

**PLAN VIEW**

ILLUMINANCE VALUES SHOWN AT CONTOUR LINES: 1fc, 0.5fc, 0.25fc, 0.1fc

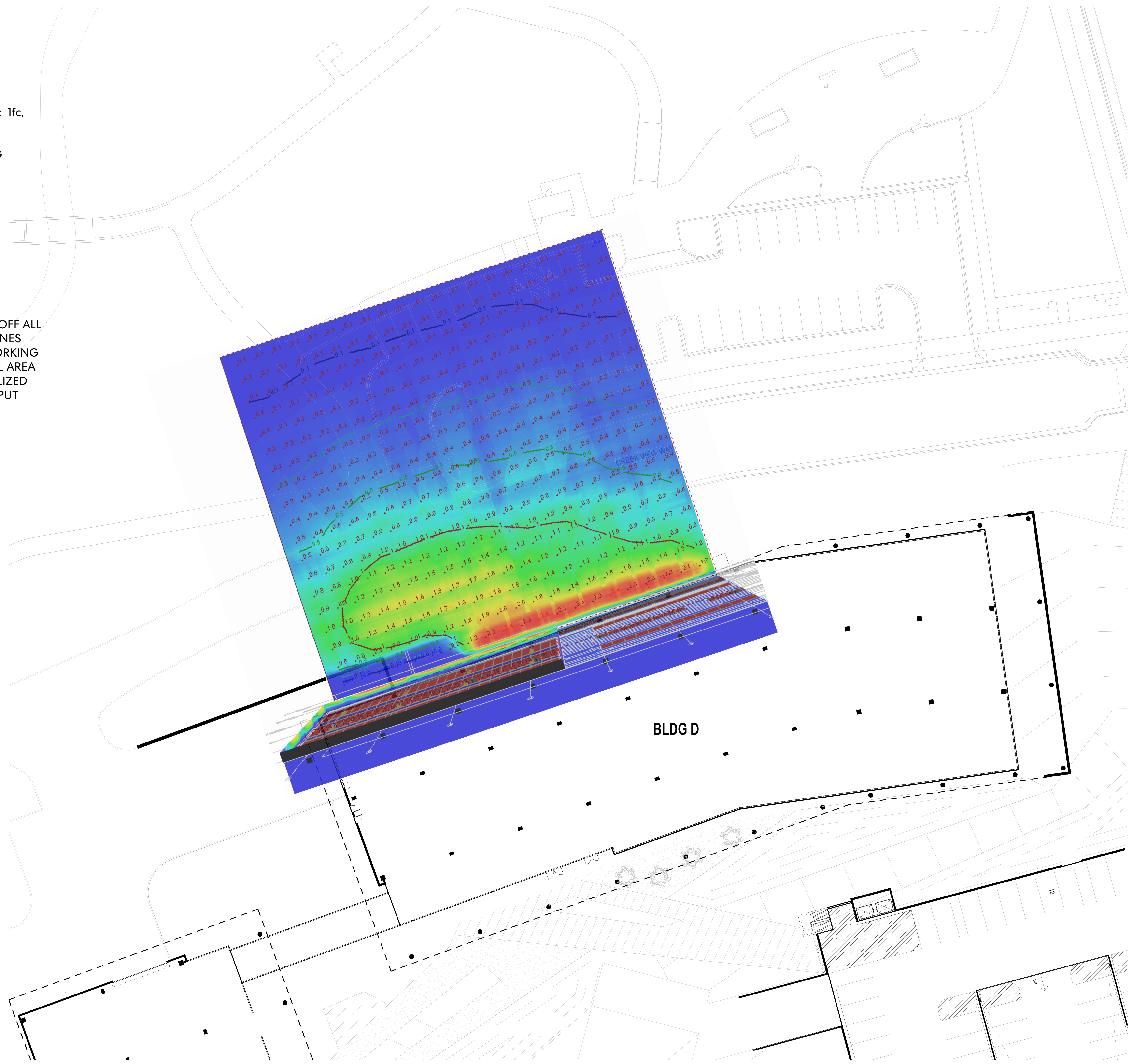
VIRTUALLY NO LIGHT AT 80' BEYOND THE BUILDING

5' GRID SPACING

INTERIOR LUMINAIRES USED IN STUDY:

