

# FINAL PLAT SITE PLAN 35, AMENDMENT #1

## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH G, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

**VESTED RIGHTS**  
This Plan constitutes a site specific development plan as defined in Section 24-68-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. Such a vested right shall be valid for a period of three (3) years, pursuant to approval by the Town of Superior Board of Trustees on 23rd Day of July, 2018

NORRIS DESIGN  
Planning | Landscape Architecture | Project Promotion

1101 Bannock Street  
Denver, Colorado 80204  
P 303.892.1166

www.norris-design.com

### CERTIFICATE OF OWNERSHIP - PROPERTY OWNER

The undersigned, in accordance with its rights under that certain Amended and Restated Declaration of Covenants, Conditions and Restrictions for Lanterns at Rock Creek Ranch Lifestyle Community recorded on May 11, 2020 in the Records of Boulder County at Reception No. 03783407 and pursuant to C.R.S. 38-33-101 et seq., hereby consents to this plan.

By: Steven A. Erickson As: Authorized Signer  
Steven A. Erickson BC Lanterns Rock Creek LLC

The foregoing certificate of ownership was acknowledged before me this 7<sup>th</sup> day of November, 2022, by Steven A. Erickson

My commission expires June 23, 2024

Stephanie Gail Spetter  
Notary Public  
**STEPHANIE GAIL SPETTER**  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID #20204021717  
My Commission Expires 06-23-2024

### TOWN MANAGER CERTIFICATE

Approved by the Manager of the Town of Superior, State of Colorado.  
Witness my hand the corporate seal of the Town of Superior this 22 day of November, 2022.

ATTEST:  
Lydia Yecke Patricia Leyva, Town Clerk  
Math G. Mayhew Town Manager

### TOWN CLERK CERTIFICATE

I hereby certify that this FPSP Amendment was approved by the Town Manager by on this 22 day of November, 2022, and was filed in my office on the 22 day of November, 2022, at 2:50 o'clock p.m.

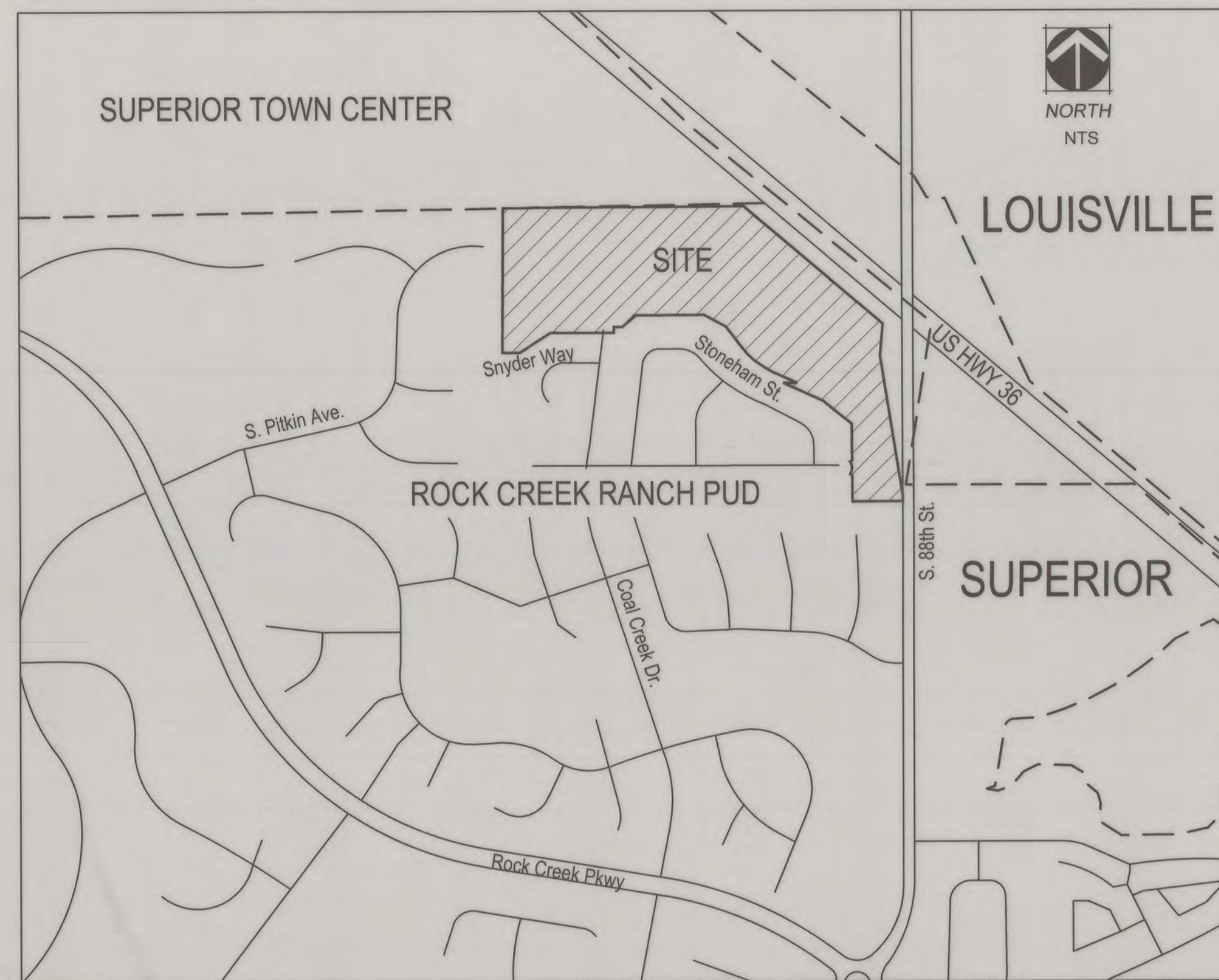
Lydia Yecke  
Town Clerk, Lydia Yecke



### LEGAL DESCRIPTION

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH G, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

### VICINITY MAP: NOT TO SCALE



### SITE DATA

<b>ZONING:</b>	
SITE ACREAGE:	21.665 AC (943,727 SF)
PROPOSED DENSITY:	2.9 DU/AC (62 UNITS- 31 DUPLEX BUILDINGS)
MAX. DENSITY ALLOWED IN PD #24	2.9 DU/AC

<b>OPEN SPACE / LANDSCAPE:</b>				
PRIVATE COMMON OPEN SPACE (TRACTS A, B, C, D, E, F AND G)	2.159 AC			
DEDICATED OPEN SPACE (OUTLOTS B AND C)	4.327 AC			
PRIVATE LOT OPEN SPACE	3.649 AC			
TOTAL PROJECT AREA (EXCLUDING OUTLOTS A, D AND E)	17.477 AC	REQUIRED	PROVIDED	
TOTAL OPEN SPACE AREA	10.135 AC	45%	58%	

LAND USE TABLE:	ACREAGE	SQ. FT.	OWNERSHIP / MAINTENANCE	USE
PRIVATE LOTS 1-62:	7.876	343,078	PRIVATE OWNERS / HOA	PRIVATE LOTS
TRACT A:	0.117	5,096	HOA	PRIVATE OPEN SPACE AND UTILITY / DRAINAGE EASEMENT
TRACT B:	0.172	7,492	HOA	PRIVATE OPEN SPACE AND UTILITY / DRAINAGE EASEMENT
TRACT C:	0.193	8,407	HOA	PRIVATE OPEN SPACE AND UTILITY / DRAINAGE EASEMENT
TRACT D:	0.069	3,005	HOA	PRIVATE OPEN SPACE AND UTILITY / DRAINAGE / SOUND WALL EASEMENT
TRACT E:	0.425	18,513	HOA	PRIVATE OPEN SPACE AND UTILITY / DRAINAGE / SOUND WALL EASEMENT
TRACT F:	1.044	45,476	HOA	PRIVATE OPEN SPACE AND UTILITY / DRAINAGE / WATERLINE / PUBLIC ACCESS EASEMENT
TRACT G:	0.139	6,054	HOA	PRIVATE OPEN SPACE AND UTILITY / DRAINAGE EASEMENT
OUTLOT A:	1.552	67,605	TOWN OF SUPERIOR	UTILITY / DRAINAGE / PUBLIC ACCESS / EMERGENCY VEHICLE ACCESS EASEMENT
OUTLOT B:	2.720	118,483	TOWN OF SUPERIOR	OPEN SPACE, TRAIL AND DRAINAGE / PUBLIC ACCESS / UTILITY EASEMENT
OUTLOT C:	1.607	70,000	TOWN OF SUPERIOR	OPEN SPACE, TRAIL AND DRAINAGE / PUBLIC ACCESS EASEMENT
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OUTLOT E:	2.002	87,207	TOWN OF SUPERIOR	DRAINAGE / UTILITY / PUBLIC ACCESS EASEMENT
PUBLIC RIGHT OF WAY:	3.115	135,689	TOWN OF SUPERIOR	LANTERNS LANE AND COAL CREEK DRIVE ROW

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### BUILDING DATA TABLE:

MODELS	# OF BEDROOMS (# OF OPTIONAL BEDROOMS)	# OF BATHS (# OF OPTIONAL BATHS)	MAIN FLOOR SQ. FT.	LOWER LEVEL SQ. FT. (OPTIONAL FINISHED)	POTENTIAL MAXIMUM TOTAL FLOOR AREA (INCLUDING OPTIONAL FINISHED LOWER LEVEL)	BLDG. HEIGHT
SOLSTICE / EQUINOX	2 (2)	2 (1)	1,733	1,406*	3,139	28'-30"
CAPSTONE	2 (2)	2 (1)	1,763	1,154*	2,917	28'-30"
TRIUMPH	2 (2)	2.5 (1)	1,624	1,145*	2,769	28'-30"
ZENITH II **	2 (1)	2 (1)	1,376	752*	2,128	28'-30"
VISTA **	2 (1)	2.5 (1)	1,623	884*	2,507	28'-30"

### NOTE:

\* Models offer an option to finish basement to include up to 2 additional bedrooms and 1 bath.  
\*\* Zenith II and Vista models are limited to 8 lots/4 duplexes, Lots 11-14 and 17-20 of Block 2. These models include two elevation types A & B. Adjacent units shall vary in both elevation and color finishes.

### PROJECT TEAM

**APPLICANT / BUILDER:**  
BOULDER CREEK NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO 80027  
C: MIKE COOPER  
P: (720) 259-5273

**CIVIL ENGINEER:**  
CIVIL RESOURCES, LLC.  
323 FIFTH STREET  
PO BOX 680  
FREDERICK, CO 80530  
C: JIM BRZOSTOWICZ  
P: (303) 833-1416

**IRRIGATION:**  
HYDROSYSTEMS KDI INC.  
860 TABOR STREET, SUITE 200  
LAKEWOOD, COLORADO 80401  
C: JILL BERSANO  
P: (303) 980-5327

### LANDSCAPE ARCHITECT/PLANNER:

NORRIS DESIGN  
1101 BANNOCK STREET  
DENVER, CO 80204  
C: JARED CARLON  
P: (303) 892-1166

### LIGHTING:

AE DESIGN  
1900 WAZEE STREET #205  
DENVER, CO 80202  
C: ERIC REITAN  
P: (720) 266-4734

### PURPOSE OF AMENDMENT

THIS AMENDMENT SEEKS TO MAKE MINOR CHANGES TO THE FINAL SITE PLAN WHICH INCLUDE:

- ADDITION OF NEW ARCHITECTURAL MODEL - ZENITH II / VISTA (SHEET 1 AND 35-46) TO PROVIDE ADDITIONAL ARCHITECTURAL VARIATION
- UPDATED FENCE DETAIL ON SHEET 29 TO RESPOND TO BUYER DEMANDS.
- ADDITION OF RETAINING WALLS WITHIN LOTS ON SHEETS 2, 4, 5, 6, 9, 10, 13 AND 14 AND ASSOCIATED RETAINING WALL DETAIL ON SHEET 16 TO RESOLVE FIELD CONDITIONS DURING CONSTRUCTION
- CORRECTIONS TO RESOLVE INCONSISTENCIES

### DEVELOPMENT STANDARDS

MINIMUM SETBACKS:	REQUIRED***	PROPOSED
FRONT (FRONT LOAD GARAGE):	20'-0"	20'-0"
FRONT (SIDE LOAD GARAGE):	20'-0"	12'-0"
SIDE:	0'-0" / 5'-0"	0'-0" / 5'-0"
SIDE CORNER:	10'-0"	10'-0"***
SIDE TO OPEN SPACE:	20'-0"	5'-0"
REAR:	20'-0"	15'-0"
REAR TO OPEN SPACE:	20'-0"	15'-0"

\* Common wall side setback  
\*\* The 10'-0" side corner setback is only requested for four total lots (Block 1 Lot 8, Block 2 Lot 1, Block 3 Lot 24, Block 4 Lot 1)  
\*\*\* The existing PUD is silent on setback requirements for single-family attached (duplex) homes, the existing PUD requirements for single-family detached homes are applied as the existing minimum requirement

	REQUIRED	PROPOSED
MAXIMUM HEIGHT	35'-0"	35'-0"
MINIMUM LOT SIZE	N/A	4,750 SF
MINIMUM LOT WIDTH	N/A	45'-0"
MAXIMUM LOT COVERAGE	N/A	60%

PARKING:	REQUIRED	PROPOSED
2 BEDROOMS - 2 SPACES 3 BEDROOMS - 3 SPACES 4+ BEDROOMS - 3.5 SPACES + 0.25 SPACES/UNIT FOR GUEST PARKING		2 GARAGED PARKING SPACES PER UNIT + 2 DRIVEWAY PARKING SPACES PER UNIT (1) + 1 ON-STREET GUEST PARKING SPACE PER UNIT (2)

- The 2 spaces provided on the driveway are clear of the shared driveway access easement
- Guest parking spaces are provided on public ROW.

ROCK CREEK RANCH FIL. NO. 12A  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

OWNER:  
SUPERIOR ROCK CREEK, LLC

1440 BLAKE ST. 3320  
DENVER, CO 80202

APPLICANT:  
BOULDER CREEK NEIGHBORHOODS

712 MAIN STREET  
LOUISVILLE, CO



Know what's below.  
Call before you dig.

DATE:  
JANUARY 24, 2018  
APRIL 18, 2018  
JUNE 13, 2018  
JULY 16, 2018  
OCTOBER 5, 2018  
OCTOBER 19, 2018  
SEPTEMBER 27, 2021  
OCTOBER 13, 2021

SHEET TITLE:  
COVER SHEET

1  
SHEET 1 OF 69

NOT FOR CONSTRUCTION

CHECKED BY: LV  
DRAWN BY: RB/CJGM

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 SUPERIOR, COLORADO

#### CERTIFICATE OF OWNERSHIP - PROPERTY OWNER

I certify that I \_\_\_\_\_, am the sole owner of the property and consent to this plan.  
 Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Owners \_\_\_\_\_ Mortgagees or Lien Holders \_\_\_\_\_  
 The foregoing certificate of ownership was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_.  
 My commission expires: \_\_\_\_\_  
 Notary Public \_\_\_\_\_

#### TOWN MANAGER CERTIFICATE

Approved by the Manager of the Town of Superior, State of Colorado.  
 Witness my hand the corporate seal of the Town of Superior this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

ATTEST:  
 Patricia Leyva, Town Clerk \_\_\_\_\_ Town Manager \_\_\_\_\_

#### TOWN CLERK CERTIFICATE

I hereby certify that this FPSP Amendment was approved by the Town Manager by on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and was filed in my office on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_m.

