--- Phase IV

PHASE IV FINAL DEVELOPMENT PLAN

ELCOR DEVELOPMENT, LLC

A portion of Block 1, Lot 2 of Superior Marketplace Filing #1

Located in the SE 1/4 of Section 13 and the N 1/2 of the NE 1/4 of Section 24, T1S, R70W of the 6th P.M. Town of Superior, County of Boulder, State of Colorado

VICINITY MAPS

PHASE IV

AREA OF FOR

SEAL

SITE DEVELOPMENT CRITERIA

LEGAL DESCRIPTION

Lot 6 and Lot 7 of Superior Marketplace, Filing No. 3 Final Major Subdivision Replat of Block 1 Lot 2 located in the north 1/2 of the northeast 1/4 of Section 24, Township 1S, Range 70W of the 6th P.M. Town of Superior, County of Boulder, State of Colorado.

DRAWING INDEX

ARCHITECTURE

A0 Cover Sheet A2.0 Phase IV Site Plan

A2.1 Enlarged Sidewalk Plan A2.2 Details

A3.0 Elevations A3.1 Elevations

ELECTRICAL

E1 Phase IV Lighting Plan/Photometric

LANDSCAPE

Landscape Data L2 Landscape Plan

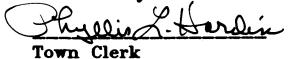
CIVIL

- C1.1 General Notes
- C3.1 Site Layout
- C4.1 Site Grading
- C5.1 Site Utility Plan and Profiles
- C6.1 Construction Details

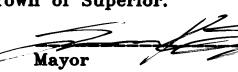
C6.2 Construction Details C6.3 Construction Details

Approved this 25th day of March, A.D., 2002, by the Board of Trustees, Superior, Colorado. This approval is with the understanding that all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs, and sidewalks, shall be financed by others and not the Town of Superior.

TOWN BOARD OF TRUSTEES' CERTIFICATE



VICINITY MAP



NORTH

PLANNING COMMISSION CERTIFICATE

Chairman - Superior Planning Commission

TOWN CLERK'S CERTIFICATE

I hereby certify that this instrument was filed in my office at 10:30 0'clock A M this 231 day of Nau AD, 2002, and is duly recorded.

Phyllis &- Hardin

Town Clerk

GENERAL NOTES REQUIEMENTS

- 1. All cross access agreements are addressed in the center's CC&R's (covenants, constraints, & restrictions) typical.
- 2. The specific door locations may vary from those shown. Doors have been indicated on this plan for maximum demising. Developer and tenants reserve the right to eliminate or relocate adjacent doors relative to the actual space (or spaces) leased, so long as door remains in the storefront as indicated on these elevations.
- 3. Should units 'B & C' (as designated on plan A2.1) be combined, an entrance (accessible to the public) shall be employed on the north side of the building, as represented in the elevation on sheet A3.1. Additionally, this 'combined' tenant is required to provide signage on both the north and south elevations, in the allowable sign areas designated.
- 4. Tenant 'F' (or any tenant encompassing it) shall provide a north entrance, as well as signage on both the north and south elevations.
- 5. Where there is glazing indicated on the elevations that is part of a tenant space, it shall either be a display window of a 24" minimum depth, or shall provide complete and direct visibility to the tenant sales area.
- 6. Colors shall be coordinated to exactly match Shops 'C1' and 'C2', typical.

LAND USE TABLE

NOTE: ALL CALCULATIONS BASED UPON THE ENTIRE EVENTUAL SITE AREA.

SURA Site Area : 97.8 Acres 9.1 Acres

679,665 S.F. (15.6 Ac) 22.8 Acres

5.64 Acres 2.36 Acres 0.40 Acres 2.34 Acres 0.85 Acres

Retimated Sewer Usage .32 ofs daily use

+/- 75,782 s.f. (1.74 Acres)

4.8/1000 min. 88 SP FOR 13,000 S.F.= 6.77/1000

CERTIFICATE OF OWNERSHIP

Elcor Development, LLC is the owner of the property contained within this Final Development Plan (FDP) and consents to this FDP. This FDP and any amendments hereto as finally approved by the Town of Superior shall be binding upon the land and Elcor Development, LLC and its successor and/or assigns.

In witness whereof I hereunto set my hand this 22 day of Nay, 2002 by lightwin E. ________, vice president.

The foregoing instrument was acknowledged before me this 22 day of MAY, A.D. 2002 by KAREN A. PIFIER as vice president of _____. A

Notary Public



VESTED RIGHTS

This plan constitutes a site specific development plan as defined in 24-68-101, et seq.. and C.R.S. and Superior Municipal Code 16-571. The terms and conditions of such approval are contained in Resolution No. R-15 Series adopted by the Town of Superior on March 25 and available at the Superior Town Hall, 124 E. Coal Creek Drive, Superior, Colorado. These rights terminate on March 25, 2005.

ARCHITECT/PLANNER for Master Developer)

The Mulhern Group, Ltd. FAX: 303.292.2601

DWAYNE DALE

December 27, 2001 February 4, 2002 March 8, 2002 March 14, 2002

SUPERIOR MARKETPLACE

ELCOR DEVELOPMENT, LLC

THE MULHERN GROUP, LTD.

Memo of Levond recorded on July 31,2002 at Boulder County Clerk's Office

Recording # 2313515

Page! of 14

by any other party is strictly prohibited without the expressed written permission of the Ellman Companies.

DEVELOPER

Elcor Development, L.L.C.

4040 BAST CAMBLBACK ROAD SUITE 250

PHOENIX, ARIZONA 85018 602.840.3000

FAX: 602.840.8101

LANDSCAPE ARCHITECT

MARK CEVAAL

CIVIL ENGINEER

Hydro-Triad/V3, Colorado

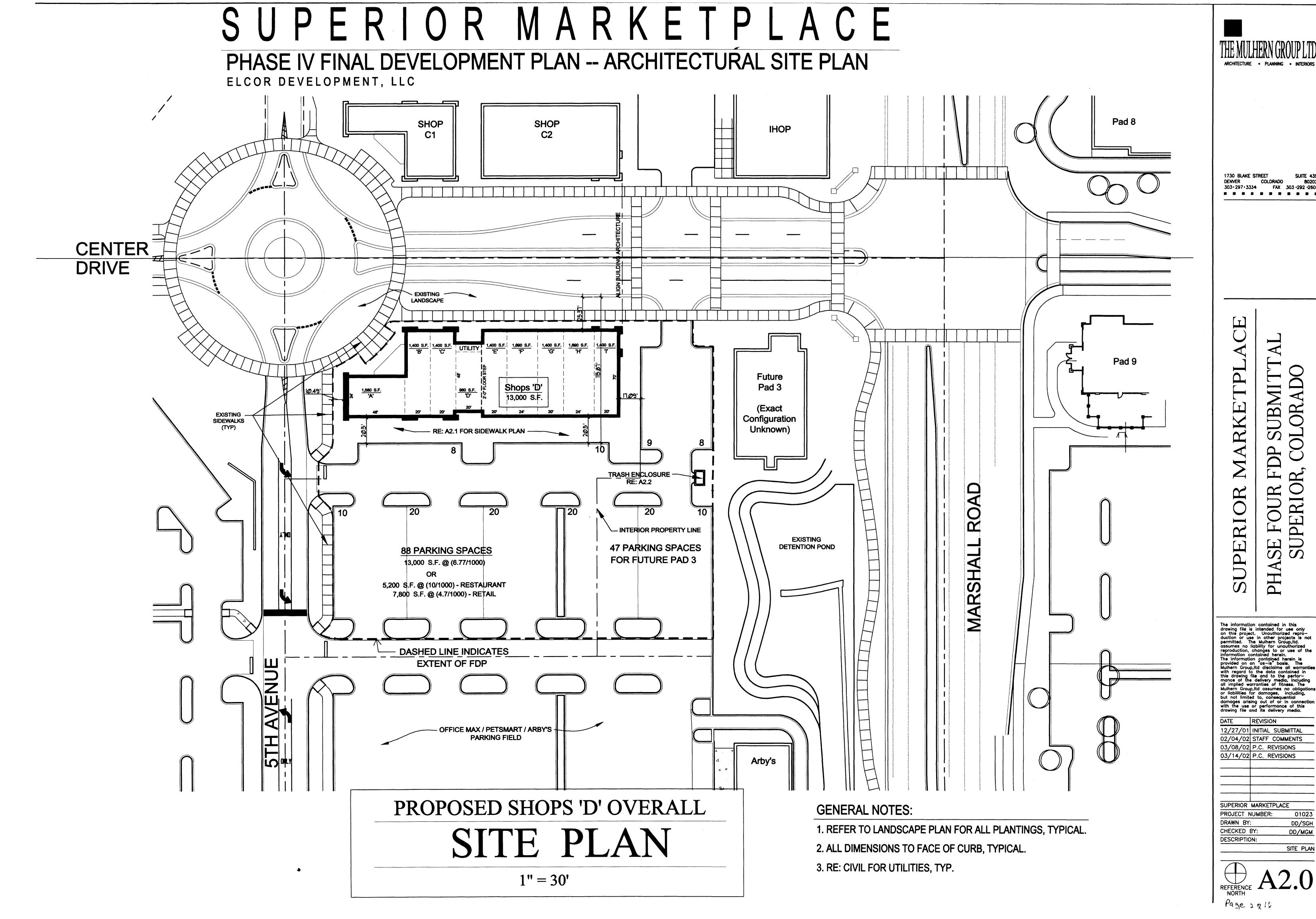
Norris/Dullea

710 WEST COLFAX PH: 303.892.1166 DOUG CRAIG

PH: 303.969.8588

WHEAT RIDGE, COLORADO 80204 FAX: 303.989.9932 JOHN BIRKEY

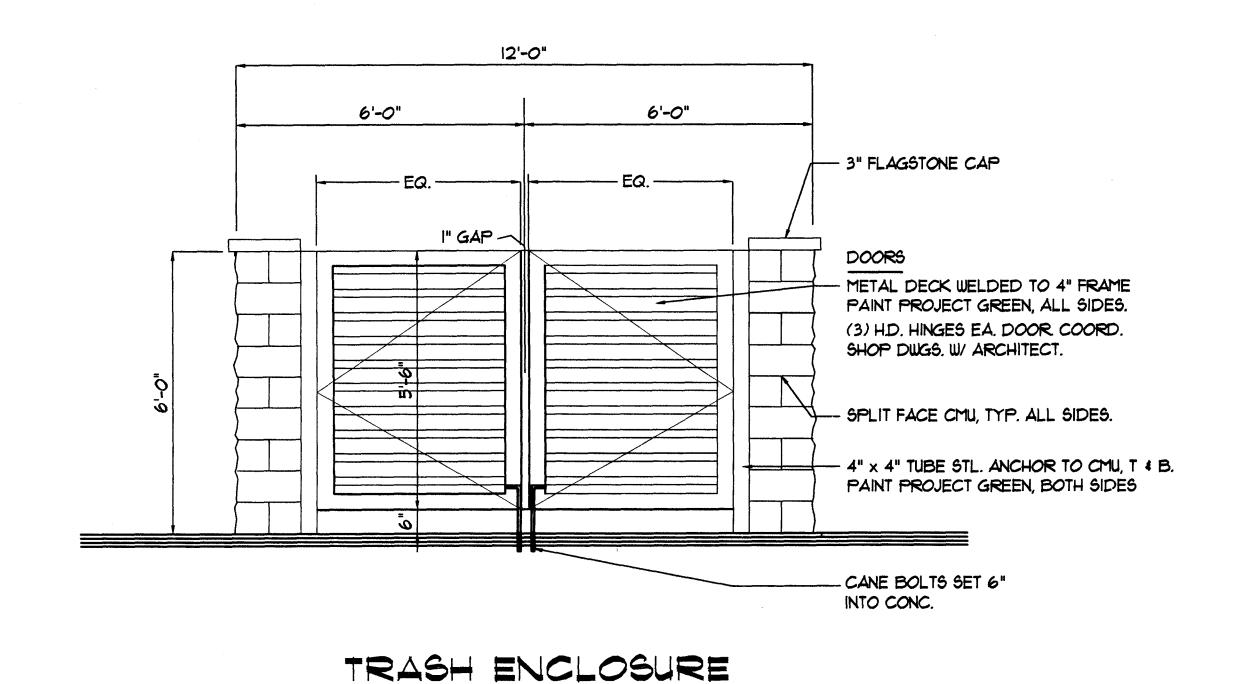
FAX: 303.969.9932



SUPERIOR MARKETPLACE PHASE IV FINAL DEVELOPMENT PLAN -- ARCHITECTURAL SITE PLAN ELCOR DEVELOPMENT, LLC **EXISTING CONCRETE CROSSWALKS INSTALLED IN** PHASE ONE -**EXISTING LANDSCAPE ENTRANCE IF** REQUIRED ENTRANCE REQUIRED. SEE GENERAL NOTE #3. -£3 303 · 297 · 3334 FAX 303 · 292 · 2601 1833 1833 108'-4" **EXISTING LANDSCAPE** & SEATING AREA 36' UTILITY ROOM EXACT SIZE TO BE DETERMINED BY THE NUMBER OF TENANTS AND TENANTS REQUIREMENTS. FUTURE Shops 'D' PATIO 9.09' **SPACE** 13,000 S.F. F.F. = 5521.0' F.F. = 5519.0' 'H' 'C' 'A' **'B'** 'F' 'G' 10.49 PARKING THIS AREA 960 S.F. FOR FUTURE PAD 3 1,400 S.F. | 1,400 S.F. 1,400 S.F._| 1,680 S.F. 1,400 S.F.₁ 1,564 S.F. TENANT £43 **DASHED LINE INDICATES** TYP. AWNING/CANOPY LOADING SIGN . The information contained in this drawing file is intended for use only on this project. Unauthorized reproduction or use in other projects is not permitted. The Mulhern Group, Itd. assumes no liability for unauthorized reproduction, changes to or use of the information contained herein. The information contained herein is provided on an "as—is" basis. The Mulhern Group, Itd disclaims all warranties with regard to the data contained in this drawing file and to the perfor—mance of the delivery media, including all implied warranties of fitness. The Mulhern Group, Itd assumes no obligations or liabilities for damages, including, but not limited to, consequential damages arising out of or in connection with the use or performance of this drawing file and its delivery media. REVISION 12/27/01 INITIAL SUBMITTAL 02/04/02 STAFF COMMENTS 03/08/02 P.C. REVISIONS 03/14/02 P.C. REVISIONS LOADING THIS SPACE DESIGNATED FOR LOADING. **LEGEND** 1-1/2" LETTERS ON SUPERIOR MARKETPLACE SHOPS 'D' PROVIDE SIGNAGE STATING: "FOR LOADING ONLY-12" W. x 16" H SIGN. PROJECT NUMBER: 5 A.M. TO 11 A.M. DAILY" TOP OF SIGN TO 5 - 11 AM DAILY CHECKED BY: DD/MGM SPOT ELEVATION AREA DRAIN TREE GRATE **DESCRIPTION:** SITE PLAN PROPOSED SIGN **ELEVATION** REFERENCE NORTH 1'' = 10'

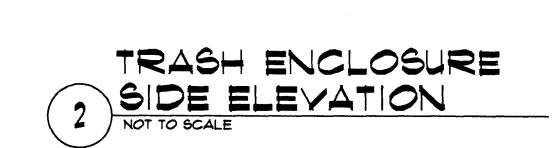
PHASE IV FINAL DEVELOPMENT PLAN

ELCOR DEVELOPMENT, LLC



FRONT ELEVATION

NOT TO SCALE



8'-0"

--- 3" FLAGSTONE CAP

- SPLIT FACE CMU, TYP. ALL SIDES.



