



1 SHEET KEY
1" = 60'-0"

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PLANS APPROVED BY PROJECT SITE'S MUNICIPAL JURISDICTION, THE TOWN OF SUPERIOR.
- BASE INFORMATION PROVIDED BY ENGINEER AND SHOWN AS INFORMATION ONLY. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS, AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, UTILITY DRAWINGS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL.
- THE LIMITS OF WORK LINE IS SHOWN ON PLAN AS REFERENCE ONLY AND OCCURS AT BACK OF CURB, EDGE OF ROAD, FACE OF BUILDING, RIGHT OF WAY, OR SITE PROPERTY LINE UNLESS OTHERWISE DESIGNATED.
- VERIFY EXISTING SITE CONDITIONS INCLUDING: WALLS, VEGETATION, FENCES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS, AND OTHER OBSTRUCTIONS THAT MAY AFFECT THE PROGRESS OF WORK.
- LOCATE UTILITIES AND MAINTAIN THEIR LOCATION DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE STARTING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. RESTORATION OF UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
- CONSTRUCTION INSTALLATION, MATERIALS, TESTING AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
- TAKE NECESSARY STEPS TO PROTECT AND MAINTAIN ALL FINISHED WORK FOR THE DURATION OF THE CONTRACT UNTIL FINAL ACCEPTANCE. ANY DAMAGE BROUGHT TO PLANT MATERIAL DUE TO CONTRACTOR NEGLIGENCE SHALL BE REPAIRED OR REPLACED AT CONTRACTOR EXPENSE.
- THESE DRAWINGS DO NOT SPECIFY SAFETY MATERIALS, EQUIPMENT, METHODS OR SEQUENCING TO PROTECT PERSONS AND PROPERTY. DIRECT AND IMPLEMENT SAFETY OPERATIONS AND PROCEDURES TO PROTECT THE OWNER, OTHER CONTRACTORS, THE PUBLIC, AND OTHER FOR THE DURATION OF THE CONTRACT.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- OBTAIN NECESSARY PERMITS FROM ALL JURISDICTIONS AS REQUIRED TO CONSTRUCT THE WORK OF THIS PROJECT.
- THE WORK OF THIS CONTRACT WILL NOT BE CONSIDERED COMPLETE UNTIL ALL AREAS HAVE BEEN CLEANED OF ALL DIRT AND DEBRIS AND ALL DAMAGED ITEMS ARE REPAIRED.

LAYOUT NOTES

- VERIFY EXISTING SITE INFORMATION INCLUDING, BUT NOT LIMITED TO STREET GRADES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS TAKEN FROM THE CIVIL ENGINEER'S DRAWINGS THIS INFORMATION IS USED AS REFERENCE ONLY.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
- TAKE ALL DIMENSIONS FROM BACK OF CURB, FACE OF WALL OR BUILDING, AND CENTERLINE OF TREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS CALLED OUT AS 'EQUAL' (EQ) ARE EQUIDISTANT MEASUREMENTS.
- WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. IF THERE IS A QUESTION REGARDING DIMENSIONS, CONTACT DIG STUDIO FOR VERIFICATION.
- ALL ANGLES TO MATCH THOSE NOTED ON DRAWING AND ALL LINES OF PAVING TO BE PARALLEL UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON DRAWINGS. DETACHED WALKS TO BE CONSTRUCTED PARALLEL TO CURB AND GUTTER UNLESS OTHERWISE NOTED.
- REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONCRETE SLABS OR FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS AND FOOTINGS WHERE SHOWN ON THE PLAN.
- PROVIDE EXPANSION JOINTS IN CONCRETE PAVING, CURBS, AND WALLS, A MAXIMUM DISTANCE OF 30 FEET APART AND AT ALL INTERSECTIONS. PROVIDE EXPANSION JOINTS WHERE NEW CURBS, WALLS, AND ANY NEW CONCRETE ABUTS EXISTING CONCRETE PAVING, BUILDINGS, CURBS, AND WALLS UNLESS OTHERWISE NOTED.
- PROVIDE CONTROL JOINTS EVENLY SPACED BETWEEN EXPANSION JOINTS AS SHOWN ON DRAWINGS, EXCEPT WHERE SPECIAL SCORE JOINT PATTERN IS SPECIFIED.
- SLEEVES AND CONDUITS SHALL BE INSTALLED A MINIMUM OF 18 INCHES BELOW FINISHED GRADE AND SHALL EXTEND 12 INCHES BEYOND BACK OF CURBS, WALLS, AND PAVING.
- ARCS AND CURVES TO BE SMOOTH AND CONTINUOUS. STAKE AND FIELD REVIEW WITH LANDSCAPE ARCHITECT WHEN NECESSARY AND PRIOR TO FORMING.
- COORDINATE AND FIELD VERIFY ALL SLEEVING LOCATIONS FOR ALL UTILITY, ELECTRICAL, AND IRRIGATION PRIOR TO CONSTRUCTION.

