAL PLAT SITE PLAN, OR FURTHER MAINTENANCE OF IMPROVEMENTS PREVIOUSLY INSTALLED IN OUTLOT A BEGINNING ON THE DATE PROMENADE DRIVE CONSTRUCTION IS INITIATED AND UPON INSPECTION AND ACCEPTANCE OF THESE IMPROVEMENTS BY THE TOWN.



CHECKED BY: LV  
DRAWN BY: RB/CTCM

**NOT FOR CONSTRUCTION**



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E

### ROCK CREEK RANCH FILING NO. 12A

**VESTED RIGHTS**  
This Plan constitutes a site specific development plan as defined in Section 24-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. Such a vested right shall be valid for a period of three (3) years, pursuant to approval by the Town of Superior Board of Trustees on 23rd Day of July, 2018

#### LANDSCAPE PLANT LIST

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	MATURE HT./SPD.	SIZE & COND.
<b>DECIDUOUS CANOPY TREES</b>					
11	CAL	WESTERN CATALPA	CATALPA SPECIOSA	MATURE HT: 50' / SPD: 30'	2.5" CAL. B&B
10	EKC	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOCUS 'ESPRESSO' (MALE)	MATURE HT: 50' / SPD: 30'	2.5" CAL. B&B
30	ELM	ACCOLADE ELM	ULMUS 'MORTON'	MATURE HT: 50' / SPD: 30'	2.5" CAL. B&B
12	GLL	GLENLEVEN LINDEN	TILIA CORDATA 'GLENLEVEN'	MATURE HT: 45' / SPD: 30'	2.5" CAL. B&B
25	LAN	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	MATURE HT: 50' / SPD: 30'	2.5" CAL. B&B
18	MSS	STATE STREET MAPLE	ACER MIYABEI 'MORTON'	MATURE HT: 40' / SPD: 30'	2.5" CAL. B&B
22	SKY	SKYLINE HONEY LOCUST	GLEDITSIA TRIACNATHOS INERMUS 'SKYLINE'	MATURE HT: 50' / SPD: 30'	2.5" CAL. B&B
TOTAL					128
<b>EVERGREEN TREES</b>					
25	AUS	AUSTRIAN PINE	PINUS NIGRA	MATURE HT: 50' / SPD: 20'	6'HT. B&B MIN.
25	BSP	BAKERI SPRUCE	PINUS PUNGENS 'BAKERI'	MATURE HT: 30' / SPD: 10'	6'HT. B&B MIN.
24	CBS	COLORADO BLUE SPRUCE	PICES PUNGENS	MATURE HT: 60' / SPD: 25'	6'HT. B&B MIN.
13	PON	PONDEROSA PINE	PINUS PONDEROSA	MATURE HT: 40' / SPD: 25'	6'HT. B&B MIN.
38	VWP	VANDERWOLF'S PYRAMID PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	MATURE HT: 20' / SPD: 10'	6'HT. B&B MIN.
TOTAL					125
<b>DECIDUOUS ORNAMENTAL TREES</b>					
16	ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER x GRANDIFLORA	MATURE HT: 15' / SPD: 10'	6' HT. CLUMP, B&B
5	JTL	JAPANESE TREE LILAC	SYRINGA RETICULATA	MATURE HT: 15' / SPD: 12'	6' HT. CLUMP, B&B
8	SPR	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	MATURE HT: 20' / SPD: 15'	6' HT. CLUMP, B&B
20	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI 'INERMIS'	MATURE HT: 20' / SPD: 15'	6' HT. CLUMP, B&B
TOTAL					49
<b>DECIDUOUS SHRUBS (7'+ SPREAD)</b>					
25	CPL	COMMON PURPLE LILAC	SYRINGA x VULGARIS	MATURE HT: 15' / SPD: 8'	#5 CONT.
25	STS	STAGHORN SUMAC	RHUS TYPHINA	MATURE HT: 10' / SPD: 8'	#5 CONT.
3	VBU	BURKWOOD VIBURNUM	VIBURNUM x BURKWOODI	MATURE HT: 6' / SPD: 8'	#5 CONT.
TOTAL					53
<b>DECIDUOUS SHRUBS (5' - 7' SPREAD)</b>					
24	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	MATURE HT: 3' / SPD: 3'	#5 CONT.
11	MKL	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	MATURE HT: 5' / SPD: 5'	#5 CONT.
TOTAL					26
<b>DECIDUOUS SHRUBS (2' - 5' SPREAD)</b>					
20	AWS	ANTHONY WATERER SPIREA	SPIRAEA JAPONICA 'ANTHONY WATERER'	MATURE HT: 3' / SPD: 3'	#5 CONT.
4	KEL	KELSEY DOGWOOD	CORNUS SERICEA 'KELSEY'	MATURE HT: 2' / SPD: 2'	#5 CONT.
14	KNO	KNOCK OUT ROSE (RED)	ROSA X 'RADRAZZ'	MATURE HT: 3' / SPD: 4'	#5 CONT.
4	KNY	KNOCK OUT ROSE (YELLOW)	ROSA X 'RADSSUNNY'	MATURE HT: 4' / SPD: 4'	#5 CONT.
TOTAL					38
<b>EVERGREEN SHRUBS</b>					
3	CCB	CORAL BEAUTY COTONEASTER	COTONEASTER DAMMERI 'CORAL BEAUTY'	MATURE HT: 2' / SPD: 6'	#5 CONT.
43	MPA	MANZANITA PANCHITO	ARCTOSTAPHYLOS 'PANCHITO'	MATURE HT: 2' / SPD: 4'	#5 CONT.
40	WTJ	WILTONI BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONII'	MATURE HT: 6' / SPD: 6'	#5 CONT.
TOTAL					86
<b>UPRIGHT EVERGREENS</b>					
6	MEJ	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	MATURE HT: 10' / SPD: 5'	#5 CONT.
TOTAL					6
<b>ORNAMENTAL GRASSES</b>					
21	AVG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	MATURE HT: 2' / SPD: 2'	#1 CONT.
8	FRG	FEATHER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	MATURE HT: 4' / SPD: 2'	#1 CONT.
17	HFG	HARDY FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMEL'	MATURE HT: 3' / SPD: 2'	#1 CONT.
77	PMG	PURPLE MAIDAN GRASS	MISCANTHUS SINENSIS 'PURPURASCENS'	MATURE HT: 3' / SPD: 2'	#1 CONT.
21	SHG	SHENANDOAH SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	MATURE HT: 3' / SPD: 2'	#1 CONT.
TOTAL					118
<b>PERENNIALS</b>					
5	DDY	STELLA D'ORO DAYLILY	HERMEROCALLIS 'STELLA D'ORO'		#1 CONT.
114	DSD	DWARF SHASTA DAISY	LEUCANTHEMUM SUPERBUM		#1 CONT.
54	VSB	GOODNESS GROWS VERONICA SPEEDWELL	VERONICA SPICATA 'GOODNESS GROWS'		#1 CONT.
TOTAL					173

NOTE: THE ABOVE PLANT MATERIAL AND QUANTITIES REFLECT THE PLANT MATERIAL SHOWN ON SHEETS 42-44.

#### SEED MIXES:

IRRIGATED SOD - TEXAS BLUEGRASS HYBRID

ROCK CREEK IRRIGATED NATIVE SEED :

-LINCOLN SMOOTH BROME (BROMUS INERMIS 'LINCOLN) - 60%  
-ALTA TALL FESCUE (LOLIUM ARUNDINACEUM) - 40%

#### GENERAL LANDSCAPE NOTES

- TREES PLANTED WITHIN SIGHT TRIANGLES SHALL NOT BRANCH HORIZONTALLY BELOW 6' HEIGHT. SHRUBS WITHIN SIGHT TRIANGLES SHALL NOT EXCEED 2'-0" HEIGHT
- ALL SHRUB BEDS ARE TO BE MULCHED TO A 3" MIN. DEPTH WITH 1-1/2" MOUNTAIN GRANITE MULCH. ROCK MULCH IS TO BE PLACED OVER WEED CONTROL FABRIC. ALL PERENNIAL BEDS TO BE MULCHED WITH GORILLA HAIR SHREDDED CEDAR WOOD MULCH.
- ALL SHRUB BEDS SHALL BE SEPARATED FROM TURF AREAS BY 3/16" X 4" 1/16" INTERLOCKING ROLLED TOP STEEL EDGING.
- LOCATION OF PLANT MATERIAL SHALL BE ADJUSTED TO PROVIDE THE REQUIRED MINIMUM CLEARANCE FROM THE FINAL LOCATION OF ALL BURIED UTILITY LINES.
- ALL TREES IN NATIVE GRASS AND TURF AREAS SHALL HAVE A 3' DIAMETER, 4" DEEP WOOD MULCH RING AROUND THE BASE OF THE TREE.
- NATIVE GRASS SEED MIX TO BE TOWN OF SUPERIOR STANDARD NATIVE SEED MIX: ROCK CREEK IRRIGATED NATIVE SEED MIX.
- TURF AREAS SHALL RECEIVE SOIL AMENDMENT. AMENDMENT SHALL BE A MINIMUM OF THREE AND ONE-HALF (3.5) CUBIC YARDS OF PURE ORGANIZE MATERIAL PER ONE THOUSAND (1,000) SQUARE FEET, TILLED TO A MINIMUM DEPTH OF SIX (6) INCHES.
- THE LANDSCAPING INDICATED ON THE PLANS WILL BE WATERED BY A FULLY AUTOMATED, UNDERGROUND SPRINKLER SYSTEM CONSISTING OF A COMBINATION OF ROTORS, POP-UPS, AND LOW WATER USE EMITTERS (E.G. DRIP EMITTERS, BUBBLERS, STREET TREE RINGS, ETC.).
- THE WATER SOURCE FOR THE IRRIGATIONS SYSTEM WILL BE THE TOWN OF SUPERIOR RE-USE LINE.
- THE IRRIGATION SYSTEM WILL BE CONTROLLED BY PROGRAMMABLE IRRIGATION CLOCK WHICH ALLOWS VARIATIONS IN ZONE SEQUENCING AND TIMING TO MEET THE WATER USE REQUIREMENTS OF EACH AREA OF THE PLANTING PLAN.
- RAIN SENSORS WHICH AUTOMATICALLY SHUT DOWN THE IRRIGATION SYSTEM DURING PERIODS OF HIGH MOISTURE WILL BE INSTALLED.