1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303 • 297 • 3334 FAX 303 • 292 • 2601

SUPERIOR MARKETPLACE
PHASE FOUR FDP SUBMITTAL
SUPERIOR, COLORADO

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DATE REVISION

12/27/01 INITIAL SUBMITTAL

02/04/02 STAFF COMMENTS

03/08/02 P.C. REVISIONS

SUPERIOR MARKETPLACE

SUPERIOR MARKETPLACE

PROJECT NUMBER: 01023

DRAWN BY: DD/SGH

CHECKED BY: DD/MGM

DESCRIPTION:

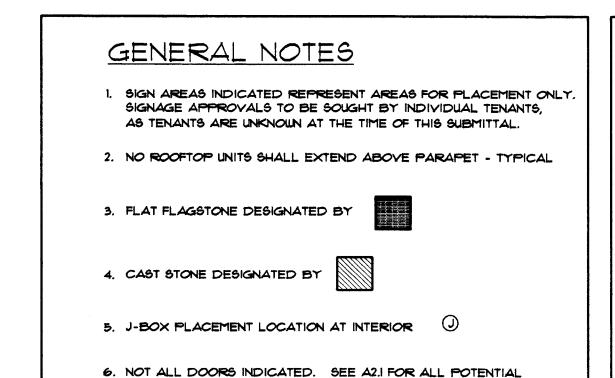
SITE DETAILS



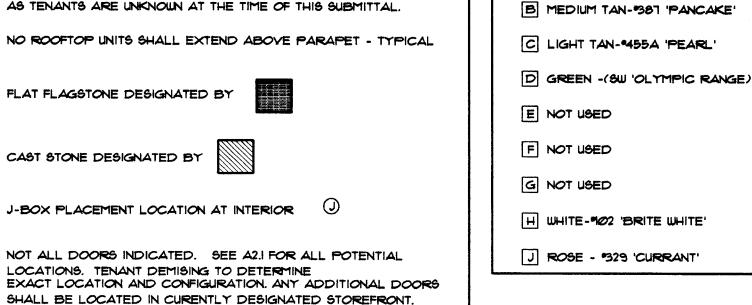
PHASE IV FINAL DEVELOPMENT PLAN -- ELEVATIONS

ELCOR DEVELOPMENT, LLC

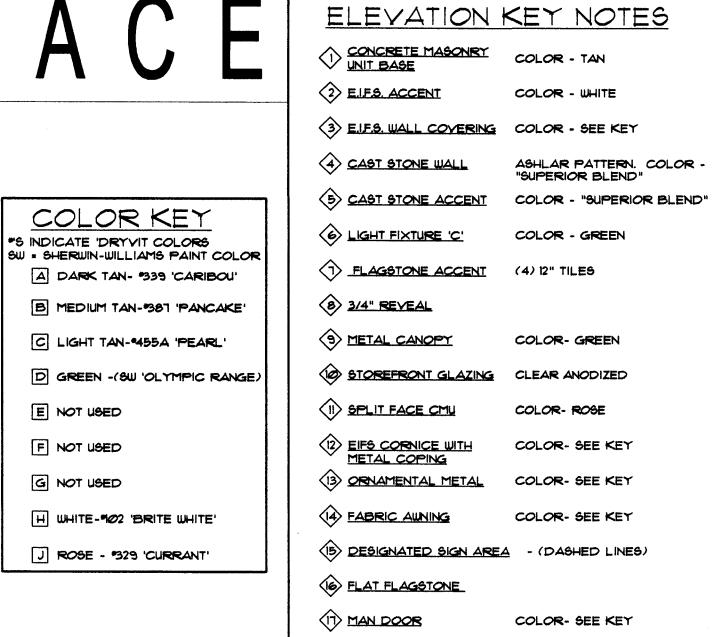
BUILDING MATERIAL CALCULATIONS							
ELEVATION	AREA (6F.)	FLAT STONE & CAST STONE (% OF S.F.)	GLAZING AREA (% OF SF.)	GLAZING LENGTH (% OF LF.)	eifs area (% of sf.)	CONCRETE MASONRY (% OF S.F.)	
NORTH D	4,192.0	609.4 (14.5%)	835.1 (20%)	100'-4" (45.8%)	2,629.1 (62.7%)	119.0 (2.8%)	
WEST D	1277.6	275.5 (21.6%)	37 <i>0.8</i> (29 <i>.0</i> %)	44'-6" (60.1%)	548.5 (42.9%)	82.8 (6.5%)	
60UTH D	4,078.0	6192 (152%)	1 <i>0</i> 203 (25 <i>0</i> %)	125'-0" (576%)	2,365.9 (58%)	T2.6 (1.8%)	
EAST D	1,494.0	3656 (24.5%)	209.2 (14.0%)	28'-0" (38.9%)	829.5 (55.5%)	89.7 (6 <i>.0</i> %)	
SUMMARY TOTAL	11,041.6	1869.7 (16.9%)	2,435.4 (22.1%)	297'-10"	6,373 (57.7%)	364.1 (3.3%)	



LOCATIONS. TENANT DEMISING TO DETERMINE

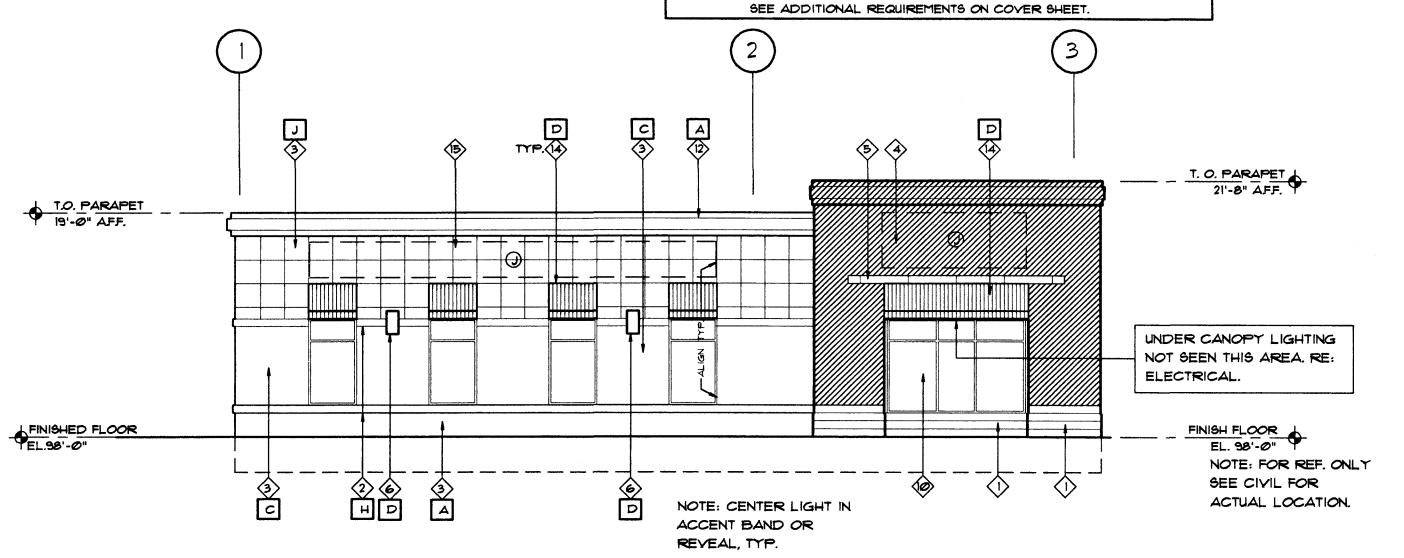


COLOR KEY

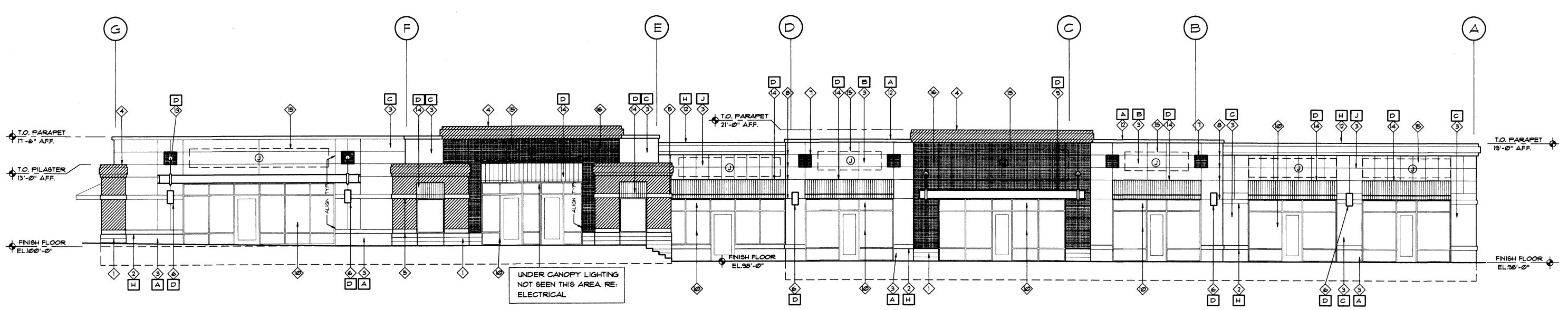


(8) SCUPPER

PAINT TO MATCH ADJACENT WALL SURFACE



EAST ELEVATION



SOUTH ELEVATION

1730 BLAKE STREET DENVER COLORADO 80202 303-297-3334 FAX 303-292-2601

BM S OUR SE PE

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SUPERIOR MARKETPLACE PROJECT NUMBER: 01023 DRAWN BY: DD/SGH DD/MGM CHECKED BY:

ELEVATIONS REFERENCE NORTH

PHASE IV FINAL DEVELOPMENT PLAN -- ELEVATIONS

ELCOR DEVELOPMENT, LLC BUILDING MATERIAL CALCULATIONS CONCRETE GLAZING ELEVATION LENGTH 1ASONRY EIFS AREA CAST STONE (% OF S.F.) (% OF SF.) (% OF L.F.) (% OF SF.) (% OF SF.) 2,629.1 (62.7%) 1190 (28%) NORTH D 835.1 (20%) 100'-4" (45.8%) 548.5 (42.9%) 82.8 (6.5%) 37*0.8 (29.0%)* 44'-6" (60.1%. 2,365.9 (58%) SOUTH D 4,078.0 619.2 (15.2%) 1,020.3 (25.0%) 125'-0" (57.6%) 72.6 (1.8%) EAST D 365.6 (24.5%) 2092 (14.0%) 28'-0" (38.9%) 8295 (555%) 89.7 (6.0%) 1,494.0 SUMMARY TOTAL 11,041,6 1869.7 (16.9%) 2,435.4 (22.1%) 297'-10" 364.1 (3.3%) 6,373 (57,7%)

GENERAL NOTES

- 1. SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
- 2. NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET TYPICAL
- 3. FLAT FLAGSTONE DESIGNATED BY
- 4. CAST STONE DESIGNATED BY
- 5. J-BOX PLACEMENT LOCATION AT INTERIOR ①
- 6. NOT ALL DOORS INDICATED. SEE A2.1 FOR ALL POTENTIAL LOCATIONS. TENANT DEMISING TO DETERMINE EXACT LOCATION AND CONFIGURATION. ANY ADDITIONAL DOORS SHALL BE LOCATED IN CURENTLY DESIGNATED STOREFRONT.

- COLOR KEY

 "S INDICATE 'DRYVIT COLORS
 SW = SHERWIN-WILLIAMS PAINT COLOR

 A DARK TAN- "339 'CARIBOU'
 - B MEDIUM TAN-9387 'PANCAKE'
 - C LIGHT TAN-*455A 'PEARL'
 - D GREEN (SW 'OLYMPIC RANGE)
 - E NOT USED
 - G NOT USED

F NOT USED

- H WHITE-902 'BRITE WHITE'
- ROSE 929 CURRANT
- 2 E.IFS. ACCENT COLOR - WHITE (3) E.I.F.S. WALL COVERING COLOR - SEE KEY 4 CAST STONE WALL ASHLAR PATTERN. COLOR - "SUPERIOR BLEND" (5) CAST STONE ACCENT COLOR - "SUPERIOR BLEND" 6 LIGHT FIXTURE 'C' COLOR - GREEN TLAGSTONE ACCENT (4) 12" TILES 8 3/4" REVEAL (3) METAL CANOPY COLOR- GREEN STOREFRONT GLAZING CLEAR ANODIZED (II) SPLIT FACE CMU COLOR- ROSE 12) EIFS CORNICE WITH METAL COPING COLOR- SEE KEY (3) ORNAMENTAL METAL COLOR- SEE KEY (14) FABRIC AUNING COLOR- SEE KEY (15) DESIGNATED SIGN AREA - (DASHED LINES)

COLOR- SEE KEY

PAINT TO MATCH ADJACENT WALL SURFACE

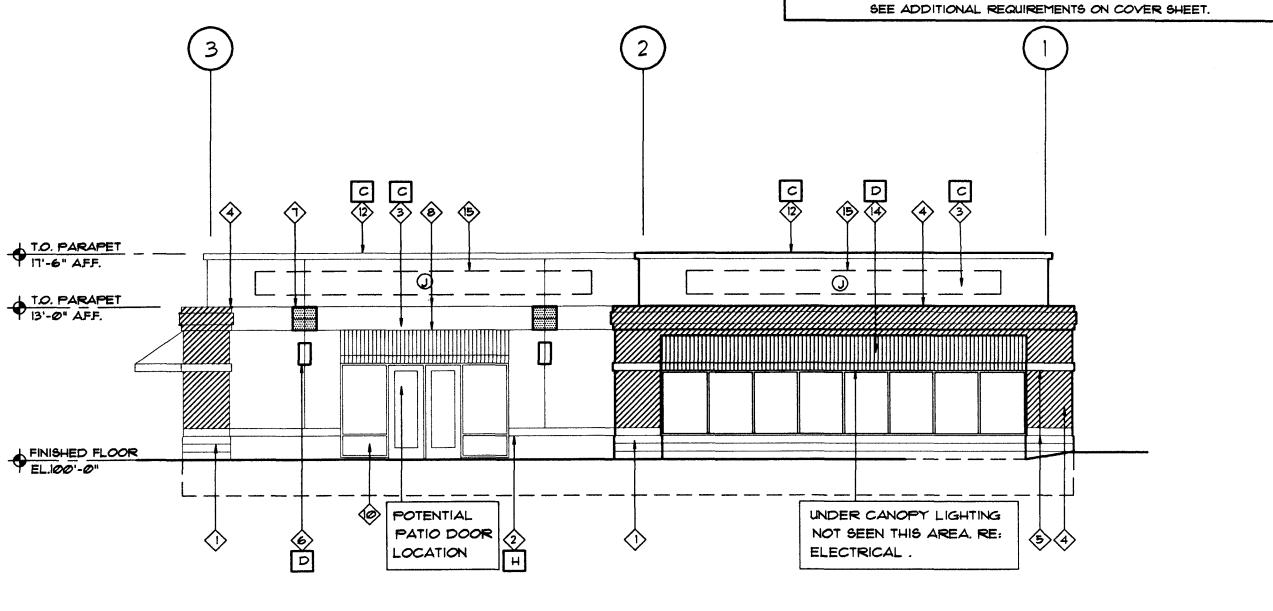
ELEVATION KEY NOTES

ONCRETE MASONRY
UNIT BASE

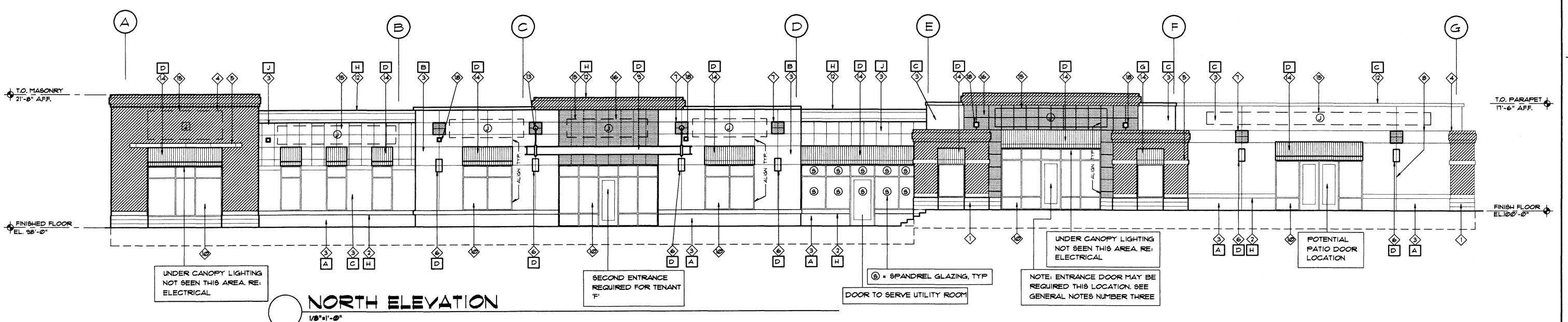
6 FLAT FLAGSTONE

(17) MAN DOOR

(8) SCUPPER







OR MARKETPLACE
UR FDP SUBMITTAL

1730 BLAKE STREET

COLORADO

303·297·3334 FAX 303·292·2601

.