Town Clerk \_\_\_\_\_

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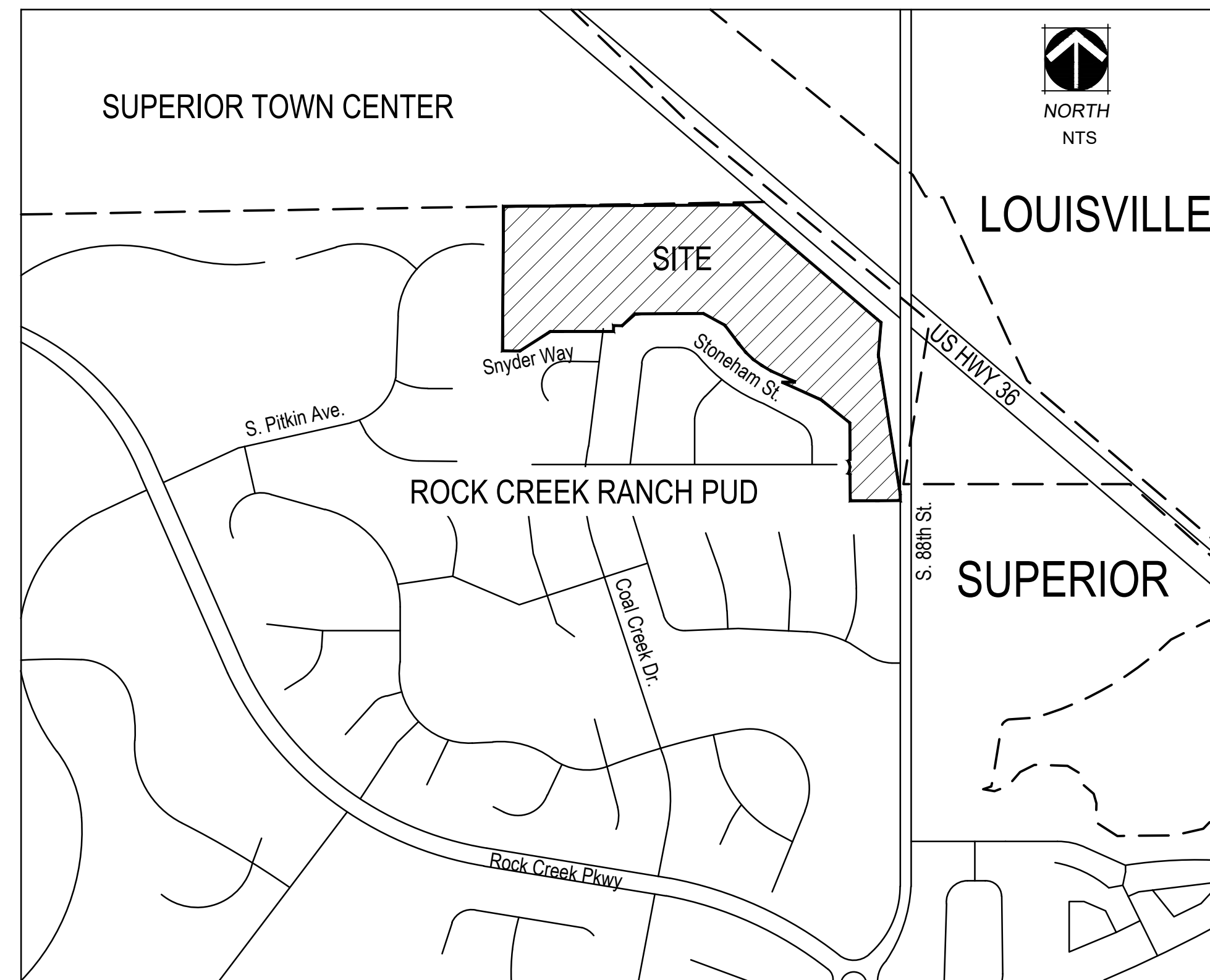
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 \*\* Zenith II and Vista models are limited to 8 lots/4 duplexes, Lots 11-14 and 17-20 of Block 2. These models include two elevation types A & B. Adjacent units shall vary in both elevation and color finishes.

#### PROJECT TEAM

<b>APPLICANT / BUILDER:</b> BOULDER CREEK NEIGHBORHOODS 712 MAIN STREET LOUISVILLE, CO 80027 C: MIKE COOPER P: (720) 259-5273	<b>CIVIL ENGINEER:</b> CIVIL RESOURCES, LLC. 860 TABOR STREET, SUITE 200 PO BOX 680 FREDERICK, CO 80530 C: JIM BRZOSTOWICZ P: (303) 833-1416	<b>IRRIGATION:</b> HYDROSYSTEMS KDI INC. 860 TABOR STREET, SUITE 200 LAKEWOOD, COLORADO 80401 COLORADO C: JILL BERSANO P: 303-980-5327
<b>LANDSCAPE ARCHITECT/PLANNER:</b> NORRIS DESIGN 1101 BANNOCK STREET DENVER, CO 80204 C: JARED CARLON P: (303) 892-1166	<b>LIGHTING:</b> AE DESIGN 1900 WAZEE STREET #205 DENVER, CO 80202 C: ERIC REITAN P: (720) 266-4734	

OWNER:  
 SUPERIOR ROCK CREEK, LLC

1440 BLAKE ST. 3320  
 DENVER, CO 80202

APPLICANT:  
 BOULDER CREEK NEIGHBORHOODS  
 712 MAIN STREET  
 LOUISVILLE, CO



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 APRIL 18, 2018  
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 OCTOBER 19, 2018  
 SEPTEMBER 27, 2021  
 OCTOBER 13, 2021

SHEET TITLE:

COVER SHEET

1  
 SHEET 1 OF 69

NOT FOR CONSTRUCTION

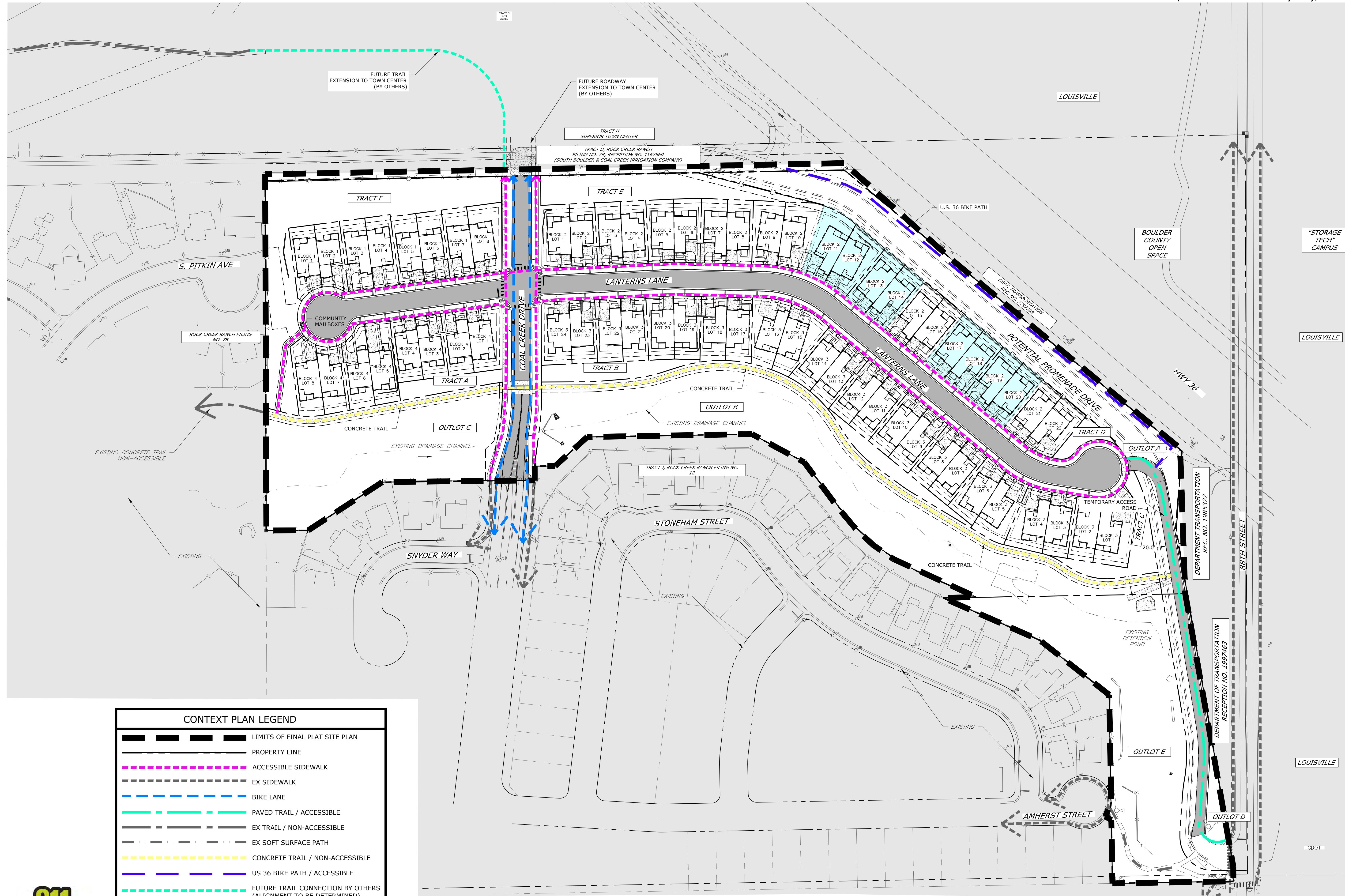
CHECKED BY: LV  
 DRAWN BY: RB/CTCM

# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

**VESTED RIGHTS**  
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CONTEXT PLAN LEGEND	
	LIMITS OF FINAL PLAT SITE PLAN
	PROPERTY LINE
	ACCESSIBLE SIDEWALK
	EX SIDEWALK
	BIKE LANE
	PAVED TRAIL / ACCESSIBLE
	EX TRAIL / NON-ACCESSIBLE
	EX SOFT SURFACE PATH
	CONCRETE TRAIL / NON-ACCESSIBLE
	US 36 BIKE PATH / ACCESSIBLE
	FUTURE TRAIL CONNECTION BY OTHERS (ALIGNMENT TO BE DETERMINED)
	PROPERTY OUTSIDE LIMITS
	ZENITH II/VISTA PLANS

**NOTE:**  
ZENITH II AND VISTA MODELS ARE LIMITED TO 8 LOTS/4 DUPLEXES, LOTS 11-14 AND 17-20 OF BLOCK 2. THESE MODELS INCLUDE TWO ELEVATION TYPES A & B. ADJACENT UNITS SHALL VARY IN BOTH ELEVATION AND COLOR FINISHED.

**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

**OWNER:**  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

**APPLICANT:**  
BOULDER CREEK NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO



**DATE:**  
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APRIL 18, 2018  
JUNE 13, 2018  
JULY 16, 2018  
OCTOBER 5, 2018  
OCTOBER 19, 2018  
SEPT 27, 2021  
OCT 13, 2021

**SHEET TITLE:**  
CONTEXT PLAN

2  
SHEET 2 OF 69

CHECKED BY: JAB  
DRAWN BY: DL



**NOT FOR CONSTRUCTION**

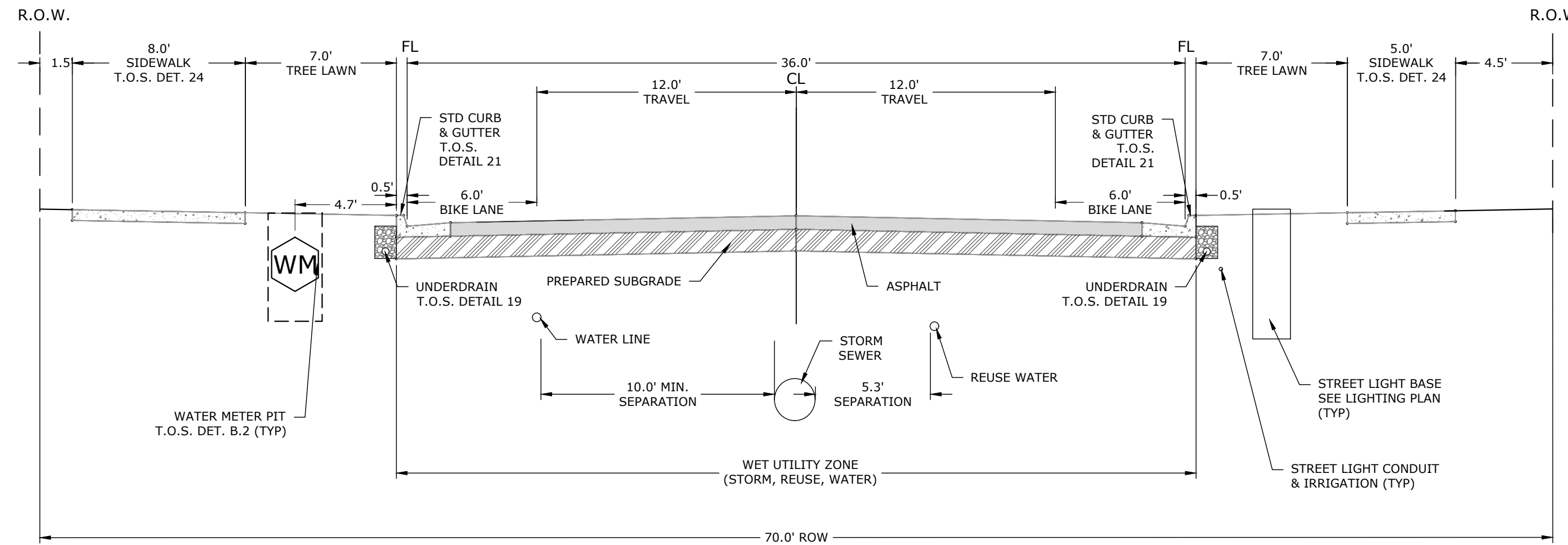
# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