#### PLANT REQUIREMENT CHART

	SQUARE FEET/LINEAR FEET OF FRONTAGE	REQUIREMENT	TOTAL TREES REQUIRED	TOTAL TREES PROVIDED	TOTAL SHRUBS REQUIRED	TOTAL SHRUBS PROVIDED (SE)	SHRUB SUBSTITUTES (1 SHRUBS = 3 ORN. GRASSES) (1 TREE = 14 SHRUBS)
OPEN SPACE LANDSCAPE (DEVELOPED LANDSCAPE) -HOA	9,983 SQ. FT. 2 AC.	1 TREE/825 SQ. FT. 1 SHRUB/100 SQ. FT.	12	22	100	121	98 GRASSES (37 SE)
OPEN SPACE LANDSCAPE (NATURALIZED LANDSCAPE) -HOA	93,914 SQ. FT. 2.6 AC.	1 TREE/ 4,000 SQ. FT. 1 SHRUB/ 500 SQ. FT.	24	86	188	193	13 TREES (182 SE)
OPEN SPACE LANDSCAPE -DEDICATED	188,614 SQ. FT. 4.3 AC.	1 TREE/ 4,000 SQ. FT. 1 SHRUB/ 500 SQ. FT.	47	47	377	380	21 GRASSES (7 SE) 25 TREES (350 SE)
LANTERNS LN.	3,046 LN. FT.	1 TREE/ 40 LN. FT.	76	58	NA	NA	NA
COAL CREEK DR.	957 LN. FT.	1 TREE/ 40 LN. FT.	24	22	NA	NA	NA
PROMENADE DR. (ROW DEDICATED ONLY)	1,654 LN. FT.	1 TREE/ 40 LN. FT.	42	50	NA	61	20 GRASSES (6 SE)
<b>TOTAL</b>			<b>261</b>	<b>285</b>	<b>665</b>	<b>755</b>	

#### NOTE:

- PLANTS MAY BE SUBSTITUTED AT A RATIO OF 1 TREE = 14 SHRUBS (TE) AND 1 SHRUBS = 3 ORNAMENTAL GRASSES (SE)
- DUE TO UTILITY AND LIGHT POLE CONFLICTS, REQUIRED ROW TREES HAVE BEEN LOCATED IN ADJACENT OPEN SPACE AREA.
- IF CONSTRUCTION OF PROMENADE DRIVE HAS NOT COMMENCED PRIOR TO ISSUANCE OF FINAL BUILDING PERMIT TO DEVELOPER, THEN LANDSCAPE AND IRRIGATION IMPROVEMENTS WITHIN OUTLOT A SHALL BE INSTALLED BY DEVELOPER. THESE IMPROVEMENTS WITHIN OUTLOT A SHALL CONSIST OF INSTALLING AND MAINTAINING THROUGH THE TOWN'S TWO-YEAR WARRANTY PERIOD THE PLANTING BED NORTH OF THE SOUND WALL AND IRRIGATED NATIVE SEED AREA AS SHOWN ON SHEET 54, 55 AND 56 OF THIS FINAL PLAT SITE PLAN. IF CONSTRUCTION OF PROMENADE DRIVE COMMENCES PRIOR TO ISSUANCE OF DEVELOPER'S FINAL BUILDING PERMIT, DEVELOPER SHALL NOT BE RESPONSIBLE FOR INSTALLING AND MAINTAINING IRRIGATED NATIVE SEED AREA, ADDITIONAL IMPROVEMENTS SHOWN ON SHEET 57 OF THIS FINAL PLAT SITE PLAN, OR FURTHER MAINTENANCE OF IMPROVEMENTS PREVIOUSLY INSTALLED IN OUTLOT A BEGINNING ON THE DATE PROMENADE DRIVE CONSTRUCTION IS INITIATED AND UPON INSPECTION AND ACCEPTANCE OF THESE IMPROVEMENTS BY THE TOWN.

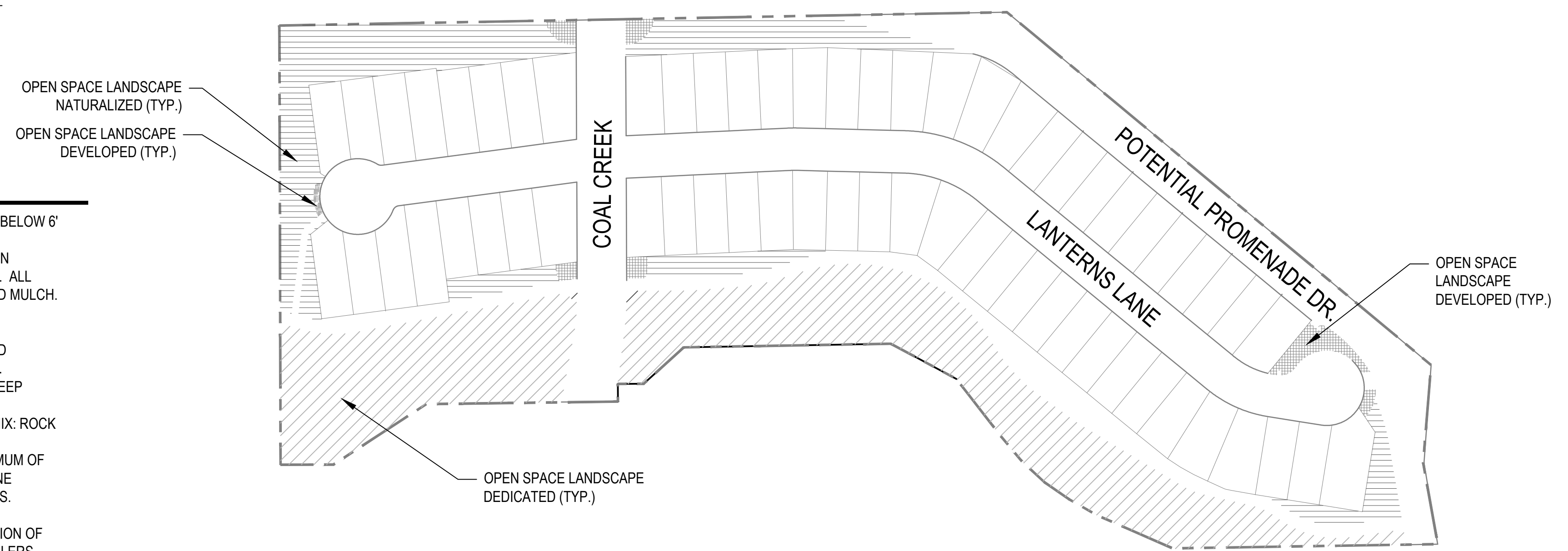
#### PROMENADE ROW - PROMENADE DRIVE CONDITION

PROMENADE DR. (FULL BUILD OUT)	3,030 LN. FT.	1 TREE/ 40 LN. FT.	78	76	NA	61	20 GRASSES (6 SE)
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#### NOTE:

IF CONSTRUCTION OF PROMENADE DRIVE HAS NOT COMMENCED PRIOR TO ISSUANCE OF FINAL BUILDING PERMIT TO DEVELOPER, THEN LANDSCAPE AND IRRIGATION IMPROVEMENTS WITHIN OUTLOT A SHALL BE INSTALLED BY DEVELOPER. THESE IMPROVEMENTS WITHIN OUTLOT A SHALL CONSIST OF INSTALLING AND MAINTAINING THROUGH THE TOWN'S TWO-YEAR WARRANTY PERIOD THE PLANTING BED NORTH OF THE SOUND WALL AND IRRIGATED NATIVE SEED AREA AS SHOWN ON SHEET 54, 55 AND 56 OF THIS FINAL PLAT SITE PLAN. IF CONSTRUCTION OF PROMENADE DRIVE COMMENCES PRIOR TO ISSUANCE OF DEVELOPER'S FINAL BUILDING PERMIT, DEVELOPER SHALL NOT BE RESPONSIBLE FOR INSTALLING AND MAINTAINING IRRIGATED NATIVE SEED AREA, ADDITIONAL IMPROVEMENTS SHOWN ON SHEET 57 OF THIS FINAL PLAT SITE PLAN, OR FURTHER MAINTENANCE OF IMPROVEMENTS PREVIOUSLY INSTALLED IN OUTLOT A BEGINNING ON THE DATE PROMENADE DRIVE CONSTRUCTION IS INITIATED AND UPON INSPECTION AND ACCEPTANCE OF THESE IMPROVEMENTS BY THE TOWN.

