

SUPERIOR MARKETPLACE

PHASE IV FINAL DEVELOPMENT PLAN

ELCOR DEVELOPMENT, LLC

A portion of Block 1, Lot 2 of Superior Marketplace Filing #1

Located in the SE 1/4 of Section 13 and the N 1/2 of the NE 1/4 of Section 24, T1S, R70W of the 6th P.M. Town of Superior, County of Boulder, State of Colorado

SITE DEVELOPMENT CRITERIA

Maximum Building Height:
 Retail: 35' (flat parapet height)
 Theater building: 50' (entry elements, towers, or sloped roofs)
 55'

Retail Building Setbacks:
 From Public R.O.W.: 20' min.
 From Internal Property Lines: 0'

Min. Separation Between Preexisting Buildings: 0'

Parking Setbacks:
 From all Public R.O.W.: 20' min.
 From Internal Arteries: 10' min.

Typical Parking Stall: 9' x 18'

Typical Handicap Space: 14' x 18' (includes 5' aisle)

Typical Parking Aisle: 24' wide

Internal Arteries: 25' min. flowline to flowline

* Rear of in-line buildings facing a R.O.W. shall be setback a minimum of 20' from R.O.W.

DRAWING INDEX

ARCHITECTURE

A0 Cover Sheet
 A2.0 Phase IV Site Plan
 A2.1 Enlarged Sidewalk Plan
 A2.2 Details
 A3.0 Elevations
 A3.1 Elevations

ELECTRICAL

E1 Phase IV Lighting Plan/Photometric

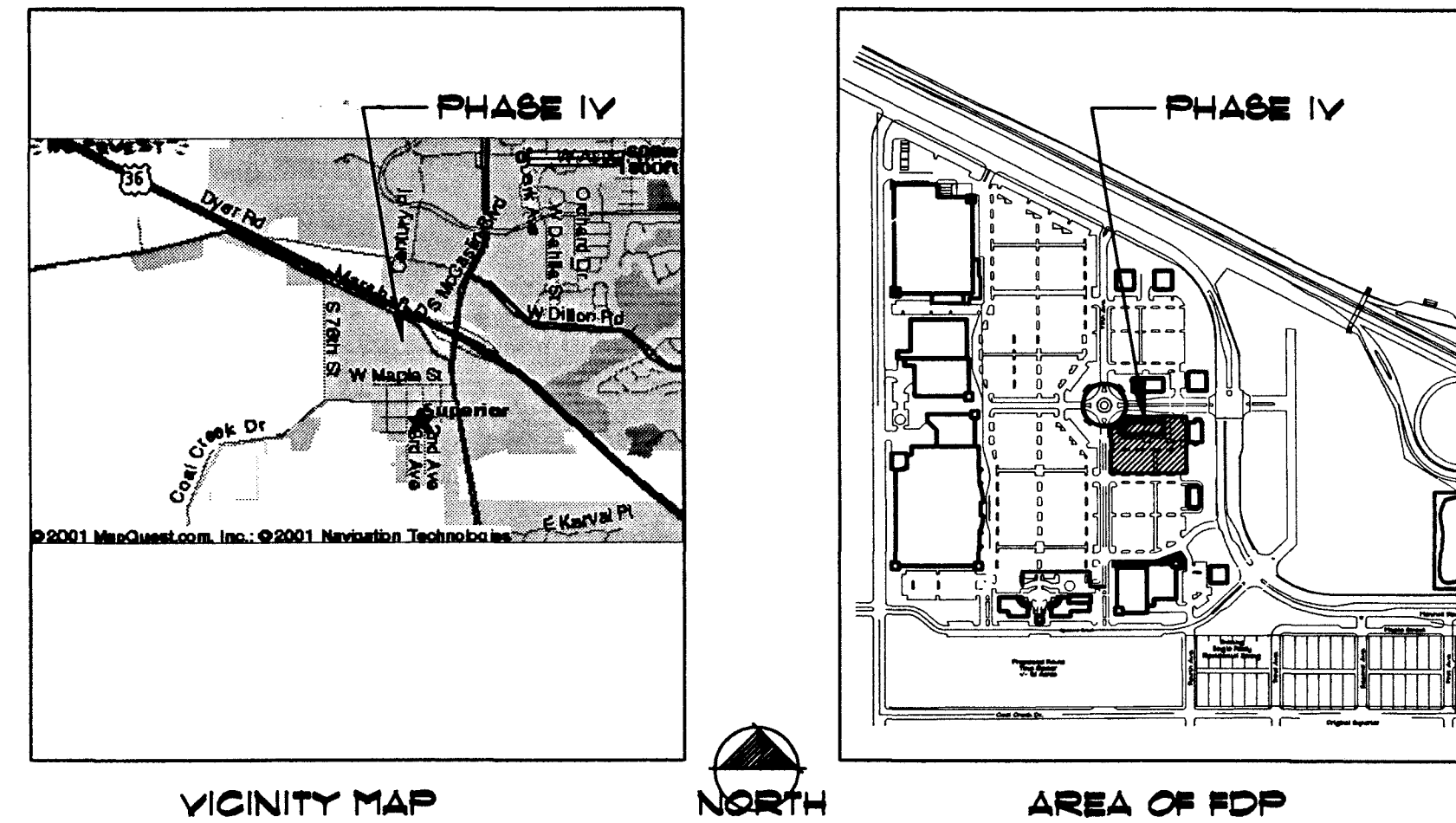
LANDSCAPE

L1 Landscape Data
 L2 Landscape Plan

CIVIL

C1.1 General Notes
 C3.1 Site Layout
 C4.1 Site Grading
 C5.1 Site Utility Plan and Profiles
 C6.1 Construction Details
 C6.2 Construction Details
 C6.3 Construction Details

VICINITY MAPS



LAND USE TABLE

NOTE: ALL CALCULATIONS BASED UPON THE ENTIRE EVENTUAL SITE AREA. CURRENT LEGAL DESCRIPTION (97.8 ACRES) DOES NOT INCLUDE LAND TO BE ACQUIRED FROM CDOT.

Sub-A Site Area:	97.8 Acres	100%	Net Right-of-Way Area:	11.6 Acres	12.0%
Future Development Parcel:	9.1 Acres	9.3%	Right-of-Way:		
Gross Development Area:	88.7 Acres	90.7%	Marshall Rd.	5.84 Acres	5.8%
Gross Development Area includes R.O.W. areas as well as Retail Development.					
Density:	Commercial: 7,662 s.f./acre (F.A.R. Of .16)				
Breakdown:			Extended Sycamore St.	2.36 Acres	2.4%
Building Area Subtotal:	879,685 S.F.	17.5%	Extended Fifth Ave.	0.40 Acres	0.4%
(16.6 Ac)			East Side of 76th St.	2.34 Acres	2.4%
Unobstructed Open Space:	22.8 Acres	25.7%	North Side of Coal Cr.	0.86 Acres	0.9%
Other Open Space:	3.4 Acres	3.8%			
Walks in front of buildings Plazas less than 5,000 s.f. Islands less than 400 s.f.					
Paving Area Subtotal:	46.9 Acres	52.9%	Estimated Water Usage	206,000 Gallons daily use	
Roadways, drives, loading areas, and parking lots			Estimated Sewer Usage	.36 cfs daily use	
Total:	58.7 Acres	100% of gross	Phase IV Area:	+/- 75,762 s.f. (1.74 Acres)	
Parking Data/Requirements:			Building Area	13,000 s.f. (maximum)	
Provided: Total site spaces:	4,171 Spaces		Density:	N/A	
Retail Development:	3,871 Spaces	5.89/1000 s.f.	Open Space:	Unchanged - RE: PD Sheet #16	
RTD Park-n-Ride	300 Spaces		Parking Data/Requirements:		
Required Ratios:			Provided: Total spaces this phase:	135	
Retail: 4.8 spaces/1000 s.f. (min.)			Additional spaces for future development provided for traffic flow this phase.		
Preexisting Restaurants: 6 spaces/1000 s.f. (min.)			Required Ratios:	4.8/1000 min.	
			Provided for Shops 'D':	88 SP FOR 13,000 S.F. = 6.77/1000	

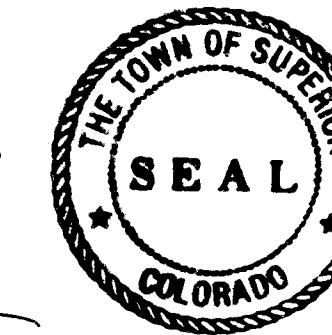
LEGAL DESCRIPTION

Lot 6 and Lot 7 of Superior Marketplace, Filing No. 3 Final Major Subdivision Replat of Block 1 Lot 2 located in the north 1/2 of the northeast 1/4 of Section 24, Township 1S, Range 70W of the 6th P.M. Town of Superior, County of Boulder, State of Colorado.

TOWN BOARD OF TRUSTEES' CERTIFICATE

Approved this 25th day of March, A.D., 2002, by the Board of Trustees, Superior, Colorado. This approval is with the understanding that all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs, and sidewalks, shall be financed by others and not the Town of Superior.

Phyllis L. Hardin
 Town Clerk
 Mayor



PLANNING COMMISSION CERTIFICATE

Approved this 5th day of March, A.D., 2002.

[Signature]
 Chairman - Superior Planning Commission

TOWN CLERK'S CERTIFICATE

I hereby certify that this instrument was filed in my office at 10:30 o'clock A.M. this 23rd day of May, AD, 2002, and is duly recorded.

Phyllis L. Hardin
 Town Clerk

GENERAL NOTES REQUIREMENTS

- All cross access agreements are addressed in the center's CC&R's (covenants, constraints, & restrictions) typical.
- The specific door locations may vary from those shown. Doors have been indicated on this plan for maximum demising. Developer and tenants reserve the right to eliminate or relocate adjacent doors relative to the actual space (or spaces) leased, so long as door remains in the storefront as indicated on these elevations.
- Should units 'B' & 'C' (as designated on plan A2.1) be combined, an entrance (accessible to the public) shall be employed on the north side of the building, as represented in the elevation on sheet A3.1. Additionally, this 'combined' tenant is required to provide signage on both the north and south elevations, in the allowable sign areas designated.
- Tenant 'F' (or any tenant encompassing it) shall provide a north entrance, as well as signage on both the north and south elevations.
- Where there is glazing indicated on the elevations that is part of a tenant space, it shall either be a display window of a 24" minimum depth, or shall provide complete and direct visibility to the tenant sales area.
- Colors shall be coordinated to exactly match Shops 'C1' and 'C2', typical.

CERTIFICATE OF OWNERSHIP

Elcor Development, LLC is the owner of the property contained within this Final Development Plan (FDP) and consents to this FDP. This FDP and any amendments hereto as finally approved by the Town of Superior shall be binding upon the land and Elcor Development, LLC and its successor and/or assigns.

In witness whereof I hereunto set my hand this 22nd day of May, 2002 by William E. Mayland, vice president.

NOTARIAL:
 The foregoing instrument was acknowledged before me this 22nd day of MAY, A.D. 2002, by KAREN A. PIPER as vice president of _____ company.

[Signature]
 Notary Public

VESTED RIGHTS

This plan constitutes a site specific development plan as defined in 24-68-101, et seq. and C.R.S. and Superior Municipal Code 16-571. The terms and conditions of such approval are contained in Resolution No. R-15 Series adopted by the Town of Superior on March 25, 2002 and available at the Superior Town Hall, 124 E. Coal Creek Drive, Superior, Colorado. These rights terminate on March 25, 2005.

DEVELOPER

Elcor Development, L.L.C.

4040 EAST CAMERBACK ROAD SUITE 250
 PHOENIX, ARIZONA 85018
 602.840.3000
 FAX: 602.840.6101
 SAM TOPORSK

The information, drawings, intent, and concepts contained in this package are the property of the Elman Companies and their use by any other party is strictly prohibited without the expressed written permission of the Elman Companies.

CIVIL ENGINEER

Hydro-Triad/V3, Colorado

200 UNION BLVD., SUITE 200 LAKEWOOD, COLORADO 80228
 PH: 303.989.8088 FAX: 303.989.9932
 MARK CEVAAL

LANDSCAPE ARCHITECT

Norris/Dullea

710 WEST COLFAX WHEAT RIDGE, COLORADO 80004
 PH: 303.992.1168 FAX: 303.989.9932
 DOUG CRAIG JOHN BIRKEY

ARCHITECT/PLANNER

(for Master Developer)
 The Mulhern Group, Ltd.
 1730 BLAKE ST. #436 DENVER, CO 80202
 PH: 303.297.3334 FAX: 303.292.2001
 DWAYNE DALE

December 27, 2001
 February 4, 2002
 March 8, 2002
 March 14, 2002

SUPERIOR MARKETPLACE

ELCOR DEVELOPMENT, LLC

THE MULHERN GROUP, LTD.

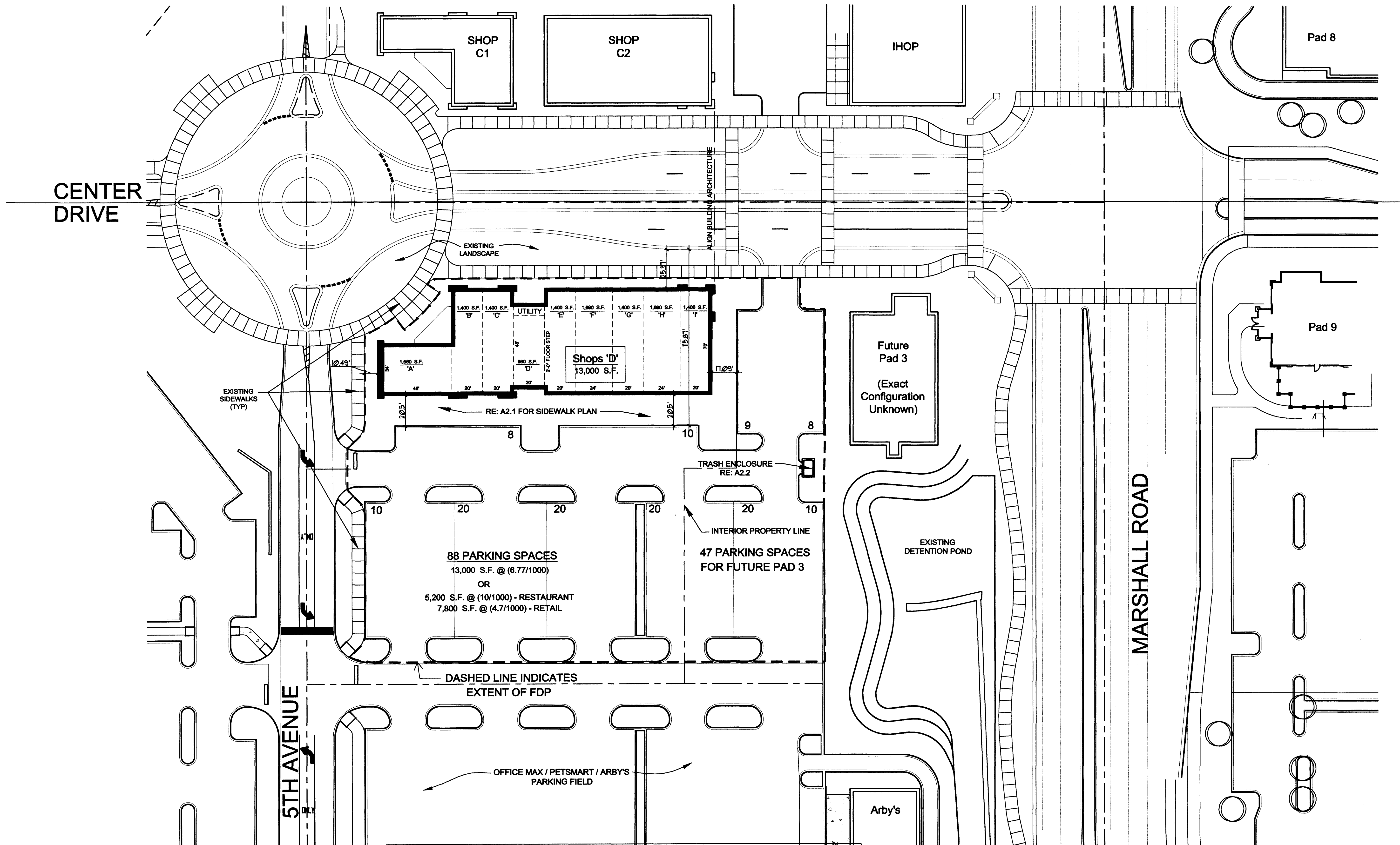
A0

Memo of Land recorded on
 July 31, 2002 at Boulder
 County Clerk's Office
 Recording # 2313525