SUITE 435

80202

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DATE REVISION

12/27/01 INITIAL SUBMITTAL

SE

PE

DATE REVISION

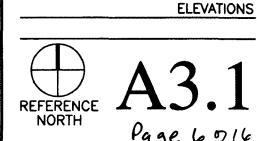
12/27/01 INITIAL SUBMITTAL

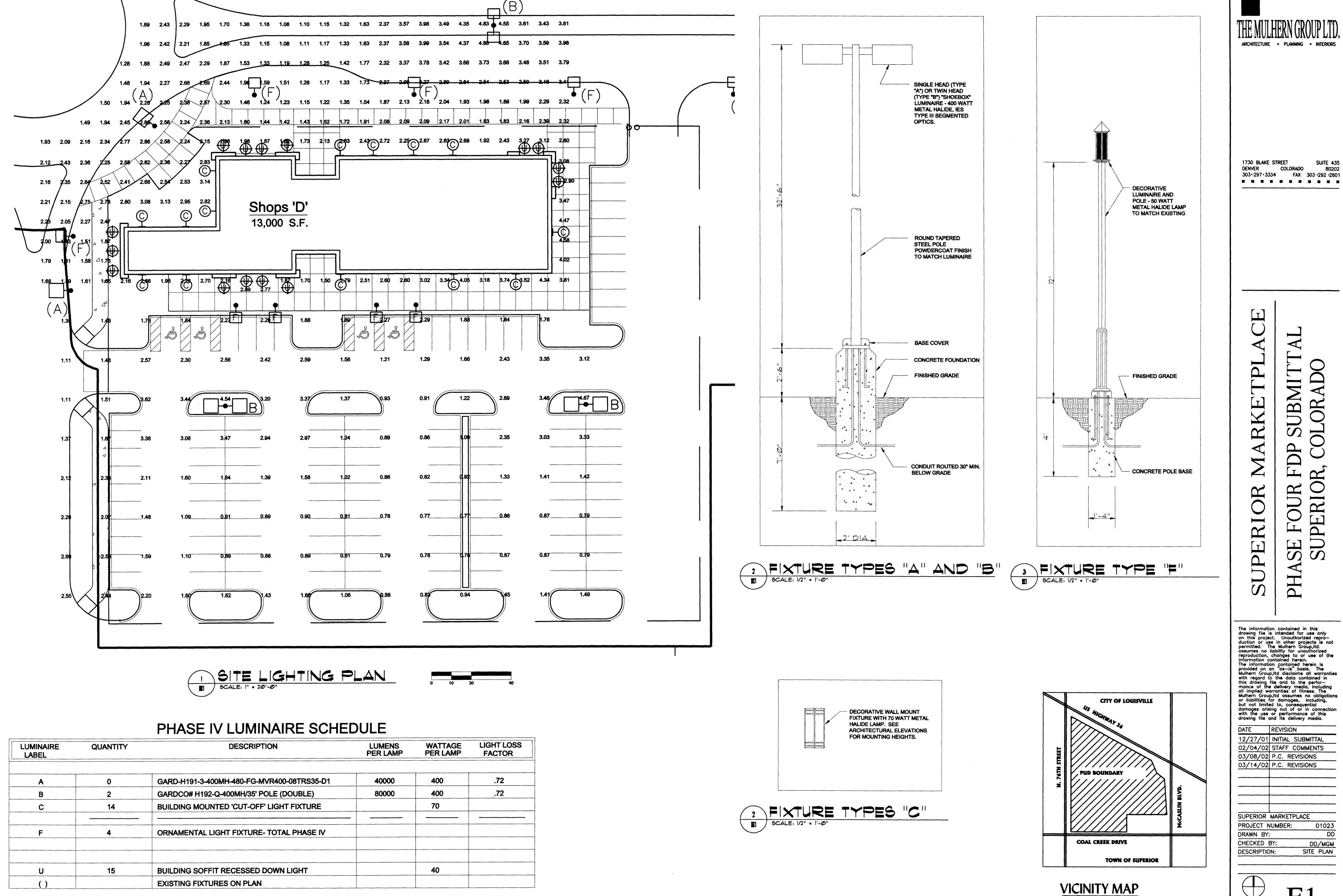
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03/14/02 P.C. REVISIONS

SUPERIOR MARKETPLACE
PROJECT NUMBER: 01023
DRAWN BY: DD/SGH
CHECKED BY: DD/MGM





FOUR SE

REVISION

REFERENCE NORTH

01023

DD/MGM SITE PLAN

DD

SUITE 435



Planning Landscape Architecture

710 West Colfax

Denver, Colorado 80204

Fax: 303 892 1186

Phone: 303 892 1166

.

TILIA CORDATA 'GREENSPIRE'

FRAXINUS PENN. 'PATMORE'

PICEA PUNGENS 'GLAUCA'

PYRUS CALLERYANA 'CHANTICLEER'

JUNIPERUS SABINA 'HUGHES'

JUNIPERUS SABINA 'BUFFALO'

PINUS MUGO 'WHITE BUD'

PRUNUS CISTENA

PICEA PUNGENS GLAUCA 'GLOBOSA'

BUDLEIA DAVIDII 'BLACK KNIGHT'

COTONEASTER LUCIDUS

PEROVSKIA ATRIPLICIFOLIA

CERASTIUM TOMENTOSUM

CALLIRHOE INVOLUCRATA

NEPETA FAASENNII

ACHILLEA 'MOONSHINE'

SALVIA NEMEROSA 'MAY NIGHT'

RUDBECKIA FULGIDA 'GOLDSTURM'

MISCANTHUS SINENSIS 'PURPURESCENS'

CALAMOGROSTIS ACUTIFLORA 'KARL FOERSTER'

HELICTOTRICHON SEMPERVIRENS

SEDUM SPURIUM ' AUTUMN JOY'

LIGUSTRUM X VICARYI

SPIREA JAPONICA 'GOLD FLAME'

CHRYSOTHAMNUS NAUSEOSUS

LEUCANTHEMUM SUPERBUM 'ALASKA'

BERBERIS THUNBERGII 'ATROPURPUREA'

PICEA PUNGENS GLAUCA 'R.H. MONTOGOMERY'

PINUS NIGRA

ACER PLATANOIDES 'DEBORAH'

FRAXINUS AMERICANA 'AUTUMN PURPLE'

PLANTING LEGEND

BOTANICAL NAME SYM. QTY. SYM. COMMON NAME

AUTUMN PURPLE ASH

PATMORE ASH **DEBORAH MAPLE**

AUSTRIAN PINE

COLORADO BLUE SPRUCE

ORNAMENTAL TREES

EVERGREEN SHRUBS HUGHES JUNIPER **BUFFALO JUNIPER**

MONTGOMERY SPRUCE BLUE GLOBE SPRUCE BGS WHITEBUD MUGO PINE

27 CP CISTENA PLUM BUTTERFLY BUSH BFB GOLD FLAME SPIREA GFS REDLEAF BARBERRY PEKING COTONEASTER RABBITBRUSH RUSSIAN SAGE

GOLDEN VICARY PRIVET PERENNIALS & GROUND COVERS

SNOW IN SUMMER MAY NIGHT SALVIA POPPY MALLOW CATMINT BLACK EYED SUSAN **AUTUMN JOY SEDUM** MOONSHINE YARROW

ORNAMENTAL GRASSES -

PURPLE MAIDEN GRASS BLUE AVENA GRASS FEATHER REED GRASS

100% BLUEGRASS SOD

FRESH CUT SOD

1 GAL.

1 GAL.

1 GAL.

1 GAL. 1 GAL.

1 GAL. 1 GAL.

5 GAL. 1 GAL. 1 GAL.



SIZE & CONDITION

2-1/2" CAL. B&B, SPECIMEN

3" CAL B&B, SPECIMEN

3" CAL. B&B, SPECIMEN

6'-10' HT., B&B SPECIMEN

6'-10' HT., B&B SPECIMEN

HGT. AS NOTED ON PLAN

2" CAL., B&B, SPECIMEN

5 GAL 30" SP. MIN.

5 GAL 30" SP. MIN.

10 GAL LOW GRAFT

6 GAL 2' HGT MIN.

5 GAL., 36" HT., 4 CANE MIN.

5 GAL., 24" HT, 3 CANE MIN.

5 GAL., 24" HT, 3 CANE MIN.

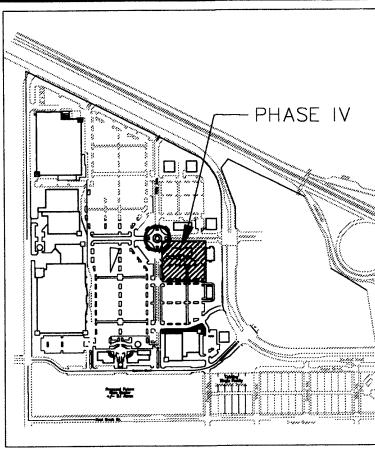
5 GAL., 30" HT., 4 CANE MIN.

5 GAL., 30" HT., 3 CANE MIN.

10 GAL 3' HGT. MIN. LOW GRAFT

2-1/2" CAL. B&B, SPECIMEN

PHASE 4 LIMITS



BEFORE YOU DIG CENTER OF COLORADO 1-800-922-1987 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE OF UNDERGROUND MEMBER LITILITIES

PLANTING DETAILS

LAYER.

NOTE: BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.

PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING. SET SHRUB 1" HIGHER THAN THE FINISHED BED GRADE. - DIG PLANT PIT TWICE

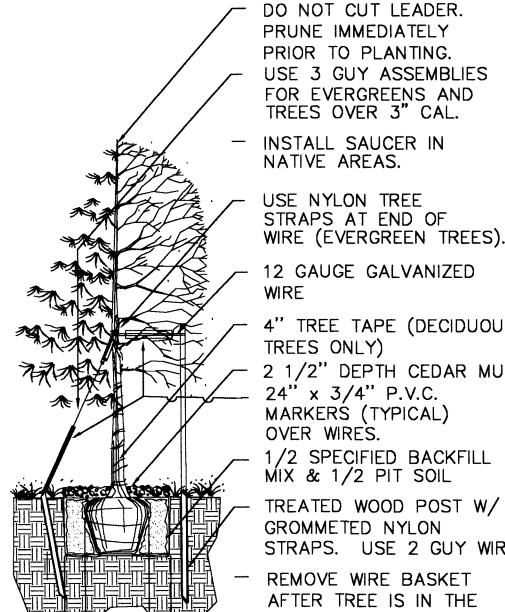
AS WIDE & HIGH AS THE CONTAINER APPLY SPECIFIED

- CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER. LOOSEN SIDES OF

> PLANT PIT & WATER IN WELL TO ELIMINATE LARGE AIR POCKETS. ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH

COMPACTED BACKFILL - FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX

& 1/2 PIT SOIL



4" TREE TAPE (DECIDUOUS TREES ONLY) 2 1/2" DEPTH CEDAR MULCH 24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES. 1/2 SPECIFIED BACKFILL MIX & 1/2 PIT SOIL

TREATED WOOD POST W/ GROMMETED NYLON STRAPS. USE 2 GUY WIRES

REMOVE WIRE BASKET AFTER TREE IS IN THE PIT. REMOVE TWINE, & PULL BURLAP FROM TREE TRUNK.

NOTE: SET TOP OF ROOT BALL 2" TO 3" ABOVE SURROUNDING FINISH GRADE.

DATE OF PREPARATION:

FDP SUBMITTAL: 1/4/02 FDP SUBMITTAL: 3/8/02

LANDSCAPE NOTES

1. ALL TREES ARE TO BE SECURELY GUYED FOR ONE YEAR PER DETAILS. TIGHTEN GUY WIRES

3" DEPTH CRUSHED GRANITE STONE TO MATCH EXISTING ON SITE MULCH OVER GEO-TEXTILE WEED CONTROL FABRIC. ALL OTHER BEDS ARE TO BE MULCHED WITH 2-1/2" DEPTH, SHREDDED CEDAR WITH 2-1/2" DEPTH, SHREDDED CEDAR MULCH WITHOUT WEED CONTROL FABRIC REGARDLESS OF THEIR LOCATION. REFER TO PLAN NOTES FOR FURTHER CLARIFICATION.

3. ALL PLANTING BEDS ARE TO BE CONTAINED BY RYERSON 4"X14 GAUGE GALVANIZED STEEL EDGER EDGER IS NOT REQUIRED WHEN BED IS ADJACENT TO CURBS, WALLS, WALKS, OR CONC. PANS. EDGER SHALL BE KINK FREE AND SMOOTH FLOWING IN CURVED AREAS. DO NOT DIVIDE CEDAR

4. ALL TREE PITS IN SODDED AREAS ARE TO RECEIVE A 2 1/2' DIA., 2 1/2" DEPTH SHREDDED CEDAR MULCH RING. NO EDGER OR WEED CONTROL FABRIC IS REQUIRED.

ALL IRRIGATION DEVELOPMENT IS TO BE UNDERGROUND, AUTOMATIC, AND PROVIDE 100% COVERAGE TO ALL AREAS.

6. IRRIGATION IS TO BE PROVIDED FROM SUPERIOR METROPOLITAN DISTRICT WATER REUSE LINE. 7. ALL TREES TO BE PLACED A MINIMUM OF 10 FEET FROM THE OUTSIDE EDGE OF ALL UTILITY

PIPES (WATER, SEWER, IRRIGATION, AND STORM SEWER).

ALL PLANTER WALLS, TREE GRATES, SIDEWALKS, SCORING AND CROSSWALKS REFER TO ARCHITECTURAL AND CIVIL PLANS AND SPECIFICATIONS. 9. PLAN REFLECTS TREE QUANTITIES @ 1/1400 SF. AND SHRUB QUANTITIES @ 1/30 S.F.

THE TOTAL TREE QUANTITIES ARE REQUIRED TO BE 33% DECIDUOUS AND 67% EVERGREEN. THE TOTAL SHRUB QUANTITIES ARE REQUIRED TO BE 33% DECIDUOUS AND 67% EVERGREEN. CONIFEROUS TREES SHALL CONFORM TO THE FOLLOWING HEIGHT REQUIREMENTS. CONIFEROUS TREE SIZES:

GREATER THAN 8' 4' TO 6' 20%

PLANTING CHART

TOTAL BED AREA IS 6,445 S.F. TOTAL SOD AREA IS 5,329 S.F. TOTAL LANDSCAPE AREA IS 11,774 S.F.