LINEAR SUSPENDED SPACED 15  
ON CENTER. 60% INDIRECT/40% DIRECT  
900 LUMENS PER FOOT

OCCUPANCY SENSORS WILL BE UTILIZED TO TURN OFF ALL  
LIGHTING WHEN THE SPACE IS VACANT. SMALL ZONES  
WILL BE CONTROLLED SO A SINGLE OCCUPANT WORKING  
AFTER HOURS WILL TURN ON LIGHTING IN A SMALL AREA  
ONLY. A NETWORK CONTROL SYSTEM WILL BE UTILIZED  
SO THAT LIGHTING TURNS ON AT A REDUCED OUTPUT  
FROM DUSK UNTIL DAWN.



**CONSULTANTS**

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CIVIL RESOURCES, LLC  
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**STRUCTURAL**  
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720-544-2704

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1728 CHAMPA STREET, SUITE 100  
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BLYTHE TOGY, P.E.  
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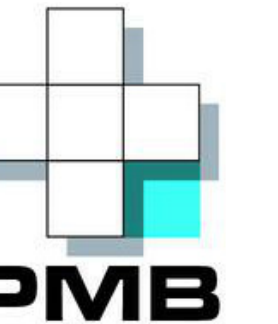
**LANDSCAPING**  
DIG STUDIO  
1521 15TH STREET  
DENVER, CO 80202  
BILL VITEK, PLA, FASLA  
720-328-1986

**PROJECT**

**SUPERIOR TOWN CENTER  
FINAL DEVELOPMENT  
PLAN 11**

**SUPERIOR COLORADO  
LIFE SCIENCES**

SUPERIOR TOWN CENTER,  
SUPERIOR, CO 80027



**PACIFIC MEDICAL  
BUILDINGS**

3394 CARMEL MOUNTAIN RD,  
SUITE #200  
SAN DIEGO, CA 92121

**Vested Rights:**

This Plan constitutes a Site Specific  
Development Plan as defined in Section  
24-68-101, et. seq., C.R.S., and Chapter  
16 of the Superior Municipal Code,  
available at the Superior Town Hall, 124  
East Coal Creek Drive, Superior,  
Colorado. The term and other conditions  
of these vested rights are further  
described in the development agreement  
dated March 11, 2013.

**ISSUE CHART**

5	TOWN COMMENTS	8/5/2022
4	TOWN COMMENTS	6/16/2022
3	TOWN COMMENTS	6/16/2022
2	TOWN COMMENTS	5/25/2022
1	FINAL DEVELOPMENT PLAN	3/15/2022
(MARK)	ISSUE	DATE
Job Number	162146.000	

**TITLE**

**LIGHT TRESPASS  
STUDY**

**SHEET NUMBER**

**A8.0**

**CONSULTANTS**

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AFFILIATED ENGINEERS, INC.  
1726 CHAMPA STREET, SUITE 100  
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BLYTHE VOGT, P.E.  
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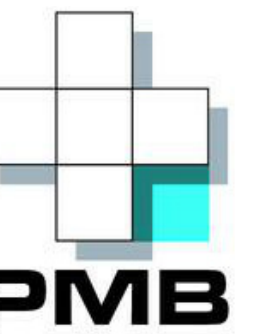
**LANDSCAPING**  
DIG STUDIO  
1521 15TH STREET  
DENVER, CO 80202  
BILL VITEK, P.L.A., F.A.S.L.A.  
720-328-1596