SUPERIOR MARKETPLACE

PHASE IV FINAL DEVELOPMENT PLAN -- ARCHITECTURAL SITE PLAN

ELCOR DEVELOPMENT, LLC



SUPERIOR MARKETPLACE
PHASE FOUR FDP SUBMITTAL
SUPERIOR, COLORADO

The information contained in this drawing file is intended for use only on this project. Unauthorized reproduction or use in other projects is not permitted. The Mulhern Group, Ltd. assumes no liability for unauthorized reproduction, changes to or use of the information contained herein. The information contained herein is provided on an "as-is" basis. The Mulhern Group, Ltd. disclaims all warranties with regard to the data contained in this drawing file and to the performance of the delivery media, including all implied warranties of fitness. The Mulhern Group, Ltd. assumes no obligations or liabilities for damages, including, but not limited to, consequential damages arising out of or in connection with the use or performance of this drawing file and its delivery media.

DATE	REVISION
12/27/01	INITIAL SUBMITTAL
02/04/02	STAFF COMMENTS
03/08/02	P.C. REVISIONS
03/14/02	P.C. REVISIONS

SUPERIOR MARKETPLACE	
PROJECT NUMBER:	01023
DRAWN BY:	DD/SGH
CHECKED BY:	DD/MGM
DESCRIPTION:	SITE PLAN

REFERENCE NORTH **A2.0**

PROPOSED SHOPS 'D' OVERALL
SITE PLAN
 1" = 30'

- GENERAL NOTES:**
- REFER TO LANDSCAPE PLAN FOR ALL PLANTINGS, TYPICAL.
 - ALL DIMENSIONS TO FACE OF CURB, TYPICAL.
 - RE: CIVIL FOR UTILITIES, TYP.

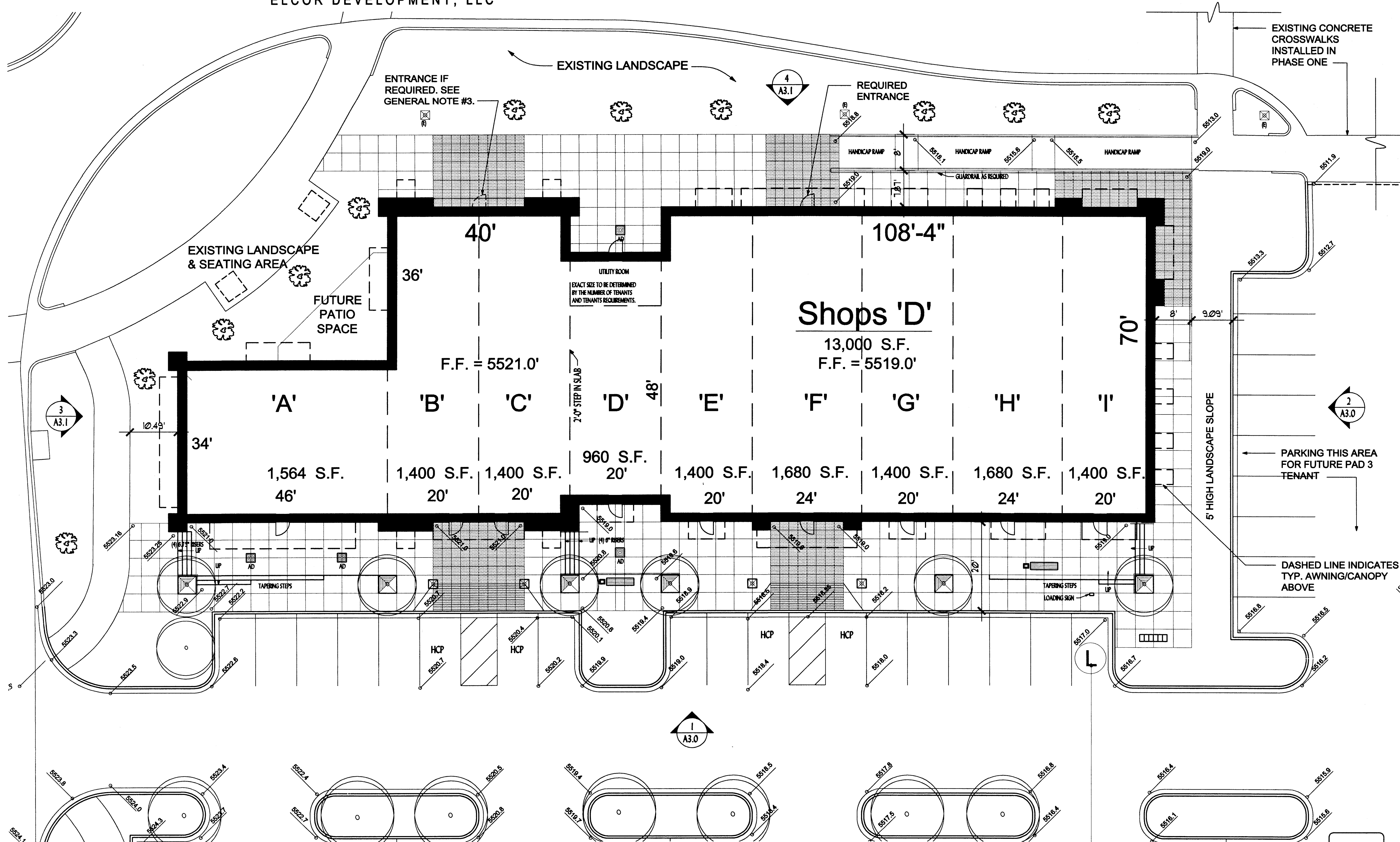
SUPERIOR MARKETPLACE

PHASE IV FINAL DEVELOPMENT PLAN -- ARCHITECTURAL SITE PLAN

ELCOR DEVELOPMENT, LLC

THE MULHERN GROUP LTD.
ARCHITECTURE • PLANNING • INTERIORS

1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2801



SUPERIOR MARKETPLACE
PHASE FOUR FDP SUBMITTAL
SUPERIOR, COLORADO

The information contained in this drawing file is intended for use only on this project. Unauthorized reproduction or use in other projects is not permitted. The Mulhern Group, Ltd. assumes no liability for unauthorized reproduction, changes to or use of the information contained herein. The information contained herein is provided on an "as-is" basis. The Mulhern Group, Ltd. disclaims all warranties with regard to the data contained in this drawing file and to the performance of the delivery media, including all implied warranties of fitness. The Mulhern Group, Ltd. assumes no obligations or liabilities for damages, including, but not limited to, consequential damages arising out of or in connection with the use or performance of this drawing file and its delivery media.

DATE	REVISION
12/27/01	INITIAL SUBMITTAL
02/04/02	STAFF COMMENTS
03/08/02	P.C. REVISIONS
03/14/02	P.C. REVISIONS

SUPERIOR MARKETPLACE
PROJECT NUMBER: 01023
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: SITE PLAN

REFERENCE NORTH **A2.1**
Page 3 of 16

LEGEND

EXISTING (E)	BIKE RACK	TREE GRATE	BENCH	TRASH	COLORED CONCRETE (1/2" THK)	PED. LIGHT FIXTURE (F)	SPOT ELEVATION (RELATIVE TO C1 FINISHED FLOOR)	AREA DRAIN (AD)
--------------	-----------	------------	-------	-------	-----------------------------	------------------------	--	-----------------

SHOPS 'D' SITE PLAN

1" = 10'

PROPOSED SIGN ELEVATION

THIS SPACE DESIGNATED FOR LOADING. PROVIDE SIGNAGE STATING: "FOR LOADING ONLY. 5 A.M. TO 11 A.M. DAILY"

1-1/2" LETTERS ON 12" W. x 16" H SIGN. TOP OF SIGN TO BE 6' HIGH.