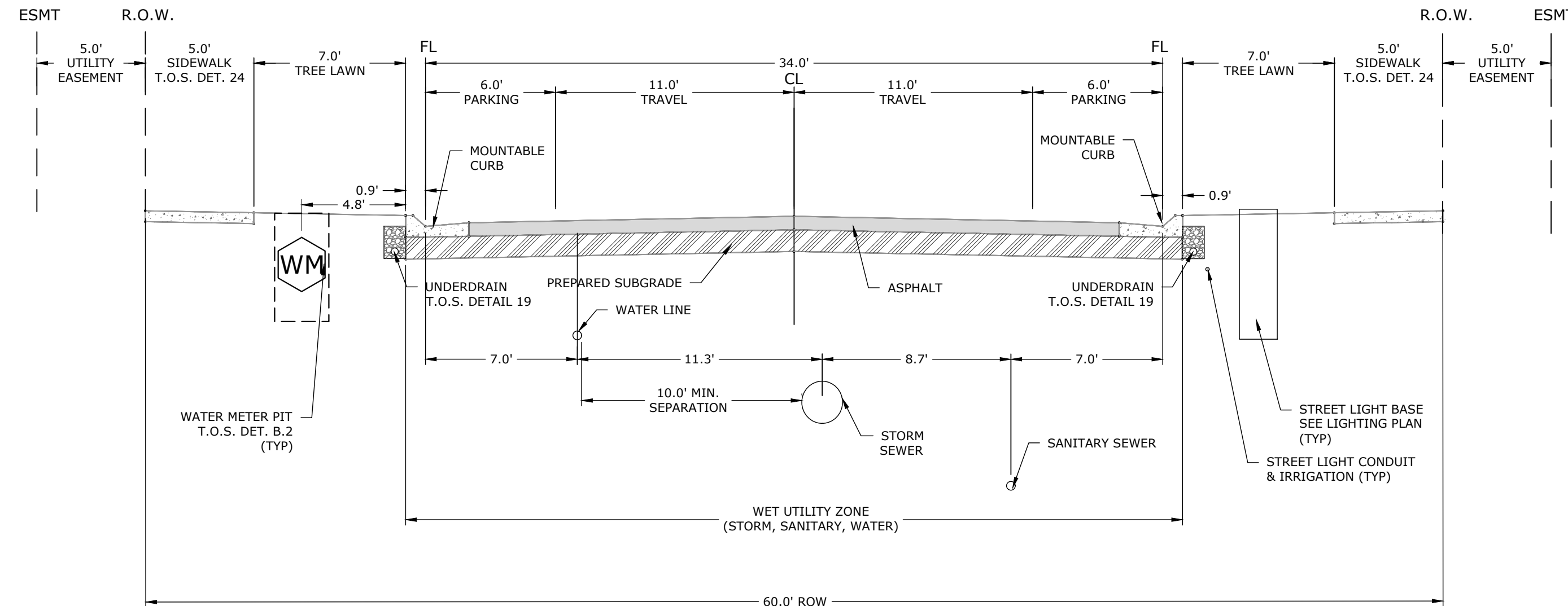
VESTED RIGHTS  
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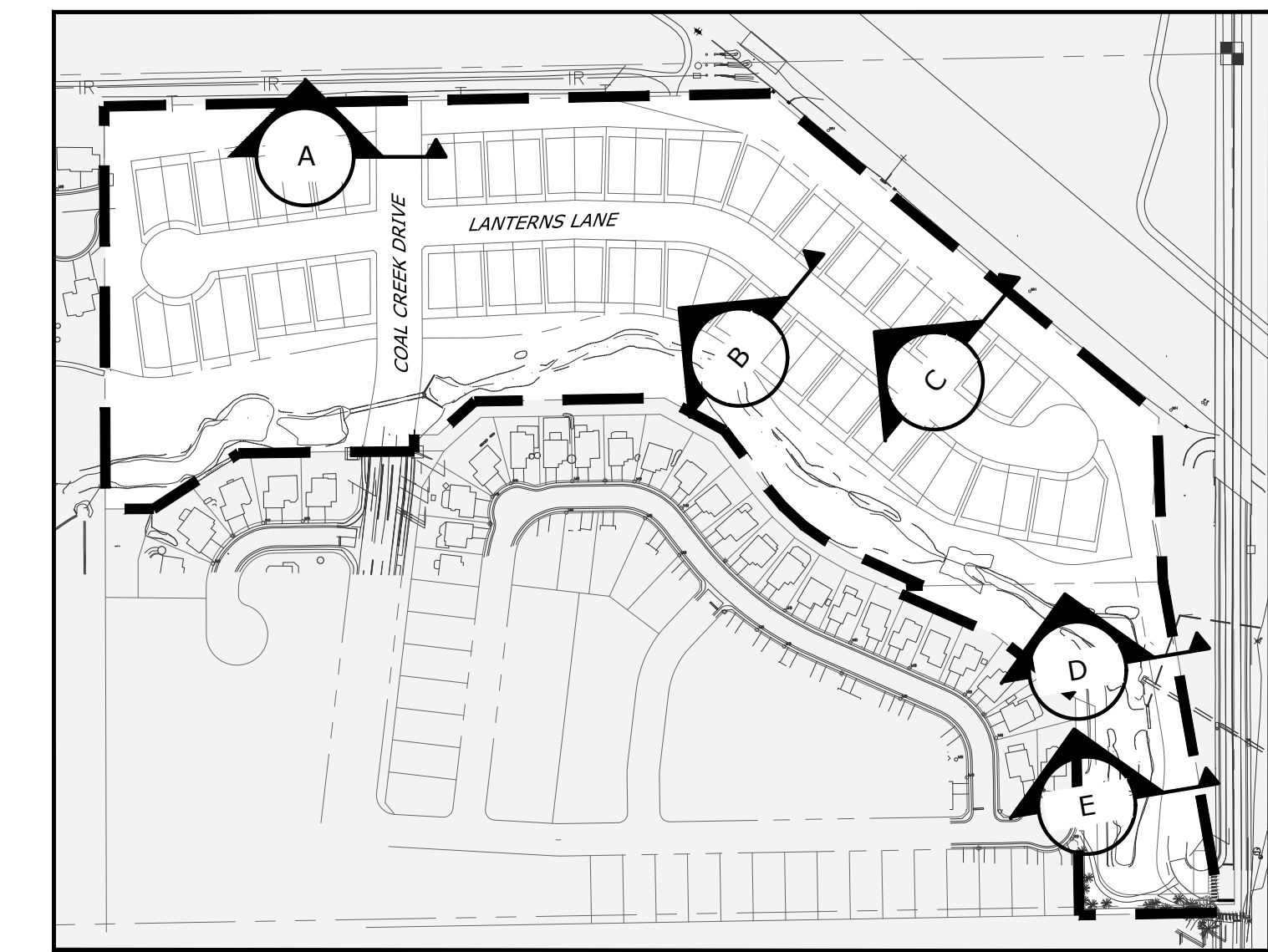
323 5th STREET  
P.O. Box 680  
FREDERICK, CO 80530  
303.833.1416  
WWW.CIVILRESOURCES.COM



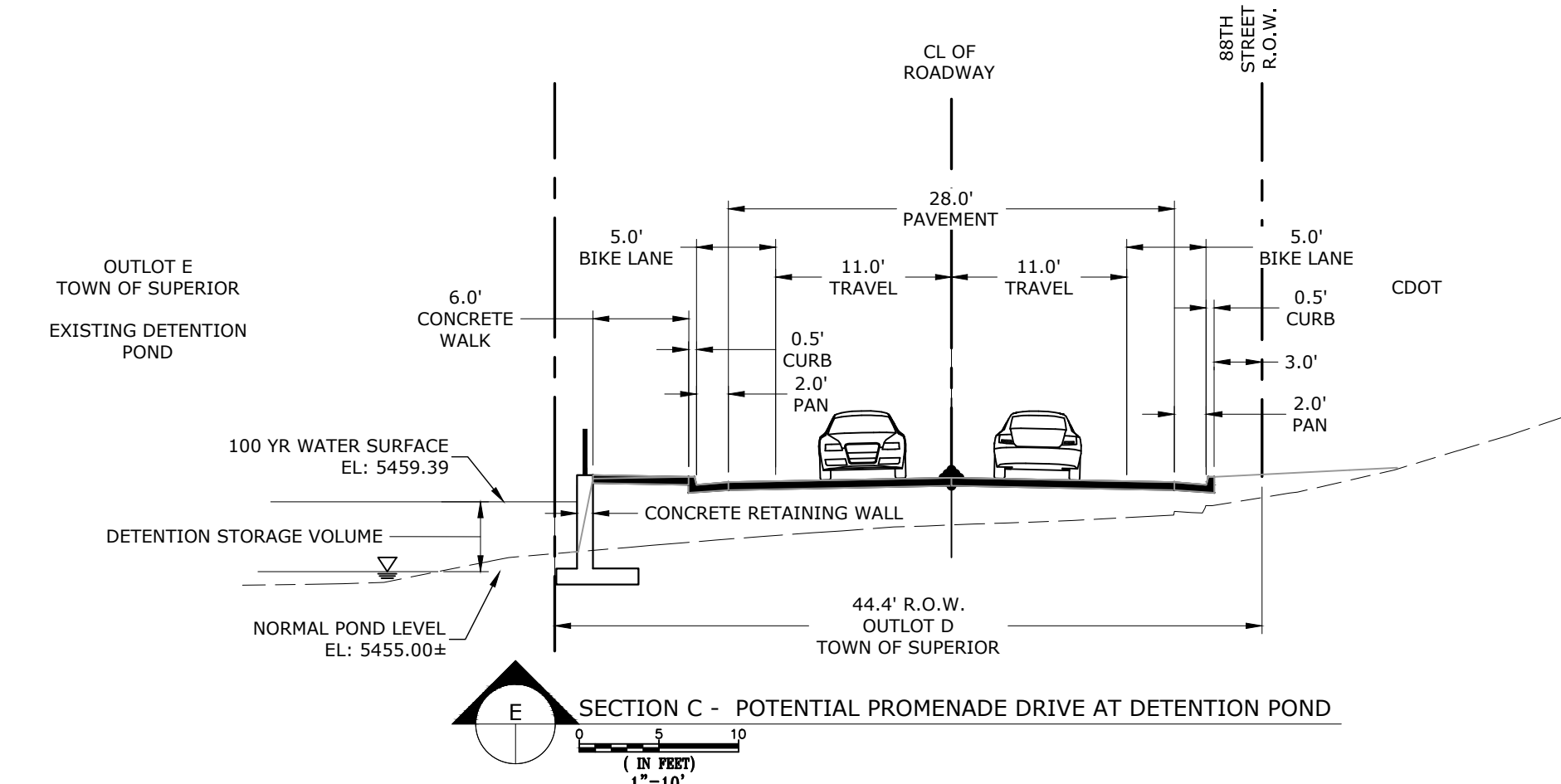
A  
COAL CREEK DRIVE - FACING NORTH - TYPICAL SECTION NORTH OF TRAIL  
*(IN FEET)*  
1"=5'



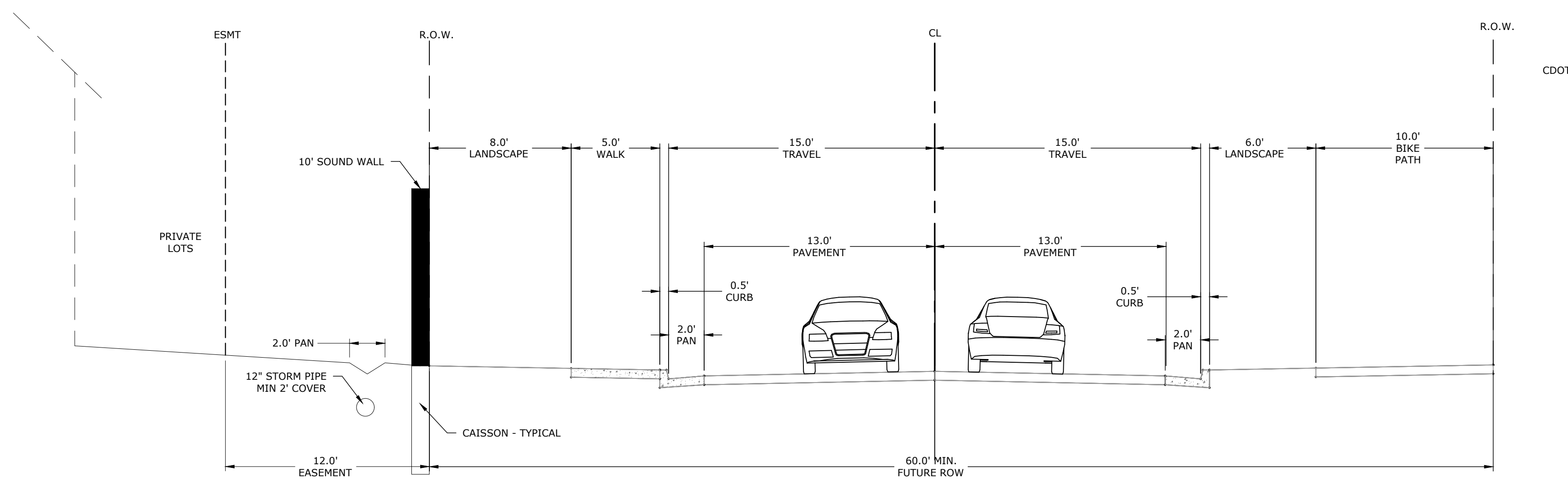
B  
LANTERNS LANE - TYPICAL SECTION  
*(IN FEET)*  
1"=5'



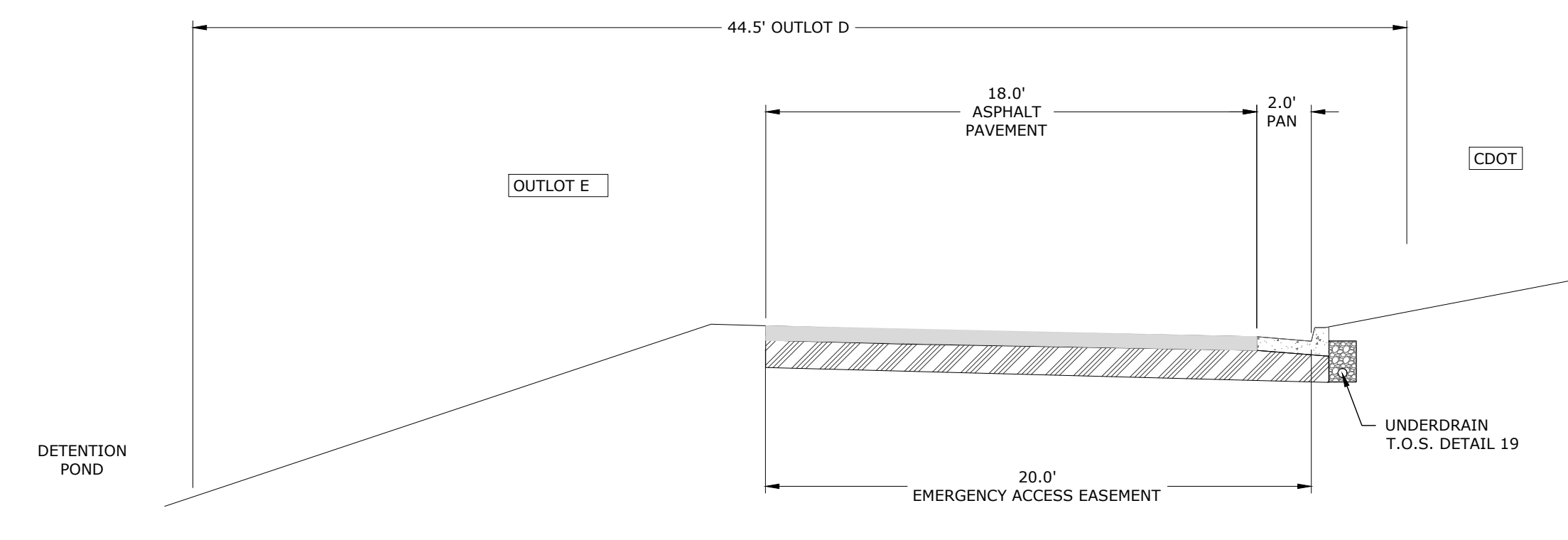
SECTION KEY  
NORTH



C  
SECTION C - POTENTIAL PROMENADE DRIVE AT DETENTION POND  
*(IN FEET)*  
1"=10'



D  
POTENTIAL PROMENADE DRIVE - FACING NORTH - TYPICAL SECTION ALONG US 36  
*(IN FEET)*  
1"=5'



E  
EMERGENCY VEHICLE ACCESS  
*(IN FEET)*  
1"=5'

**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

OWNER:  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202  
APPLICANT:  
BOULDER CREEK  
NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO



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- OCT 13, 2021

SHEET TITLE:

STREET  
SECTIONS

3

SHEET 3 OF 69

CHECKED BY: JAB  
DRAWN BY: DL

**NOT FOR CONSTRUCTION**

# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

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**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