**PROJECT**

**SUPERIOR TOWN CENTER  
FINAL DEVELOPMENT  
PLAN 11**

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BUILDINGS**

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SAN DIEGO, CA 92121

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**ISSUE CHART**

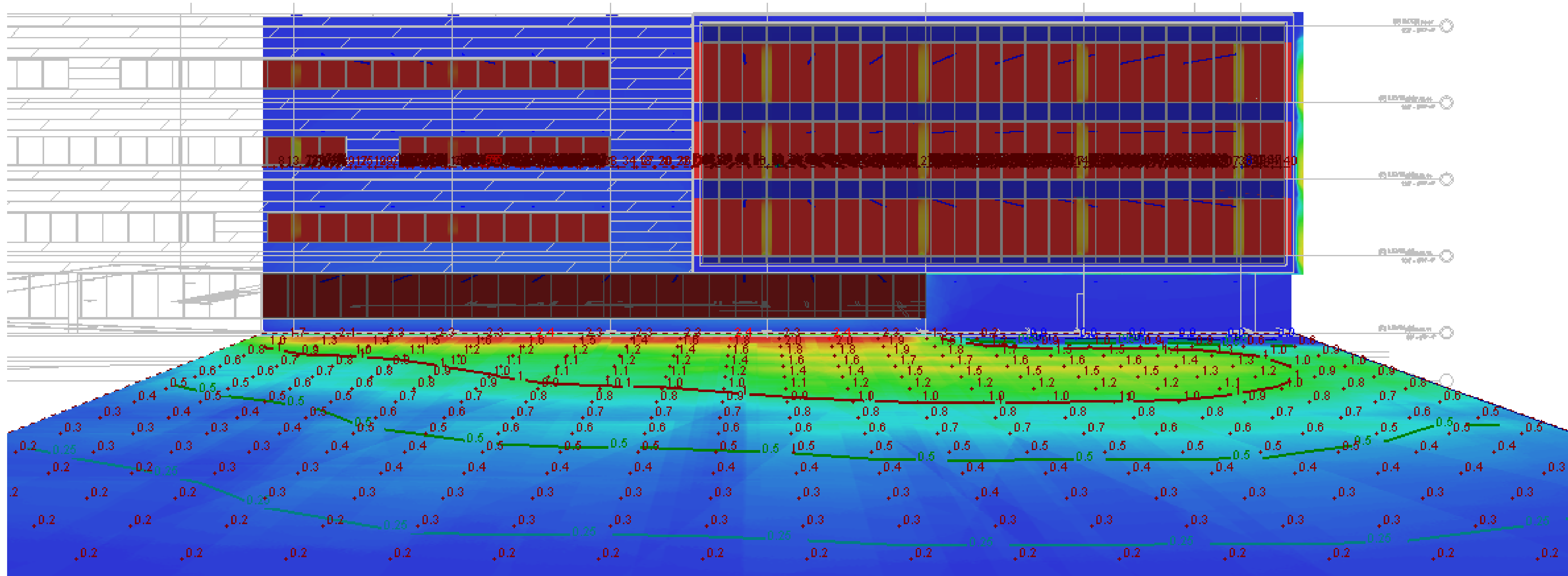
5	TOWN COMMENTS	8/05/2022
4	TOWN COMMENTS	6/16/2022
3	TOWN COMMENTS	6/06/2022
2	TOWN COMMENTS	5/25/2022
1	FINAL DEVELOPMENT PLAN	3/15/2022
(MARK)	ISSUE	DATE
Job Number	162146.000	