#### LANDSCAPE AREA MAP



**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

OWNER:  
SUPERIOR ROCK CREEK, LLC

1440 BLAKE ST. 3320  
DENVER, CO 80202

APPLICANT:  
BOULDER CREEK  
NEIGHBORHOODS

712 MAIN STREET  
LOUISVILLE, CO



Know what's below.  
Call before you dig.

DATE:

JANUARY 24, 2018  
APRIL 18, 2018  
JUNE 13, 2018  
JULY 16, 2018  
OCTOBER 5, 2018  
OCTOBER 19, 2018  
SEPTEMBER 27, 2021  
OCTOBER 13, 2021

SHEET TITLE:  
LANDSCAPE  
NOTES

58  
SHEET 58 OF 69

**NOT FOR CONSTRUCTION**



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

**VESTED RIGHTS**  
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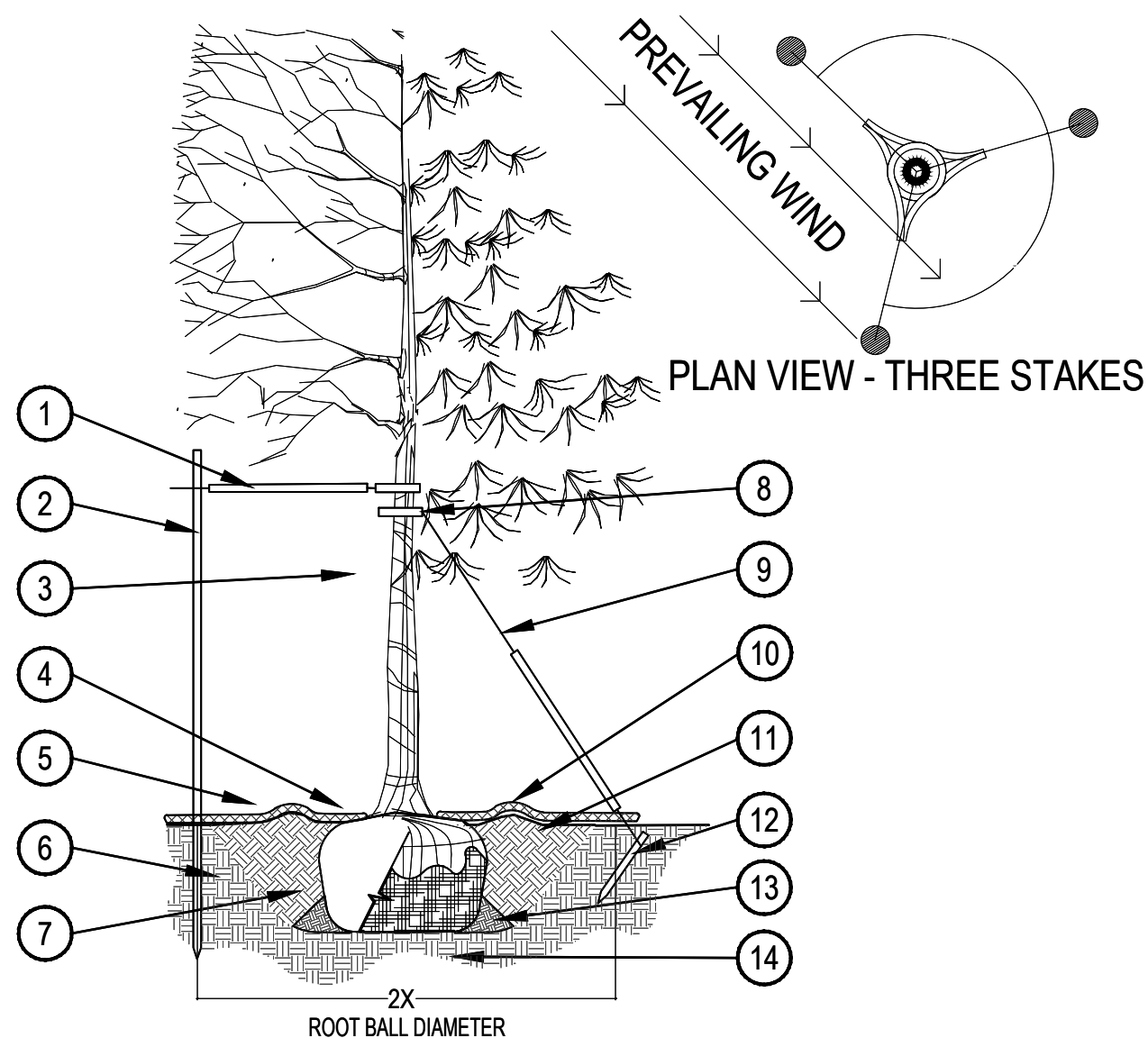
**PRUNING NOTES:**

- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

**STAKING NOTES:**

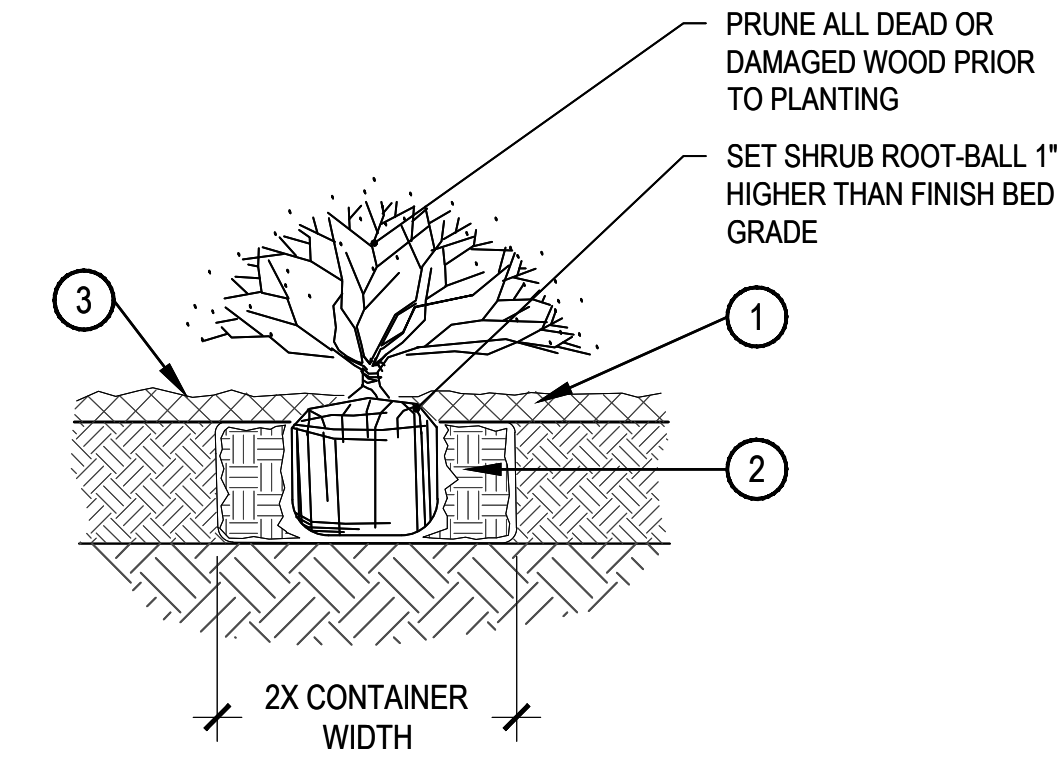
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
  - 1-3" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
  - 1-3" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
  - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
- WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- PLACE MIN. 3/8" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