**OWNER:**  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

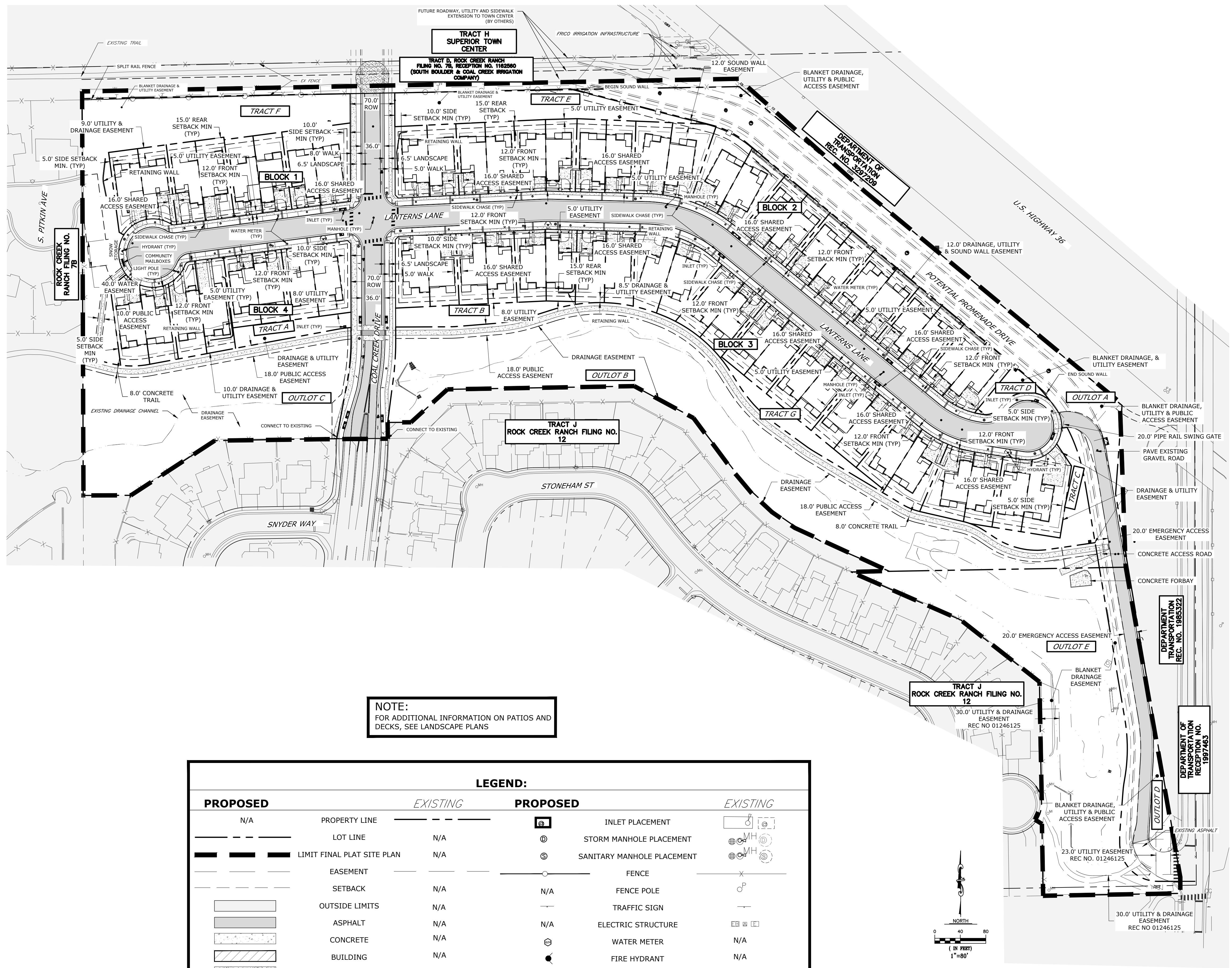
**APPLICANT:**  
BOULDER CREEK NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO

  
**811**  
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OCTOBER 19, 2018  
SEPT 27, 2021  
OCT 13, 2021

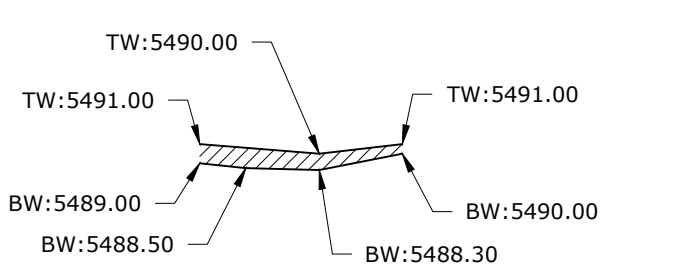
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OVERALL SITE PLAN

4  
SHEET 4 OF 69

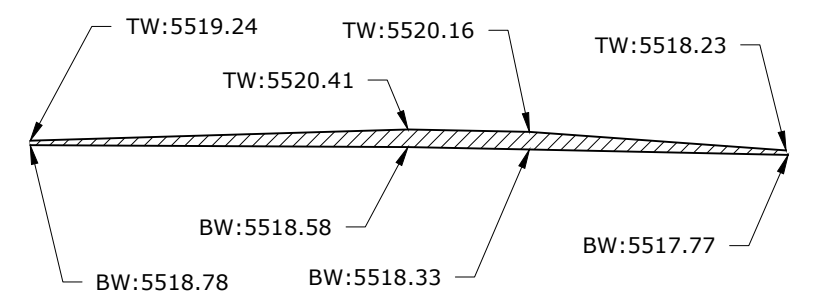


**NOTE:**  
FOR ADDITIONAL INFORMATION ON PATIOS AND DECKS, SEE LANDSCAPE PLANS

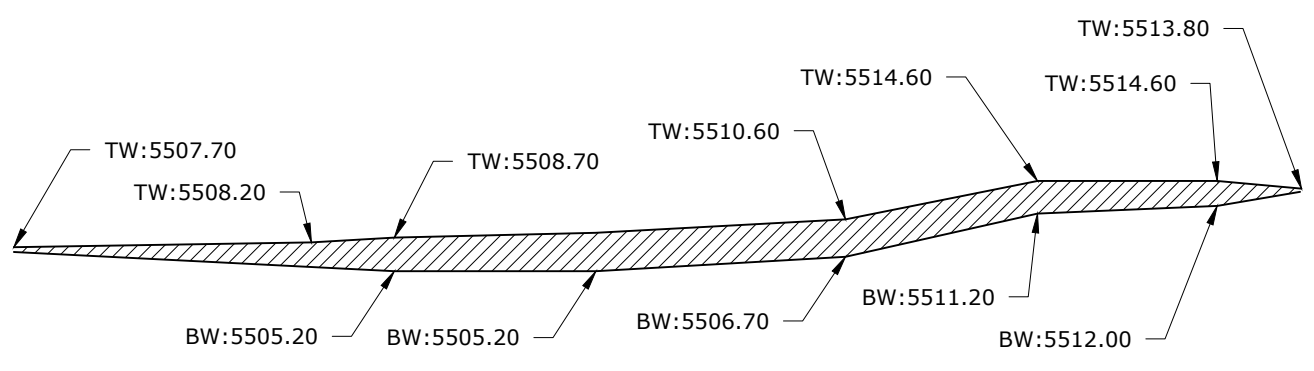
PROPOSED		EXISTING		PROPOSED		EXISTING	
N/A	PROPERTY LINE	---		[a]	INLET PLACEMENT	[ ]	
---	LOT LINE	N/A		[o]	STORM MANHOLE PLACEMENT	[o]	
---	LIMIT FINAL PLAT SITE PLAN	N/A		[s]	SANITARY MANHOLE PLACEMENT	[s]	
---	EASEMENT	---		[x]	FENCE	[x]	
---	SETBACK	N/A		[t]	FENCE POLE	[t]	
[shaded]	OUTSIDE LIMITS	N/A		[e]	TRAFFIC SIGN	[e]	
[hatched]	ASPHALT	N/A		[w]	ELECTRIC STRUCTURE	[w]	
[dotted]	CONCRETE	N/A		[m]	WATER METER	[m]	
[diagonal lines]	BUILDING	N/A		[f]	FIRE HYDRANT	[f]	
[cross-hatched]	GRAVEL	N/A		[l]	LIGHT POLE	[l]	
[stippled]	RIPRAP	N/A		[d]	DRAINAGE CHANNEL	[d]	
[dashed line]	SIDEWALK CHASE	N/A		[a/c]	A/C UNIT	[a/c]	
[solid line]	SOUND WALL	N/A					



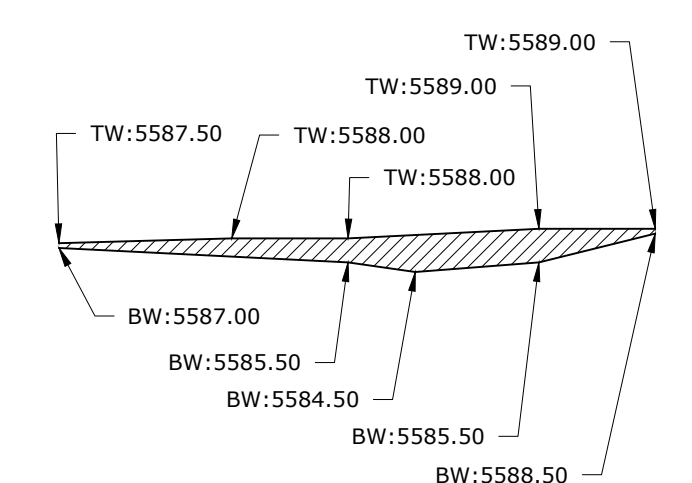
**BLOCK 3 LOT 17 PROFILE**  
FOR PLAN SEE SHEET 5  
SCALE: 1"=1'



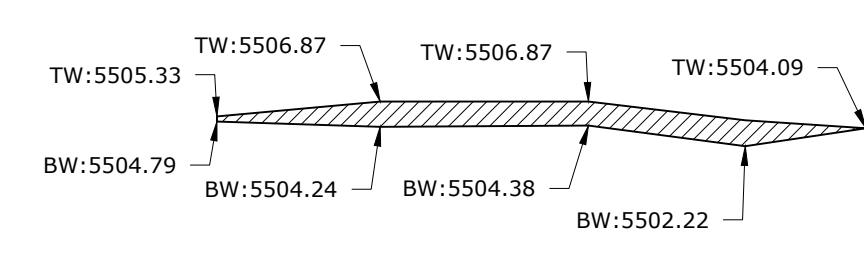
**BLOCK 4 LOT 5 PROFILE**  
FOR PLAN SEE SHEET 5  
SCALE: 1"=1'