LOADING ZONE ONLY
5 - 11 AM DAILY

NO SCALE

SUPERIOR MARKETPLACE

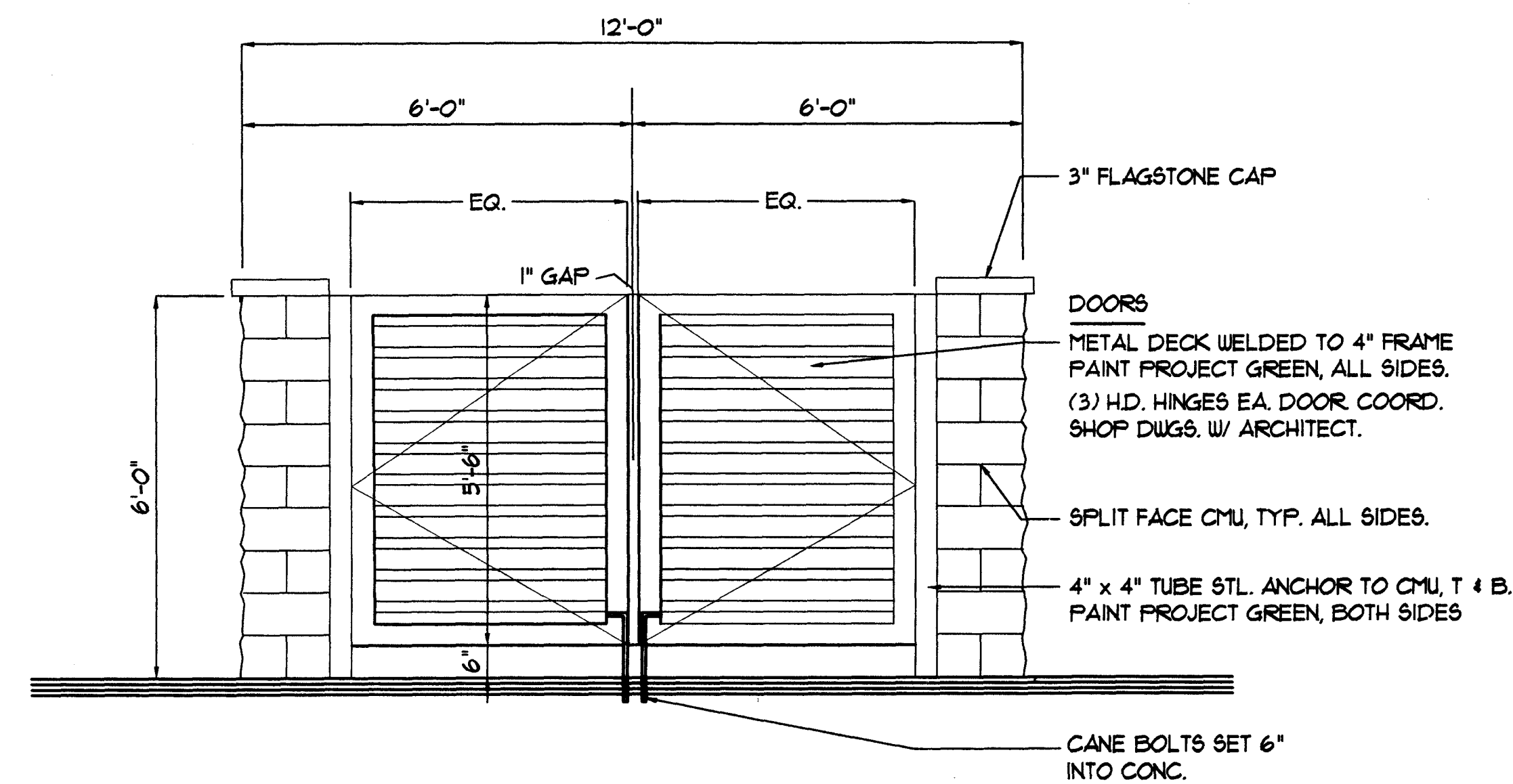
PHASE IV FINAL DEVELOPMENT PLAN

ELCOR DEVELOPMENT, LLC

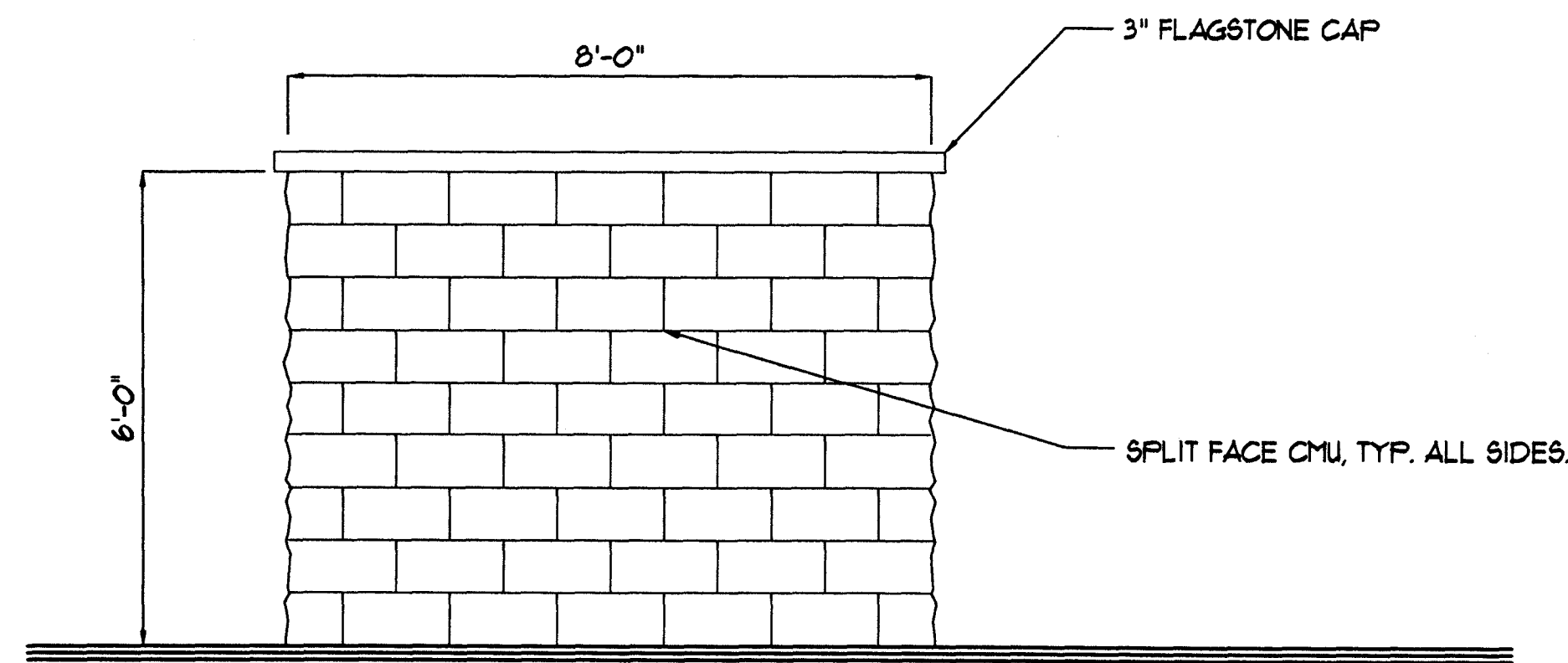
THE MULHERN GROUP LTD.
ARCHITECTURE • PLANNING • INTERIORS

1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2801

SUPERIOR MARKETPLACE
PHASE FOUR FDP SUBMITTAL
SUPERIOR, COLORADO



1 TRASH ENCLOSURE FRONT ELEVATION
NOT TO SCALE



2 TRASH ENCLOSURE SIDE ELEVATION
NOT TO SCALE

The information contained in this drawing file is intended for use only on this project. Unauthorized reproduction or use in other projects is not permitted. The Mulhern Group, Ltd. assumes no liability for unauthorized reproduction, changes to or use of the information contained herein. The information contained herein is provided on an "as-is" basis. The Mulhern Group, Ltd. disclaims all warranties with regard to the data contained in this drawing file and to the performance of the delivery media, including all implied warranties of fitness. The Mulhern Group, Ltd. assumes no obligations or liabilities for damages, including, but not limited to, consequential damages arising out of or in connection with the use or performance of this drawing file and its delivery media.

DATE	REVISION
12/27/01	INITIAL SUBMITTAL
02/04/02	STAFF COMMENTS
03/08/02	P.C. REVISIONS
03/14/02	P.C. REVISIONS

SUPERIOR MARKETPLACE
PROJECT NUMBER: 01023
DRAWN BY: DD/SGH
CHECKED BY: DD/MGM
DESCRIPTION:

SITE DETAILS

REFERENCE NORTH **A2.2**
Page 4 of 16

SUPERIOR MARKETPLACE

PHASE IV FINAL DEVELOPMENT PLAN -- ELEVATIONS

ELCOR DEVELOPMENT, LLC

The information contained in this drawing file is intended for use only on this project. Unauthorized reproduction or use in other projects is not permitted. The Mulhern Group, Ltd. assumes no liability for unauthorized reproduction, changes to or use of the information contained herein. The information contained herein is provided on an "as-is" basis. The Mulhern Group, Ltd. disclaims all warranties with regard to the data contained in this drawing file and to the performance of the delivery media, including all implied warranties of fitness. The Mulhern Group, Ltd. assumes no obligations or liabilities for damages, including, but not limited to, consequential damages arising out of or in connection with the use or performance of the drawing file and its delivery media.




DATE	REVISION
12/27/01	INITIAL SUBMITTAL
02/04/02	STAFF COMMENTS
03/08/02	P.C. REVISIONS
03/14/02	P.C. REVISIONS

SUPERIOR MARKETPLACE
PROJECT NUMBER: 01023
DRAWN BY: DD/SGH
CHECKED BY: DD/MGM
DESCRIPTION: ELEVATIONS

BUILDING MATERIAL CALCULATIONS

ELEVATION	AREA (S.F.)	FLAT STONE & CAST STONE (% OF S.F.)	GLAZING AREA (% OF S.F.)	GLAZING LENGTH (% OF L.F.)	EIFS AREA (% OF S.F.)	CONCRETE MASONRY (% OF S.F.)
NORTH D	4,192.0	609.4 (14.5%)	835.1 (20%)	100'-4" (45.8%)	7,879.1 (62.1%)	119.0 (2.8%)
WEST D	1,271.6	275.3 (21.6%)	370.8 (29.2%)	44'-6" (60.1%)	548.5 (42.9%)	82.8 (6.5%)
SOUTH D	4,078.0	619.2 (15.2%)	1,070.3 (26.2%)	125'-0" (91.6%)	2,369.9 (58%)	72.6 (1.8%)
EAST D	1,494.0	365.6 (24.5%)	209.2 (14.0%)	28'-0" (30.9%)	829.5 (55.5%)	89.7 (6.0%)
SUMMARY TOTAL	11,041.6	1869.7 (16.9%)	2,435.4 (22.1%)	291'-10"	6,373 (57.1%)	364.1 (3.3%)

GENERAL NOTES

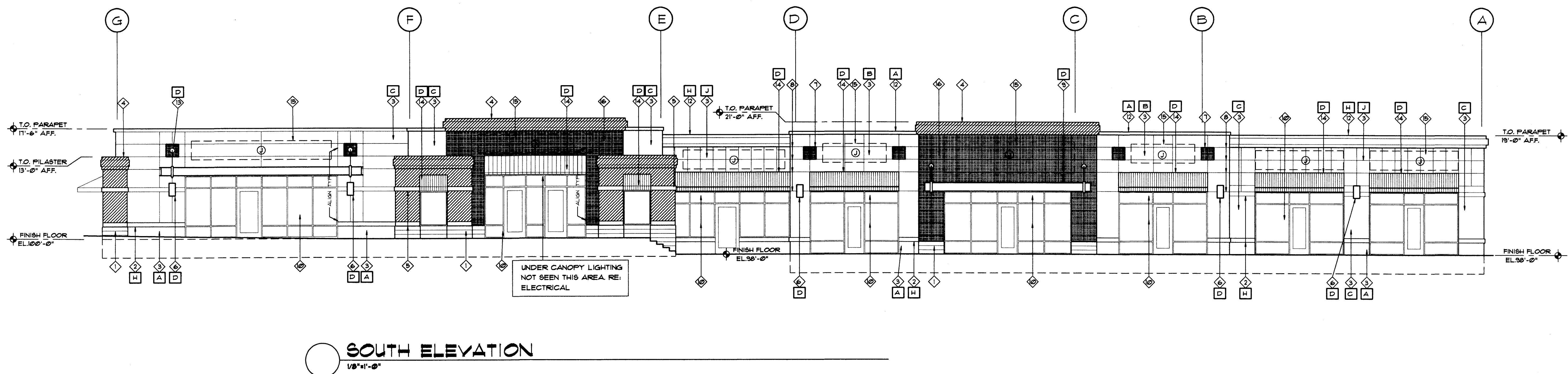
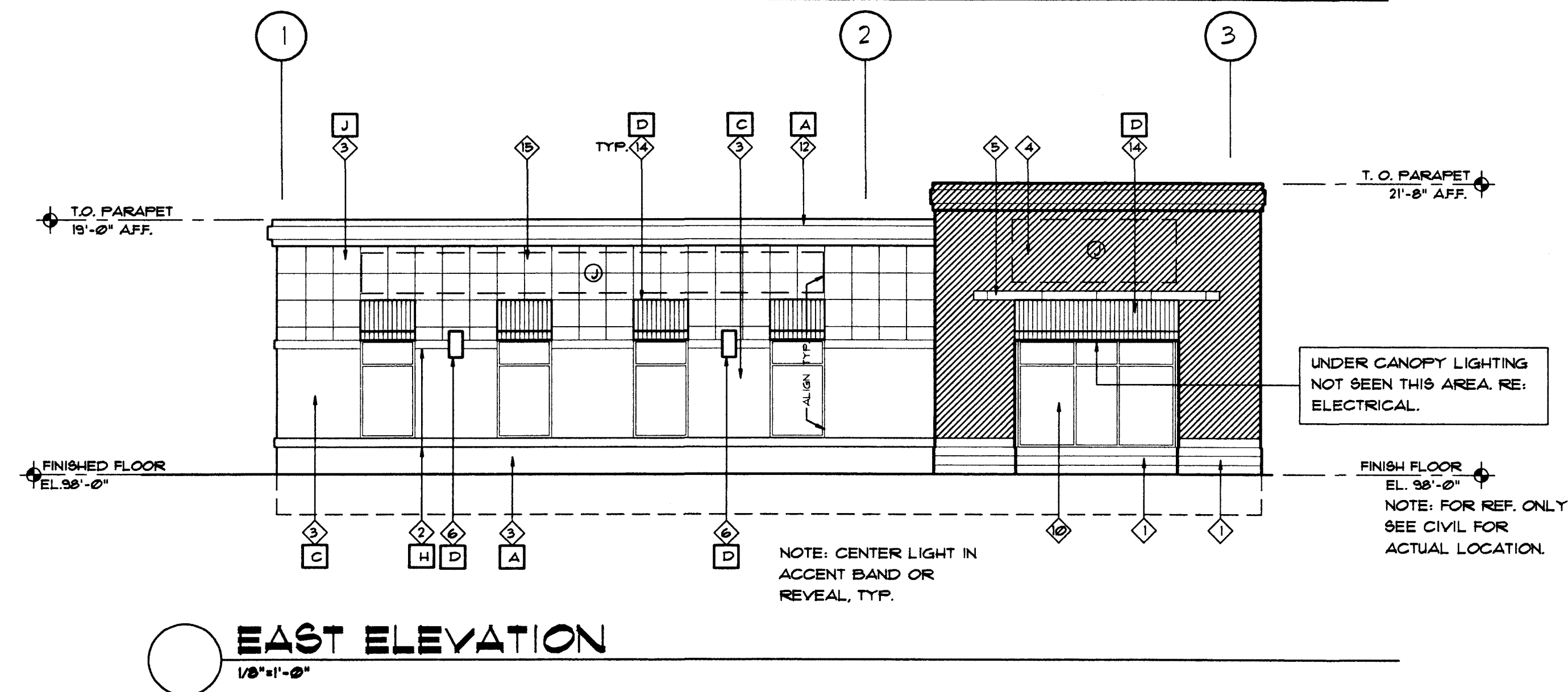
- SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
- NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL
- FLAT FLAGSTONE DESIGNATED BY 
- CAST STONE DESIGNATED BY 
- J-BOX PLACEMENT LOCATION AT INTERIOR 
- NOT ALL DOORS INDICATED. SEE A21 FOR ALL POTENTIAL LOCATIONS. TENANT DESIRING TO DETERMINE EXACT LOCATION AND CONFIGURATION, ANY ADDITIONAL DOORS SHALL BE LOCATED IN CURRENTLY DESIGNATED STOREFRONT. SEE ADDITIONAL REQUIREMENTS ON COVER SHEET.

COLOR KEY

- *S INDICATE DRYVIT COLORS
SW = SHERWIN-WILLIAMS PAINT COLOR
- A DARK TAN-1939 'CARIBOU'
 - B MEDIUM TAN-1981 'PANCAKE'
 - C LIGHT TAN-495A 'PEARL'
 - D GREEN-(8U) OLYMPIC RANGE
 - E NOT USED
 - F NOT USED
 - G NOT USED
 - H WHITE-102 'BRIT WHITE'
 - J ROSE - 1529 'CARRANT'

ELEVATION KEY NOTES

- ◇ CONCRETE MASONRY UNIT BASE COLOR - TAN
- ◇ EIFS ACCENT COLOR - WHITE
- ◇ EIFS WALL COVERING COLOR - SEE KEY
- ◇ CAST STONE WALL ASHLAR PATTERN, COLOR - 'SUPERIOR BLEND'
- ◇ CAST STONE ACCENT COLOR - 'SUPERIOR BLEND'
- ◇ LIGHT FIXTURE 'C' COLOR - GREEN
- ◇ FLAGSTONE ACCENT (4) 12" TILES
- ◇ 3/4" REVEAL
- ◇ METAL CANOPY COLOR - GREEN
- ◇ STOREFRONT GLAZING CLEAR ANODIZED
- ◇ SPLIT FACE CMU COLOR - ROSE
- ◇ EIFS CORNICE WITH METAL COPING COLOR - SEE KEY
- ◇ ORNAMENTAL METAL COLOR - SEE KEY
- ◇ FABRIC AWNING COLOR - SEE KEY
- ◇ DESIGNATED SIGN AREA - (DASHED LINES)
- ◇ FLAT FLAGSTONE
- ◇ MAN DOOR COLOR - SEE KEY
- ◇ SCUPPER PAINT TO MATCH ADJACENT WALL SURFACE



SUPERIOR MARKETPLACE

PHASE IV FINAL DEVELOPMENT PLAN -- ELEVATIONS

ELCOR DEVELOPMENT, LLC

The information contained in this drawing file is intended for use only on this project. Unauthorized reproduction or use in other projects is not permitted. The Mulhern Group, Ltd. assumes no liability for unauthorized reproduction, changes to or use of the information contained herein. The information contained herein is provided on an "as-is" basis. The Mulhern Group, Ltd. disclaims all warranties with regard to the data contained in this drawing file and to the performance of the delivery media, including all implied warranties of fitness. The Mulhern Group, Ltd. assumes no obligations or liabilities for damages, including, but not limited to, consequential damages arising out of or in connection with the use or performance of this drawing file and its delivery media.

DATE	REVISION
12/27/01	INITIAL SUBMITTAL
02/04/02	STAFF COMMENTS
03/08/02	P.C. REVISIONS
03/14/02	P.C. REVISIONS

SUPERIOR MARKETPLACE
PROJECT NUMBER: 01023
DRAWN BY: DD/SGH
CHECKED BY: DD/MGM
DESCRIPTION: ELEVATIONS

BUILDING MATERIAL CALCULATIONS

ELEVATION	AREA (SF.)	FLAT STONE & CAST STONE (% OF SF.)	GLAZING AREA (% OF SF.)	GLAZING LENGTH (% OF LF.)	EIFS AREA (% OF SF.)	CONCRETE MASONRY (% OF SF.)
NORTH D	4,792.0	609.4 (14.5%)	835.1 (20%)	100'-4" (45.8%)	2,629.1 (62.7%)	119.2 (2.8%)
WEST D	1,271.6	275.5 (21.6%)	370.3 (29.0%)	44'-6" (60.3%)	548.5 (42.9%)	82.3 (6.5%)
SOUTH D	4,078.0	619.2 (15.2%)	1,020.3 (25.0%)	125'-0" (57.6%)	2,365.9 (58%)	72.6 (1.8%)
EAST D	1,494.0	365.6 (24.5%)	209.2 (14.0%)	28'-0" (38.9%)	829.5 (55.5%)	89.7 (6.0%)
SUMMARY TOTAL	11,041.6	1,869.7 (16.9%)	2,435.4 (22.1%)	297'-10"	6,373 (57.7%)	364.1 (3.3%)

GENERAL NOTES

- SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
- NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL
- FLAT FLAGSTONE DESIGNATED BY
- CAST STONE DESIGNATED BY
- J-BOX PLACEMENT LOCATION AT INTERIOR
- NOT ALL DOORS INDICATED. SEE A2.1 FOR ALL POTENTIAL LOCATIONS. TENANT DEMISING TO DETERMINE EXACT LOCATION AND CONFIGURATION. ANY ADDITIONAL DOORS SHALL BE LOCATED IN CURRENTLY DESIGNATED STOREFRONT. SEE ADDITIONAL REQUIREMENTS ON COVER SHEET.