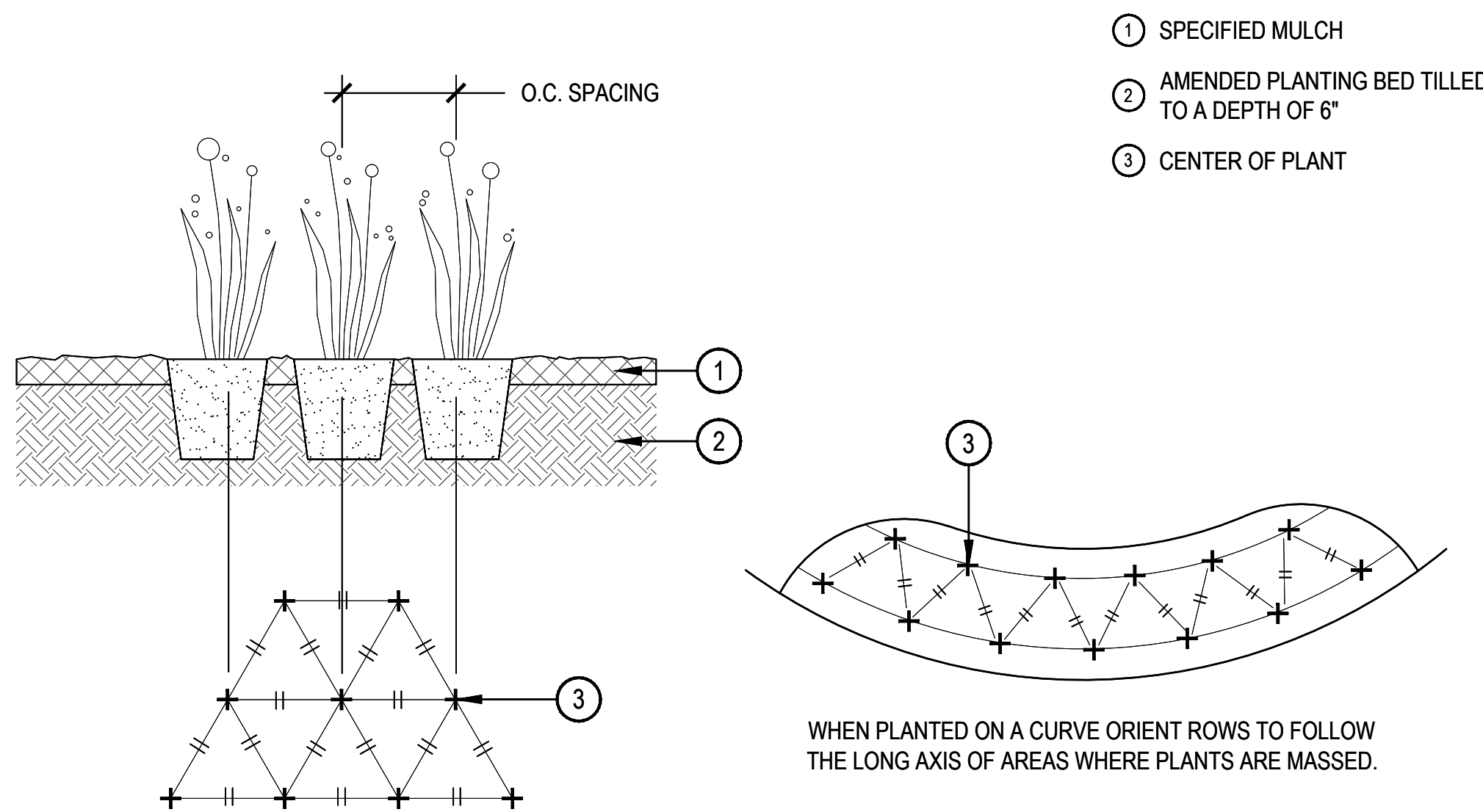
**TREE PLANTING DETAIL**

SCALE: 3/16" = 1'-0"



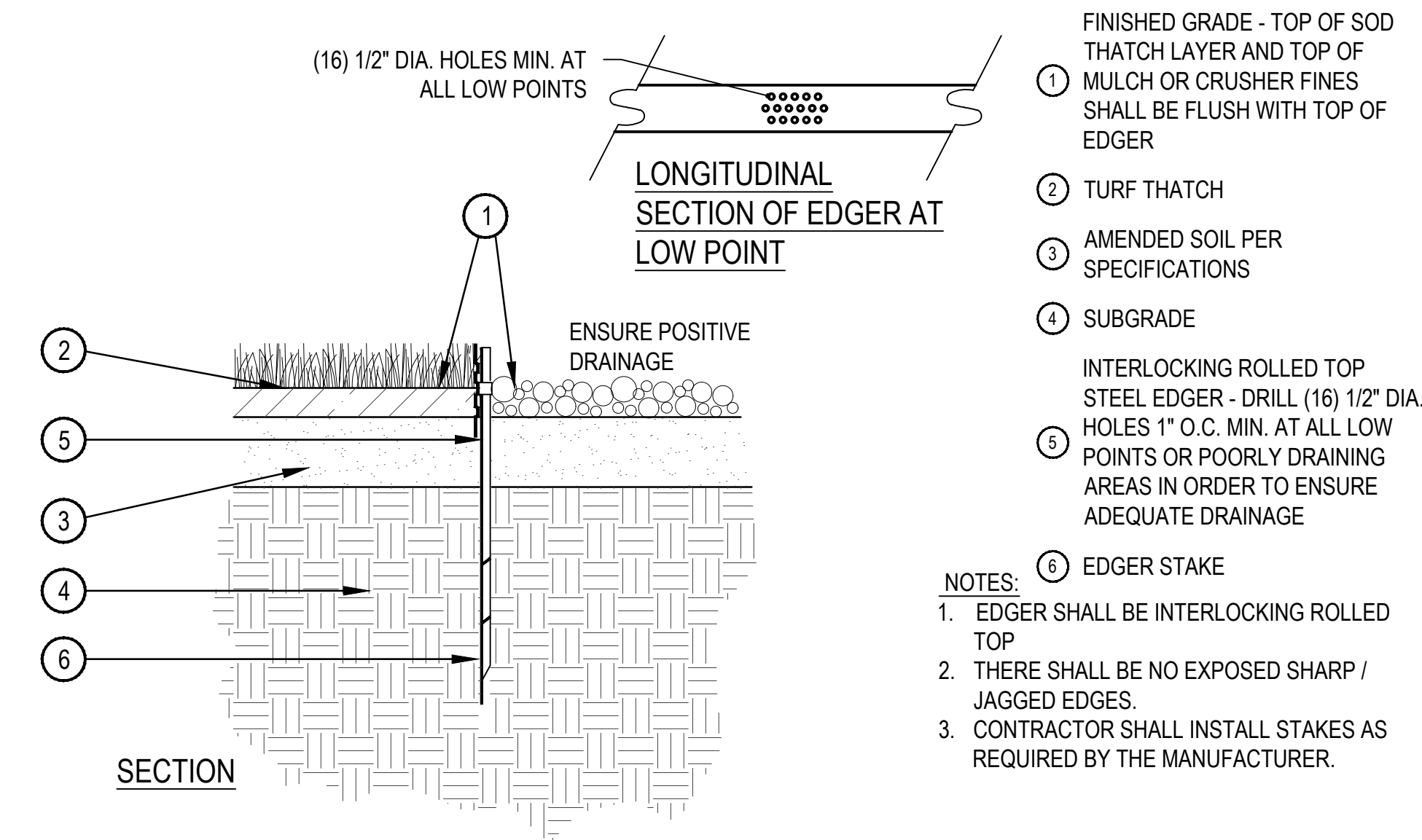
**SHRUB PLANTING**

SCALE: 1-1/2" = 1'-0"