**BLOCK 4 LOT 5 PROFILE**  
FOR PLAN SEE SHEET 5  
SCALE: 1"=1'



**BLOCK 3 LOT 19 PROFILE**  
FOR PLAN SEE SHEET 5  
SCALE: 1"=1'



**BLOCK 2 LOT 1 PROFILE**  
FOR PLAN SEE SHEET 5  
SCALE: 1"=1'

**WALL NOTE:**  
WALL HEIGHTS AND LENGTHS SUBJECT TO MINOR REVISION AS PART OF PLOT PLAN

CHECKED BY: JAB  
DRAWN BY: DL

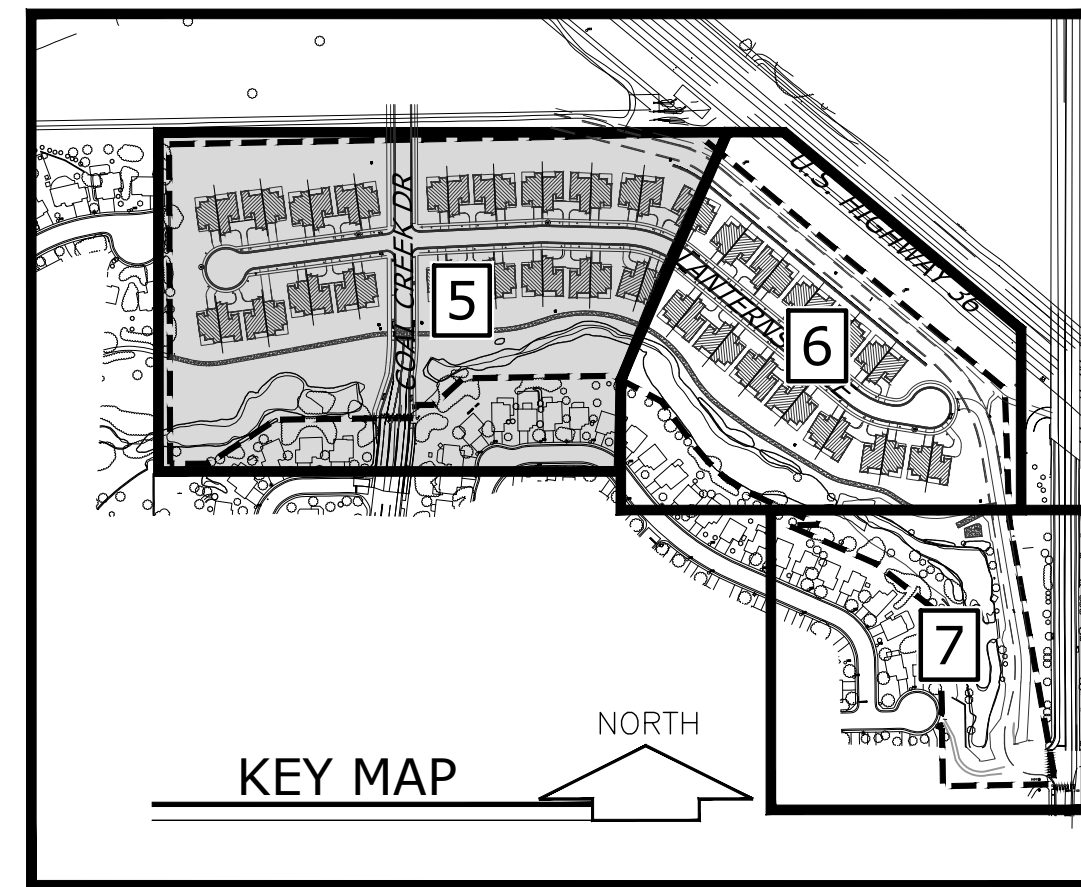
**NOT FOR CONSTRUCTION**

# FINAL PLAT SITE PLAN 35, AMENDMENT #1

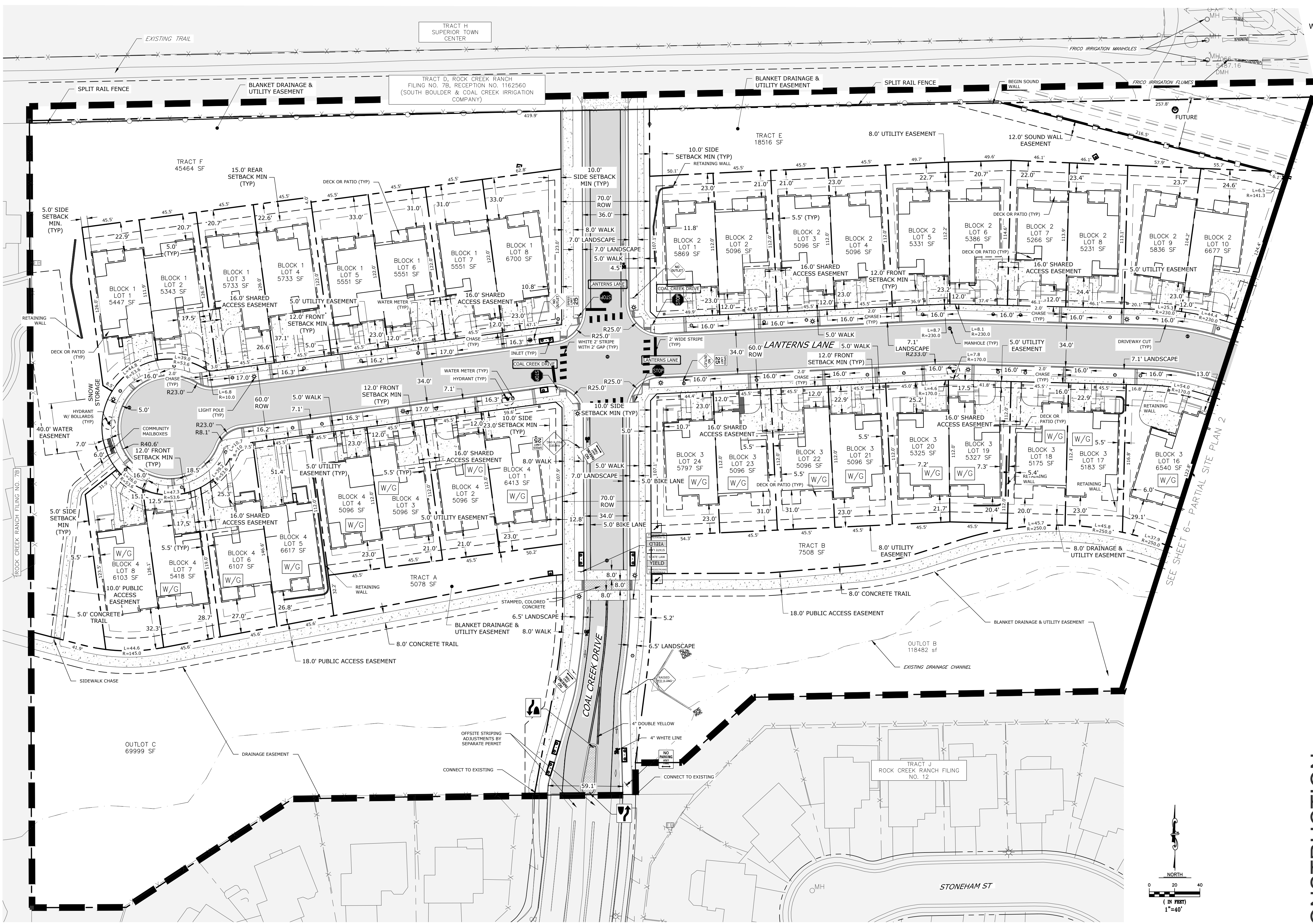
BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

**VESTED RIGHTS**  
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FREDERICK, CO 80530  
303.833.1416  
WWW.CIVILRESOURCES.COM



LEGEND:	
PROPOSED	EXISTING
N/A	PROPERTY LINE
---	LOT LINE
---	LIMIT FINAL PLAT SITE PLAN
---	EASEMENT
---	SETBACK
---	OUTSIDE LIMITS
---	ASPHALT
---	CONCRETE
---	BUILDING
---	COLORLED, STAMPED CONCRETE
---	SOUND WALL
---	INLET PLACEMENT
⊙	STORM MANHOLE PLACEMENT
⊙	SANITARY MANHOLE PLACEMENT
---	FENCE
---	FENCE POLE
---	TRAFFIC SIGN
---	ELECTRIC STRUCTURE
⊙	WATER METER
⊙	FIRE HYDRANT
⊙	LIGHT POLE
---	DRAINAGE CHANNEL
---	MATCHLINE
W/G	POTENTIAL WALK OUT BASEMENT
---	SIDEWALK CHASE
---	COMMUNITY MAILBOXES
⊙	A/C UNIT



**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

**OWNER:**  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

**APPLICANT:**  
BOULDER CREEK NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO



**DATE:**

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APRIL 18, 2018
JUNE 13, 2018
JULY 16, 2018
OCTOBER 5, 2018
OCTOBER 19, 2018
SEPT 27, 2021
OCT 13, 2021

**SHEET TITLE:**  
PARTIAL SITE PLAN 1

CHECKED BY: JAB  
DRAWN BY: DL

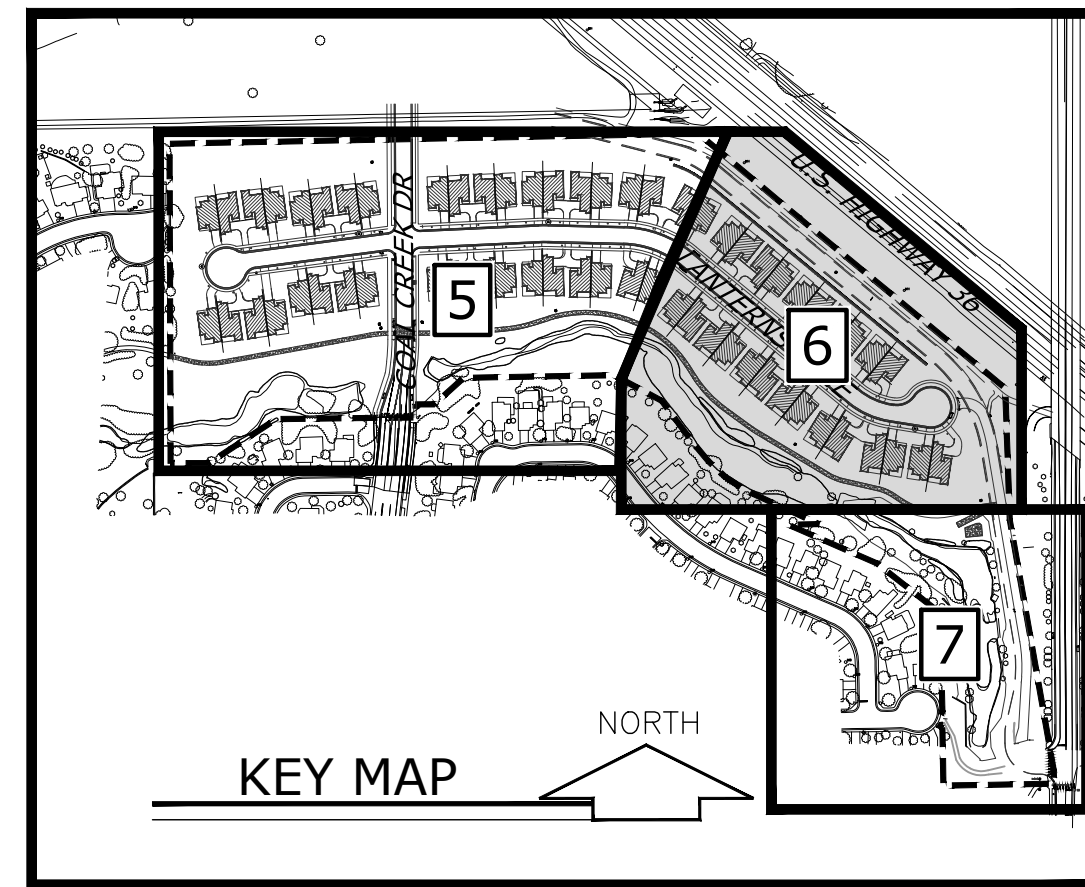
**NOT FOR CONSTRUCTION**

# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

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LEGEND:	
PROPOSED	EXISTING
N/A	PROPERTY LINE
---	LOT LINE
---	LIMIT FINAL PLAT SITE PLAN
---	EASEMENT
---	SETBACK
---	OUTSIDE LIMITS
---	ASPHALT
---	CONCRETE
---	BUILDING
---	COLORED, STAMPED CONCRETE
---	SOUND WALL
---	INLET PLACEMENT
---	STORM MANHOLE PLACEMENT
---	SANITARY MANHOLE PLACEMENT
---	FENCE
---	FENCE POLE
---	TRAFFIC SIGN
---	ELECTRIC STRUCTURE
---	WATER METER
---	FIRE HYDRANT
---	LIGHT POLE
---	DRAINAGE CHANNEL
---	MATCHLINE
---	POTENTIAL WALKOUT/GARDEN LEVEL
---	SIDEWALK CHASE
---	COMMUNITY MAILBOXES
---	A/C UNIT



**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

**OWNER:**  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

**APPLICANT:**  
BOULDER CREEK NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO

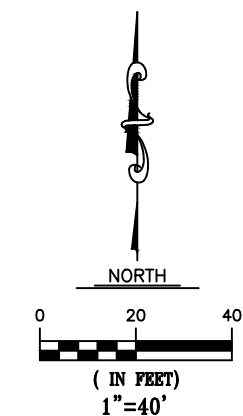


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	JUNE 13, 2018
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	OCTOBER 19, 2018
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	OCT 13, 2021

**SHEET TITLE:**  
PARTIAL SITE PLAN 2

CHECKED BY: JAB  
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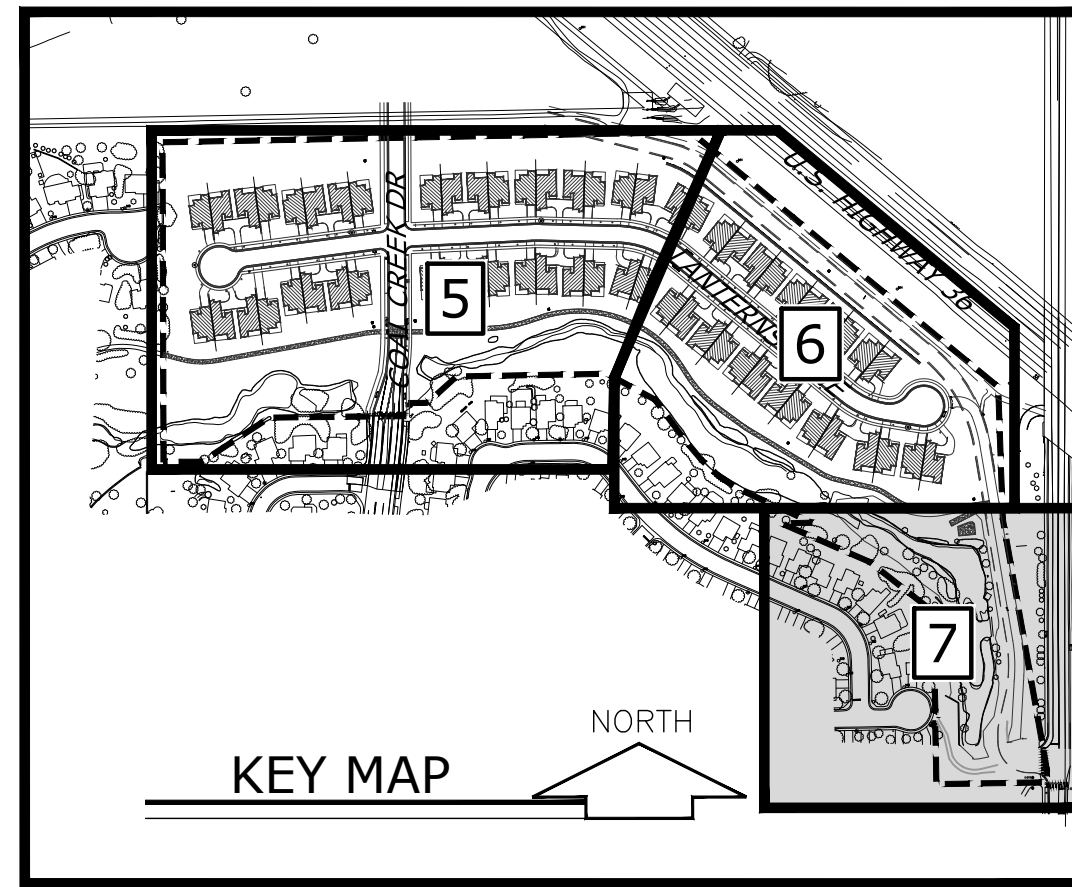
# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

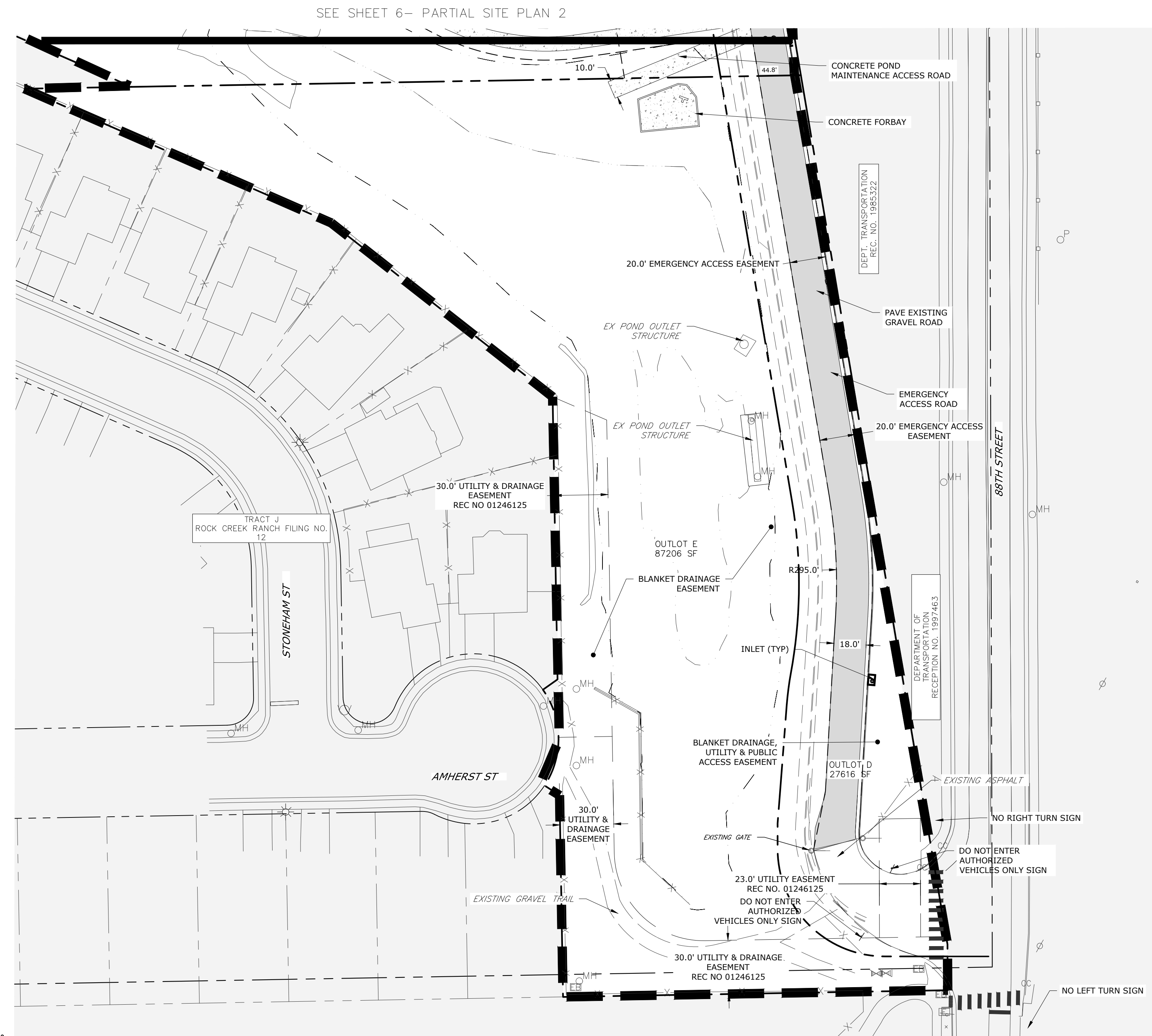
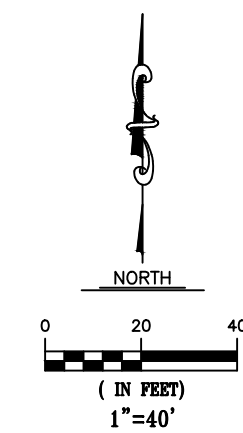
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PROPOSED		EXISTING		PROPOSED		EXISTING	
N/A	PROPERTY LINE	---	---	[a]	INLET PLACEMENT	[Symbol]	[Symbol]
---	LOT LINE	N/A	---	[Symbol]	STORM MANHOLE PLACEMENT	[Symbol]	[Symbol]
---	LIMIT FINAL PLAT SITE PLAN	N/A	---	[Symbol]	SANITARY MANHOLE PLACEMENT	[Symbol]	[Symbol]
---	EASEMENT	---	---	[Symbol]	FENCE	[Symbol]	[Symbol]
---	SETBACK	N/A	---	N/A	FENCE POLE	[Symbol]	[Symbol]
[Symbol]	OUTSIDE LIMITS	N/A	---	---	TRAFFIC SIGN	[Symbol]	[Symbol]
[Symbol]	CONCRETE	N/A	---	N/A	ELECTRIC STRUCTURE	[Symbol]	[Symbol]
[Symbol]	ASPHALT	N/A	---	N/A	DRAINAGE CHANNEL	[Symbol]	[Symbol]
---	MATCHLINE	N/A	---	---			