**TITLE**

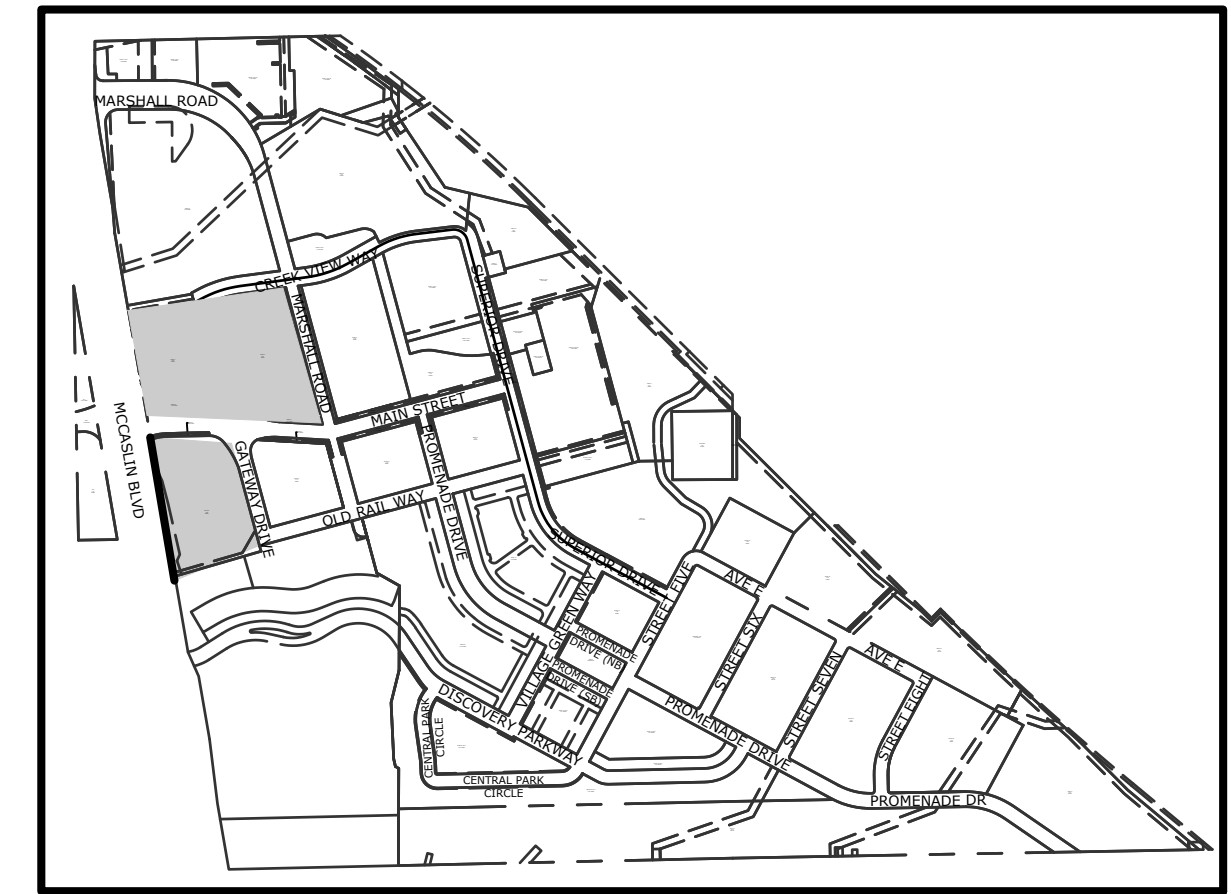
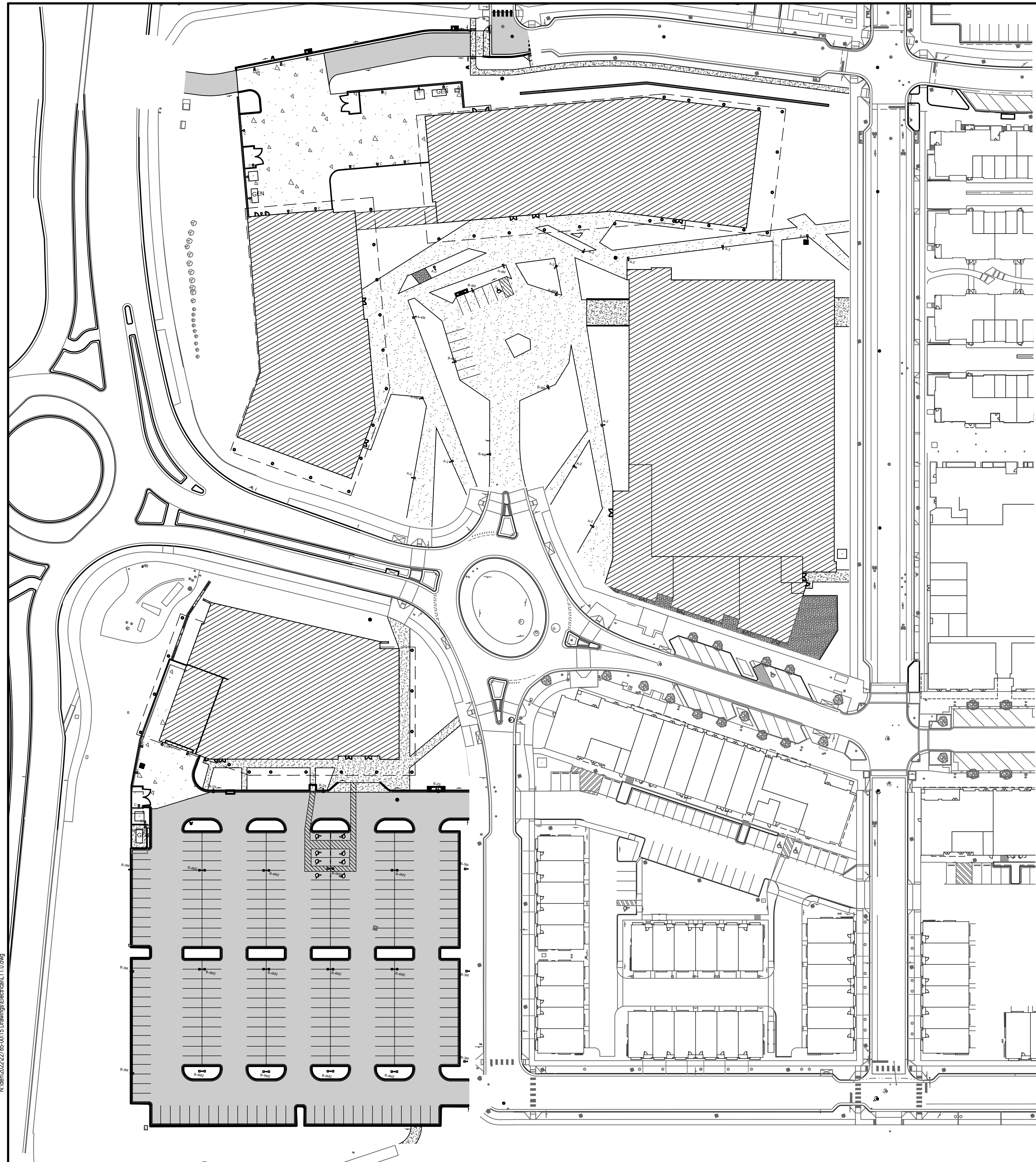
**LIGHT TRESPASS  
STUDY**