,	REQUIRED				PROPOSED			
	TREES		SHRUBS		TREES		SHRUBS	
	#	%	#	%	#	%	#	%
CONIFEROUS	6	67%	142	67%	19	67%*	194	67% *
DECIDUOUS	3	33%	73	33%	26	33%*	169	33% *
TOTALS	9	100%	215	100%	45	100%	363	100%

REQUIRED PROPOSED **GREATER THAN 8'** .6 10% 6' TO 8' 4.2 70% 4' TO 6' 1.2 20% 6 100% **DECIDUOUS TREE SIZES:** REQUIRED PROPOSED 3" OR GREATER . 9 10% 2 1/4" TO 2 3/4" 6.3 70%

CONIFEROUS TREE SIZES:

1 1/2" TO 2" 1.8 20%

PLAN REFLECTS TREE QUANTITIES @ 1/1400 SF. AND SHRUB QUANTITIES @ 1/30 S.F. TREE RATIOS ARE FOR THE TOTAL LANDSCAPE AREA AND SHRUB RATIOS ARE FOR THE BED AREA ONLY. * THE REQUIRED TREE QUANTITIES ARE 33% DECIDUOUS AND 67% EVERGREEN.

** THE REQUIRED SHRUB QUANTITIES ARE 33% DECIDUOUS AND 67% EVERGREEN.

QUANTITIES SHOWN EXCEED REQUIREMENTS OF EVERGREEN AND DECIDUOUS RATIOS

Sheet Number L-1

Sheet Title

LANDSCAPE COVER

SHEET

Revision Date

Planning

Landscape Architecture

Denver, Colorado 80204

710 West Colfax

Fax: 303 892 1186

AC

SUPERIOR MARKETPL

ELLMAN

COMPANIES

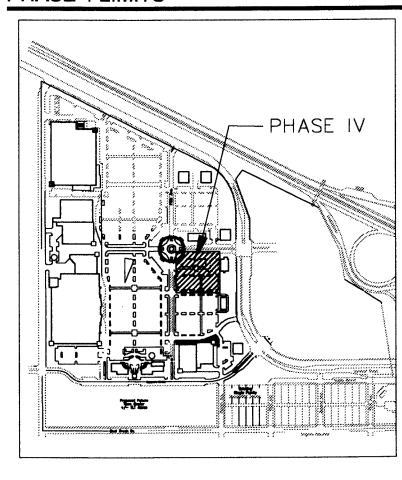
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Page 8 of 16

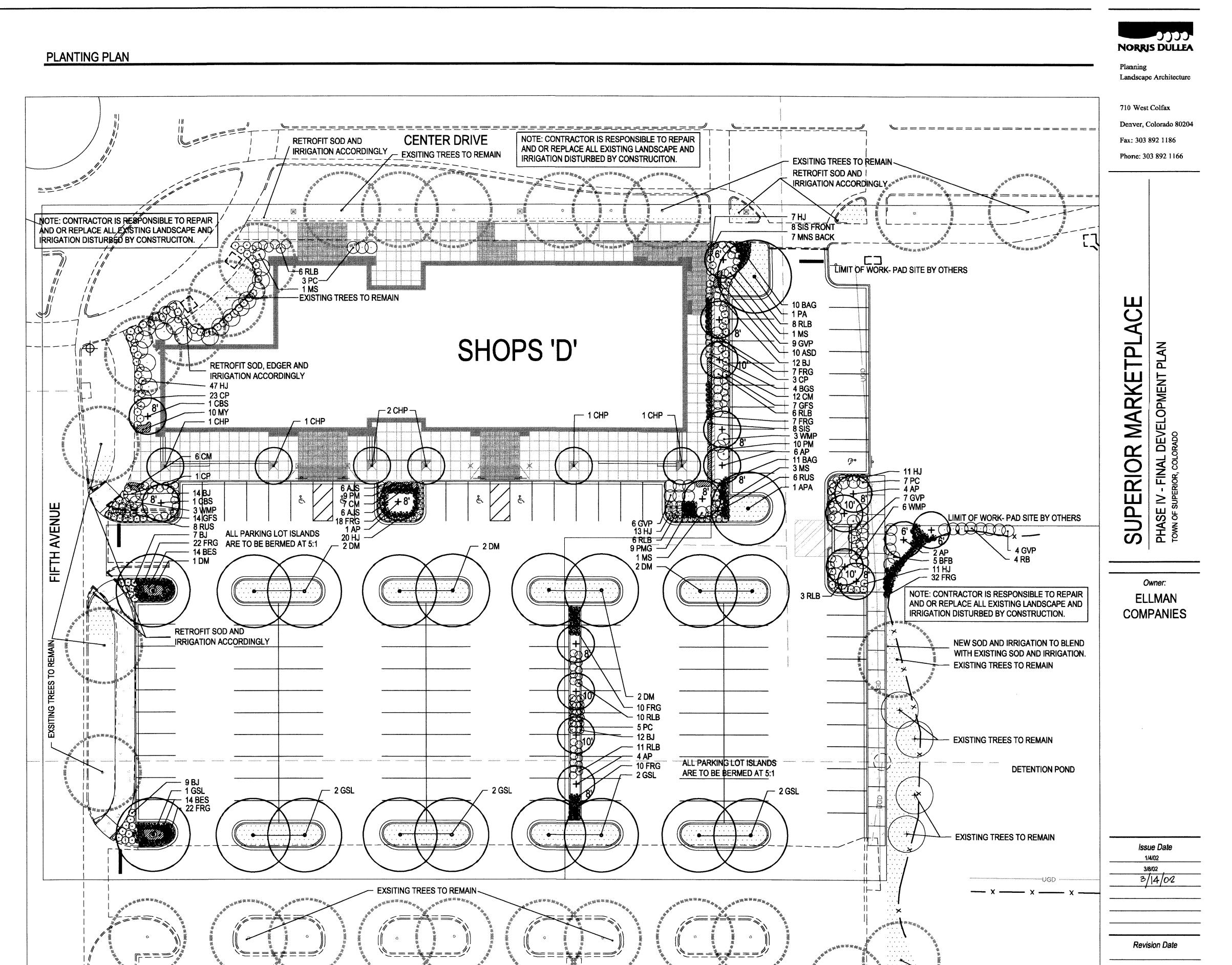
SYM.	QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
	DECIDUO	US TR	EES		
		GSL	GREEN SPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2-1/2" CAL. B&B, SPECIMEN
	•	APA	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	3" CAL B&B, SPECIMEN
		PA	PATMORE ASH	FRAXINUS PENN. 'PATMORE'	3" CAL. B&B, SPECIMEN
_		DM	DEBORAH MAPLE	ACER PLATANOIDES 'DEBORAH'	2-1/2" CAL. B&B, SPECIMEN
	$\frac{1}{20}$				
	EVERGR	EEN T	REES		
	17	AP	AUSTRIAN PINE	PINUS NIGRA	6'-10' HT., B&B SPECIMEN
′ _ `	2	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	6'-10' HT., B&B SPECIMEN
Ť	19				HGT. AS NOTED ON PLAN
	ORNAMI	ENTAL	TREES -		
\odot	6 6	CHP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	2" CAL., B&B, SPECIMEN
	EVERGR	een si	HRUBS —		
	110	HJ	HUGHES JUNIPER	JUNIPERUS SABINA 'HUGHES'	5 GAL 30" SP. MIN.
	64	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL 30" SP. MIN.
(\cdot)	_	MS	MONTGOMERY SPRUCE	PICEA PUNGENS GLAUCA 'R.H. MONTOGOMERY'	10 GAL 3' HGT. MIN.
0 (⊙ 4	BGS	BLUE GLOBE SPRUCE	PICEA PUNGENS GLAUCA 'GLOBOSA'	10 GAL LOW GRAFT
	12	WMP	WHITEBUD MUGO PINE	PINUS MUGO WHITE BUD'	6 GAL 2' HGT MIN.
	194				
		ous s	HRUBS		
	27	CP	CISTENA PLUM	PRUNUS CISTENA	5 GAL., 36" HT., 4 CANE MIN.
	8	BFB	BUTTERFLY BUSH	BUDLEIA DAVIDII 'BLACK KNIGHT'	5 GAL., 24" HT, 3 CANE MIN.
	21	GFS	GOLD FLAME SPIREA	SPIREA JAPONICA 'GOLD FLAME'	5 GAL., 24" HT, 3 CANE MIN.
	50	RLB	REDLEAF BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL., 30" HT., 4 CANE MIN.
0(19	PC	PEKING COTONEASTER	COTONEASTER LUCIDUS	5 GAL., 30" HT., 3 CANE MIN.
•	∠ 4	RB	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	5 GAL., 30" HT., 3 CANE MIN.
	19	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL., 30" HT., 3 CANE MIN.
	21	GVP	GOLDEN VICARY PRIVET	LIGUSTRUM X VICARYI	5 GAL., 30" HT., 3 CANE MIN.
	169				
	PERENN	VIALS	& GROUND COVERS		
	10	ASD	ALASKA SHASTA DAISY	LEUCANTHEMUM SUPERBUM 'ALASKA'	1 GAL.
	16	SIS	SNOW IN SUMMER	CERASTIUM TOMENTOSUM	1 GAL.
9	\mathcal{D}^{7}	MNS	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	1 GAL.
\(\mathcal{E}_{i}\)	/// 19	PM	POPPY MALLOW	CALLIRHOE INVOLUCRATA	1 GAL.
V	25	CM	CATMINT	NEPETA FAASENNII	1 GAL.
	28	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GAL. 1 GAL.
	12	AJS	AUTUMN JOY SEDUM	SEDUM SPURIUM ' AUTUMN JOY' ACHILLEA 'MOONSHINE'	1 GAL. 1 GAL.
	10	MY	MOONSHINE YARROW	AUTHELEA MOUNDHINE	r spor that
		ENTAL	GRASSES		
	9	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	5 GAL.
	21	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.
N.	124	FRG	FEATHER REED GRASS	CALAMOGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL.
	454		, Letter Citally Signor		

FRESH CUT SOD

PHASE 4 LIMITS



100% BLUEGRASS SOD



Page 9 0,16

Sheet Title

LANDSCAPE

Sheet Number

- EXISTING TREES TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE TO REPAIR AND OR REPLACE ALL EXISTING LANDSCAPE AND TIRRIGATION DISTURBED BY CONSTRUCTION.

SCALE: 1" = 20' - 0"

NOTE: BASE INFORMATION PROVIDED BY V3 COLORADO CONSULTING ENGINEERS

GENERAL NOTES

- 1. WHERE NEW WORK MEETS EXISTING FEATURES TO REMAIN. FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES
- 2. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED TO MEET COOT AND TOWN SPECIFICATIONS IN MATERIALS AND WORKMANSHIP
- 3. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- 4. NEW ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF NEW PAVING (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS SHOWN.
- 5. ALL BUTT JOINTS AS SHOWN ON THE PLANS (IF APPLICABLE) AND AS DIRECTED BY THE ENGINEER SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- 6. ALL PIPE CONNECTIONS INSIDE DRAINAGE STRUCTURES SHALL PROJECT OUTSIDE SUFFICIENTLY FOR PROPER CONNECTION.
- 7. FINAL ADJUSTMENT OF FIRE HYDRANTS AND VALVE VAULTS ARE INCIDENTAL TO THEIR COST.
- 8. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- 9. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY". FOR INFORMATION CONTACT COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION AT (303) 692-3590.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEM BY THE USE OF SILT FENCE, STRAW BALES OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM SEWERS, DRAINAGE STRUCTURES AND DRAINAGE DITCHES. BEFORE LAND IS CLEARED, GRADED, TRANSPORTED OR OTHERWISE DISTURBED BY THE MOVEMENT OF EARTH FOR CONSTRUCTION, ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED WEEKLY AND AFTER EACH RAIN. ANY SOIL EROSION CONTROL MEASURES IN ADDITION TO THOSE OUTLINED IN THESE PLANS AND WHICH ARE DEEMED NECESSARY BY THE TOWN ENGINEERING DEPARTMENT INSPECTOR, SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR.
- 11. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATERS OF THE UNITED STATES.
- 12. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF
- 13. ANY AREA WITHIN THE TOWN R.O.W. OR OUTSIDE THE PROPERTY LINE USED BY THE GENERAL OR SUBCONTRACTORS SHALL BE RETURNED TO THE STATE IT WAS FOUND PRIOR TO NEW CONSTRUCTION, EXCEPT WHERE NEW WORK IS SHOWN, ALL PUBLIC R.O.W. AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 6" OF TOPSOIL AND SOD. SEEDING WILL NOT BE PERMITTED IN THESE AREAS.
- 14. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO THE SEWER INSTALLATION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. DRAINAGE MUST BE MAINTAINEDM AT ALL TIMES DURING CONSTRUCTION.
- 15. FOR REGULATED UTILITY LOCATIONS THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NON-REGULATED UTILITY LOCATIONS, THE TOWN OF SUPERIOR PUBLIC WORKS DEPARTMENT (303-499-1054) MUST BE NOTIFIED FOR LOCATION OF THE STREET LIGHT CABLE, STORM SEWER, WATER MAIN AND SANITARY SEWER. PLEASE CALL FOR LOCATES 48 HOURS IN ADVANCE OF CONSTRUCTION.
- 16. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
- 17. PROVIDE TRENCH BACKFILL (CLASS 1, COMPACTED TO 95% OF MAXIMUM DRY DENSITY (AASHTO T 180) FOR ALL UNDERGROUND UTILITIES AND SLEEVES WITHIN 2 FEET OF NEW PAVEMENT. SUBMIT COMPACTION TEST RESULTS TO THE ENGINEER AND TOWN OF SUPERIOR PRIOR TO FINAL ACCEPTANCE.
- 18. SIX (6") INCHES OF TOPSOIL SHALL BE PLACED ON ALL NON-PAVED AREAS WERE NEW GRADING IS SHOWN ON PLANS.
- 19. STORM SEWER SHALL BE REINFORCED TYPE II CONCRETE PIPE CLASS III, CONFORMING TO ASTM C-76 UNLESS OTHERWISE NOTED. JOINTS FOR RCP STORM SEWER SHALL BE RUBBER GASKET CONFORMING TO ASTM C443.
- 20. ALL PVC SANITARY SEWER AND STORM SEWER SHALL BE THICK WALLED PIPE CONFORMING TO ASTM D-3034, SDR-35, WITH PUSH TYPE JOINTS IN CONFORMANCE
- 21. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52 IN CONFORMANCE WITH ANSI A21.51 OR AWWA C151 WITH JOINTS IN CONFORMANCE WITH ANSI A-21.11. GASKETS AND CAST IRON FITTINGS SHALL CONFORM TO ANSI A21.10 OR AWWA C111. WATER MAIN SHALL BE CEMENT LINED IN CONFORMANCE WITH ANSI A21.4 OR AWWA C104 AND BITUMINOUS EXTERIOR COATED. WATER MAINS SHALL BE BURIED AT A DEPTH OF 4'-6" FROM THE TOP OF PIPE BELOW FINISHED GRADE UNLESS NOTED OTHERWISE. ALL WATER MAIN SERVICE LINES SHALL BE TYPE K COPPER, UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE ENCASED IN 8 MIL POLYETHYLENE SHEATHING TO CONFORM WITH ANSI A21.5 AND AWWA C105
- 22. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL UNDERGROUND UTILITY CONSTRUCTION AND SUBMIT "RECORD" INFORMATION TO THE TOWN ENGINEER WITHIN 10 DAYS AFTER CONSTRUCTION. RECORD INFORMATION SHALL INCLUDE RIM ELEVATIONS, INVERT ELEVATIONS, AND SIZES FOR ALL UTILITIES. SLOPES FOR SANITARY AND STORM SEWER SHALL ALSO BE INCLUDED. IF THE PAD 3 AREA IS DISTURBED BY THE CONTRACTOR, AN AS-BUILT OF THE GRADES OF PAD 3 SHALL BE SUBMITTED TO THE ENGINEER AT THE COMPLETION OF CONSTRUCTION.
- 23. NO PAVEMENT WORK IS ALLOWED ADJACENT TO CURB AND GUTTER FOR A MINIMUM OF 7 DAYS AFTER CURB PLACEMENT.
- 24. BACKFILLING OF CURB IS PROHIBITED UNTIL THREE DAYS AFTER CURB PLACEMENT.