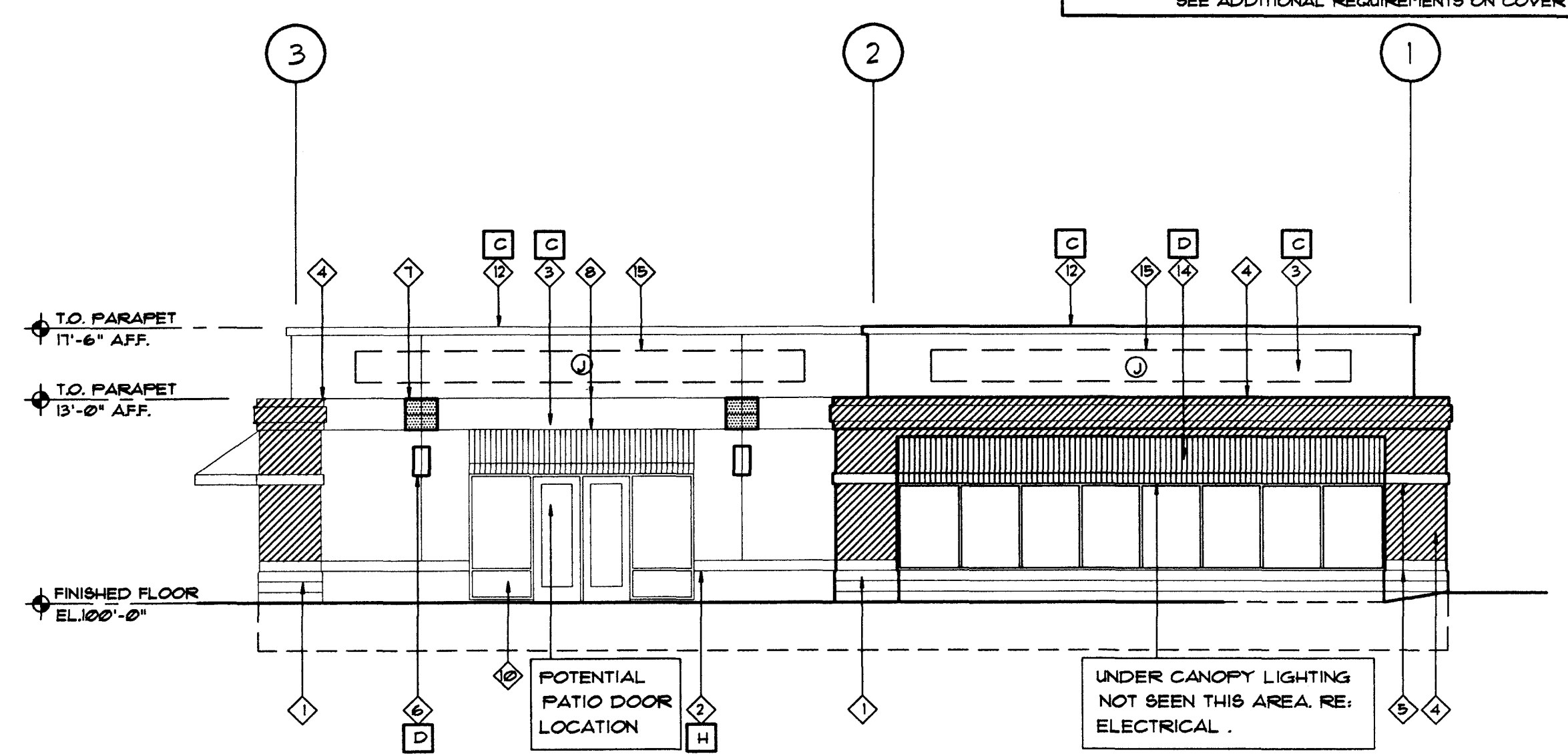
COLOR KEY

*S INDICATE DRYVIT COLORS
BW = SHERWIN-WILLIAMS PAINT COLOR

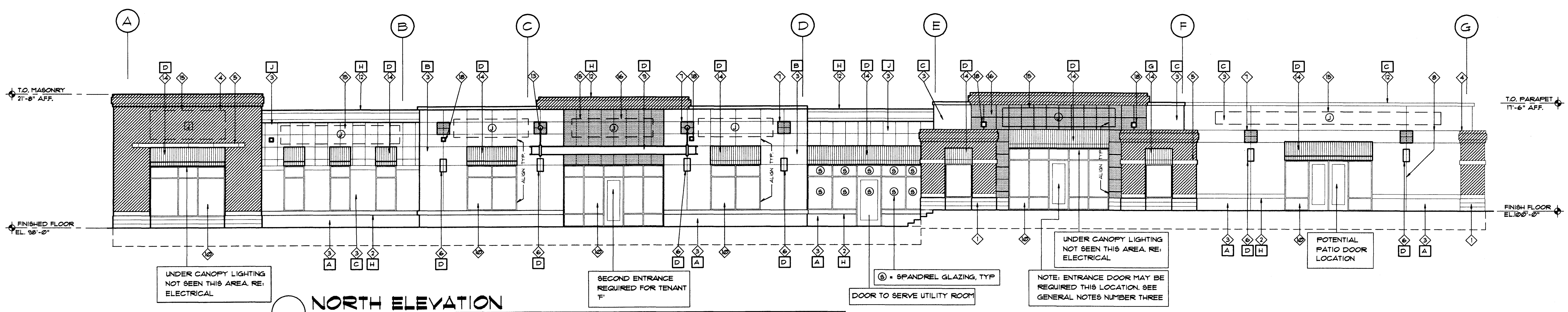
- A DARK TAN - #339 'CARIBOU'
- B MEDIUM TAN - #981 'PANCAKE'
- C LIGHT TAN - #55A 'PEARL'
- D GREEN - (6W 'OLYMPIC RANGE')
- E NOT USED
- F NOT USED
- G NOT USED
- H WHITE - #102 'BRITTE WHITE'
- J ROSE - #329 'CARRANT'

ELEVATION KEY NOTES

- ◇ CONCRETE MASONRY UNIT BASE COLOR - TAN
- ◇ EIFS ACCENT COLOR - WHITE
- ◇ EIFS WALL COVERING COLOR - SEE KEY
- ◇ CAST STONE WALL ASHLAR PATTERN. COLOR - 'SUPERIOR BLEND'
- ◇ CAST STONE ACCENT COLOR - 'SUPERIOR BLEND'
- ◇ LIGHT FIXTURE 'C' COLOR - GREEN
- ◇ FLAGSTONE ACCENT (4) 12" TILES
- ◇ 3/4" REVEAL
- ◇ METAL CANOPY COLOR - GREEN
- ◇ STOREFRONT GLAZING CLEAR ANODIZED
- ◇ SPLIT FACE CMU COLOR - ROSE
- ◇ EIFS CORNICE WITH METAL COPING COLOR - SEE KEY
- ◇ ORNAMENTAL METAL COLOR - SEE KEY
- ◇ FABRIC AWNING COLOR - SEE KEY
- ◇ DESIGNATED SIGN AREA - (DASHED LINES)
- ◇ FLAT FLAGSTONE
- ◇ MAN DOORS COLOR - SEE KEY
- ◇ SCUPPER PAINT TO MATCH ADJACENT WALL SURFACE

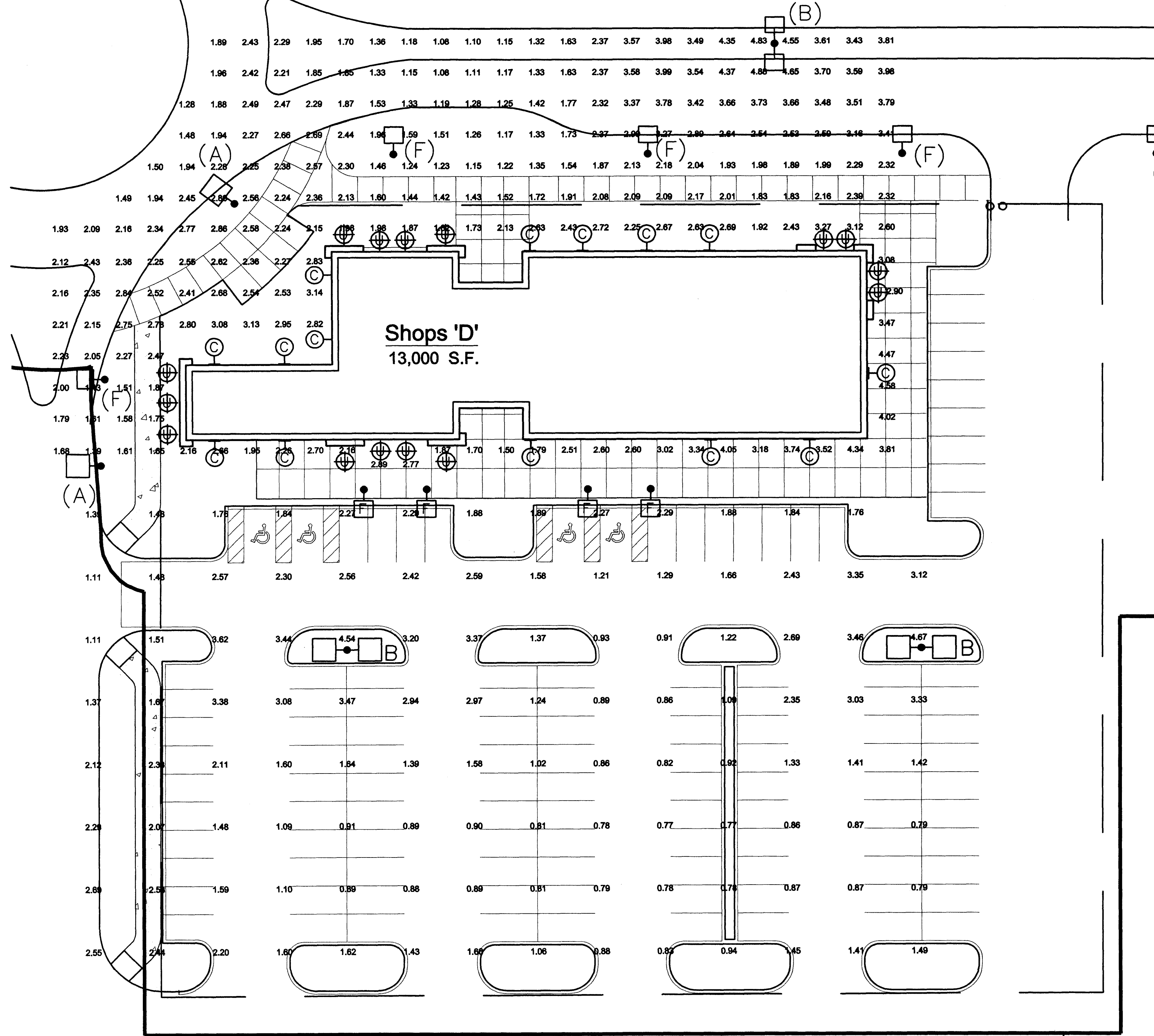


WEST ELEVATION
1/8"=1'-0"

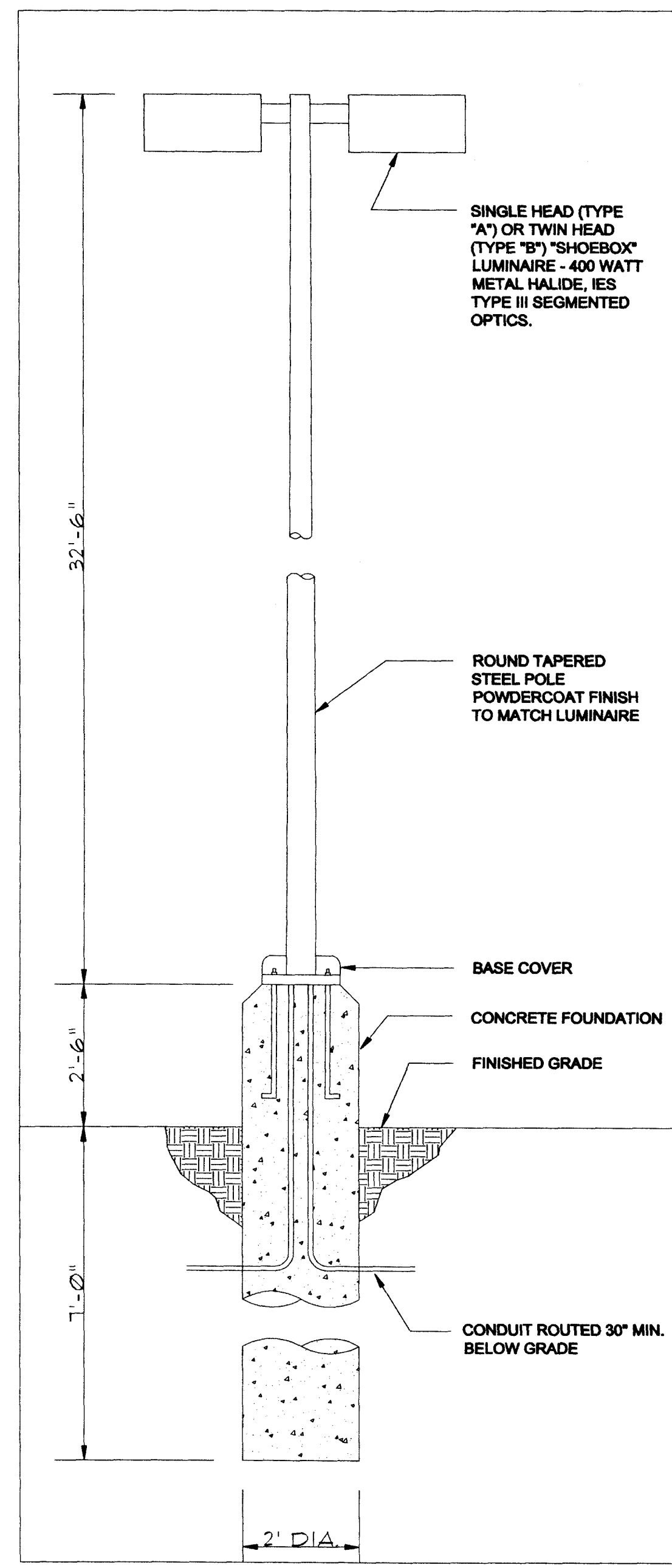


NORTH ELEVATION
1/8"=1'-0"