**SHEET NUMBER**

**A8.1**

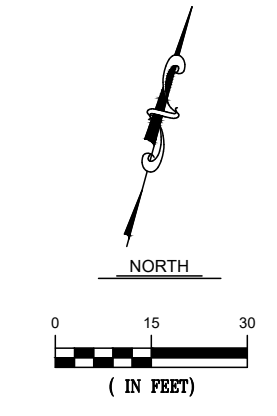


**ELEVATION VIEW**



KEY MAP  
NORTH

THIS FDP	LEGEND:	SEPARATE FDP
---	PROPERTY LINE	---
---	FDP LIMIT LINE (THIS PHASE)	---
[Hatched Box]	ASPHALT PAVEMENT	
[Dotted Box]	CONCRETE	
[White Box]	AREA OUTSIDE FDP LIMITS	
[Hatched Box]	BUILDING	
[Symbol]	INLET SURFACE IMPROVEMENTS	[Symbol]
[Symbol]	LIGHT POLES	[Symbol]



**Perkins&Will**  
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BLTYNE VOST, P.E.  
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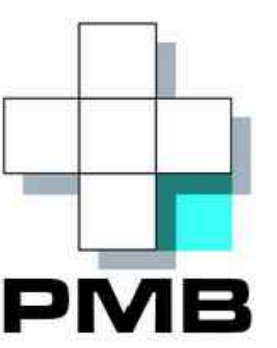
**LANDSCAPE ARCHITECT**  
DIG STUDIO  
1521 15TH STREET  
DENVER, CO 80202  
BILL VITEK, P.L.A., FASLA  
720-328-1988