**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

OWNER:  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

APPLICANT:  
BOULDER CREEK  
NEIGHBORHOODS  
712 MAIN STREET  
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- OCT 13, 2021

SHEET TITLE:

PARTIAL SITE  
PLAN 3

7

SHEET 7 OF 69

CHECKED BY: JAB  
DRAWN BY: DL

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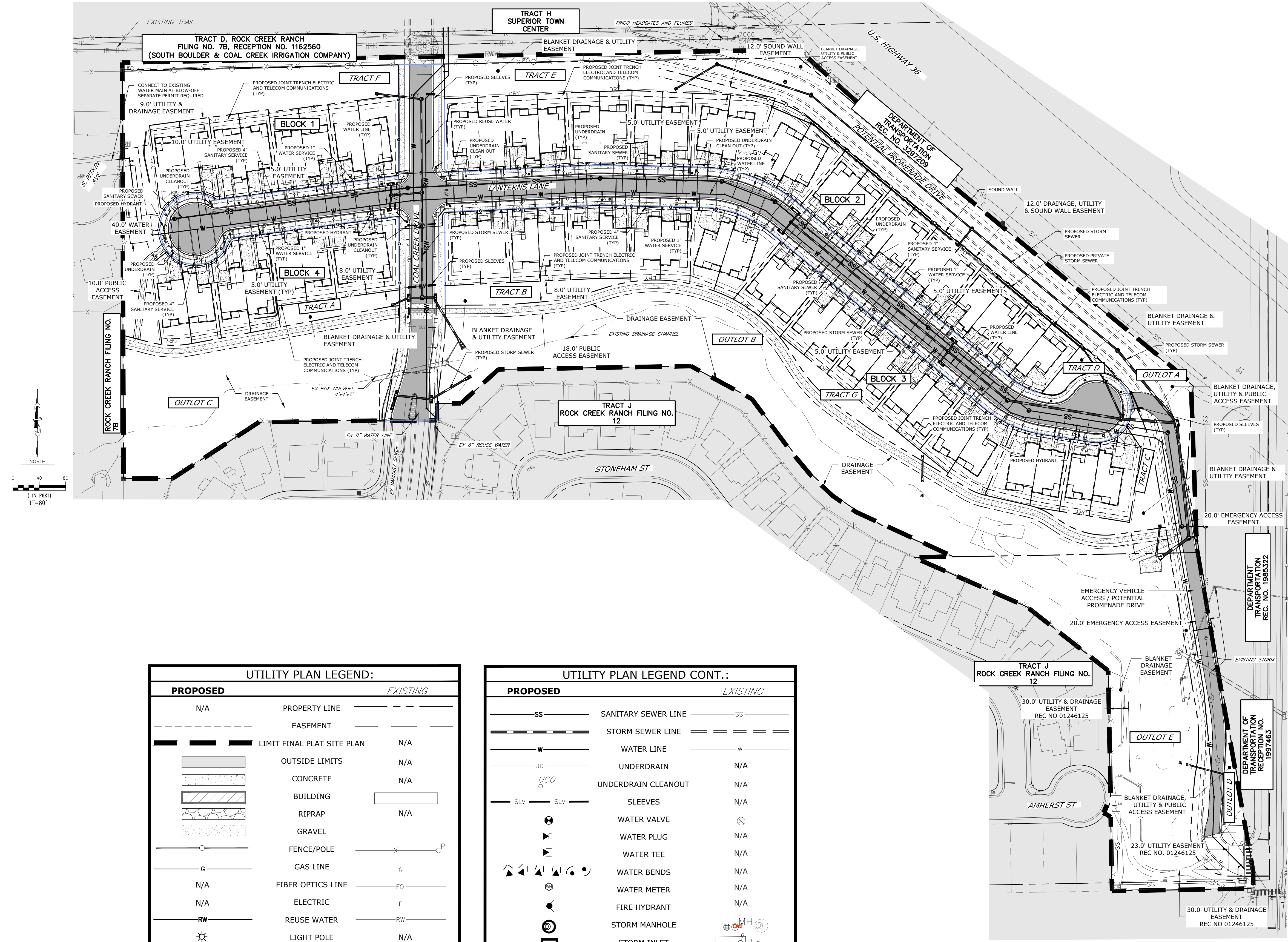


# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
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UTILITY PLAN LEGEND:		
PROPOSED		EXISTING
N/A	PROPERTY LINE	---
---	EASEMENT	---
---	LIMIT FINAL PLAT SITE PLAN	N/A
[Pattern]	OUTSIDE LIMITS	N/A
[Pattern]	CONCRETE	N/A
[Pattern]	BUILDING	[Pattern]
[Pattern]	RIPRAP	N/A
[Pattern]	GRAVEL	N/A
---	FENCE/POLE	X --- P
G	GAS LINE	G
N/A	FIBER OPTICS LINE	FO
N/A	ELECTRIC	E
RW	REUSE WATER	RW
☼	LIGHT POLE	N/A
N/A	IRRIGATION	IR
---	TELECOM TRENCH	N/A
[Symbol]	A/C UNIT	N/A

UTILITY PLAN LEGEND CONT.:		
PROPOSED		EXISTING
SS	SANITARY SEWER LINE	SS
---	STORM SEWER LINE	---
W	WATER LINE	W
UD	UNDERDRAIN	N/A
UCO	UNDERDRAIN CLEANOUT	N/A
SLV	SLEEVES	N/A
[Symbol]	WATER VALVE	[Symbol]
[Symbol]	WATER PLUG	N/A
[Symbol]	WATER TEE	N/A
[Symbol]	WATER BENDS	N/A
[Symbol]	WATER METER	N/A
[Symbol]	FIRE HYDRANT	N/A
[Symbol]	STORM MANHOLE	[Symbol]
[Symbol]	STORM INLET	[Symbol]
[Symbol]	SANITARY MANHOLE	[Symbol]
[Symbol]	SOUND WALL	N/A
N/A	DRAINAGE CHANNEL	---

**NOTE:**  
SUMP PUMP DISCHARGES SHALL BE CONVEYED TO BACKYARD SWALE OR SIDEWALK CHASES.

**811 Know what's below. Call before you dig.**  
ALL DOMESTIC WATER MAIN PIPE IS BLUE PVC C900 DR14 FULLY RESTRAINED  
ALL REUSE WATER PIPE IS PURPLE PVC C900 CR14 FULLY RESTRAINED  
ALL SANITARY SEWER PIPE IS GREEN SDR26  
ALL HYDRANT BRANCH LINES ARE DIP CLASS 52  
ALL STORM SEWER IS CLASS IV RCP UNLESS OTHERWISE NOTED  
ALL DOMESTIC WATER SERVICE PIPE IS TYPE K COPPER  
ALL SANITARY UNDERDRAIN IS WHITE PVC SDR26 PERFORATED  
ALL SANITARY UNDERDRAIN SERVICE PIPE IS WHITE PVC SDR26 NON-PERFORATED

**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

**OWNER:**  
SUPERIOR ROCK CREEK, LLC  
1440 BLAKE ST. 3320  
DENVER, CO 80202

**APPLICANT:**  
BOULDER CREEK NEIGHBORHOODS  
712 MAIN STREET  
LOUISVILLE, CO

**811 Know what's below. Call before you dig.**

**DATE:**

JANUARY 24, 2018
APRIL 18, 2018
JUNE 13, 2018
JULY 16, 2018
OCTOBER 5, 2018
OCTOBER 19, 2018
SEPT 27, 2021
OCT 13, 2021

**SHEET TITLE:**  
OVERALL  
UTILITY PLAN

8

SHEET 8 OF 69

**NOT FOR CONSTRUCTION**

CHECKED BY: JAB  
DRAWN BY: DL

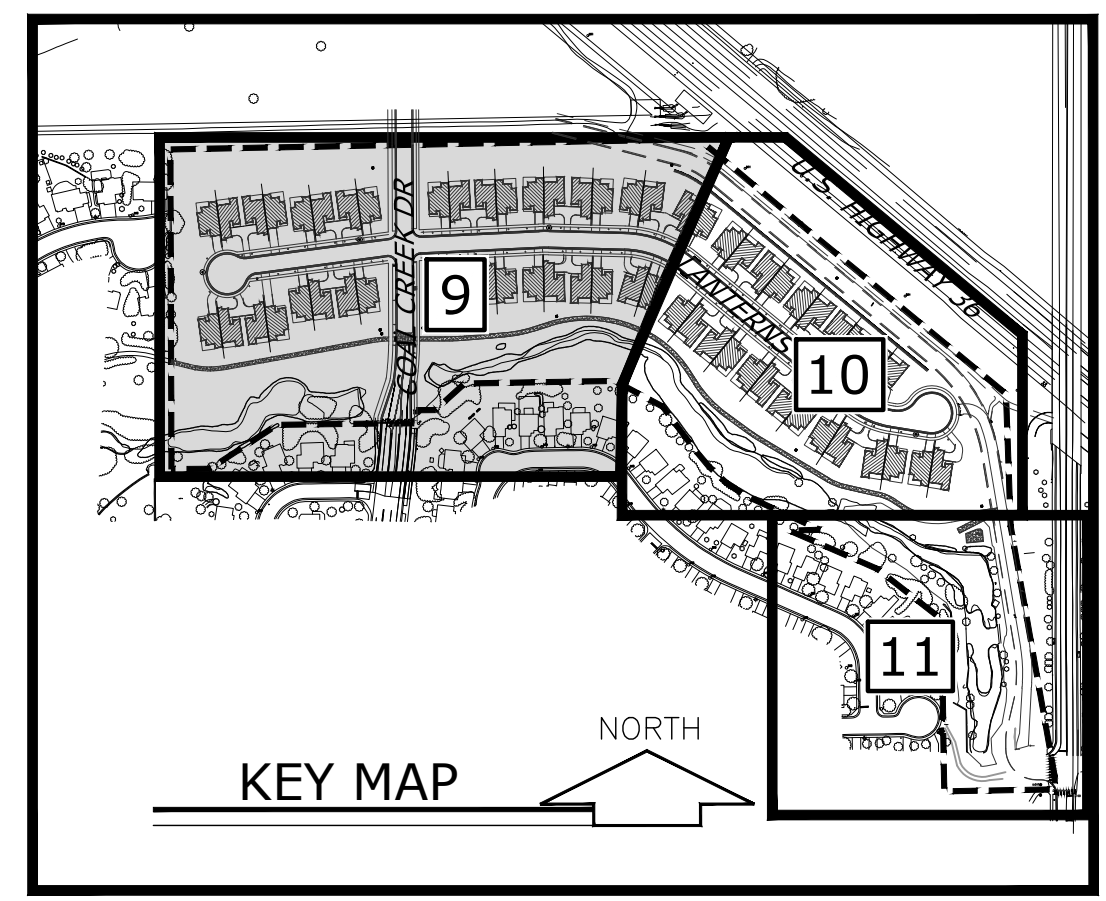
# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

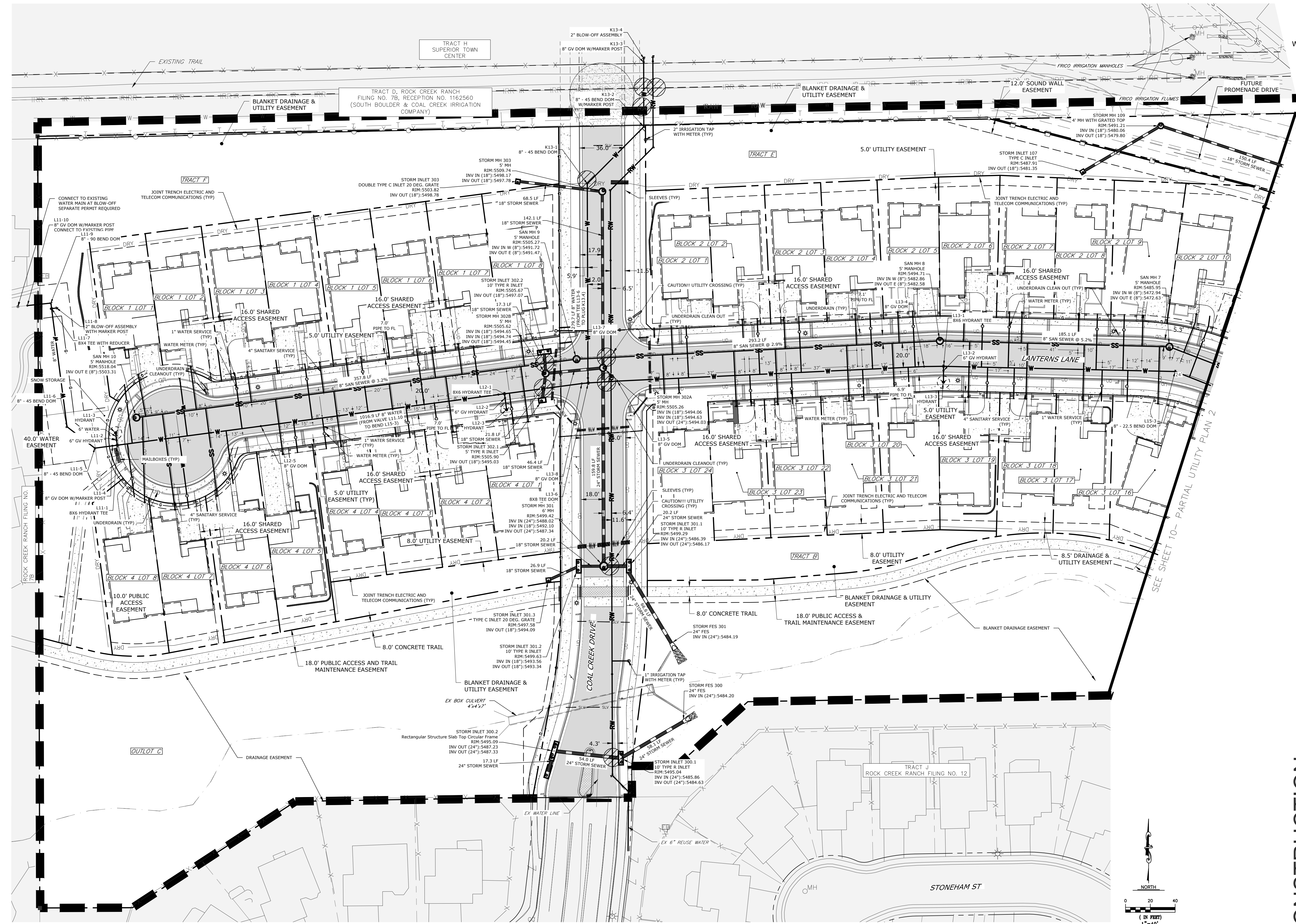
**VESTED RIGHTS**  
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323 5th STREET  
P.O. Box 680  
FREDERICK, CO 80530  
303.833.1416  
WWW.CIVILRESOURCES.COM