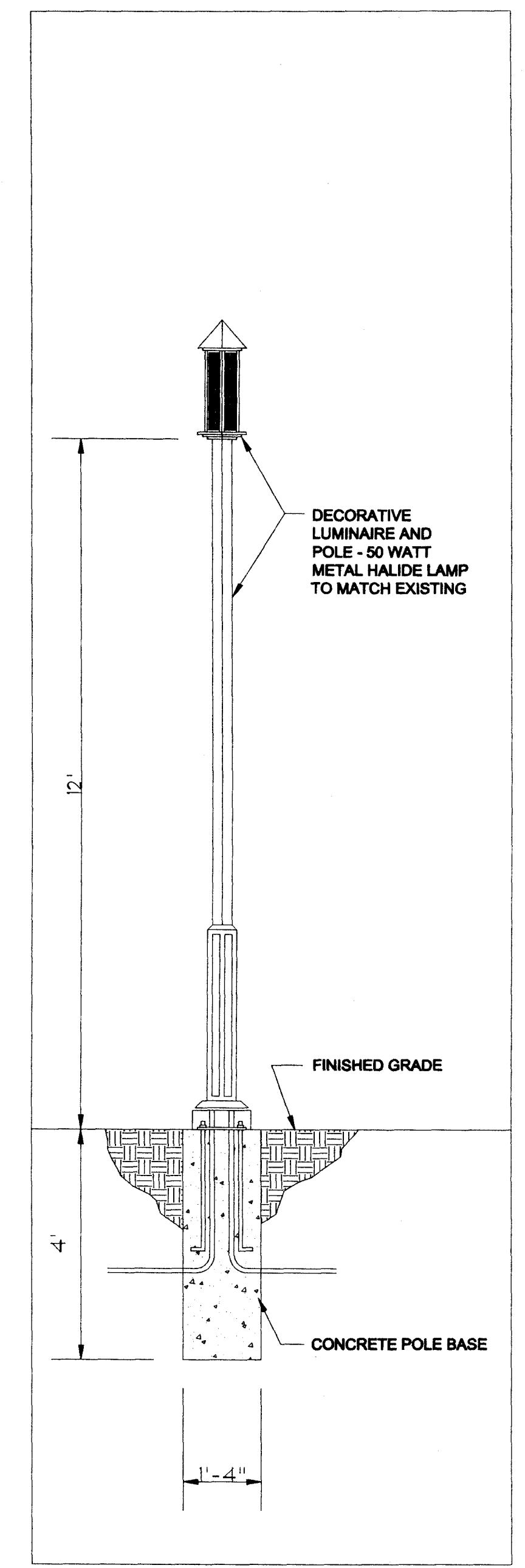
SUPERIOR MARKETPLACE
PHASE FOUR FDP SUBMITTAL
SUPERIOR, COLORADO



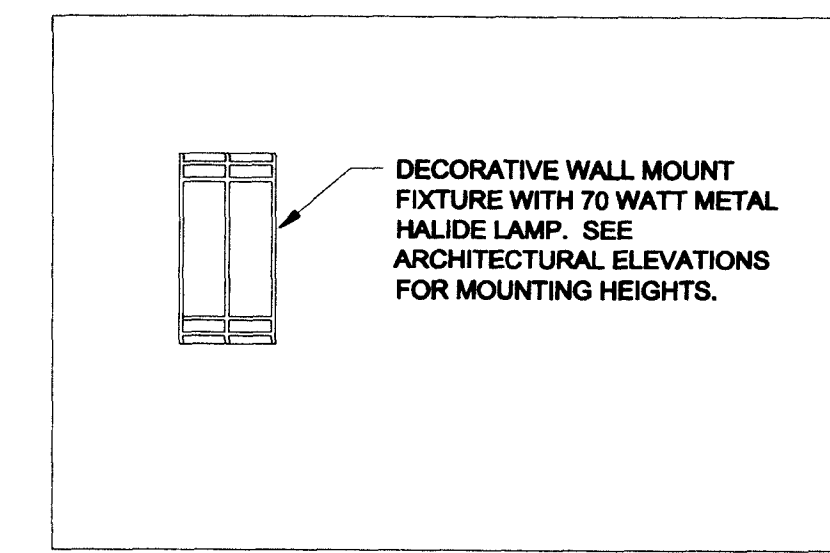
1 SITE LIGHTING PLAN
SCALE: 1" = 20'-0"



2 FIXTURE TYPES 'A' AND 'B'
SCALE: 1/2" = 1'-0"



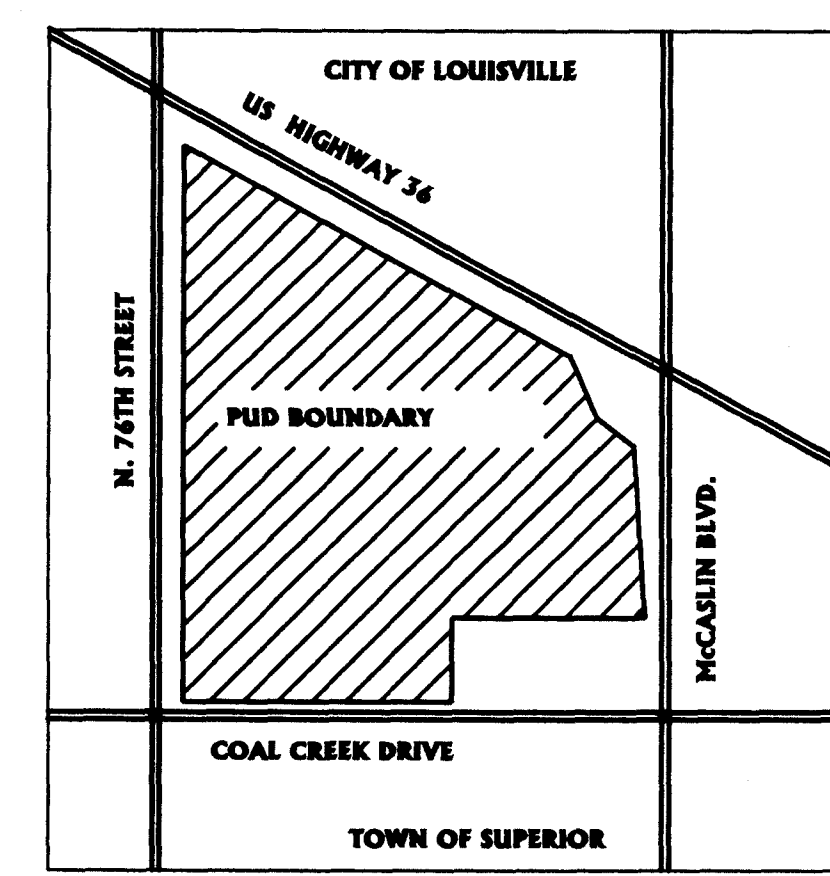
3 FIXTURE TYPE 'F'
SCALE: 1/2" = 1'-0"



2 FIXTURE TYPES 'C'
SCALE: 1/2" = 1'-0"

PHASE IV LUMINAIRE SCHEDULE

LUMINAIRE LABEL	QUANTITY	DESCRIPTION	LUMENS PER LAMP	WATTAGE PER LAMP	LIGHT LOSS FACTOR
A	0	GARD-H191-3-400MH-480-FG-MVR400-08TRS35-D1	40000	400	.72
B	2	GARDCO# H192-Q-400MH/35' POLE (DOUBLE)	80000	400	.72
C	14	BUILDING MOUNTED 'CUT-OFF' LIGHT FIXTURE		70	
F	4	ORNAMENTAL LIGHT FIXTURE- TOTAL PHASE IV			
U	15	BUILDING SOFFIT RECESSED DOWN LIGHT		40	
()		EXISTING FIXTURES ON PLAN			



VICINITY MAP

The information contained in this drawing file is intended for use only on this project. Unauthorized reproduction or use in other projects is not permitted. The Mulhern Group, Ltd. assumes no liability for unauthorized reproduction, changes to or use of the information contained herein. The information contained herein is provided on an "as-is" basis. The Mulhern Group, Ltd. disclaims all warranties with regard to the data contained in this drawing file and to the performance of the delivery media, including all implied warranties of fitness. The Mulhern Group, Ltd. assumes no obligations or liabilities for damages, including, but not limited to, consequential damages arising out of or in connection with the use or performance of this drawing file and its delivery media.

DATE	REVISION
12/27/01	INITIAL SUBMITTAL
02/04/02	STAFF COMMENTS
03/08/02	P.C. REVISIONS
03/14/02	P.C. REVISIONS

SUPERIOR MARKETPLACE
PROJECT NUMBER: 01023
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: SITE PLAN

SUPERIOR MARKETPLACE

PHASE IV FINAL DEVELOPMENT PLAN SUPERIOR, COLORADO

PREPARED BY:



Planning
Landscape Architecture

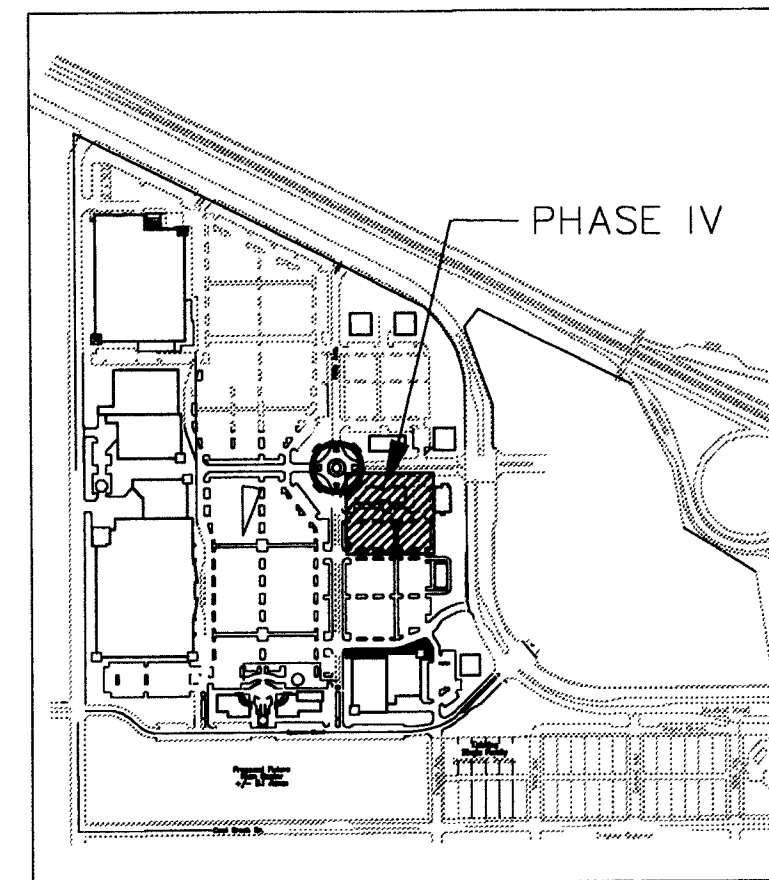
710 West Colfax
Denver, Colorado 80204
Fax: 303 892 1186
Phone: 303 892 1166

PREPARED FOR:



1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2901

PHASE 4 LIMITS



BEFORE YOU DIG
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG. GRADE OR EXCAVATE FOR THE MARKING
OF UNDERGROUND MEMBER UTILITIES

DATE OF PREPARATION:

FDP SUBMITTAL: 1/4/02

FDP SUBMITTAL: 3/8/02

3/14/02

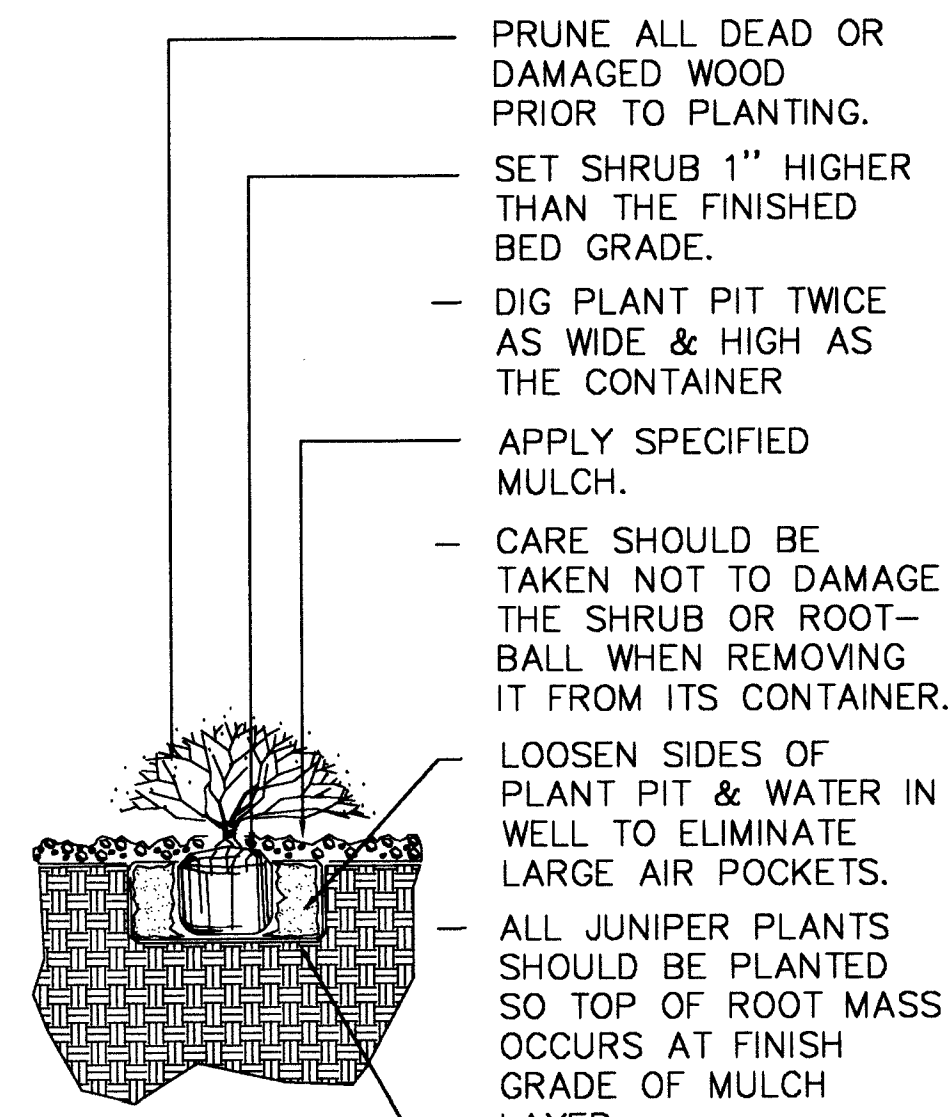
PLANTING LEGEND

SYM.	QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
DECIDUOUS TREES					
9	GSL	GREEN SPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2-1/2" CAL. B&B, SPECIMEN	
1	APA	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	3" CAL. B&B, SPECIMEN	
1	PA	PATMORE ASH	FRAXINUS PENN. 'PATMORE'	3" CAL. B&B, SPECIMEN	
9	DM	DEBORAH MAPLE	ACER PLATANOIDES 'DEBORAH'	2-1/2" CAL. B&B, SPECIMEN	
EVERGREEN TREES					
17	AP	AUSTRIAN PINE	PINUS NIGRA	6'-10" HT., B&B SPECIMEN	
2	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	6'-10" HT., B&B SPECIMEN	
19				HGT. AS NOTED ON PLAN	
ORNAMENTAL TREES					
6	CHP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	2" CAL., B&B, SPECIMEN	
EVERGREEN SHRUBS					
110	HJ	HUGHES JUNIPER	JUNIPERUS SABINA 'HUGHES'	5 GAL. 30" SP. MIN.	
64	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL. 30" SP. MIN.	
5	MS	MONTGOMERY SPRUCE	PICEA PUNGENS 'GLAUCA' 'R.H. MONTGOMERY'	10 GAL. 3" HGT. MIN. LOW GRAFT	
4	BGS	BLUE GLOBE SPRUCE	PICEA PUNGENS 'GLAUCA' 'GLOBOSA'	10 GAL. LOW GRAFT	
12	WMP	WHITEBUD MUGO PINE	PINUS MUJGO 'WHITE BUD'	6 GAL. 2" HGT. MIN.	
DECIDUOUS SHRUBS					
27	CP	CISTENA PLUM	PRUNUS CISTENA	5 GAL., 36" HT., 4 CANE MIN.	
8	BFB	BUTTERFLY BUSH	BUDLEIA DAVIDII 'BLACK KNIGHT'	5 GAL., 24" HT., 3 CANE MIN.	
21	GFS	GOLD FLAME SPIREA	SPIREA JAPONICA 'GOLD FLAME'	5 GAL., 24" HT., 3 CANE MIN.	
50	RLB	REDLEAF BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL., 30" HT., 4 CANE MIN.	
19	PC	PEKING COTONEASTER	COTONEASTER LUCIDUS	5 GAL., 30" HT., 3 CANE MIN.	
4	RB	RABBITBRUSH	CHRYSOETHAMNUS NAUSEOSUS	5 GAL., 30" HT., 3 CANE MIN.	
4	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL., 30" HT., 3 CANE MIN.	
21	GVP	GOLDEN VICARY PRIVET	LIGUSTRUM X VICARYI	5 GAL., 30" HT., 3 CANE MIN.	
PERENNIALS & GROUND COVERS					
10	ASD	ALASKA SHASTA DAISY	LEUCANTHEMUM SUPERBUM 'ALASKA'	1 GAL.	
16	SIS	SNOW IN SUMMER	CERASTIUM TOMENTOSUM	1 GAL.	
7	MNS	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	1 GAL.	
16	PM	POPPY MALLOW	CALLIRHOE INVOLUCRATA	1 GAL.	
25	CM	CATMINT	NEPETA FAASENII	1 GAL.	
28	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GAL.	
12	AJS	AUTUMN JOY SEDUM	SEDUM SPURSUM 'AUTUMN JOY'	1 GAL.	
10	MY	MOONSHINE YARROW	ACHILLEA 'MOONSHINE'	1 GAL.	
ORNAMENTAL GRASSES					
9	PMC	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	5 GAL.	
21	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.	
124	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL.	

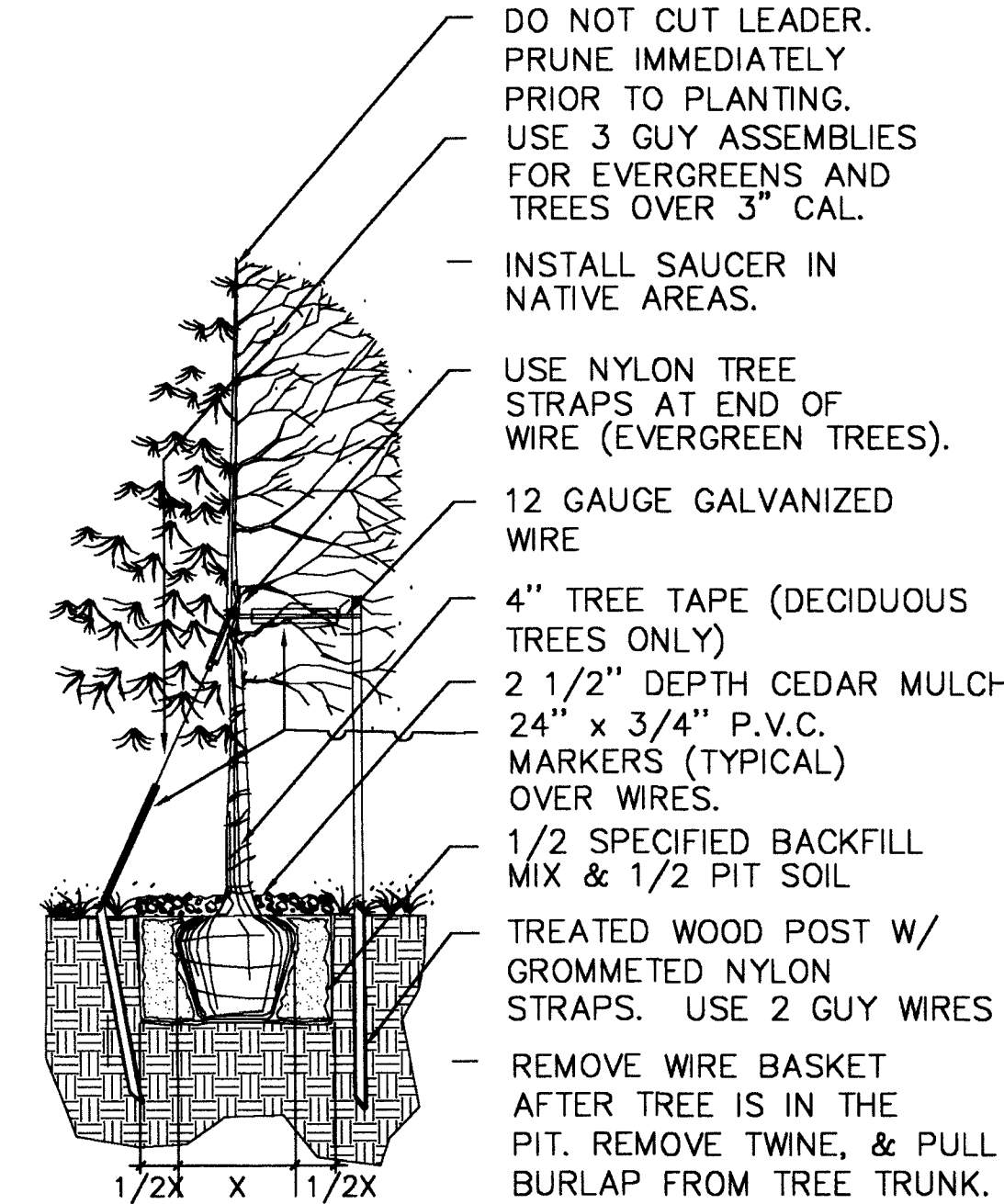
100% BLUEGRASS SOD

FRESH CUT SOD

PLANTING DETAILS



NOTE: BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.



NOTE: SET TOP OF ROOT BALL 2" TO 3" ABOVE SURROUNDING FINISH GRADE.

- PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING. SET SHRUB 1" HIGHER THAN THE FINISHED BED GRADE.
- DIG PLANT PIT TWICE AS WIDE & HIGH AS THE CONTAINER
- APPLY SPECIFIED MULCH.
- CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
- LOOSEN SIDES OF PLANT PIT & WATER IN WELL TO ELIMINATE LARGE AIR POCKETS.
- ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER.
- COMPACTED BACKFILL MIX
- FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX & 1/2 PIT SOIL
- DO NOT CUT LEADER. PRUNE IMMEDIATELY PRIOR TO PLANTING. USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CAL.
- INSTALL SAUCER IN NATIVE AREAS.
- USE NYLON TREE STRAPS AT END OF WIRE (EVERGREEN TREES).
- 12 GAUGE GALVANIZED WIRE
- 4" TREE TAPE (DECIDUOUS TREES ONLY)
- 2 1/2" DEPTH CEDAR MULCH
- 24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES.
- 1/2 SPECIFIED BACKFILL MIX & 1/2 PIT SOIL
- TREATED WOOD POST W/ GROMMETED NYLON STRAPS. USE 2 GUY WIRES
- REMOVE WIRE BASKET AFTER TREE IS IN THE PIT. REMOVE TWINE, & PULL BURLAP FROM TREE TRUNK.

PLANTING CHART

TOTAL BED AREA IS 6,445 S.F.
TOTAL SOD AREA IS 5,329 S.F.
TOTAL LANDSCAPE AREA IS 11,774 S.F.

	REQUIRED				PROPOSED			
	TREES	SHRUBS	TREES	SHRUBS	TREES	SHRUBS	TREES	SHRUBS
CONIFEROUS	6	142	19	194	67%	67%*	67%*	67%*
DECIDUOUS	3	73	26	169	33%	33%*	33%*	33%*
TOTALS	9	215	45	363	100%	100%	100%	100%

CONIFEROUS TREE SIZES:		
REQUIRED	PROPOSED	
GREATER THAN 8"	6 10%	5
6" TO 8"	4.2 70%	11
4" TO 6"	1.8 20%	3
TOTAL	6 100%	19
DECIDUOUS TREE SIZES:		
REQUIRED	PROPOSED	
3" OR GREATER	9 10%	2
2 1/4" TO 2 3/4"	6.3 70%	18
1 1/2" TO 2"	1.8 20%	6
TOTAL	9 100%	26

PLAN REFLECTS TREE QUANTITIES @ 1/1400 SF. AND SHRUB QUANTITIES @ 1/30 S.F. TREE RATIOS ARE FOR THE TOTAL LANDSCAPE AREA AND SHRUB RATIOS ARE FOR THE BED AREA ONLY.
* THE REQUIRED TREE QUANTITIES ARE 33% DECIDUOUS AND 67% EVERGREEN.
** THE REQUIRED SHRUB QUANTITIES ARE 33% DECIDUOUS AND 67% EVERGREEN. QUANTITIES SHOWN EXCEED REQUIREMENTS OF EVERGREEN AND DECIDUOUS RATIOS

Issue Date
1/4/02
3/8/02
3/14/02

Revision Date

Sheet Title
LANDSCAPE COVER SHEET

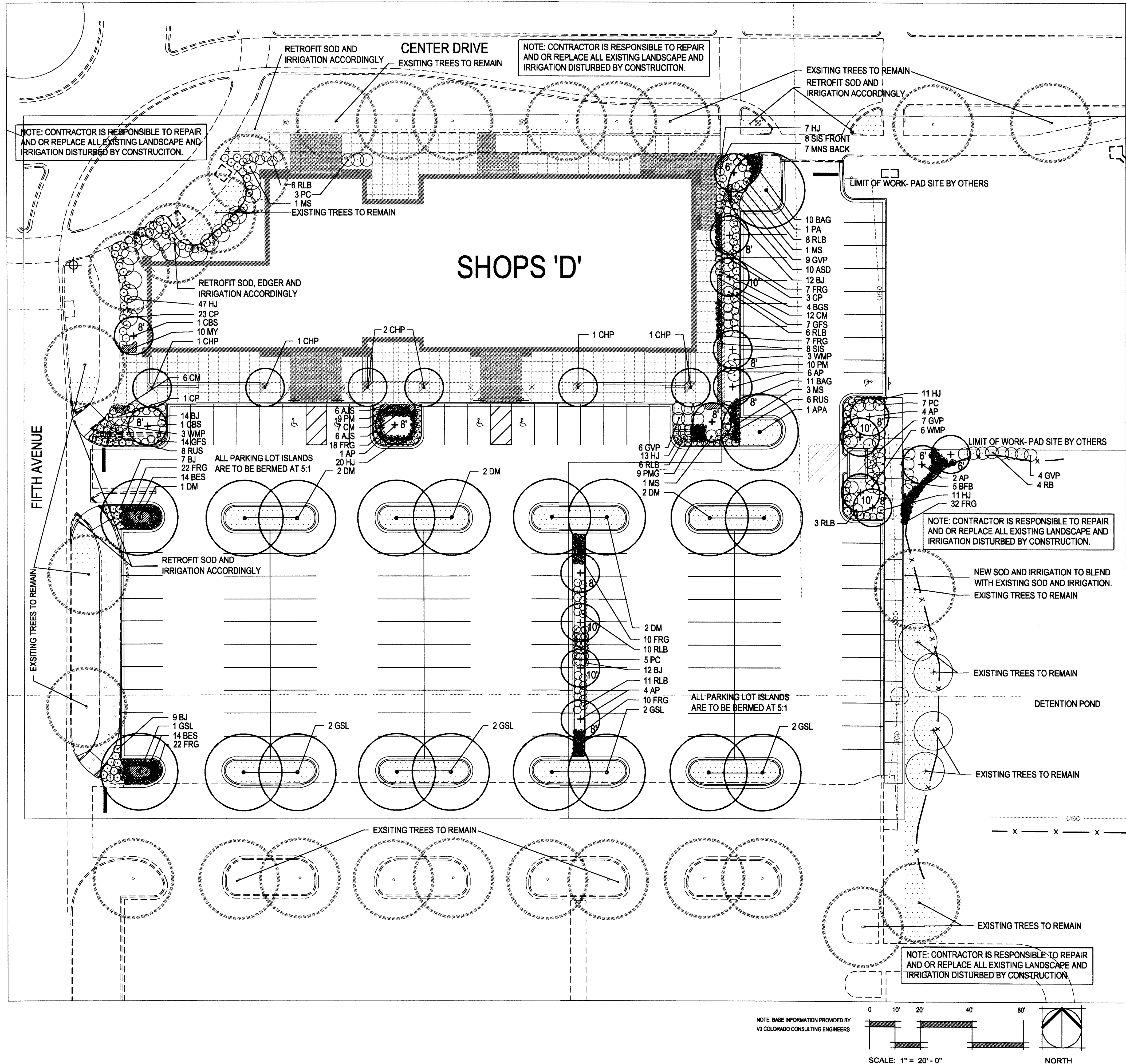
Sheet Number

L-1

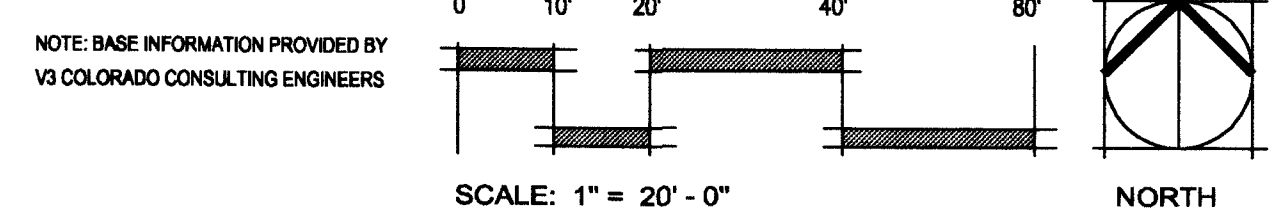
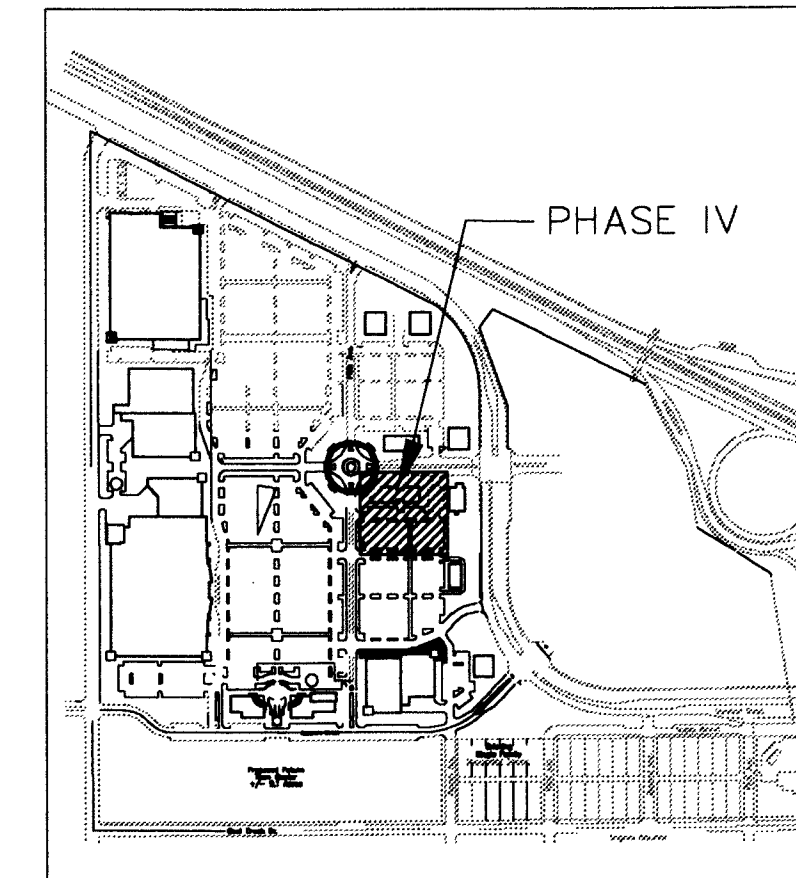
PLANTING LEGEND