**PROJECT**

**SUPERIOR TOWN CENTER  
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**ISSUE CHART**

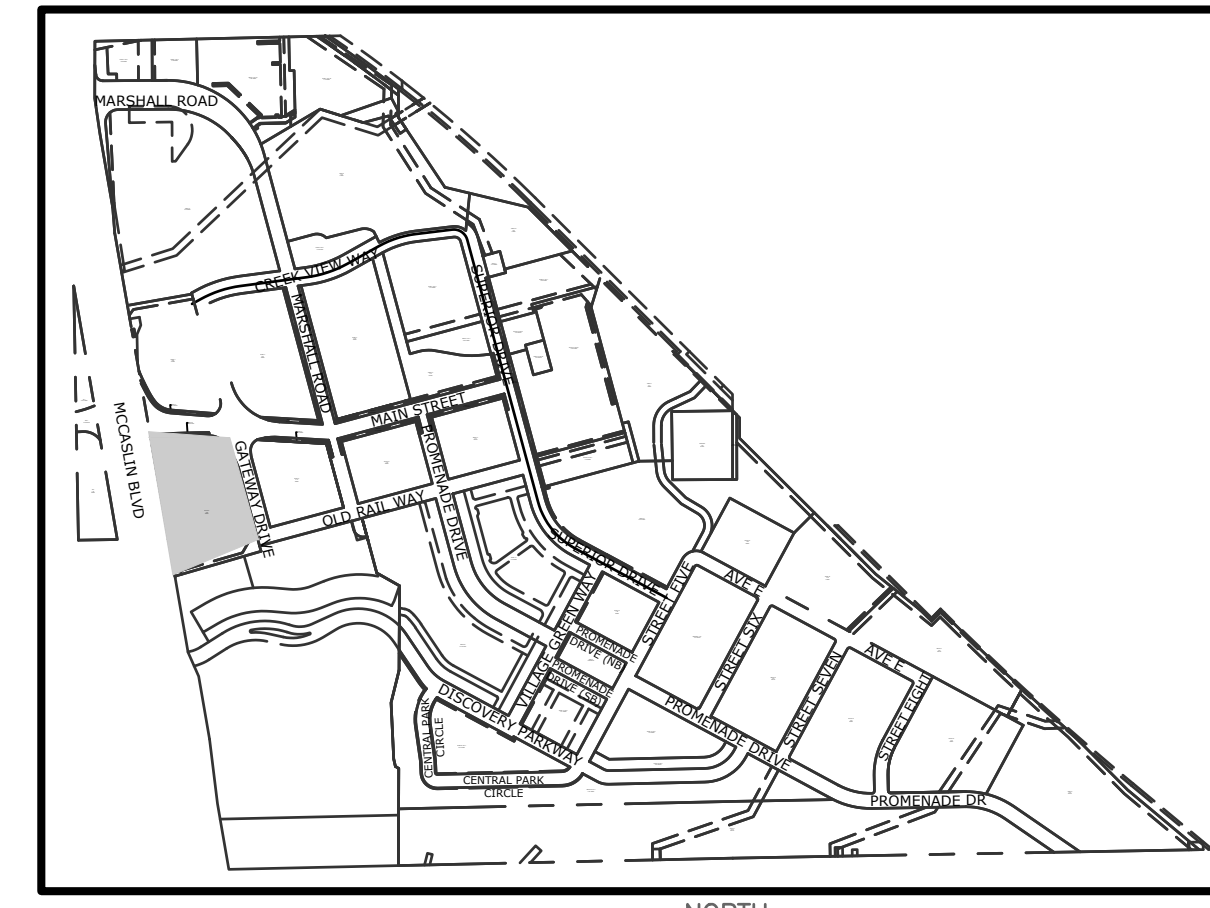
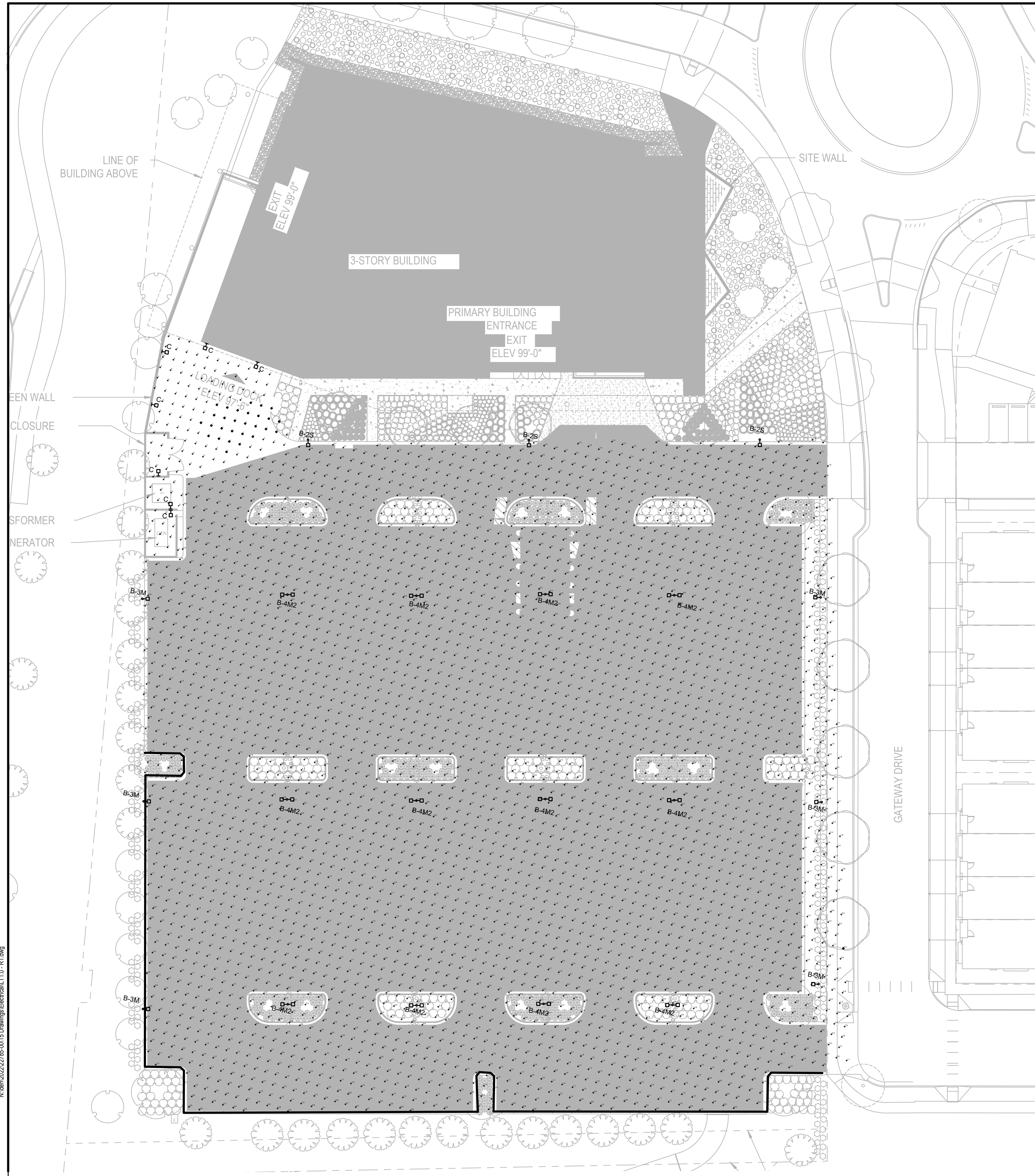
MARK	ISSUE	DATE
2	TOWN COMMENTS	5/25/2022
1	FINAL DEVELOPMENT PLAN	3/15/2022
	ISSUE	DATE
Job Number	337.001.01	