UTILITY PLAN LEGEND:	
PROPOSED	EXISTING
N/A	PROPERTY LINE
---	EASEMENT
---	LIMIT FINAL PLAT SITE PLAN
---	ASPHALT
---	OUTSIDE LIMITS
---	CONCRETE
---	BUILDING
---	RIPRAP
---	COLOR, STAMPED CONCRETE
N/A	DRAINAGE CHANNEL
---	FENCE/POLE
G	GAS LINE
N/A	FIBER OPTICS LINE
---	ELECTRIC /TELECOM TRENCH
RW	REUSE WATER
☀	LIGHT POLE
---	UTILITY CROSSING
---	MATCHLINE
SS	SANITARY SEWER LINE
SS	SANITARY SEWER
W	STORM SEWER LINE
W	WATER LINE
W	WATERLINE SERVICE
UD	UNDERDRAIN
UCO	UNDERDRAIN CLEANOUT
SV	SLEEVES
⊗	WATER VALVE
⊘	WATER PLUG
⊕	WATER TEE
⤴	WATER BENDS
⊕	WATER METER
⊕	FIRE HYDRANT
⊕	STORM MANHOLE
⊕	STORM INLET
⊕	SANITARY MANHOLE
⊕	MAILBOXES
---	SIDEWALK CHASE
⊕	A/C UNIT



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**ROCK CREEK RANCH FILING NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

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OCT 13, 2021

**SHEET TITLE:**  
PARTIAL  
UTILITY PLAN 1

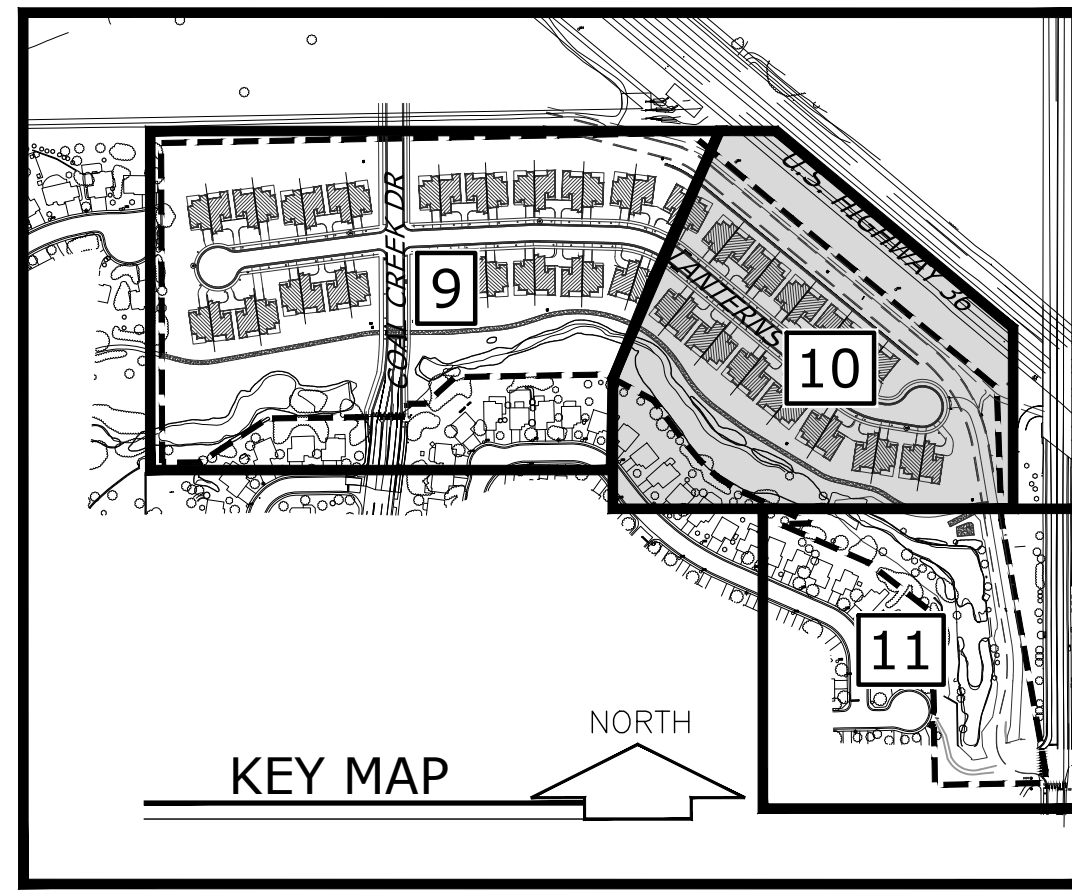
CHECKED BY: JAB  
DRAWN BY: DL

# FINAL PLAT SITE PLAN 35, AMENDMENT #1

BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E  
ROCK CREEK RANCH FILING NO. 12A

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---	FENCE/POLE
G	GAS LINE
N/A	FIBER OPTICS LINE
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RW	REUSE WATER
☀	LIGHT POLE
---	UTILITY CROSSING
---	MATCHLINE
SS	SANITARY SEWER LINE
SS	SANITARY SERVICE
---	STORM SEWER LINE
W	WATER LINE
W	WATER SERVICE
UD	UNDERDRAIN
UCO	UNDERDRAIN CLEANOUT
---	SLEEVES
⊗	WATER VALVE
⊘	WATER PLUG
⊕	WATER TEE
⤴	WATER BENDS
⊙	WATER METER
⊕	FIRE HYDRANT
⊙	STORM MANHOLE
⊙	STORM INLET
⊙	SANITARY MANHOLE
---	SOUND WALL
---	MAILBOXES
---	SIDEWALK CHASE
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**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

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SHEET TITLE:  
PARTIAL  
UTILITY PLAN 2

CHECKED BY: JAB  
DRAWN BY: DL

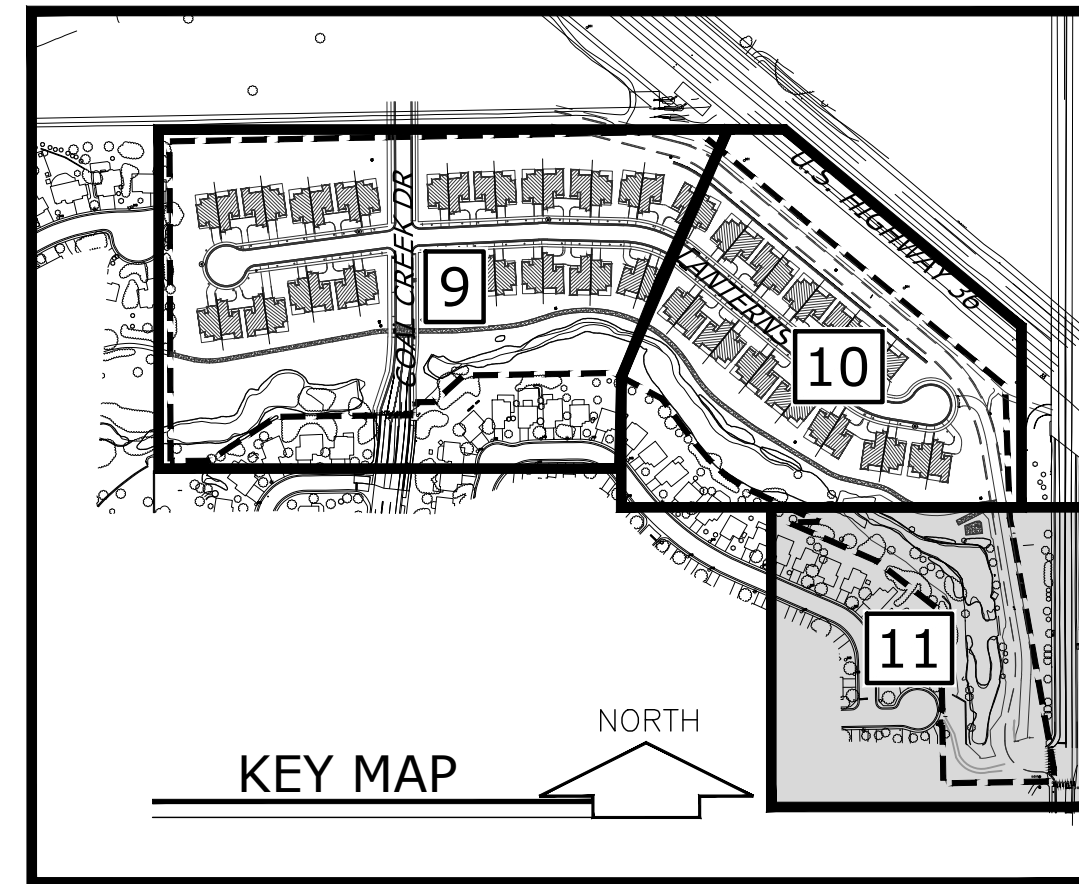
# FINAL PLAT SITE PLAN 35, AMENDMENT #1

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ROCK CREEK RANCH FILING NO. 12A

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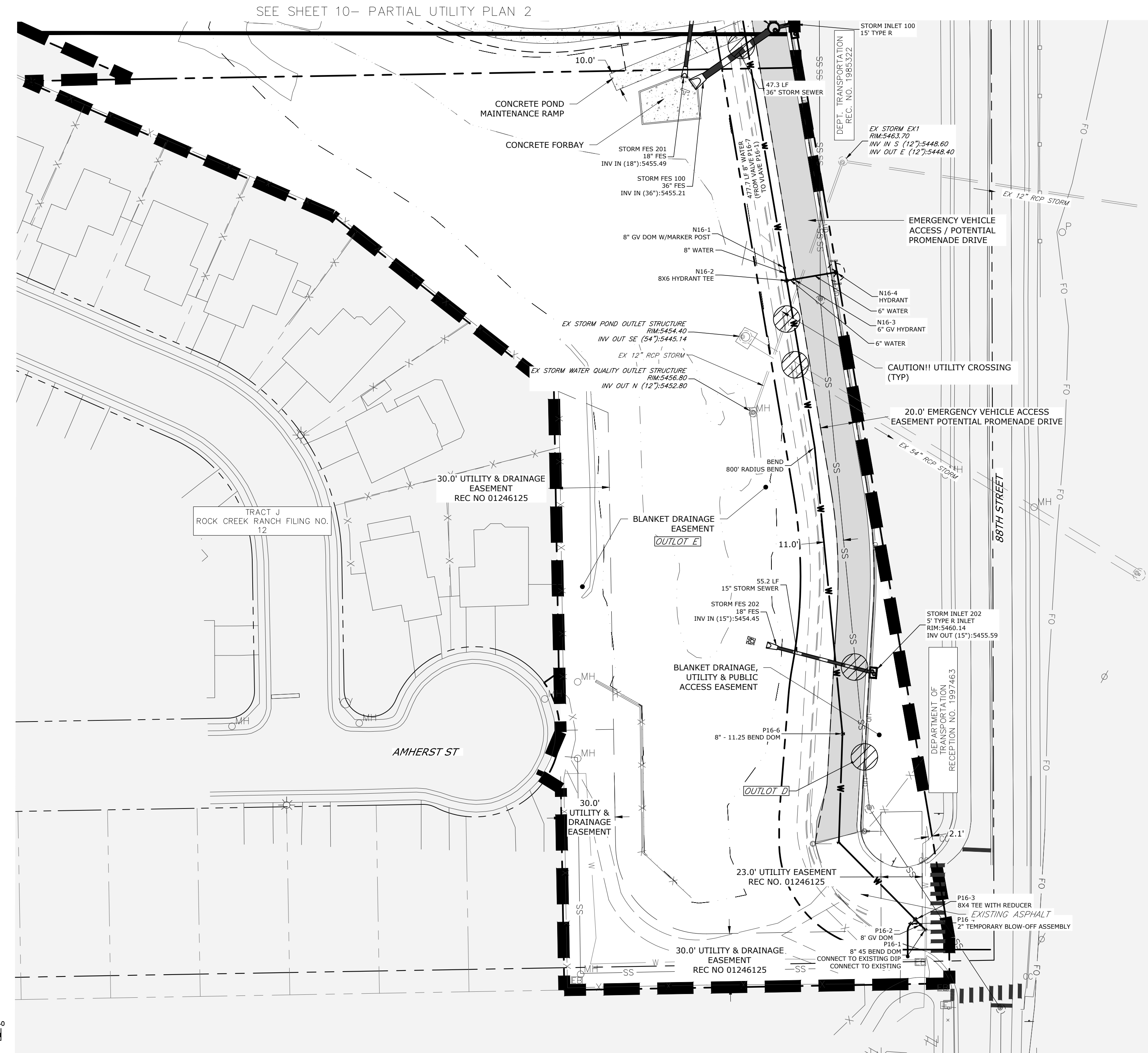
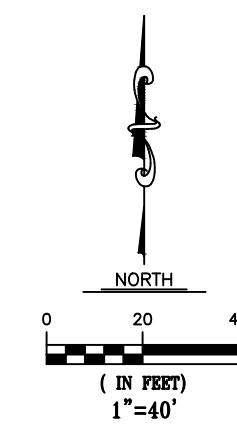
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UTILITY PLAN LEGEND:	
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---	CONCRETE
---	BUILDING
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---	ELECTRIC /TELECOM TRENCH
---	REUSE WATER
---	LIGHT POLE
---	UTILITY CROSSING
---	MATCHLINE

UTILITY PLAN LEGEND CONT.:	
PROPOSED	EXISTING
SS	SANITARY SEWER LINE
SS	SANITARY SERVICE
W	STORM SEWER LINE
W	WATER LINE
W	WATERLINE SERVICE
UD	UNDERDRAIN
UCO	UNDERDRAIN CLEANOUT
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FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

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SHEET TITLE:  
PARTIAL  
UTILITY PLAN 3