SYM.	QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
DECIDUOUS TREES					
9	GSL	GREEN SPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2-1/2" CAL. BAB. SPECIMEN	
1	APA	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	3" CAL. BAB. SPECIMEN	
1	PA	PATMORE ASH	FRAXINUS PENN. 'PATMORE'	3" CAL. BAB. SPECIMEN	
9	DM	DEBORAH MAPLE	ACER PLATANOIDES 'DEBORAH'	2-1/2" CAL. BAB. SPECIMEN	
20					
EVERGREEN TREES					
17	AP	AUSTRIAN PINE	PINUS NIGRA	6'-10" HT., BAB. SPECIMEN	
2	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	6'-10" HT., BAB. SPECIMEN	
19				HGT. AS NOTED ON PLAN	
ORNAMENTAL TREES					
6	CHP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	2" CAL., BAB. SPECIMEN	
6					
EVERGREEN SHRUBS					
110	HJ	HUGHES JUNIPER	JUNIPERUS SABINA 'HUGHES'	5 GAL. 30" SP. MIN.	
64	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL. 30" SP. MIN.	
5	MS	MONTGOMERY SPRUCE	PICEA PUNGENS 'GLAUCA' R.H. MONTGOMERY'	10 GAL. 3" HGT. MIN.	
4	BGS	BLUE GLOBE SPRUCE	PICEA PUNGENS 'GLAUCA' 'GLOBOSA'	10 GAL. LOW GRAFT	
12	WMP	WHITEBUD MUGO PINE	PINUS MUGO 'WHITE BUD'	6 GAL. 2" HGT. MIN.	
184					
DECIDUOUS SHRUBS					
27	CP	CISTENA PLUM	PRUNUS CISTENA	5 GAL., 36" HT., 4 CANE MIN.	
8	BFB	BUTTERFLY BUSH	BUDLEIA DAVIDI 'BLACK KNIGHT'	5 GAL., 24" HT., 3 CANE MIN.	
21	GFS	GOLD FLAME SPIREA	SPIREA JAPONICA 'GOLD FLAME'	5 GAL., 24" HT., 3 CANE MIN.	
50	RLB	REDLEAF BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL., 30" HT., 4 CANE MIN.	
19	PC	PEKING COTONEASTER	COTONEASTER LUCIDUS	5 GAL., 30" HT., 3 CANE MIN.	
4	RB	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	5 GAL., 30" HT., 3 CANE MIN.	
19	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	5 GAL., 30" HT., 3 CANE MIN.	
21	GVP	GOLDEN VICARY PRIVET	LIGUSTRUM X VICARYI	5 GAL., 30" HT., 3 CANE MIN.	
169					
PERENNIALS & GROUND COVERS					
19	ASD	ALASKA SHASTA DAISY	LEUCANTHEMUM SUPERBUM 'ALASKA'	1 GAL.	
16	SIS	SNOW IN SUMMER	CERASTIUM TOMENTOSUM	1 GAL.	
7	MNS	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	1 GAL.	
19	PM	POPPY MALLOW	CALLIRHOE INVOLUCRATA	1 GAL.	
25	CM	CATMINT	NEPETA FAASENNII	1 GAL.	
28	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GAL.	
12	AUS	AUTUMN JOY SEDUM	SEDUM SPURILUM 'AUTUMN JOY'	1 GAL.	
10	MY	MOONSHINE YARROW	ACHILLEA 'MOONSHINE'	1 GAL.	
127					
ORNAMENTAL GRASSES					
9	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	5 GAL.	
21	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.	
124	FRG	FEATHER REED GRASS	CALAMOGROSTIS ACUTIFLORA 'LARK FOERSTER'	1 GAL.	
154					
		100% BLUEGRASS SOD		FRESH OUT SOD	

PLANTING PLAN



PHASE 4 LIMITS



GENERAL NOTES

- 1. WHERE NEW WORK MEETS EXISTING FEATURES TO REMAIN, FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES IN WRITING.
2. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED TO MEET CDOT AND TOWN SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
...
24. BACKFILLING OF CURB IS PROHIBITED UNTIL THREE DAYS AFTER CURB PLACEMENT.

GENERAL NOTES, CONTINUED

- 25. PRIOR TO INSTALLATION OF THE BITUMINOUS SURFACE COURSE IN PUBLIC RIGHT OF WAY, BUT AFTER INSTALLATION OF THE SINDER COURSE, THE CONTRACTOR SHALL HAVE CORES TAKEN AT RANDOM INTERVALS AND TESTED TO CERTIFY THAT CONSTRUCTION HAS MET TOWN REQUIREMENTS. THE TESTING REQUIREMENTS OF SUPERIOR METROPOLITAN DISTRICT NO. 2, SECTION 9.7.3 SHALL BE ADHERED TO.
26. ASPHALT JOINTS FOR DIFFERENT ASPHALT COURSES ARE TO BE STAGGERED.
...
41. BASIS OF BEARINGS REFERENCED FROM THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 70 WEST, OF THE 6TH PRINCIPAL MERIDIAN, WHICH BEARS S 89° 08' 48" W (ASSUMED), AND IS MONUMENTED AS BY THE NORTH QUARTER CORNER OF SECTION 24 (FND. 2 1/2" ALUMINUM CAP, N=99,960.20, E=97,357.59) AND THE NORTHEAST CORNER OF SECTION 24 (FND. 3 1/2" ALUMINUM CAP, N=100,000.00, E=10,000.00).

SEPARATION - WATERMAINS AND SEWERS

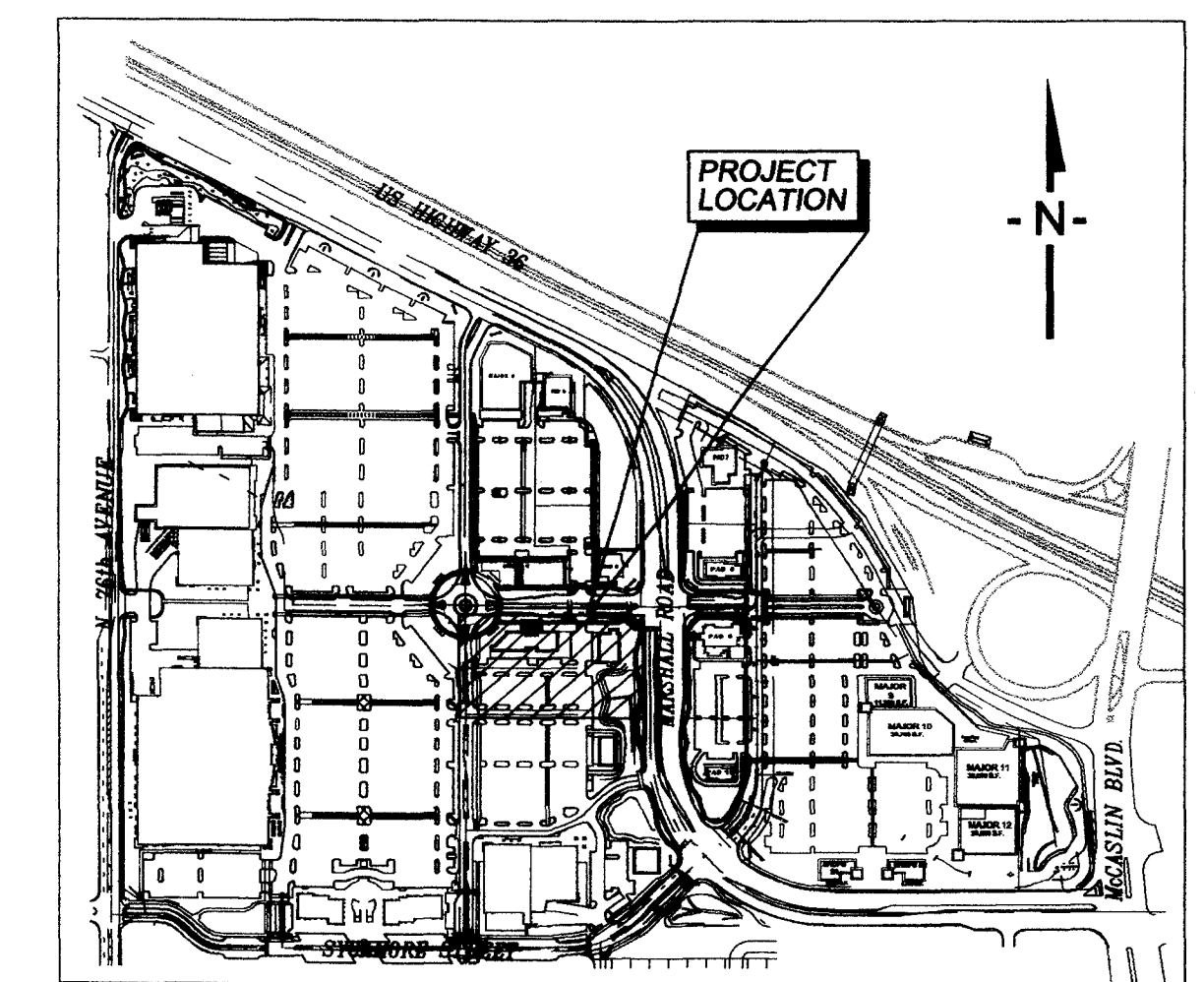
- A. VERTICAL SEPARATION: A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS BOTTOM OF PIPE IS A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER OR IRRIGATION WATER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS, SEWER SERVICE CONNECTIONS OR IRRIGATION WATER. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER, DRAIN OR IRRIGATION CROSSED.
B. HORIZONTAL SEPARATION: IN ALL CASES MAINTAIN A MINIMUM OF 10 FEET BETWEEN WATER AND SEWER LINES (WALL TO WALL OUTSIDE OF PIPE).
C. SPECIAL CONSTRUCTION WILL BE REQUIRED IN ACCORDANCE WITH THE SEWER CROSSING WATER LINE DETAIL WHEN:
1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
2. THE WATER MAIN PASSES UNDER A SEWER OR DRAIN FOR A DISTANCE OF TEN (10) FEET ON EITHER SIDE OF THE WATER MAIN.

LEGEND

Table with columns for EXISTING and PROPOSED symbols, and their corresponding DESCRIPTIONS. Includes symbols for existing and proposed structures, utility lines, fences, and other features.

ABBREVIATIONS

Table listing abbreviations and their meanings. Includes terms like B-B (BACK TO BACK OF CURB), TBC (TOP BACK OF CURB), BLDG (BUILDING), BM (BENCHMARK), etc.



THESE DESIGNS, PLANS, AND CONTRACT DOCUMENTS ARE REVIEWED FOR CONCEPT AND GENERAL CONFORMANCE TO THE DISTRICTS MINIMUM STANDARDS ONLY, AND THE PRIMARY RESPONSIBILITY FOR DESIGN ADEQUACY IS TO REMAIN WITH THE ENGINEER OF RECORD. THIS REVIEW DOES NOT IMPLY RESPONSIBILITY BY EITHER THE TOWN OF SUPERIOR, THE SUPERIOR METROPOLITAN DISTRICT NOS. 1, 2, OR 3, THE TOWN ENGINEER OR THE DISTRICT ENGINEER FOR COMPLETENESS, ACCURACY OR CORRECTNESS OF CALCULATIONS. THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS INDICATED ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSIDERED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE TOWN OR DISTRICT FOR ADDITIONAL QUANTITIES OF ITEMS WHICH MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

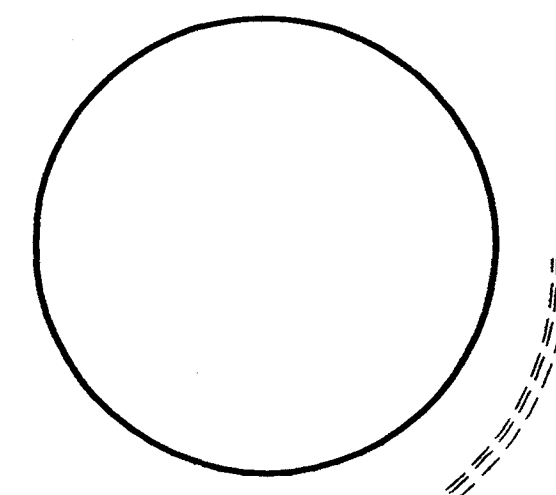
APPROVED FOR CONSTRUCTION WITHIN ONE YEAR OF THE EARLIEST OF THESE DATES:

Table with columns for 'BY' and 'DATE'. It lists approval signatures for DISTRICT NO. 1 ENGINEER, TOWN OF SUPERIOR, CHERRYVALE FIRE PROTECTION DISTRICT, DISTRICT NO. 1, and DISTRICT NO. 2.