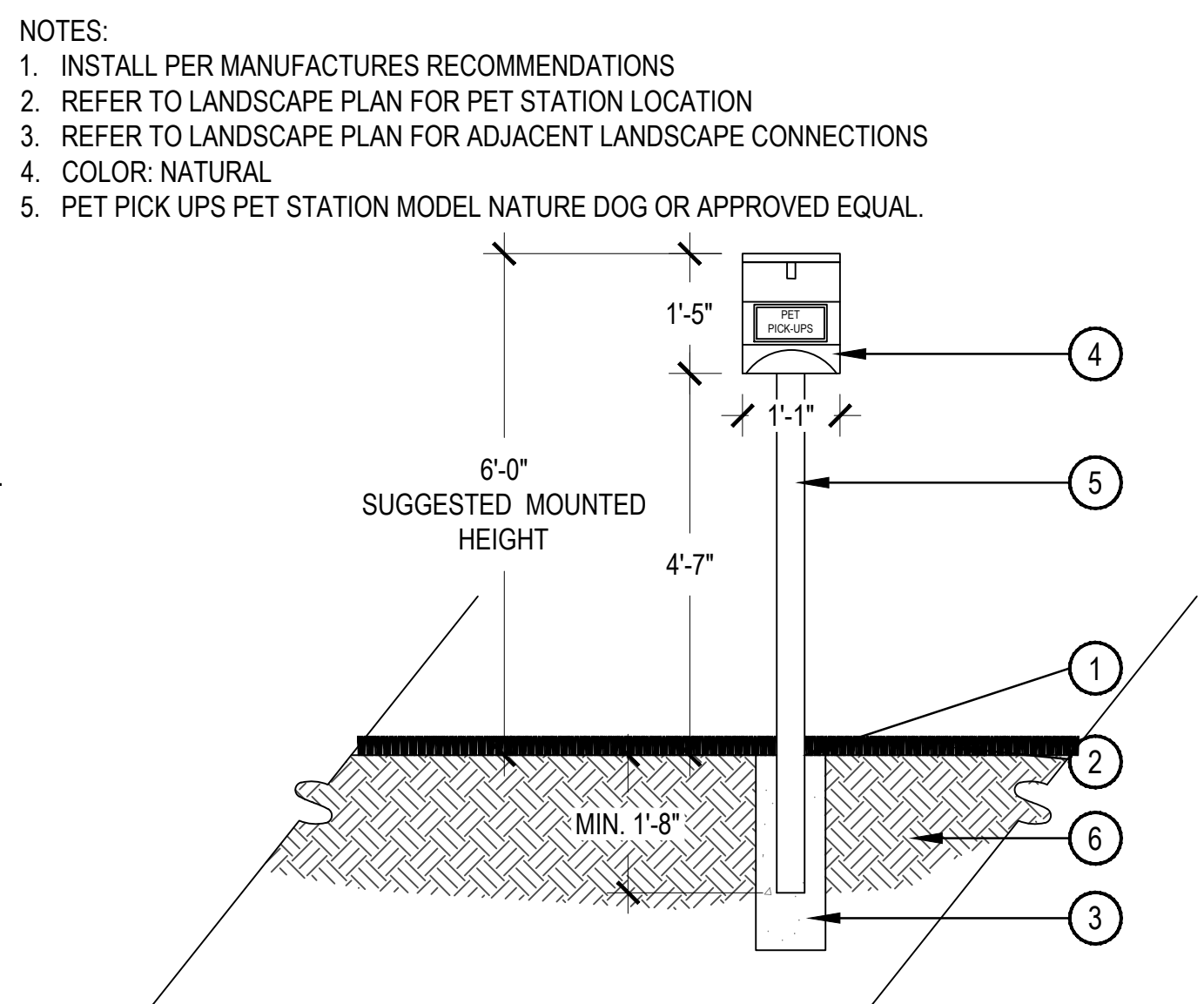
**PERENNIAL PLANT LAYOUT**

SCALE: 1" = 1'-0"



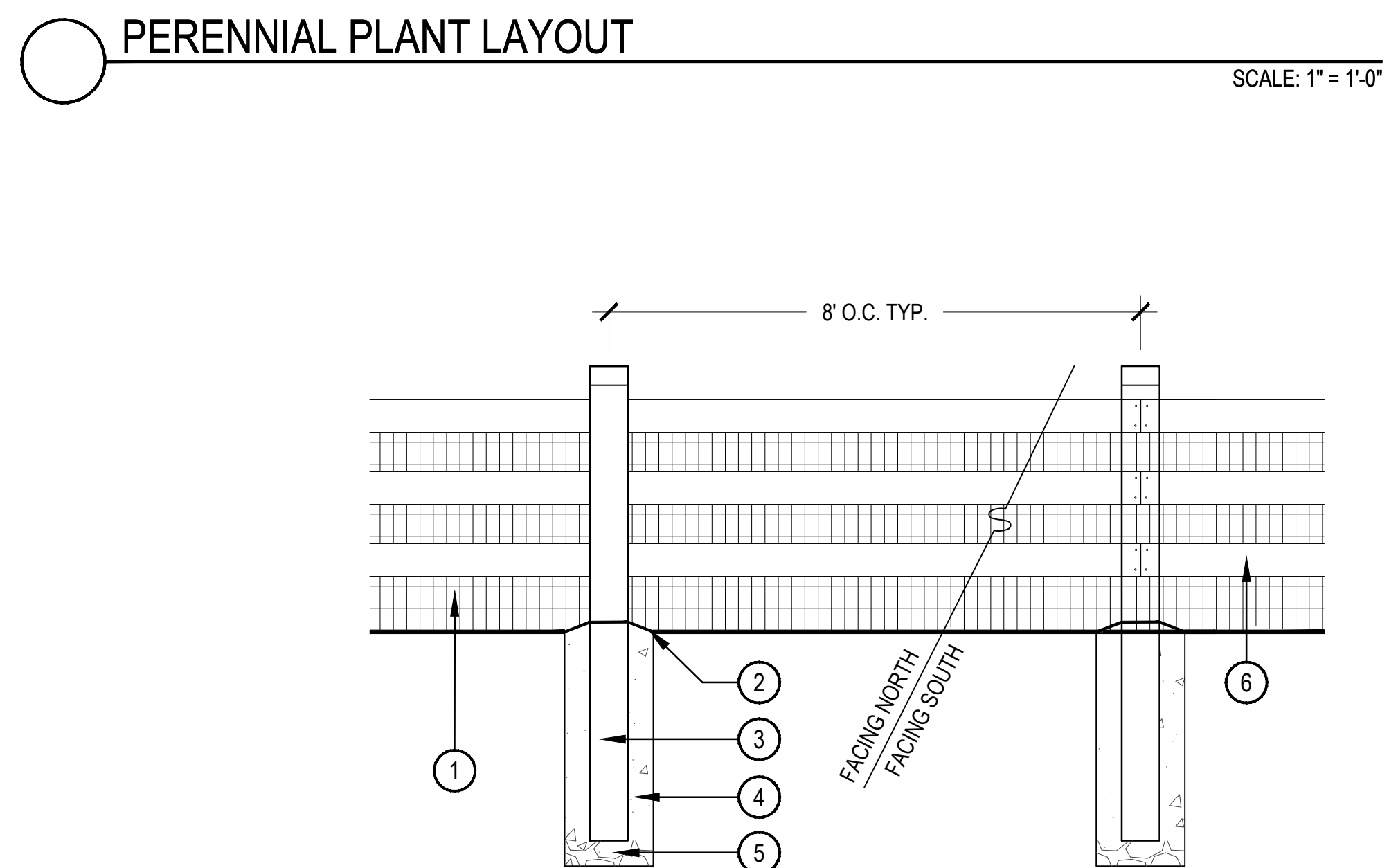
**STEEL EDGER**

SCALE: 1" = 1'-0"



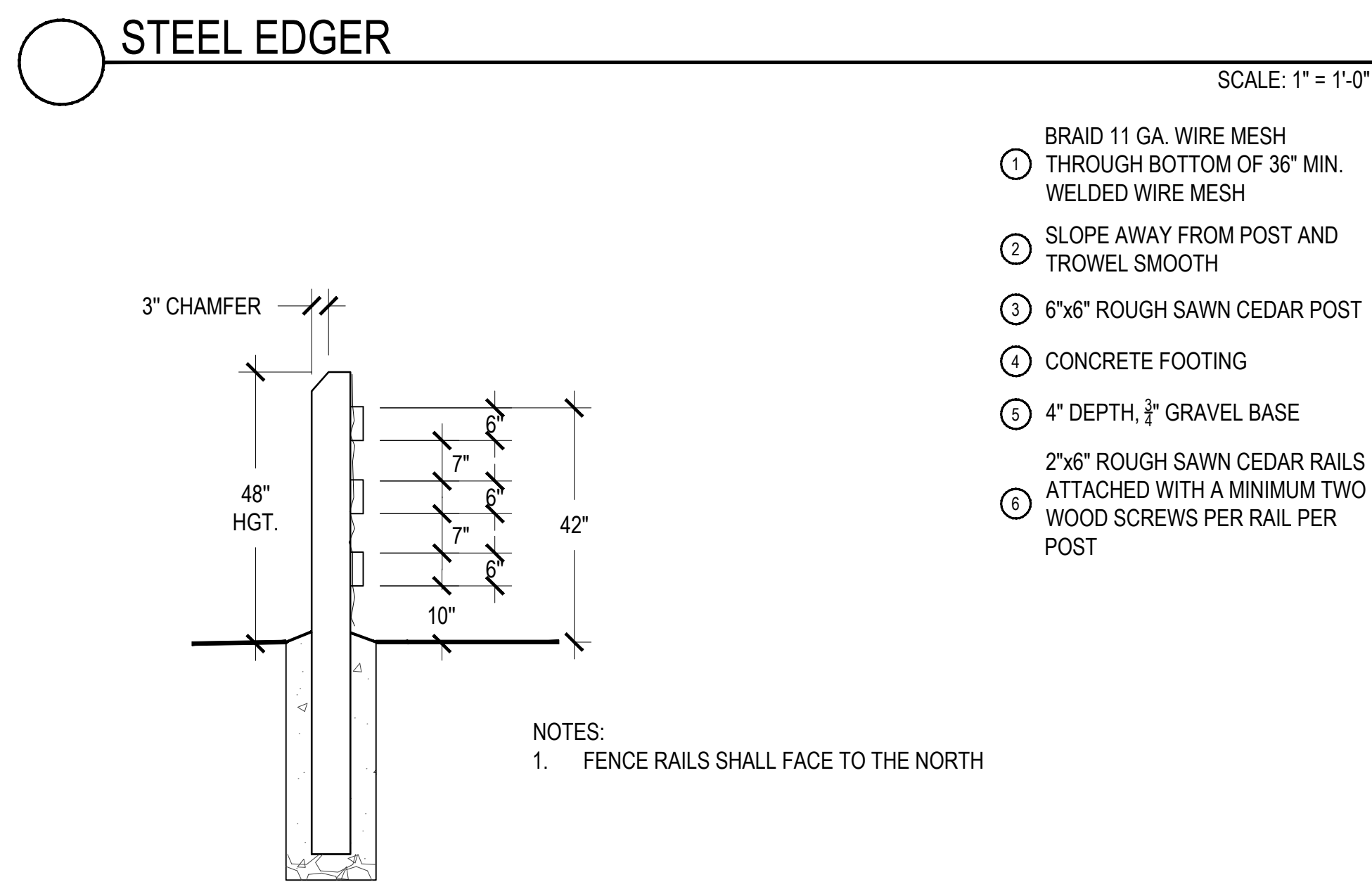
**PET WASTE STATION**

SCALE: 1/2" = 1'-0"