11  
SHEET 11 OF 69

# FINAL PLAT SITE PLAN 35, AMENDMENT #1

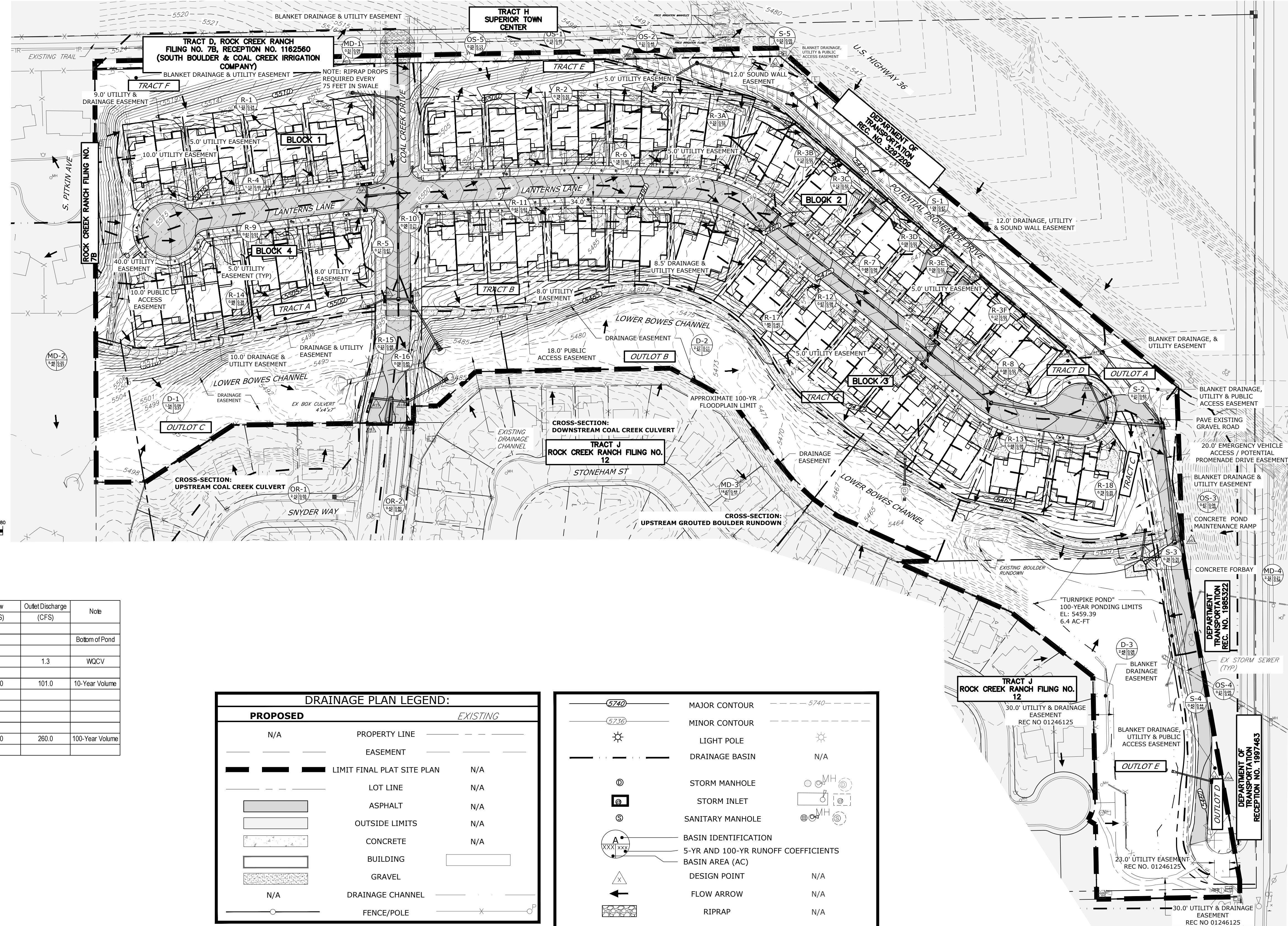
## BLOCK 1, LOTS 1 THROUGH 8, BLOCK 2, LOTS 1 THROUGH 22, BLOCK 3, LOTS 1 THROUGH 24, BLOCK 4, LOTS 1 THROUGH 8, TRACTS A THROUGH E, OUTLOTS A THROUGH E ROCK CREEK RANCH FILING NO. 12A

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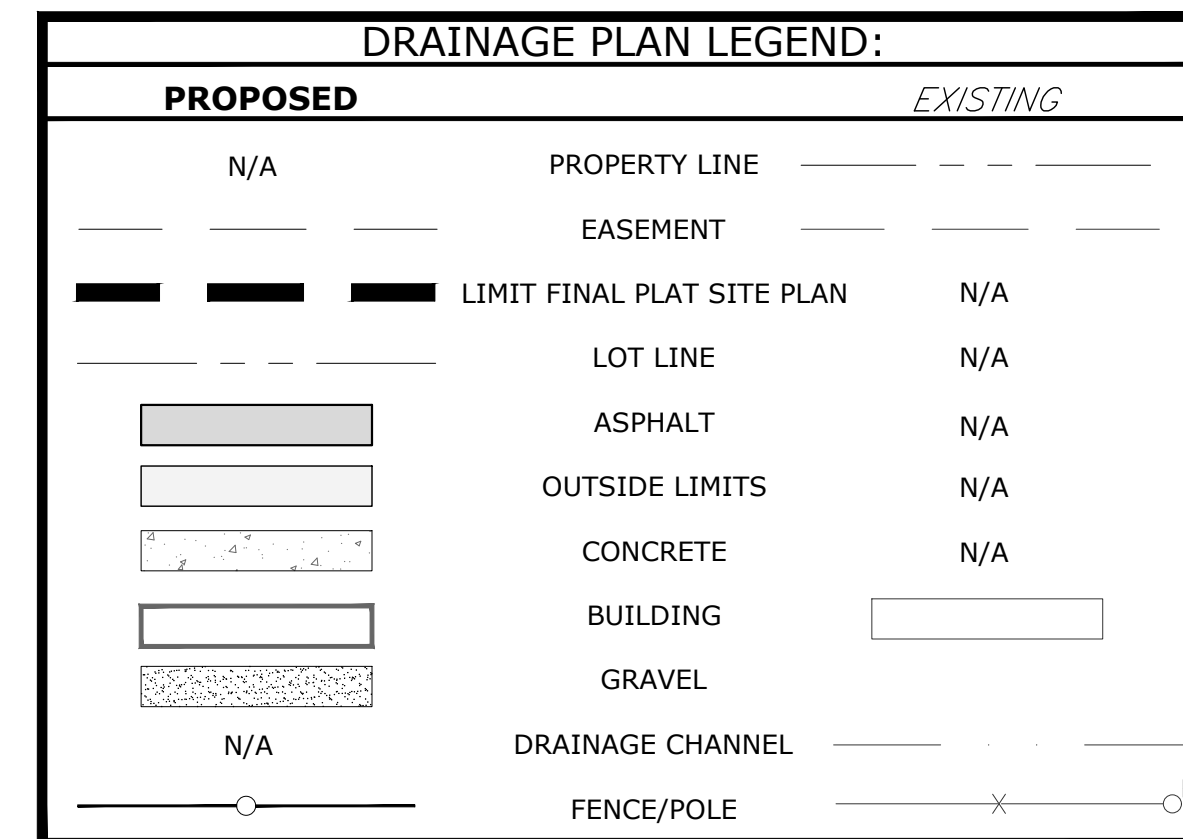


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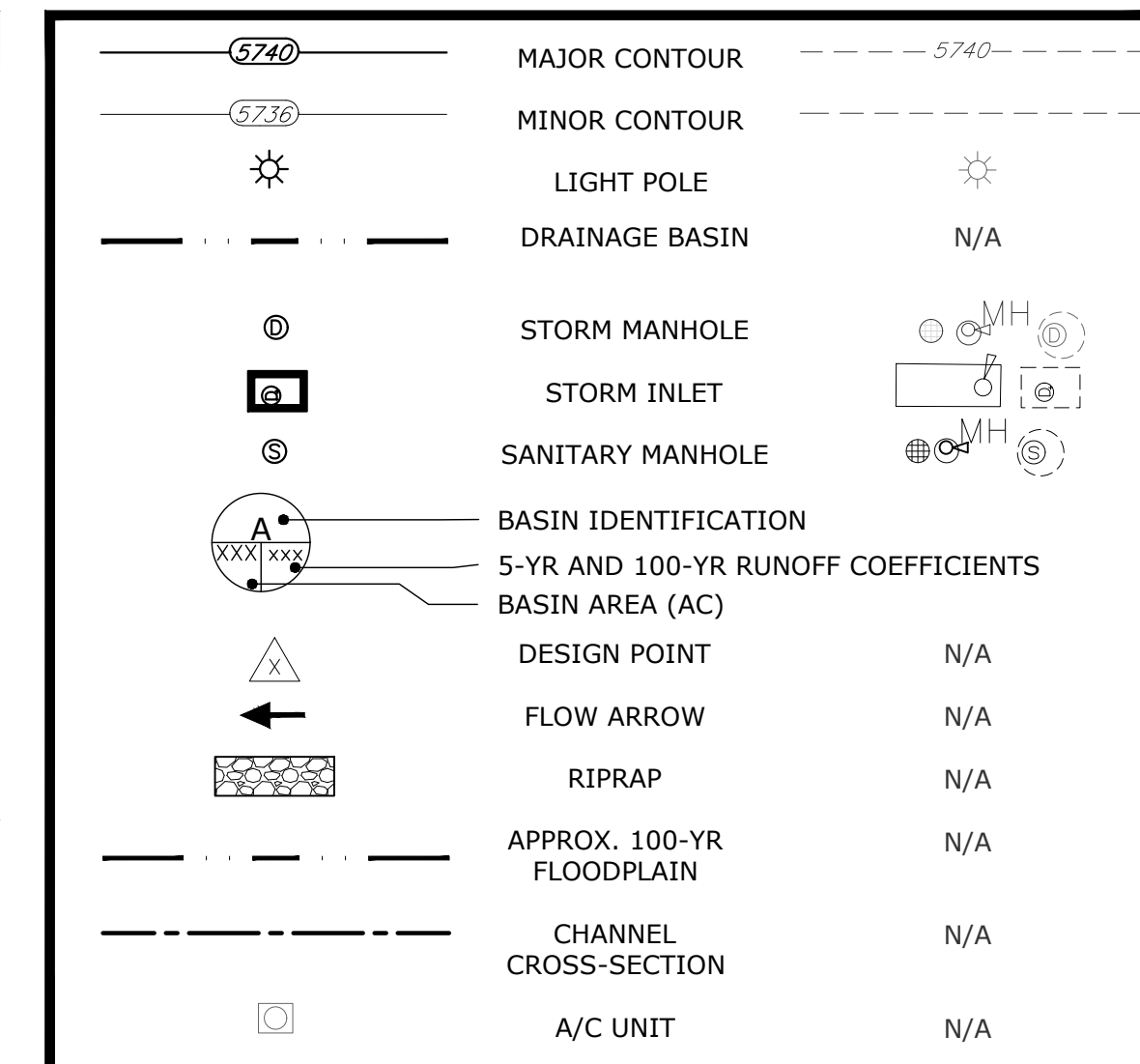
Sub-Basin I.D.	Design Point	Total Area (ac)	Runoff Coefficient "C"		Runoff (cfs)		Design Point Location
			5-Year	100-Year	5-Year	100-Year	
R-1	R1	1.22	0.24	0.59	1.32	6.13	Storm Inlet 303
R-2	R2	0.78	0.32	0.63	1.19	4.41	Storm Inlet 107
R-3A	R3A	0.33	0.52	0.73	0.77	2.03	Storm Inlet 106F
R-3B	R3B	0.13	0.52	0.73	0.32	0.84	Storm Inlet 106B
R-3C	R3C	0.12	0.52	0.73	0.29	0.77	Storm Inlet 106B
R-3D	R3D	0.09	0.52	0.73	0.22	0.59	Storm Inlet 106
R-3E	R3E	0.09	0.52	0.73	0.22	0.57	Storm Inlet 105C
R-3F	R3F	0.17	0.52	0.73	0.40	1.05	Storm Inlet 105
R-4	R4	1.13	0.49	0.71	2.35	6.40	Storm Inlet 302.2
R-5	R5	0.17	0.67	0.80	0.56	1.26	Storm Inlet 301.2
R-6	R6	1.18	0.60	0.76	3.42	8.28	Storm Inlet 104.2
R-7	R7	0.88	0.58	0.75	1.80	4.07	Storm Inlet 103.2
R-8	R8	0.58	0.52	0.73	1.29	3.40	Storm Inlet 102.2
R-9	R9	0.61	0.53	0.74	1.51	3.94	Storm Inlet 302.1
R-10	R10	0.08	0.71	0.82	0.29	0.62	Storm Inlet 301.1
R-11	R11	0.62	0.63	0.78	1.89	4.42	Storm Inlet 104.1
R-12	R12	0.67	0.58	0.76	1.74	4.30	Storm Inlet 103.1
R-13	R13	0.68	0.58	0.76	1.69	4.17	Storm Inlet 102.1
R-14	R14	0.98	0.38	0.66	1.55	5.08	Storm Inlet 301.3
R-15	R15	0.23	0.88	0.80	0.75	1.87	Storm Inlet 300.2
R-16	R16	0.09	0.85	0.89	0.38	0.76	Storm Inlet 300.1
R-17	R17	1.83	0.40	0.67	2.76	8.07	Storm Inlet 200
R-18	R18	0.79	0.35	0.65	1.11	3.85	Storm Inlet 201
S-1	S1	1.09	0.67	0.80	3.19	7.18	Storm MH w/ Grate 106
S-2	S2	0.21	0.62	0.77	0.63	1.49	Storm Inlet 101
S-3	S3	0.36	0.70	0.82	1.23	2.70	Storm Inlet 100
S-4	S4	0.40	0.44	0.69	0.94	2.40	Storm Inlet 202
S-5	S5	0.03	0.05	0.48	0.01	0.12	Offsite
D-1	N/A	1.54	0.09	0.51	0.53	5.50	Offsite
D-2	N/A	2.27	0.11	0.52	0.94	8.19	Offsite
D-3	N/A	2.48	0.08	0.50	0.96	11.34	Offsite
OR-1	OR1	2.10	0.55	0.75	4.63	11.83	Storm Inlet 300.2
OR-2	OR2	0.43	0.80	0.86	1.57	3.20	Storm Inlet 300.1
OS-1	OS1	0.15	0.48	0.71	0.35	0.98	Storm MH w/ Grate 106
OS-2	OS2	0.21	0.46	0.70	0.48	1.37	Storm MH w/ Grate 106
OS-3	OS3	0.67	0.06	0.49	0.18	2.99	Storm Inlet 100
OS-4	OS4	0.21	0.05	0.49	0.05	0.93	Storm Inlet 202
OS-5	OS5	0.25	0.13	0.53	0.16	1.20	Storm Inlet 107
MD-1	MD1	0.51	0.09	0.51	0.23	2.34	Storm Inlet 303
MD-2	N/A	5.48	0.20	0.57	3.83	19.56	Offsite
MD-3	N/A	16.67	0.48	0.71	28.39	72.84	Offsite
MD-4	N/A	2.32	0.21	0.58	1.78	9.12	Offsite



Elevation (ft)	Δ Elevation (ft)	Area (SF)	Incremental Volume (CF)	Available Volume (CF)	Inflow (CFS)	Outlet Discharge (CFS)	Note
5453.00	0.00	0	0	0	0.000		Bottom of Pond
5454.00	1.00	28,463	14,232	14,232	0.327		
5454.40				27,971	0.642	1.3	WQCV
5455.00	1.00	40,235	34,349	48,581	1.115		
5455.50				70,455	1.617	169.0	10-Year Volume
5456.00	1.00	47,262	43,749	92,329	2.120		
5457.00	1.00	51,753	49,508	141,837	3.256		
5458.00	1.00	56,201	53,977	195,814	4.495		
5459.00	1.00	60,554	58,378	254,191	5.835		
5459.39				278,784	6.400	337.0	100-Year Volume
5460.00	1.00	64,739	62,647	316,838	7.274	260.0	



**NOTE:**  
BUILDING CORNER AND DRIVEWAY SLOPES ARE SUBJECT TO CHANGE BASED ON INDIVIDUAL UNIT PLOT PLANS.



**ROCK CREEK RANCH FIL. NO. 12A**  
FINAL PLAT SITE PLAN 35, AMENDMENT #1  
SUPERIOR, COLORADO

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SHEET TITLE:  
OVERALL DRAINAGE PLAN



**NOT FOR CONSTRUCTION**