**LIGHTING SITE PLAN**

**SHEET NUMBER**

**LT1.0**



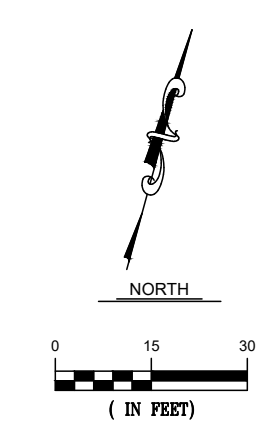


THIS FDP

LEGEND:

SEPARATE FDP

---	PROPERTY LINE	---
---	FDP LIMIT LINE (THIS PHASE)	---
[Pattern]	ASPHALT PAVEMENT	
[Pattern]	CONCRETE	
[Pattern]	AREA OUTSIDE FDP LIMITS	
[Pattern]	BUILDING	
[Symbol]	INLET	[Symbol]
[Symbol]	SURFACE IMPROVEMENTS	[Symbol]
[Symbol]	LIGHT POLES	[Symbol]



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TIMOTHY LACK, P.E.  
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BILL VITEK, P.L.A., F.A.S.L.A.  
726-328-1986

**PROJECT**  
**SUPERIOR TOWN CENTER**  
**FINAL DEVELOPMENT**  
**PLAN 11**

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**ISSUE CHART**

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1	FINAL DEVELOPMENT PLAN	3/15/2022
MARK	ISSUE	DATE
Job Number	162146.000	

**LIGHTING**  
**PHOTOMETRIC PLAN**  
**SOUTH**

**SHEET NUMBER**

**LT1.1**



N:\dm\2022\22785-0015 Drawings\Electrical\LT1.0 - RI.dwg