Sheet List Table	
Sheet Number	Sheet Title
L0.1	LANDSCAPE NOTES & SHEET KEY
L1.0	OVERALL SITE PLAN
L2.1	LAYOUT PLAN SOUTH
L2.2	LAYOUT PLAN NORTH
L2.3	LAYOUT MATERIAL PLAN DETAILS + IMAGES
L2.4	LAYOUT MATERIAL PLAN DETAILS + IMAGES
L2.5	LAYOUT MATERIAL PLAN DETAILS + IMAGES
L3.1	LANDSCAPE PLANTING PLAN SOUTH
L3.2	LANDSCAPE PLANTING PLAN NORTH
L3.3	PLANTING SCHEDULE
L3.4	PLANTING CHARACTER
L3.5	PLANTING DETAILS
L3.6	PLANTING DETAILS
IR1.0	IRRIGATION SCHEDULE + NOTES
IR1.1	IRRIGATION PLANS
IR1.2	IRRIGATION PLANS
IR1.3	IRRIGATION DETAILS
IR1.4	IRRIGATION DETAILS
IR1.5	IRRIGATION DETAILS

ABBREVIATIONS

BC	Bottom of curb	LP	Low point
BS	Bottom of steps	MAX	Maximum
BW	Bottom of wall	MIN	Minimum
CL	Centerline	PA	Planting area
CP	Center point	PG	Proposed grade
EG	Existing grade	PIP	Poured in place
EJ	Expansion joint	PT	Point of Tangency
EQ	Equal	RE	Refer to
FF	Finish floor	TC	Top of curb
FG	Finish grade	TG	Top of grate
FS	Finish surface	TP	Top of planter
GB	Grade break	TPC	Top of pool coping
HP	High point	TR	Top of ramp
INV	Invert of pipe	TW	Top of wall
LOW	Limit of work	TYP	Typical

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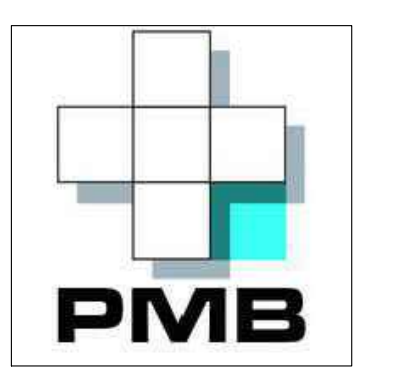
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PROJECT
SUPERIOR TOWN CENTER
FINAL DEVELOPMENT
PLAN 11

SUPERIOR COLORADO
LIFE SCIENCES
SUPERIOR TOWN CENTER,
SUPERIOR , CO 80027



PACIFIC MEDICAL
BUILDINGS
3394 CARMEL MOUNTAIN RD,
SUITE #200
SAN DIEGO, CA 92121

Vested Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

ISSUE CHART

4	TOWN COMMENTS	8/30/2022
3	TOWN COMMENTS	8/16/2022
2	TOWN COMMENTS	8/25/2022
1	FINAL DEVELOPMENT PLAN	7/25/2022
(MARK)	ISSUE	DATE
Job Number	162146.000	TITLE

LANDSCAPE NOTES & SHEET KEY
SHEET NUMBER

L0.1