GENERAL NOTES, CONTINUED

- 25. PRIOR TO INSTALLATION OF THE BITUMINOUS SURFACE COURSE IN PUBLIC RIGHT OF WAY, BUT AFTER INSTALLATION OF THE BINDER COURSE, THE CONTRACTOR SHALL HAVE CORES TAKEN AT RANDOM INTERVALS AND TESTED TO CERTIFY THAT CONSTRUCTION HAS MET TOWN REQUIREMENTS. THE TESTING REQUIREMENTS OF SUPERIOR METROPOLITAN DISTRICT NO. 2, SECTION 9.7.3 SHALL BE ADHERED TO.
- 26. ASPHALT JOINTS FOR DIFFERENT ASPHALT COURSES ARE TO BE
- 27. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE. THE SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH THE SUPERIOR METROPOLITAN DISTRICT 1, 2, 3 SYSTEM STANDARDS.
- 28. SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE SUPERIOR METROPOLITAN DISTRICT 1, 2, 3 SYSTEM STANDARDS.
- 29. BAND-SEAL CONNECTORS SHALL BE USED TO JOIN PIPES OF DISSIMILAR
- 30. ALL MANHOLES SHALL HAVE "TOWN OF SUPERIOR" AND "WATER", "STORM" OR "SANITARY" CAST INTO LID.
- 31. ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PERAINEDM THE REQUIREMENTS OF THE SUPERIOR METROPOLITAN DISTRICT 1, 2 AND 3 SYSTEM
- 32. THE SIGNATURE OF THE DISTRICT ENGINEER AFFIXED TO THIS DOCUMENT INDICATES GENERAL CONFORMANCE WITH THE SUPERIOR METROPOLITAN DISTRICT CRITERIA. THE DISTRICT ENGINEER, THROUGH APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT IT IS THE POLICY AND PRACTICE OF THE SUPERIOR METROPOLITAN DISTRICT AND ITS ENGINEER NOT TO ACCEPT THE LIABILITY FOR FACILITIES DESIGNED BY OTHERS. THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
- 33. ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE SUPERIOR METROPOLITAN DISTRICT ROADWAY DESIGN CRITERIA. THE DISTRICT ENGINEER WILL HAVE THE FINAL INTERPRETATION OF THE CRITERIA. ANYTHING NOT COVERED IN THE CRITERIA SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE STANDARDS AND SPECIFICATIONS APPROVED BY THE DISTRICT ENGINEER AND/OR IN COMPLIANCE WITH OTHER AGENCIES HAVING JURISDICTION.
- 34. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE SUPERIOR METROPOLITAN DISTRICT. THE DISTRICT AND THE TOWN ENGINEER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- 35. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND THE TOWN ENGINEER A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
- 36. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL PROTECT, AT HIS OWN EXPENSE, ALL EXISTING UTILITIES AND BE RESPONSIBLE FOR THEIR REPAIR IF THEY ARE DAMAGED DURING CONSTRUCTION.
- ALL KNOWN EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ON THE PLANS. THE ACTUAL LOCATION MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS, HE SHALL CONTACT THE ENGINEER IMMEDIATELY.
- 37. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY THE DISTRICT AND THE TOWN OF SUPERIOR) AND ONE (1) COPY OF THE ROADWAY DESIGN CRITERIA AT THE JOB SITE AT ALL TIMES.
- 38. STANDARD SUPERIOR METROPOLITAN DISTRICT HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "IT" INTERSECTIONS.
- 39. EXCEPT WHERE OTHERWISE PROVIDED FOR IN THESE PLANS AND SPECIFICATIONS, THE COLORADO DEPARTMENT OF HIGHWAYS STANDARDS SPECIFICATIONS LATEST
- 40. EXISTING TOPOGRAPHY IS BASED ON A SURVEY PREPARED BY V3 CONSULTANTS.
- 41. BASIS OF BEARINGS REFERENCED FROM THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 70 WEST, OF THE 6TH PRINCIPAL MERIDIAN, WHICH BEARS S 89° 08' 48" W (ASSUMED), AND IS MONUMENTED AS BY THE NORTH QUARTER CORNER OF SECTION 24 (FND. 2 1/2" ALUMINUM CAP, N=99,960.20, E=97,357.59) AND THE NORTHEAST CORNER OF SECTION 24 (FND. 3 1/2" ALUMINUM CAP, N=100,000.00, E=10,000.00).

SEPARATION -WATERMAINS AND SEWERS

- A. VERTICAL SEPARATION: A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS BOTTOM OF PIPE IS A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER OR IRRIGATION WATER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS, SEWER SERVICE CONNECTIONS OR IRRIGATION WATER. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER, DRAIN OR IRRIGATION CROSSED.
- B. HORIZONTAL SEPARATION: IN ALL CASES MAINTAIN A MINIMUM OF 10 FEET BETWEEN WATER AND SEWER LINES (WALL TO WALL OUTSIDE OF PIPE).
- C. SPECIAL CONSTRUCTION WILL BE REQUIRED IN ACCORDANCE WITH THE SEWER CROSSING WATER LINE DETAIL WHEN:
 - 1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
 - 2. THE WATER MAIN PASSES UNDER A SEWER OR DRAIN FOR A DISTANCE OF TEN (10) FEET ON EITHER SIDE OF THE WATER MAIN.

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DESCRIPTION

EASEMENT LINE

FENCE LINE

CENTERLINE

CONTOUR

SPILL CURB

CURB

RIGHT-OF-WAY LINE

PROPERTY CORNER

DEPRESSED CURB

SPOT ELEVATION

SANITARY SEWER

SANITARY FORCE MAIN

UNDERGROUND TELEPHONE

AND ELECTRIC DUCT BANK

BURIED CABLE-TELEPHONE

BURIED CABLE-TELEPHONE

BURIED CABLE-FIBER OPTIC

GATE VALVE IN VALVE BOX

POST INDICATOR VALVE

CONCRETE HEADWALL

SUBMERGED HEADWALL

FLARED END SECTION (F.E.S.)

FIRE DEPARTMENT CONNECTION

UTILITY STRUCTURE WITH CLOSED LID

DRAINAGE STRUCTURE WITH OPEN LID

AND CABLE TELEVISION

BURIED CABLE-ELECTRIC

UTILITY STUB

STORM SEWER

IRRIGATION MAIN

WATER MAIN

GAS MAIN

CURB INLET

TYPE "R" INLET

FIRE HYDRANT

WATER METER

THRUST BLOCK

CLEANOUT

TREE LINE

GUY WIRES

FLOOD LIGHT

UTILITY POLE

HAND HOLE

SOIL BORING

LIGHT STANDARD

TRAFFIC SIGNAL POLE

IRRIGATION HEADS

TELEPHONE MANHOLE

TELEPHONE PEDESTAL

UTILITY TO BE ABANDONED

FEATURE TO BE REMOVED

STRAWBALE DITCH CHECK

WATER MAIN PROTECTION

SILT FENCE

GUARDRAIL

REVISION CLOUD

RAILROAD TRACKS

STORMWATER FLOW DIRECTION

STORMWATER OVERFLOW ROUTE

STRAW BALE SEDIMENTATION TRAP

TRANSFORMER PAD

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1-1-1-1

 $X = X \times X$

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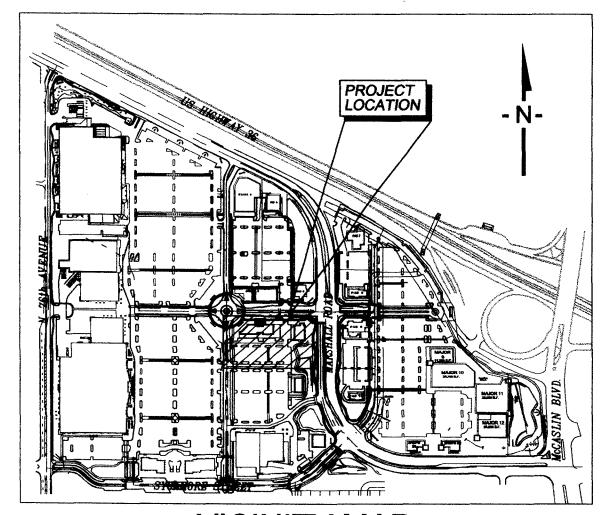
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PROPERTY LINE (EXTERIOR)

ABBREVIATIONS

ABBREVIATIONS						
В-В	BACK TO BACK OF CURB					
TBC	TOP BACK OF CURB					
BLDG	BUILDING					
BM	BENCHMARK					
BP	BEND POINT					
C & G CB	CURB AND GUTTER CATCH BASIN					
Ę.	CENTERLINE					
CR	CROWN ELEVATION					
CL	CLOSED LID					
CLR	CLEARANCE					
СО	CLEANOUT					
D	DELTA					
DIP	DUCTILE IRON PIPE					
DIA. DIWM	DIAMETER DISTUE IPON WATER MAIN					
DWG.	DUCTILE IRON WATER MAIN DRAWING					
Ε	EAST OR ELECTRIC					
EGL EJ	ENERGY GRADE LINE EXPANSION JOINT					
ELEV.	ELEVATION					
EOP	EDGE OF PAVEMENT					
EX.	EXISTING					
F&G	FRAME & GRATE					
FDC	FIRE DEPARTMENT CONNECTION					
FES F-F	FLARED END SECTION					
F.F.	FACE TO FACE OF CURB FINISHED FLOOR					
F/G	FINISHED GRADE					
FH	FIRE HYDRANT					
FL	FLOW LINE					
FOC	FACE OF CURB					
G	GAS LINE					
HDCP HDPE	HANDICAP HIGH DENSITY POLYETHYLENE PIPE					
HDW	HEADWALL					
HGL	HYDRAULIC GRADE LINE					
HOR.	HORIZONTAL					
HP	HIGH POINT					
HWL IE	HIGH WATER LEVEL INVERT ELEVATION					
IN	INVERTIBLEVATION					
IRR	IRRIGATION					
L	LENGTH					
LF	LINEAL FEET					
LP	LOW POINT OR LIGHT POLE					
LT MH	LEFT MANHOLE					
N	NORTH					
N.I.C.	NOT IN CONTRACT					
NWL	NORMAL WATER LEVEL					
O.C.	ON CENTER					
OHE OL	OVERHEAD ELECTRIC					
PC	OPEN LID POINT OF CURVATURE					
PCC	PORTLAND CEMENT CONCRETE					
PGL	PROFILE GRADE LINE					
PI	POINT OF INTERSECTION					
PL	PROPERTY LINE					
PP PRC	POWER POLE					
PT	POINT OF REVERSE CURVATURE POINT OF TANGENCY					
P.U.E.	PUBLIC UTILITY EASEMENT					
PVC	POINT OF VERTICAL CURVATURE					
	OR POLYVINYL CHLORIDE PIPE					
PVI PVT	POINT OF VERTICAL INTERSECTION					
R	POINT OF VERTICAL TANGENCY RADIUS					
RCP	REINFORCED CONCRETE PIPE					
R.O.W.	RIGHT OF WAY					
RT	RIGHT					
S	SLOPE OR SOUTH					
SF SFM	SILTATION FENCE SANITARY FORCE MAIN					
SHT	SHEET					
SHW	SUBMERGED HEADWALL					
SMH	SANITARY MANHOLE					
SS	SANITARY SEWER					
STA.	STATION					
ST STMH	STORM STRUCTURE OR STORM SEWER					
T	STORM MANHOLE TANGENT LENGTH OR TELEPHONE					
TAN	TANGENT					
T/C	TOP OF CURB					
TOW	TOP OF WALL					
T/P TY	TOP OF PIPE					
TYP	TYPE TYPICAL					
UP	UTILITY POLE					
VB	VALVE BOX					
VC	VERTICAL CURVE					
VEDT	VALVE VAULT					
VERT. W	VERTICAL WEST OR WATER					



VICINITY MAP

THESE DESIGNS, PLANS, AND CONTRACT DOCUMENTS ARE REVIEWED FOR CONCEPT AND GENERAL CONFORMANCE TO THE DISTRICT'S MINIMUM STANDARDS ONLY, AND THE PRIMARY RESPONSIBILITY FOR DESIGN ADEQUACY IS TO REMAIN WITH THE ENGINEER OF RECORD. THIS REVIEW DOES NOT IMPLY RESPONSIBILITY BY EITHER THE TOWN OF SUPERIOR, THE SUPERIOR METROPOLITAN DISTRICT NOS. 1, 2, OR 3, THE TOWN ENGINEER OR THE DISTRICT ENGINEER FOR COMPLETENESS, ACCURACY OR CORRECTNESS OF CALCULATIONS. THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS INDICATED ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE TOWN OR DISTRICT FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE

APPROVED FOR CONSTRUCTION WITHIN ONE YEAR OF THE EARLIEST OF THESE DATES:

BY	
DISTRICT NO. 1 ENGINEER	DATE
BY	
TOWN OF SUPERIOR	DATE
BY	
CHERRYVALE FIRE PROTECTION DISTRICT	DATE
BY	
DISTRICT NO. 1 BY	DATE
DISTRICT NO. 2	DATE

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS FOR SUPERIOR MARKETPLACE SHOPS D PHASE IV WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROADWAY DESIGN CRITERIA AND DRAINAGE CRITERIA FOR THE SUPERIOR METROPOLITAN DISTRICT AND THE TOWN OF SUPERIOR.

MARK D. CEVAAL, P.E.