**3 RAIL FENCE**

SCALE: 1/2" = 1'-0"



- NOTES:
- FENCE RAILS SHALL FACE TO THE NORTH

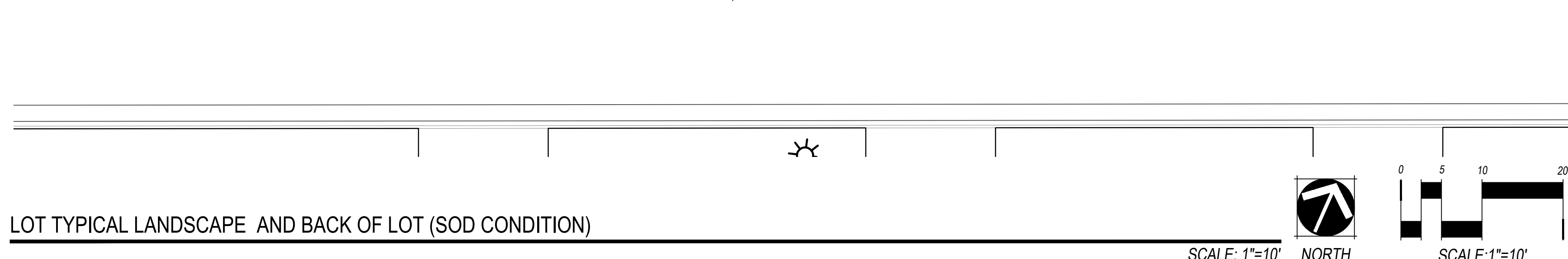
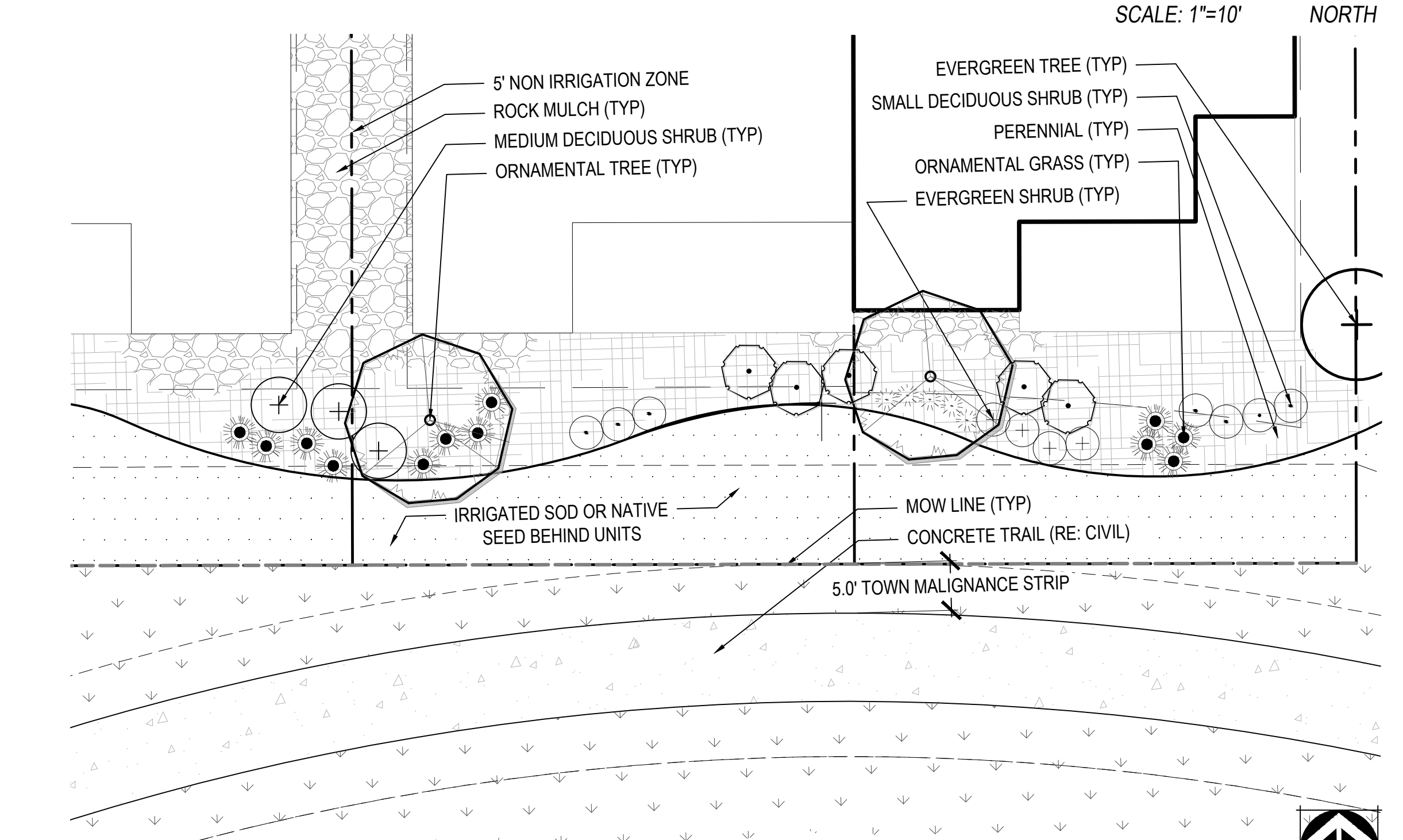
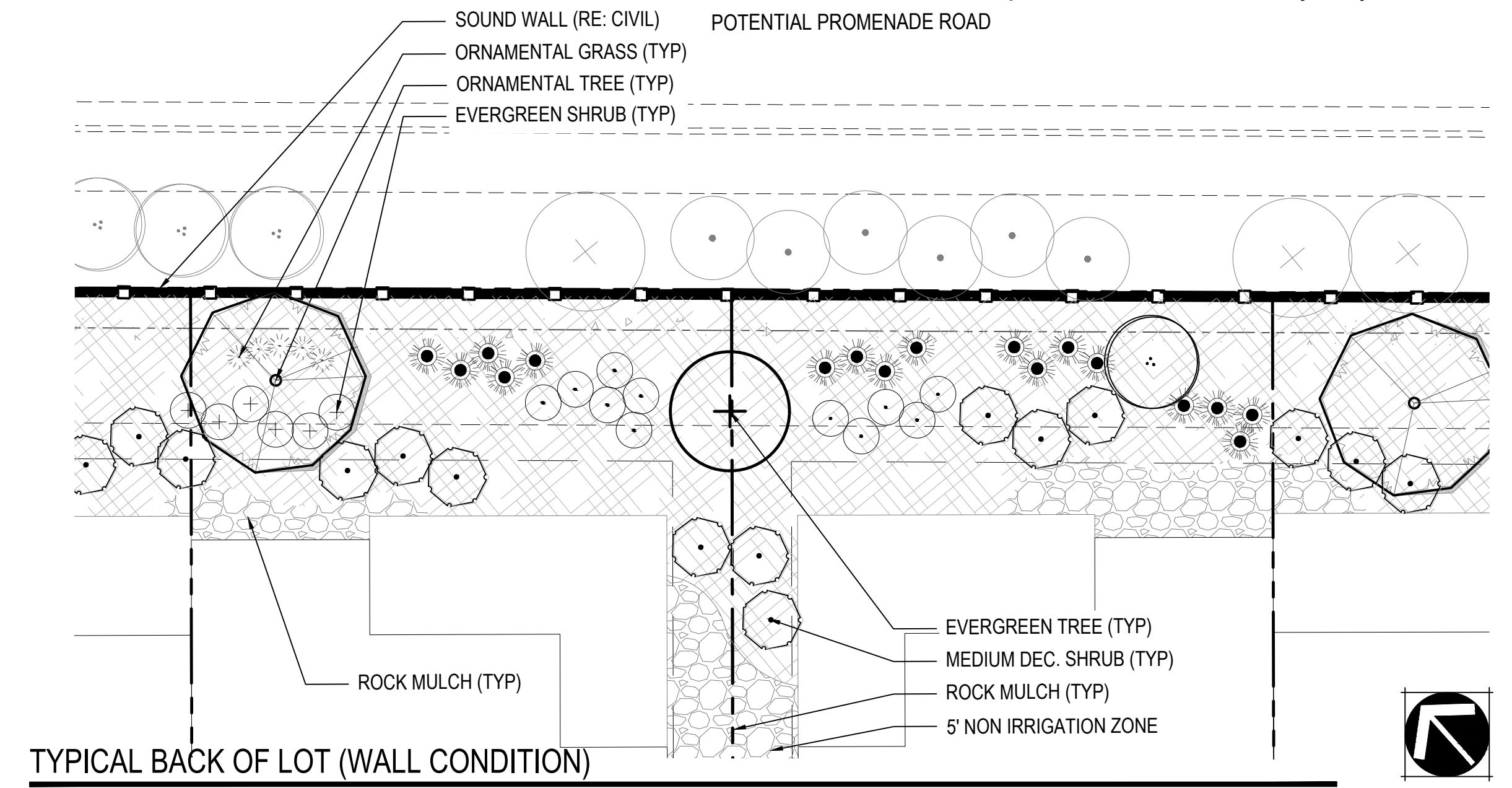
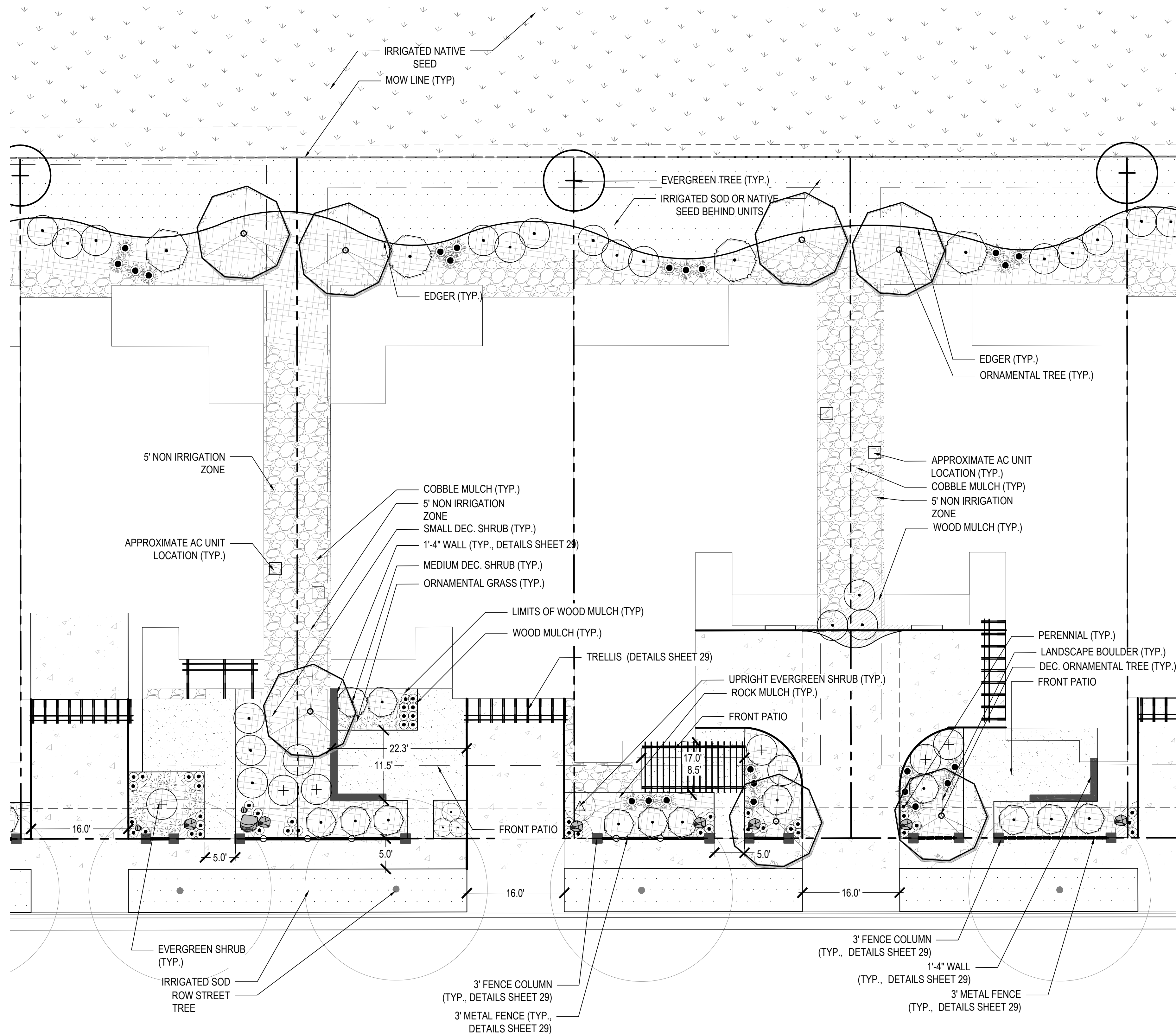
- BRAID 11 GA. WIRE MESH THROUGH BOTTOM OF 36" MIN. WELDED WIRE MESH
- SLOPE AWAY FROM POST AND TROWEL SMOOTH
- 6"x6" ROUGH SAWN CEDAR POST
- CONCRETE FOOTING
- 4" DEPTH, 3/8" GRAVEL BASE
- 2"x6" ROUGH SAWN CEDAR RAILS ATTACHED WITH A MINIMUM TWO WOOD SCREWS PER RAIL PER POST



# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

**VESTED RIGHTS**  
 This Plan constitutes a site specific development plan as defined in Section 24-68-101, et, seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. Such a vested right shall be valid for a period of three (3) years, pursuant to approval by the Town of Superior Board of Trustees on 23rd Day of July, 2018



**LEGEND**

	COBBLE (4 - 6")		OR NAMENTAL DECIDUOUS TREES
	ROCK MULCH (1 1/2" - 3")		EVERGREEN TREES
	WOOD MULCH (PERENNIAL AREAS ONLY)		DECIDUOUS SHRUBS
	SOD		EVERGREEN SHRUBS
	IRRI GATED NATIVE SEED		UPRIGHT EVERGREEN SHRUB
	3' METAL FENCE (REF: SHEET 29 FOR DETAILS)		OR NAMENTAL GRASSES
	3' FENCE COLUMN (REF: SHEET 29 FOR DETAILS)		
	METAL EDGER		
	LOT LINE		
	PERENNIALS		

**ROCK CREEK RANCH FIL. NO. 12A**  
 FINAL PLAT SITE PLAN 35, AMENDMENT #1  
 SUPERIOR, COLORADO

**OWNER:**  
 SUPERIOR ROCK CREEK, LLC  
 1440 BLAKE ST. 3320  
 DENVER, CO 80202

**APPLICANT:**  
 BOULDER CREEK  
 NEIGHBORHOODS  
 712 MAIN STREET  
 LOUISVILLE, CO

**811**  
 Know what's below.  
 Call before you dig.

**DATE:**  
 JANUARY 24, 2018  
 APRIL 18, 2018  
 JUNE 13, 2018  
 JULY 16, 2018  
 OCTOBER 5, 2018  
 OCTOBER 19, 2018  
 SEPTEMBER 27, 2021  
 OCTOBER 13, 2021

**SHEET TITLE:**  
 LOT TYPICAL

**NOT FOR CONSTRUCTION**

CHECKED BY: LV RB/CTCM  
 DRAWN BY:

**LOT TYPICAL LANDSCAPE AND BACK OF LOT (SOD CONDITION)**

SCALE: 1"=10' NORTH

SCALE: 1"=10' NORTH




# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E

### ROCK CREEK RANCH FILING NO. 12A

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**NORRIS DESIGN**  
 Planning | Landscape Architecture | Project Promotion  
 1101 Bannock Street  
 Denver, Colorado 80204  
 P 303.892.1166  
 www.norris-design.com