COLORADO LICENSE NO. 33123



Engineers 200 Union Boulevard, Suite 200 Scientists 303.989.8588 voice 303.989.9932 fax Surveyors v3consultants.com

REVISIONS DESCRIPTION DESCRIPTION NO. DATE NO. DATE 01 1 Feb 2002 REVISED PER TOWN COMMENTS 02 26 Feb 2002 REVISED PER TOWN COMMENTS 03 08 Mar 2002 REVISED PER TOWN COMMENTS 3/14/02 RESLIBANT

01036 C1.1-Notes JAN. 3, 2002 ANH | SUPERIOR NONE

SUPERIOR MARKETPLACE SHOPS D

PHASE IV

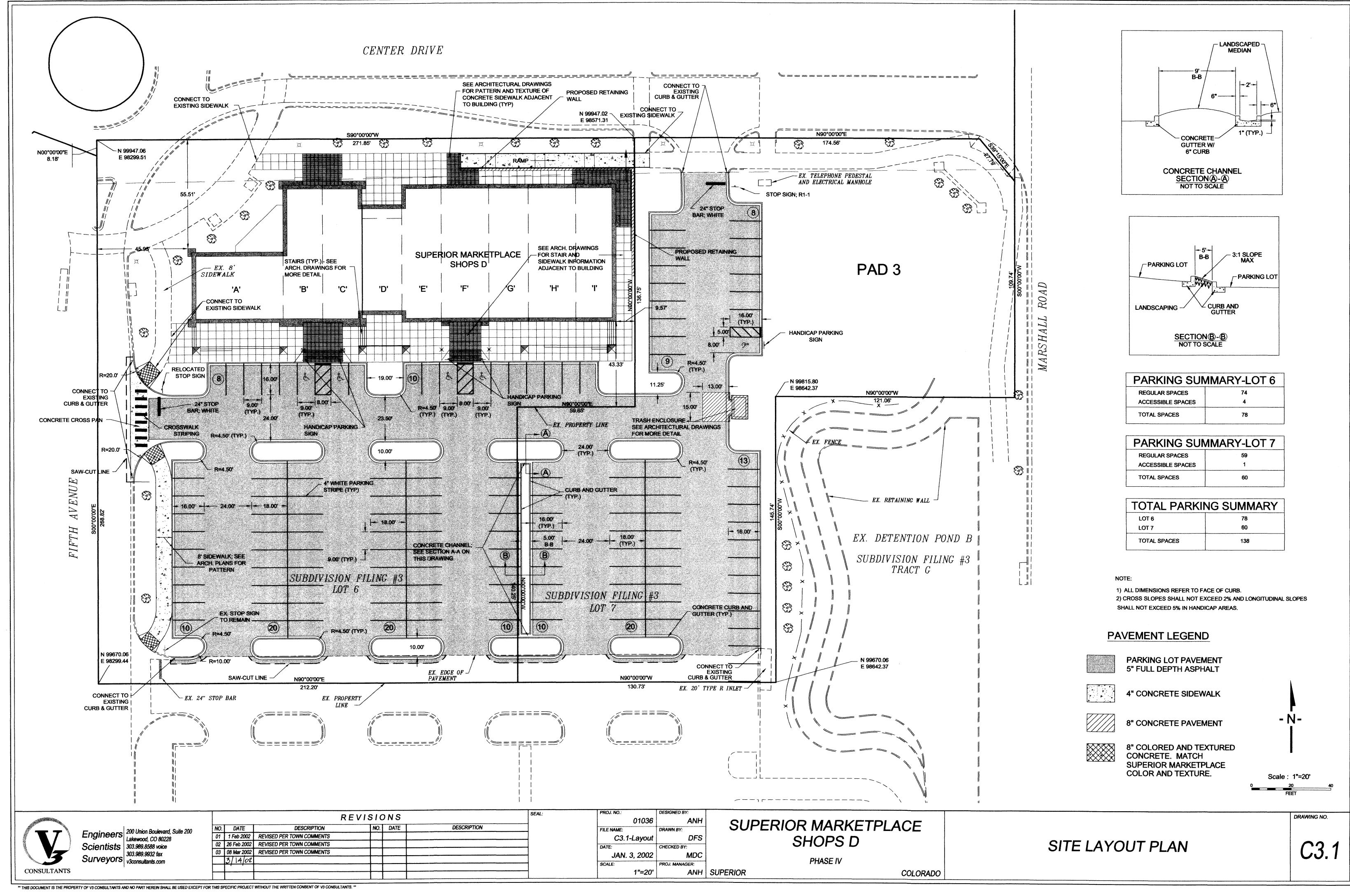
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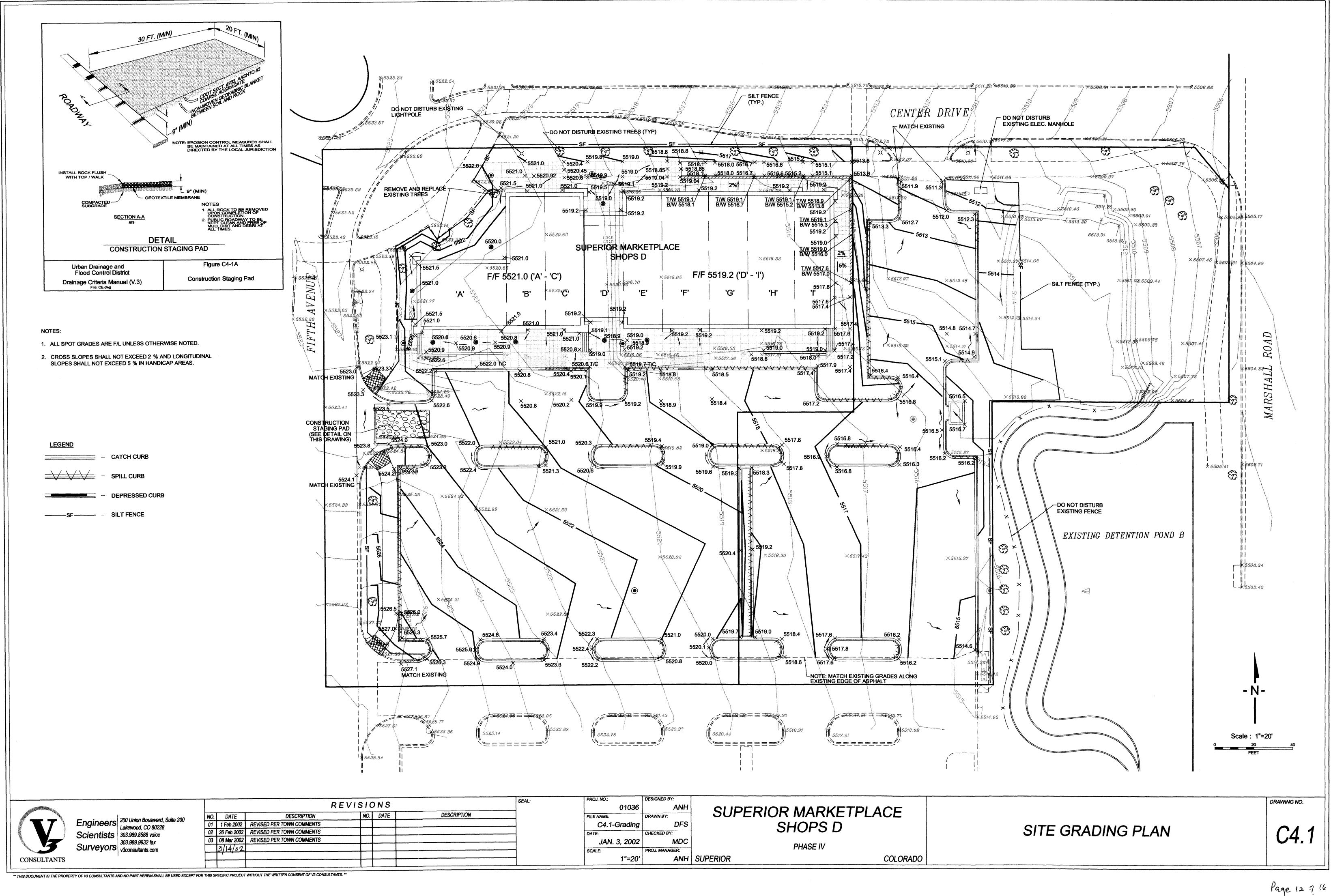
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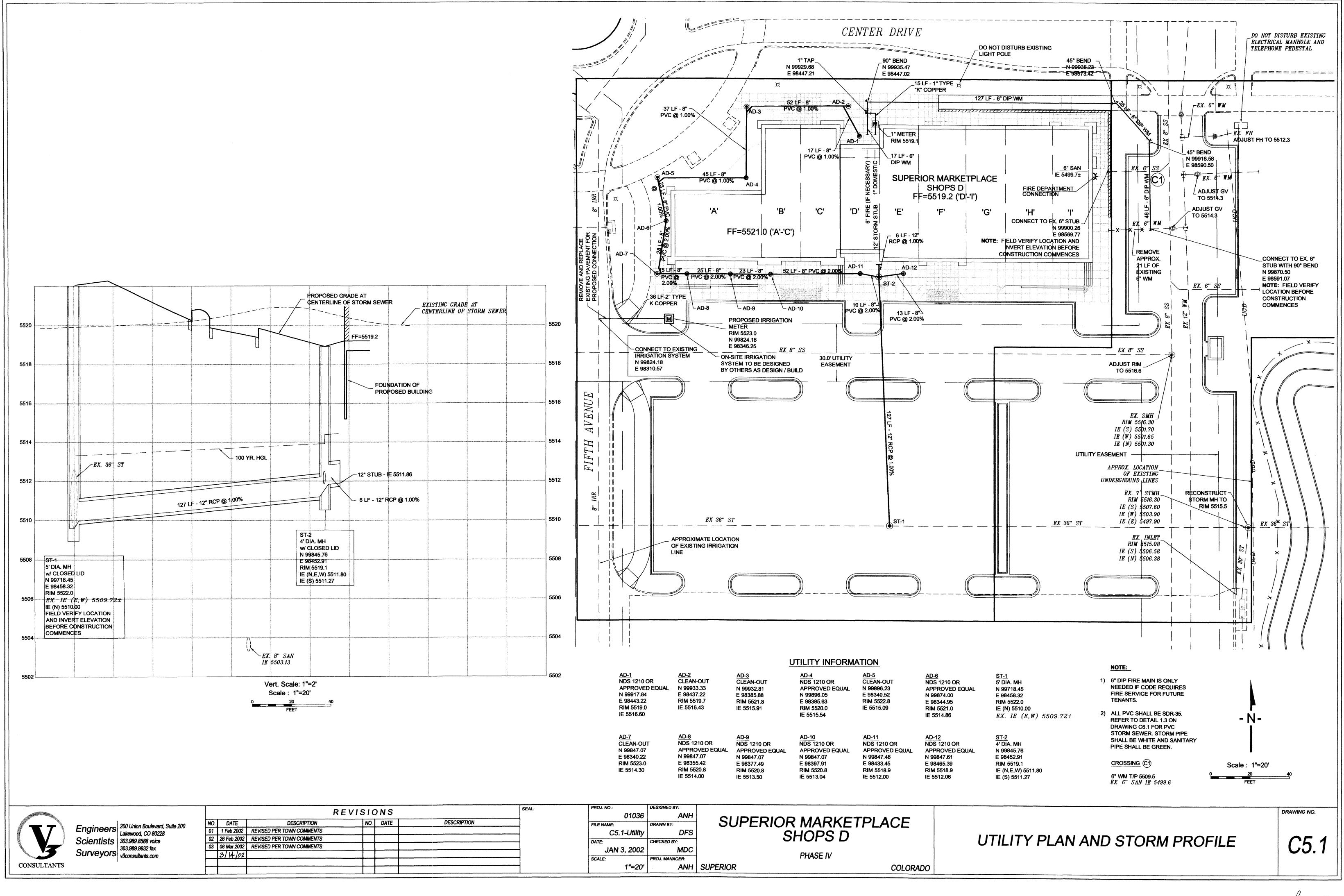
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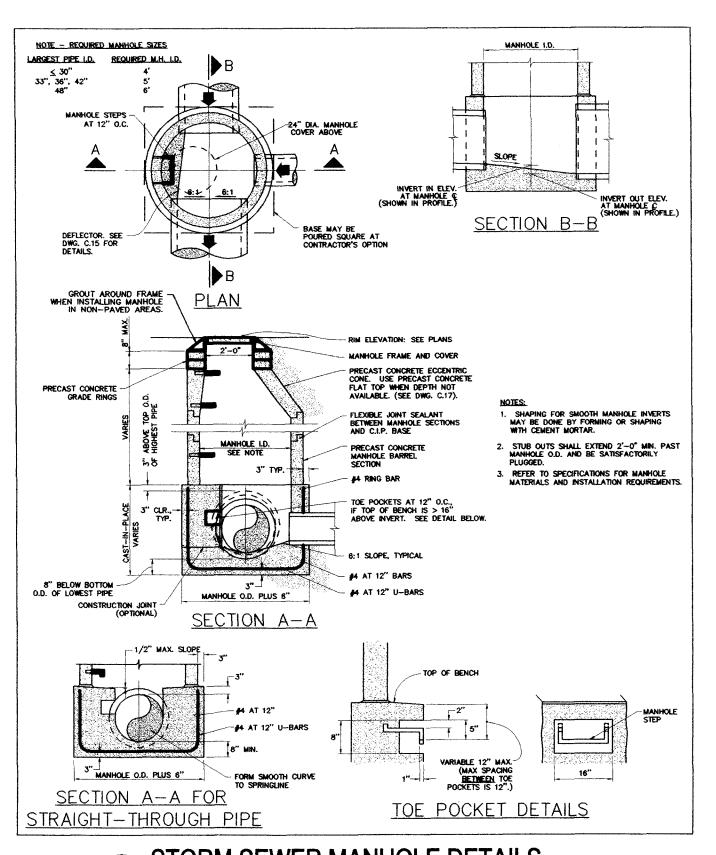
GENERAL NOTES, LEGEND AND ABBREVIATIONS

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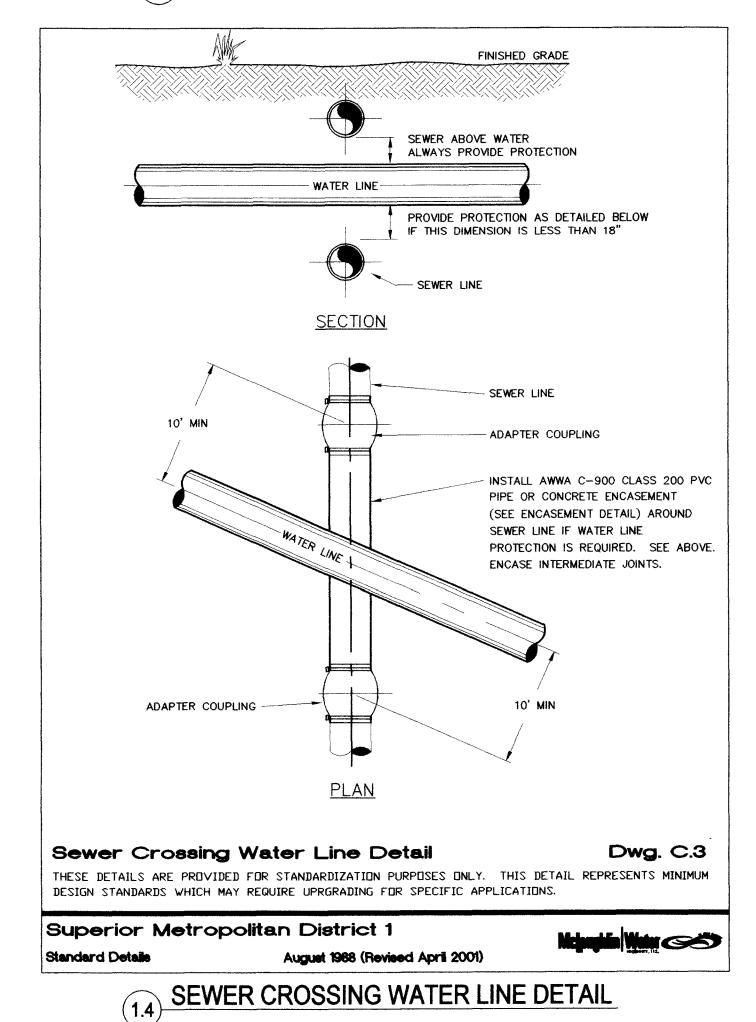


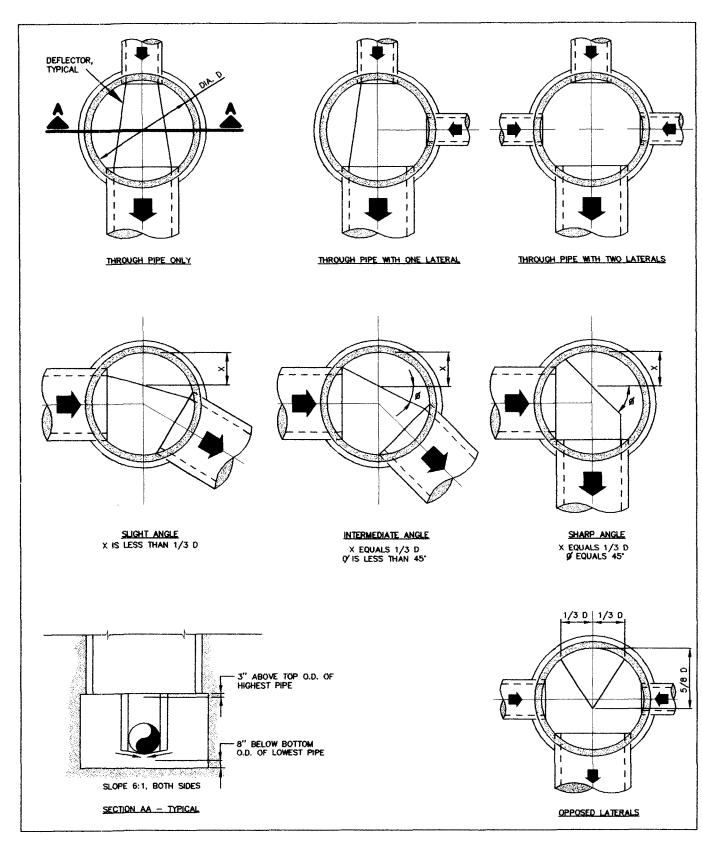




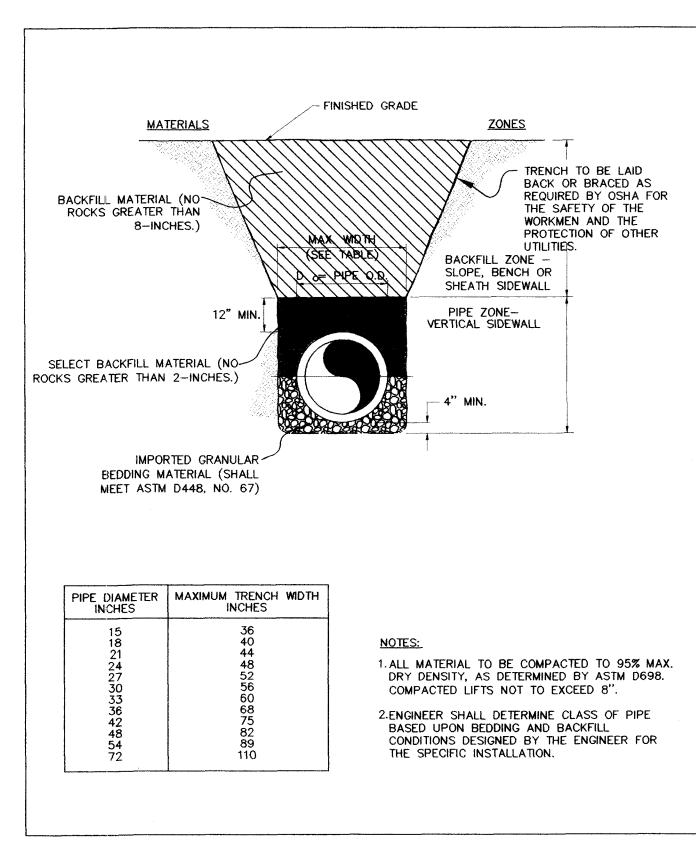


(1.1) STORM SEWER MANHOLE DETAILS

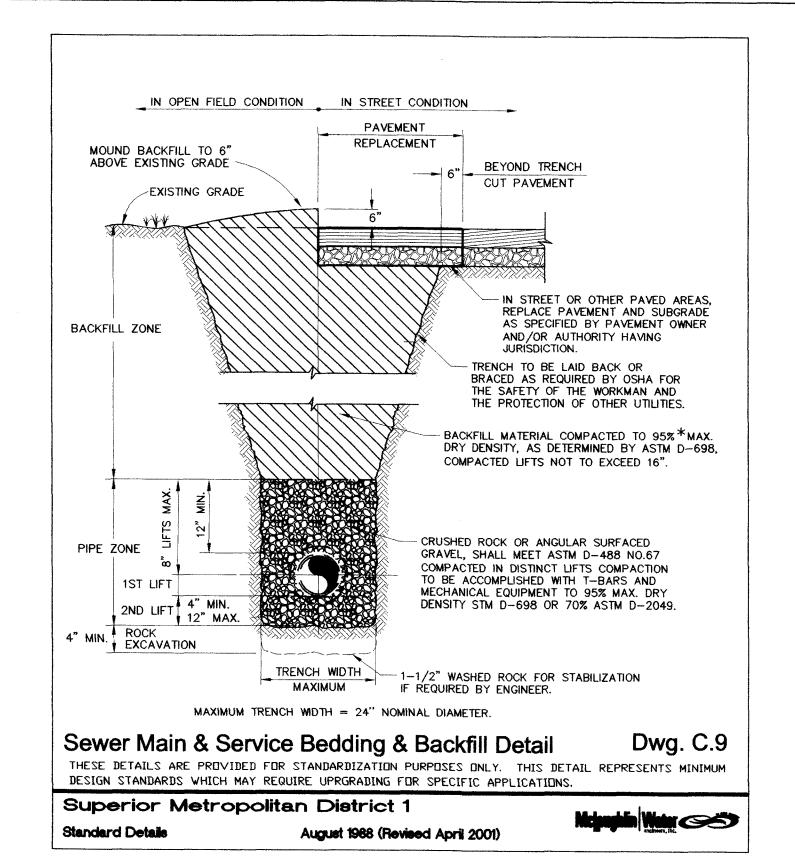




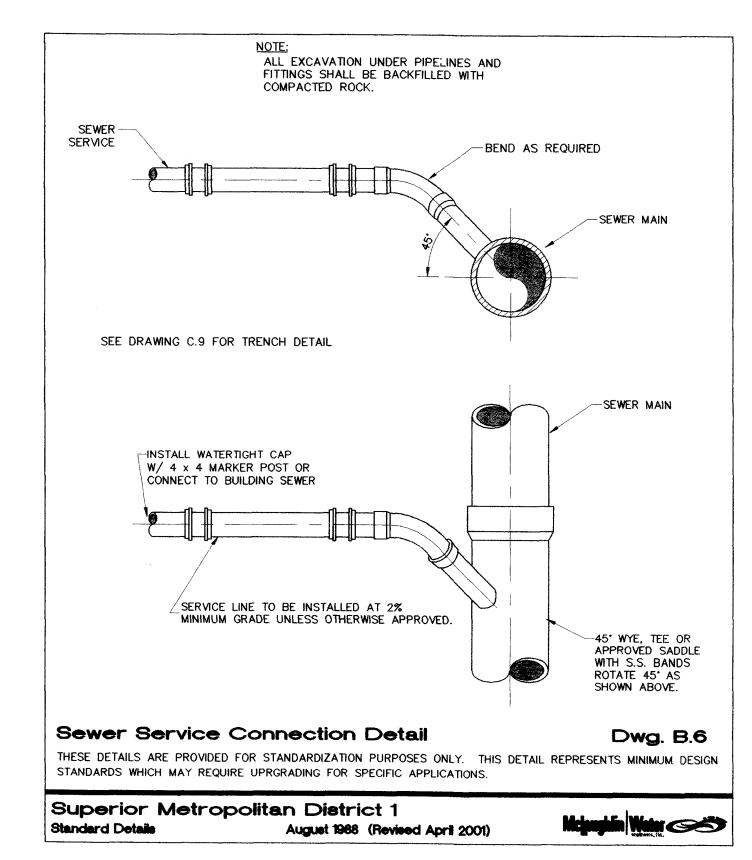
STORM SEWER DEFLECTOR DETAILS



RCP STORM SEWER PIPE TRENCH DETAIL

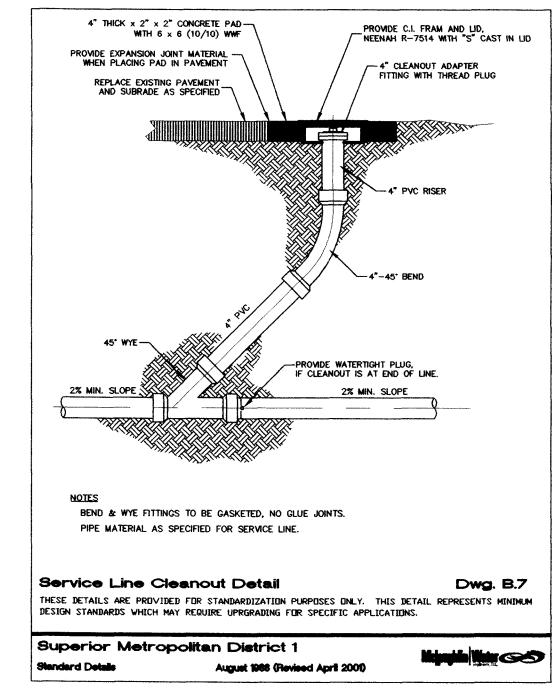


PVC SEWER AND PVC STORM MAIN BEDDING & BACKFILL DETAIL



SEWER SERVICE CONNECTION DETAIL

COLORADO



SERVICE LINE CLEANOUT DETAIL



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Scientists
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PROJ. NO.:

01036

ANH
FILE NAME:
C6.1-Details
DATE:
JAN. 3, 2002
SCALE:
PROJ. MANAGER:
ANH
SUPERIOR

SUPERIOR MARKETPLACE SHOPS D

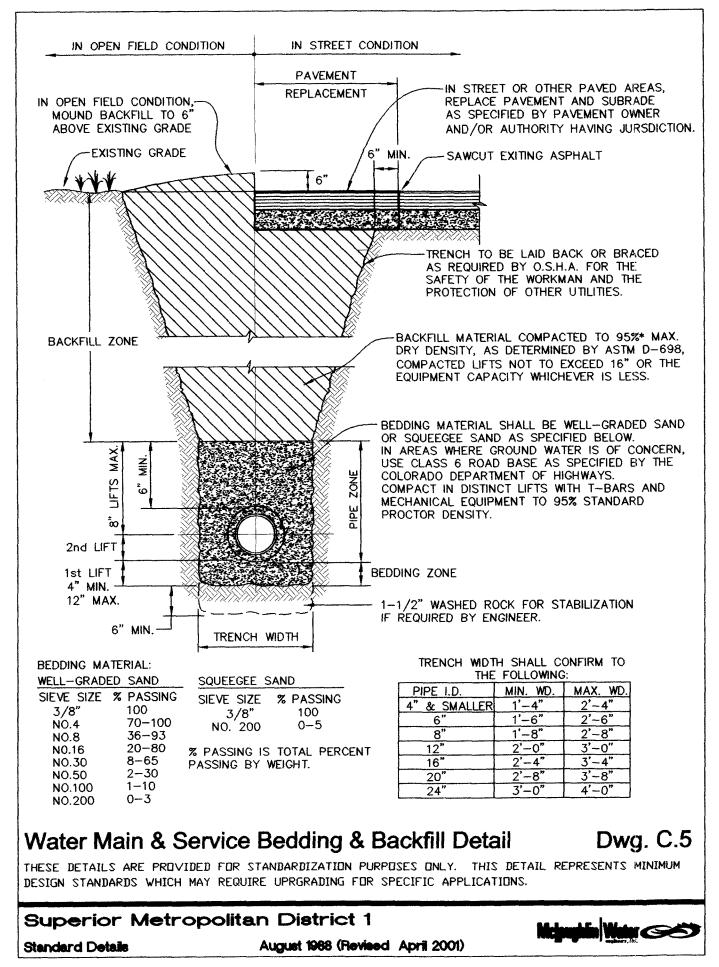
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CONSTRUCTION DETAILS

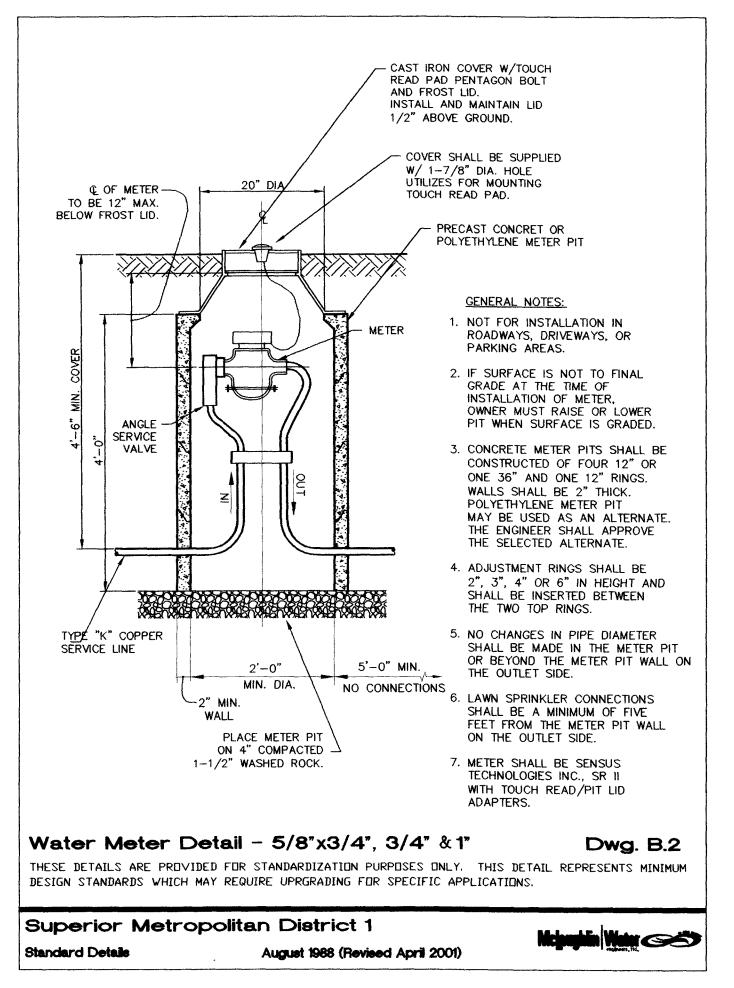
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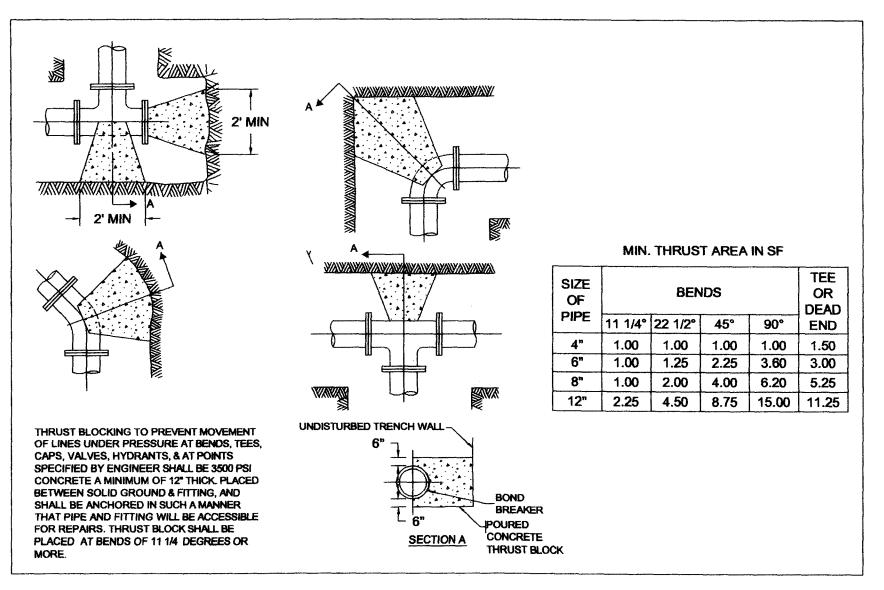
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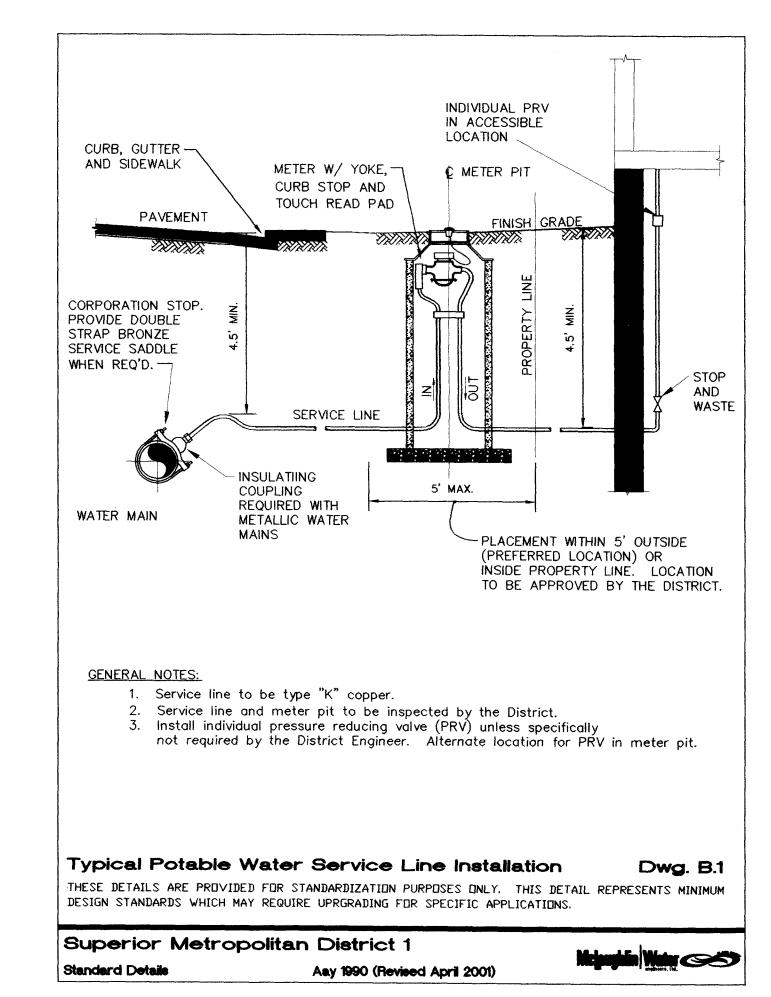
WATER MAIN & SERVICE BEDDING & BACK FILL DETAIL