#### LANDSCAPE PLANT LIST

SYM.	COMMON NAME	BOTANICAL NAME	MATURE HT./SPD.	SIZE & COND.
<b>EVERGREEN TREES</b>				
ASE	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	MATURE HT: 20' / SPD: 4'	6'HT. B&B MIN.
BMT	MINT TRUFFLE PINE BOSNIAN	PINUS LEUCODERMIS 'MINT TRUFFLE'	MATURE HT: 15' / SPD: 6'	6'HT. B&B MIN.
BSP	BAKERI SPRUCE	PINUS PUNGENS 'BAKERI'	MATURE HT: 30' / SPD: 10'	6'HT. B&B MIN.
VWP	VANDERWOLF'S PYRAMID PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	MATURE HT: 20' / SPD: 10'	6'HT. B&B MIN.
FNS	FASTIGIATE NORWAY SPRUCE	PICES ABIES 'CUPRESSINA'	MATURE HT: 25' / SPD: 4'	6'HT. B&B MIN.
<b>DECIDUOUS ORNAMENTAL TREES</b>				
ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER x GRANDIFLORA	MATURE HT: 15' / SPD: 10'	6' HT. CLUMP, B&B
CCP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	MATURE HT: 35' / SPD: 15'	2.0" CAL. B&B
CSO	CRIMSON SPIRE OAK	QUERCUS 'CRIMSCHMIDT'	MATURE HT: 45' / SPD: 15'	2.0" CAL. B&B
LOL	LOLLIPOP CRAB	MALUS 'LOLLIZAM'	MATURE HT: 8' / SPD: 8'	2.0" CAL. B&B
JTL	JAPANESE TREE LILAC	SYRINGA RETICULATA	MATURE HT: 15' / SPD: 12'	6' HT. CLUMP, B&B
REB	RED BARRON CRAB	MALUS 'RED BARRON'	MATURE HT: 18' / SPD: 12'	2.0" CAL. B&B
SPR	SPRING SNOW CRAB	MALUS X 'SPRING SNOW'	MATURE HT: 20' / SPD: 15'	2.0" CAL. B&B
SSO	STANDING OVATION SERVICEBERRY	AMELANCHIER ALNIFOLIA 'OBELISK'	MATURE HT: 15' / SPD: 4'	2.0" CAL. B&B
TOH	TOBA HAWTHORN	CRATAEGUS X MORDENENSIS 'TOBA'	MATURE HT: 15' / SPD: 12'	2.0" CAL. B&B
<b>MED. DECIDUOUS SHRUBS (5' -7' SPREAD)</b>				
ATH*	ALTHEA 'TRICOLOR'	HIBISCUS SYRIACUS 'TRICOLOR'	MATURE HT: 10' / SPD: 5'	#5 CONT.
CHM*	CHEYENNE MOCKORANGE	PHILADELPHUS LEWISII CHEYENNE	MATURE HT: 7' / SPD: 6'	#5 CONT.
CIS*	CISTENA PLUM	PRUNUS X CISTENA	MATURE HT: 5' / SPD: 8'	#5 CONT.
DIH*	IVORY HALO DOGWOOD	CORNUS ALBA 'BAIL HALO'	MATURE HT: 5' / SPD: 6'	#5 CONT.
DNI*	DWARF NINEBARK	PHYSOCARPUS OPULIFOLIUS 'NANUS'	MATURE HT: 5' / SPD: 5'	#5 CONT.
GEL*	GOLDEN ELDER	SAMBUCUS CANADENSIS 'AUREA'	MATURE HT: 10' / SPD: 6'	#5 CONT.
FQP	PINK FLOWERING QUINCE	CHAENOMELES JAPONICA 'CAMEO'	MATURE HT: 3' / SPD: 5'	#5 CONT.
MKL*	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	MATURE HT: 5' / SPD: 5'	#5 CONT.
REC*	RED CHOKEBERRY	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	MATURE HT: 7' / SPD: 6'	#5 CONT.
<b>SM. DECIDUOUS SHRUBS (2' - 5' SPREAD)</b>				
AWS	ANTHONY WATERER SPIREA	SPIRAEA JAPONICA 'ANTHONY WATERER'	MATURE HT: 3' / SPD: 3'	#5 CONT.
CMD	CAROL MACKIE DAPHNE	DAPHNE X BURKWOODI 'CAROL MACKIE'	MATURE HT: 3' / SPD: 4'	#5 CONT.
CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	MATURE HT: 2' / SPD: 3'	#5 CONT.
FLB*	FINE LINE BUCKTHORN	FRANGULA ALNUS FINE LINE	MATURE HT: 8' / SPD: 3'	#5 CONT.
HCB	DOUBLE KNOCK OUT ROSE	ROSA 'RADTKO'	MATURE HT: 3' / SPD: 3'	#5 CONT.
GFS	GOLDMOUND SPIREA	SPIREA X GOLDMOUND	MATURE HT: 2' / SPD: 2'	#5 CONT.
KEL	KELSEY DOGWOOD	CORNUS SERICEA 'KELSEY'	MATURE HT: 2' / SPD: 2'	#5 CONT.
KNO	RAINBOW KNOCK OUT ROSE	ROSA X 'RADCOR'	MATURE HT: 3' / SPD: 4'	#5 CONT.
KNY	SUNNY KNOCK OUT ROSE	ROSA 'RADSUNNY'	MATURE HT: 4' / SPD: 4'	#5 CONT.
TAP	TANGERINE POTENTILLA	POTENTILLA FRUTICOSA 'TANGERINE'	MATURE HT: 2' / SPD: 3'	#5 CONT.
WWR	WINE AND ROSES WEIGELA	WEIGELA FLORIDA 'ALEXANDRA'	MATURE HT: 4' / SPD: 4'	#5 CONT.
<b>EVERGREEN SHRUBS</b>				
CCB	CORAL BERRY COTONEASTER	COTONEASTER DAMMERI 'CORAL BERRY'	MATURE HT: 2' / SPD: 6'	#5 CONT.
MMP*	MOPS MUGO PINE	PINUS MUGO 'MOPS'	MATURE HT: 5' / SPD: 6'	#5 CONT.
RHM*	R.H MONTGOMERY SPRUCE	PICEA PUNGENS 'R.H MONTGOMERY'	MATURE HT: 6' / SPD: 4'	#5 CONT.
WTJ	WILTONI BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONII'	MATURE HT: 6' / SPD: 6'	#5 CONT.
<b>UPRIGHT EVERGREENS</b>				
MEJ*	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	MATURE HT: 10' / SPD: 5'	#5 CONT.
SPA*	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	MATURE HT: 15' / SPD: 5'	#5 CONT.
<b>ORNAMENTAL GRASSES</b>				
AVG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	MATURE HT: 2' / SPD: 2'	#1 CONT.
FRG	FEATHER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	MATURE HT: 4' / SPD: 2'	#1 CONT.
HFG	HARDY FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	MATURE HT: 3' / SPD: 2'	#1 CONT.
PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURASCENS'	MATURE HT: 3' / SPD: 2'	#1 CONT.
SHG	SHENANDOAH SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	MATURE HT: 3' / SPD: 2'	#1 CONT.
<b>PERENNIALS</b>				
AJS	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'		#1 CONT.
BES	BLACK EYED SUSAN	RUDBEGIA FULGIDA 'GOLDSTURM'		#1 CONT.
COM	MOONBEAM COREOPSIS	COREOPSIS VERTICILLATA 'MOONBEAM'		#1 CONT.
DDY	STELLA D'ORO DAYLILY	HERMERCALLIS 'STELLA D'ORO'		#1 CONT.
DRA	STONECROP SEDUM	SEDUM SPURIUM 'DRAGON BLOOD'		#1 CONT.
DSD	DWARF SHASTA DAISY	LEUCANTHEMUM SUPERBUM		#1 CONT.
IPS	STARBURST ICE PLANT	DELOSPERMA FLORIBUNDA		#1 CONT.
IPY	YELLOW ICE PLANT	DELOSPERMA NUBIGENUM		#1 CONT.
PCF	PURPLE CONEFLOWER	ECHINACEA PURPUREA		#1 CONT.
VSB	VERONICA SPEEDWELL	VERONICA SPICATA 'GOODNESS GROWS'		#1 CONT.

#### MATERIAL NOTES:

- TO AVOID POTENTIAL PEDESTRIAN/VEHICULAR CONFLICTS, SHRUBS PLANTED ADJACENT TO DRIVEWAY INTERSECTIONS OR SIDEWALKS SHALL NOT EXCEED 30" IN HEIGHT. SHRUB SPECIES INDICATED WITH AN ASTERISK (\*) SHALL NOT BE PLANTED ADJACENT TO DRIVEWAY INTERSECTIONS OR BLOCK THE VIEW OF PEDESTRIAN/VEHICULAR TRAFFIC. THESE PLANT SPECIES SHALL NOT BE PLANTED UNDER ORNAMENTAL TREES.
- ALL CONDITIONS HAVE THE SAME FRONT AND SIDE TYPICAL LANDSCAPE DESIGN.
- ROCK MULCH TO BE 1-1/2" MOUNTAIN GRANITE.
- WOOD MULCH TO BE DOUBLE SHREDDED CEDAR MULCH
- THE IMPROVEMENTS DEPICTED WITHIN THE INTERNAL LOTS ARE CONCEPTUAL IN NATURE AND ARE FOR PURPOSES OF INTENT TO SHOW HOW THE FRONTS OF THE UNITS ACTIVATE THE STREETScape.
- THE LANDSCAPE IMPROVEMENTS WITHIN THE LOTS ARE THE RESPONSIBILITY OF THE BUILDER AT THE TIME OF THE BUILDING PERMIT.
- LANDSCAPING IS ENCOURAGED ALONG EXPOSED FOUNDATIONS WHEN VISIBLE FROM THE STREET.
- THE PATIO ALIGNMENTS, WALKS, DRIVEWAYS AND THEIR ASSOCIATED MATERIAL WILL BE FURTHER DEFINED IN THE CONSTRUCTION DOCUMENTS AT THE TIME OF BUILDING PERMIT.
- THE PROPOSED WALKS SHALL BE MAINTAINED (SNOW REMOVAL, LANDSCAPING BETWEEN THE WALK AND CURB AND CONCRETE REPLACEMENT) BY THE HOA CONSISTENT WITH THE REQUIREMENTS OF THE TOWN WITHIN THE ROW.
- ALL SHRUB BEDS SHALL BE SEPARATED FROM TURF AREAS BY 3/16" X 4 7/16" INTERLOCKING ROLLED TOP STEEL EDGING.

**ROCK CREEK RANCH FIL. NO. 12A**  
**FINAL PLAT SITE PLAN 35, AMENDMENT #1**  
 SUPERIOR, COLORADO

OWNER:  
 SUPERIOR ROCK CREEK, LLC  
 1440 BLAKE ST. 3320  
 DENVER, CO 80202

APPLICANT:  
 BOULDER CREEK  
 NEIGHBORHOODS  
 712 MAIN STREET  
 LOUISVILLE, CO



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SHEET TITLE:  
 LOT TYPICAL  
 PLANT LIST

NOT FOR CONSTRUCTION