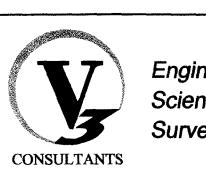
WATER METER DETAIL 3/4" & 1"



THRUST BLOCK DETAIL



POTABLE WATER SERVICE LINE INSTALLATION



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PROJ. NO.:

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FILE NAME:

C6.2-Details

DFS

DATE:

JAN 3. 2002

MDC

SCALE:

PROJ. MANAGER:

ANH

SUPERIOR

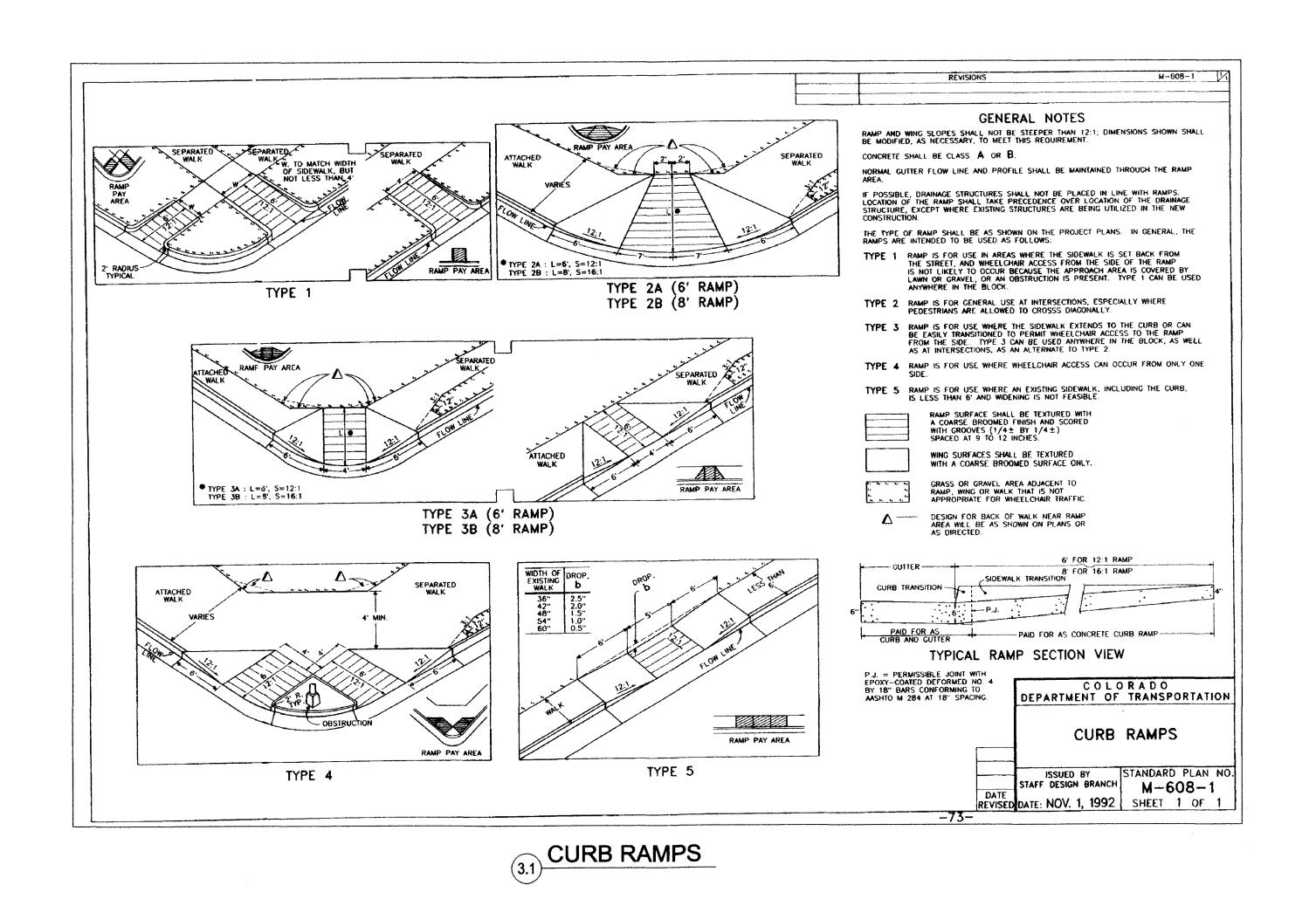
SUPERIOR MARKETPLACE SHOPS D

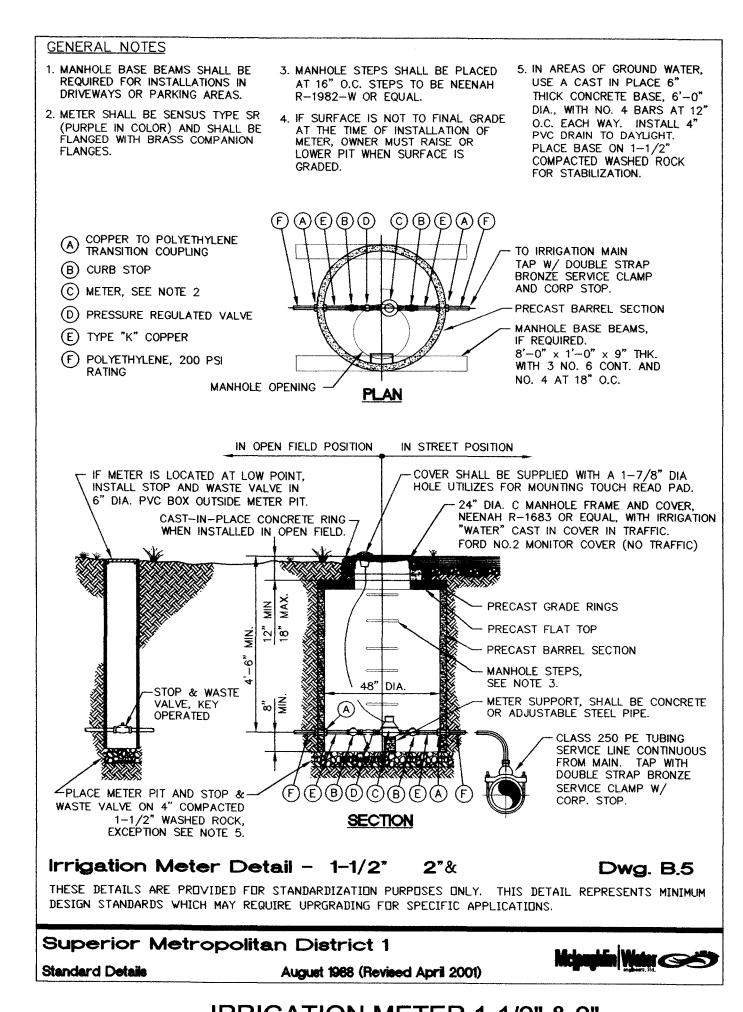
PHASE IV

COLORADO

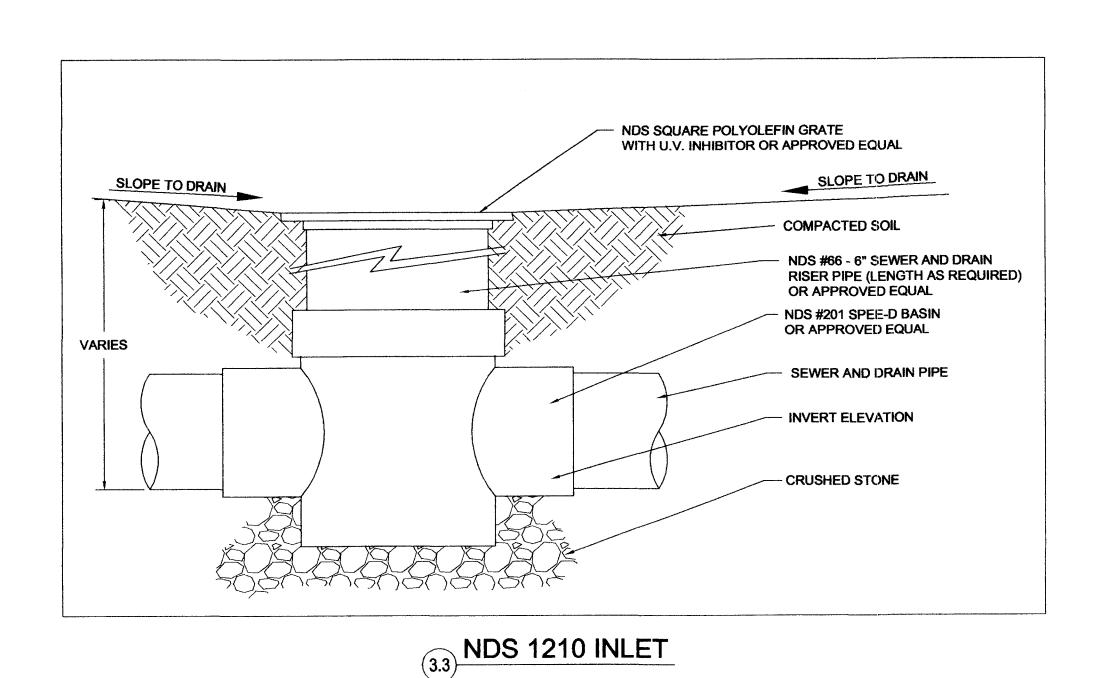
CONSTRUCTION DETAILS

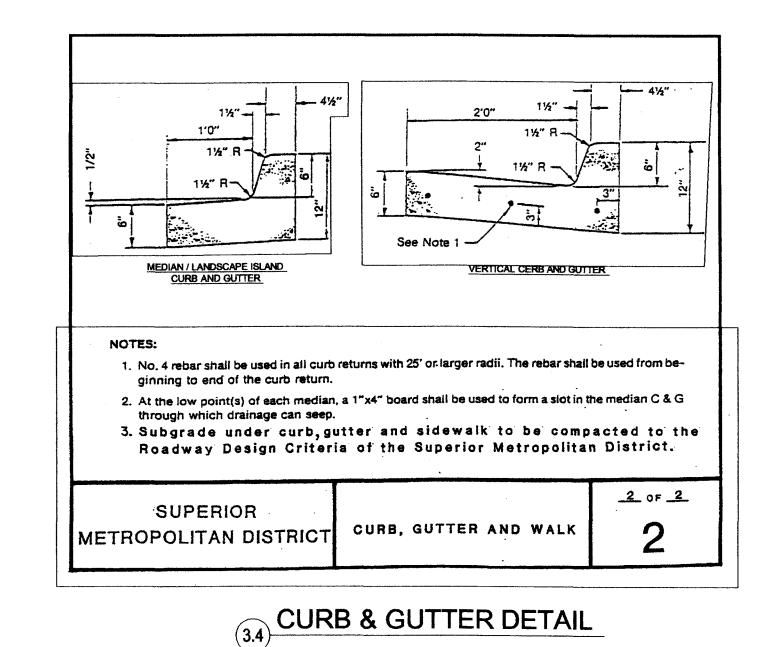
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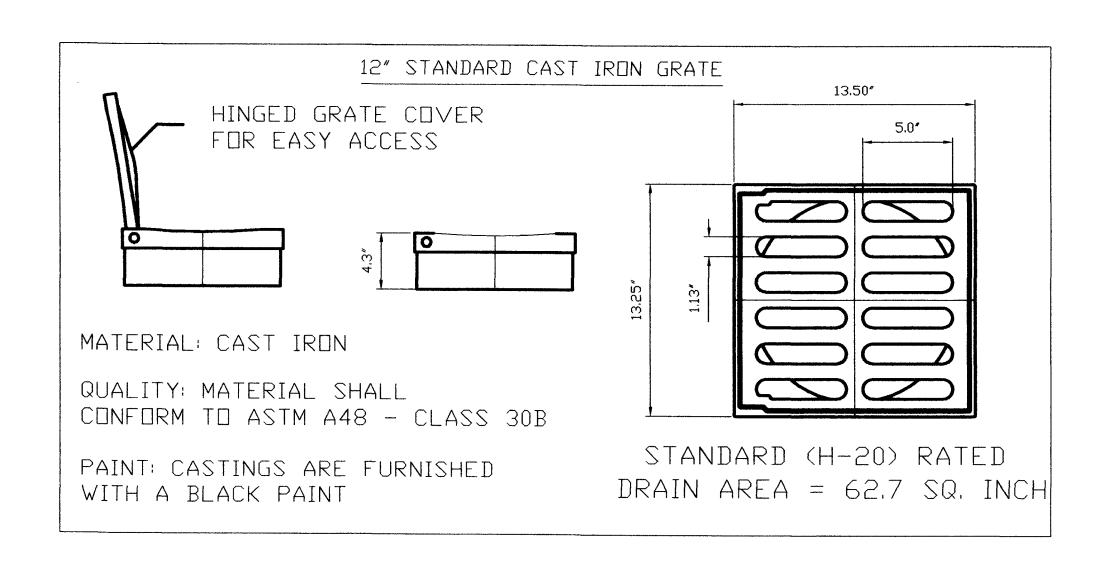




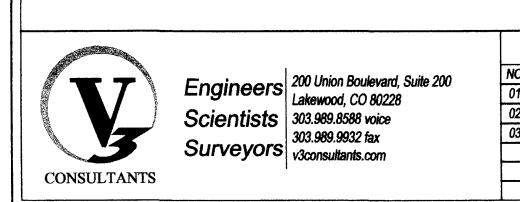
(3.2) IRRIGATION METER 1-1/2" & 2"







12" STANDARD CAST IRON GRATE



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			KEVISI			4	01036	ANH	SUI
0.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION		FILE NAME:	DRAWN BY:	301
1	1 FeB 2002	REVISED PER TOWN COMMENTS					C6.3-Details	DFS	
2	26 Feb 2002	REVISED PER TOWN COMMENTS					DATE:	CHECKED BY:	
3	08 Mar 2002	REVISED PER TOWN COMMENTS					JAN 3. 2002	MDC	
	3/4/02							<u> </u>	
							SCALE:	PROJ. MANAGER:	
							NTS	ANH	SUPERIOR

SUPERIOR MARKETPLACE SHOPS D

COLORADO

CONSTRUCTION DETAILS

C6.3