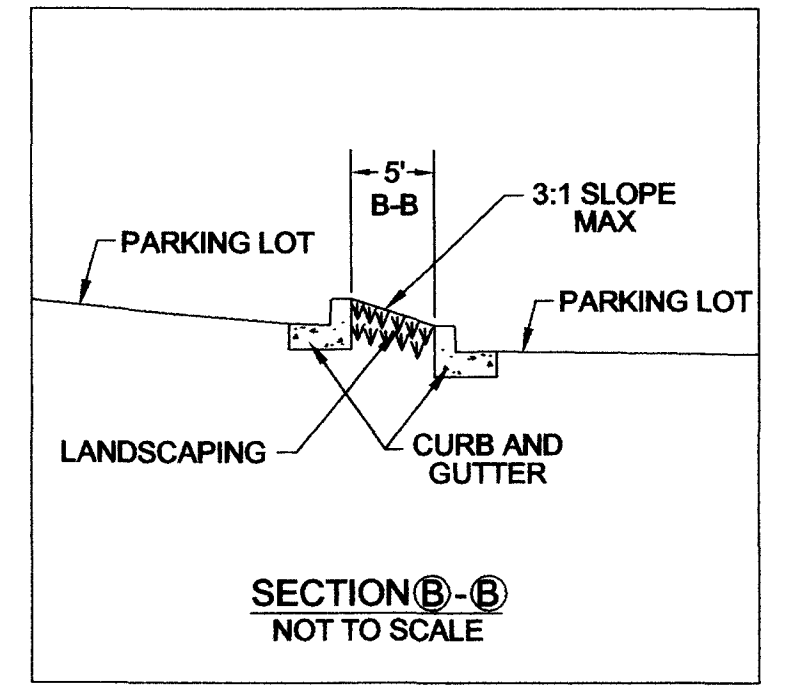
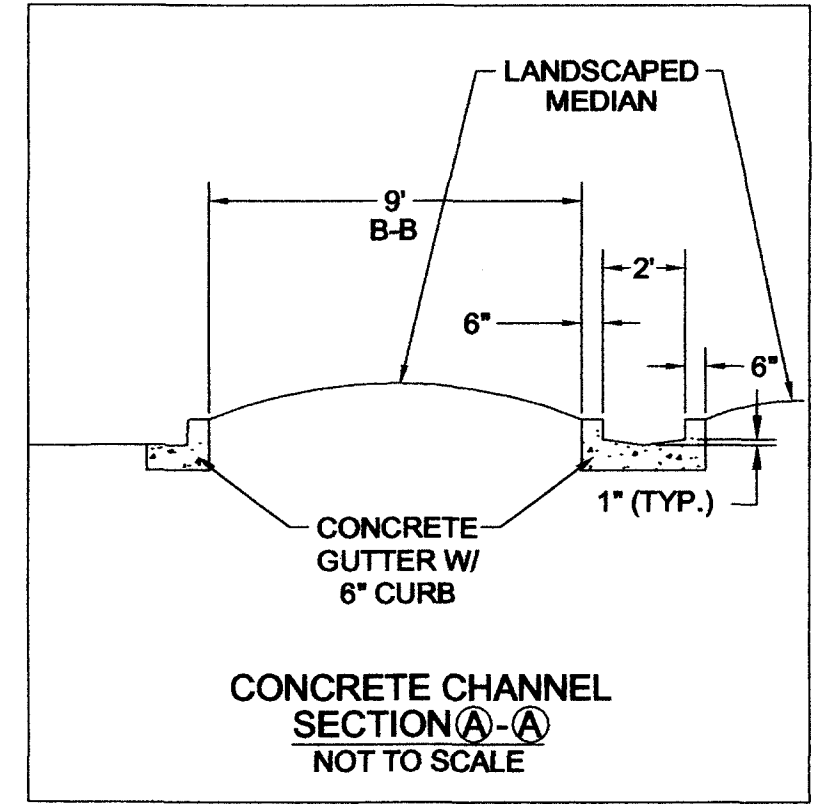
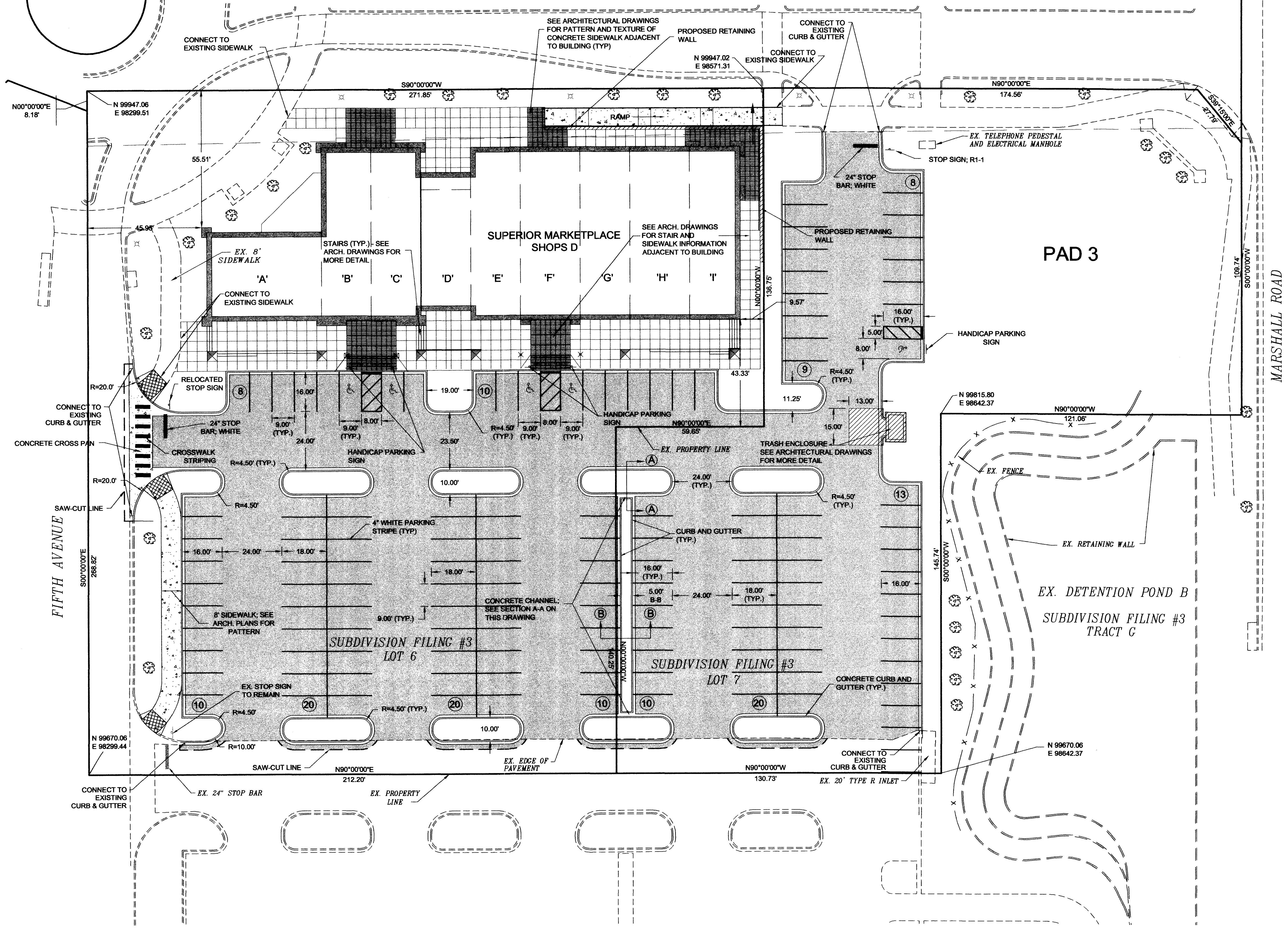
I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS FOR SUPERIOR MARKETPLACE SHOPS D PHASE IV WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROADWAY DESIGN CRITERIA AND DRAINAGE CRITERIA FOR THE SUPERIOR METROPOLITAN DISTRICT AND THE TOWN OF SUPERIOR.

MARK D. CEVAAL, P.E. COLORADO LICENSE NO. 33123

Project information footer including logo for V3 CONSULTANTS, Engineers/Scientists/Surveyors contact info, REVISIONS table, PROJ. NO. 01036, SUPERIOR MARKETPLACE SHOPS D PHASE IV, GENERAL NOTES, LEGEND AND ABBREVIATIONS, and drawing number C1.1.



CENTER DRIVE



PARKING SUMMARY-LOT 6

REGULAR SPACES	74
ACCESSIBLE SPACES	4
TOTAL SPACES	78

PARKING SUMMARY-LOT 7

REGULAR SPACES	59
ACCESSIBLE SPACES	1
TOTAL SPACES	60

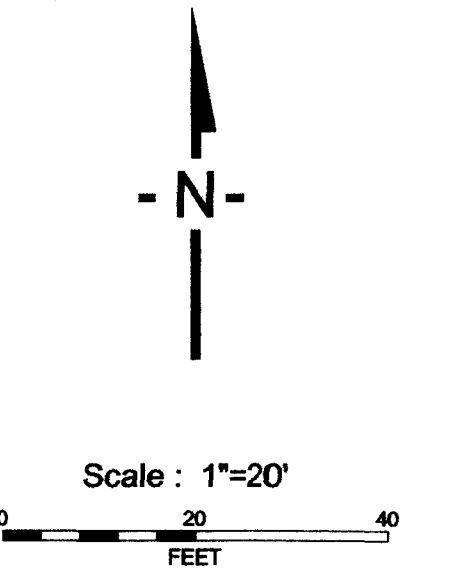
TOTAL PARKING SUMMARY

LOT 6	78
LOT 7	60
TOTAL SPACES	138

NOTE:
 1) ALL DIMENSIONS REFER TO FACE OF CURB.
 2) CROSS SLOPES SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5% IN HANDICAP AREAS.

PAVEMENT LEGEND

- 5" FULL DEPTH ASPHALT
- 4" CONCRETE SIDEWALK
- 8" CONCRETE PAVEMENT
- 8" COLORED AND TEXTURED CONCRETE. MATCH SUPERIOR MARKETPLACE COLOR AND TEXTURE.



V3 Engineers
 Scientists
 Surveyors
 200 Union Boulevard, Suite 200
 Lakewood, CO 80228
 303.989.8588 voice
 303.989.9932 fax
 v3consultants.com

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
01	1 Feb 2002	REVISED PER TOWN COMMENTS			
02	26 Feb 2002	REVISED PER TOWN COMMENTS			
03	08 Mar 2002	REVISED PER TOWN COMMENTS			
3	14/02				

SEAL: _____

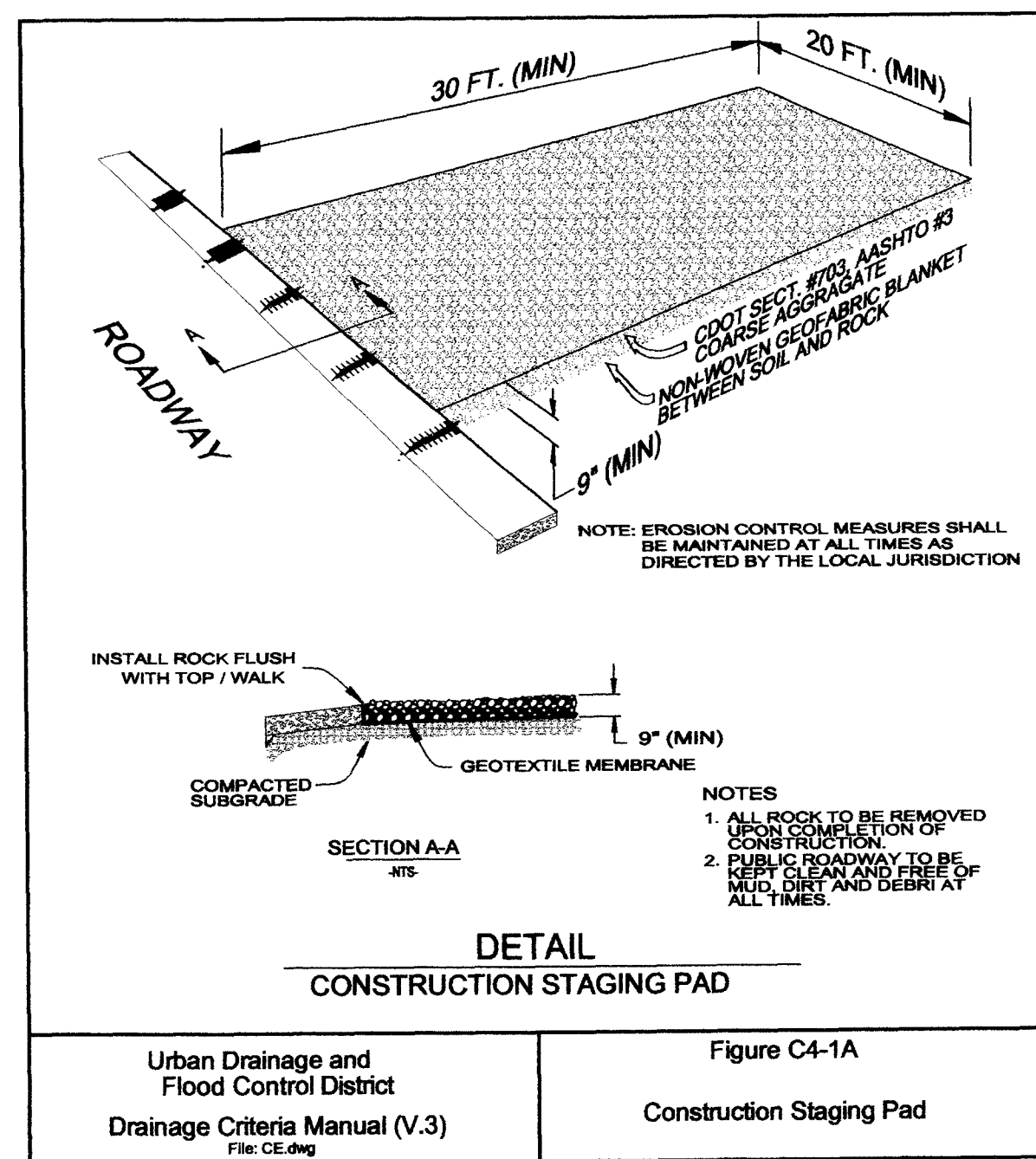
PROJ. NO.:	01036	DESIGNED BY:	ANH
FILE NAME:	C3.1-Layout	DRAWN BY:	DFS
DATE:	JAN. 3, 2002	CHECKED BY:	MDC
SCALE:	1"=20'	PRJ. MANAGER:	ANH

SUPERIOR MARKETPLACE SHOPS D
 PHASE IV
 COLORADO

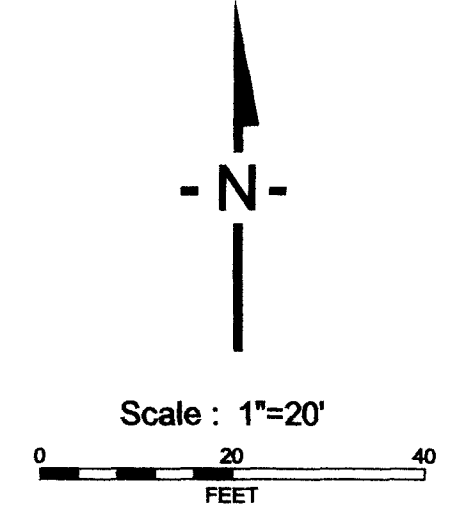
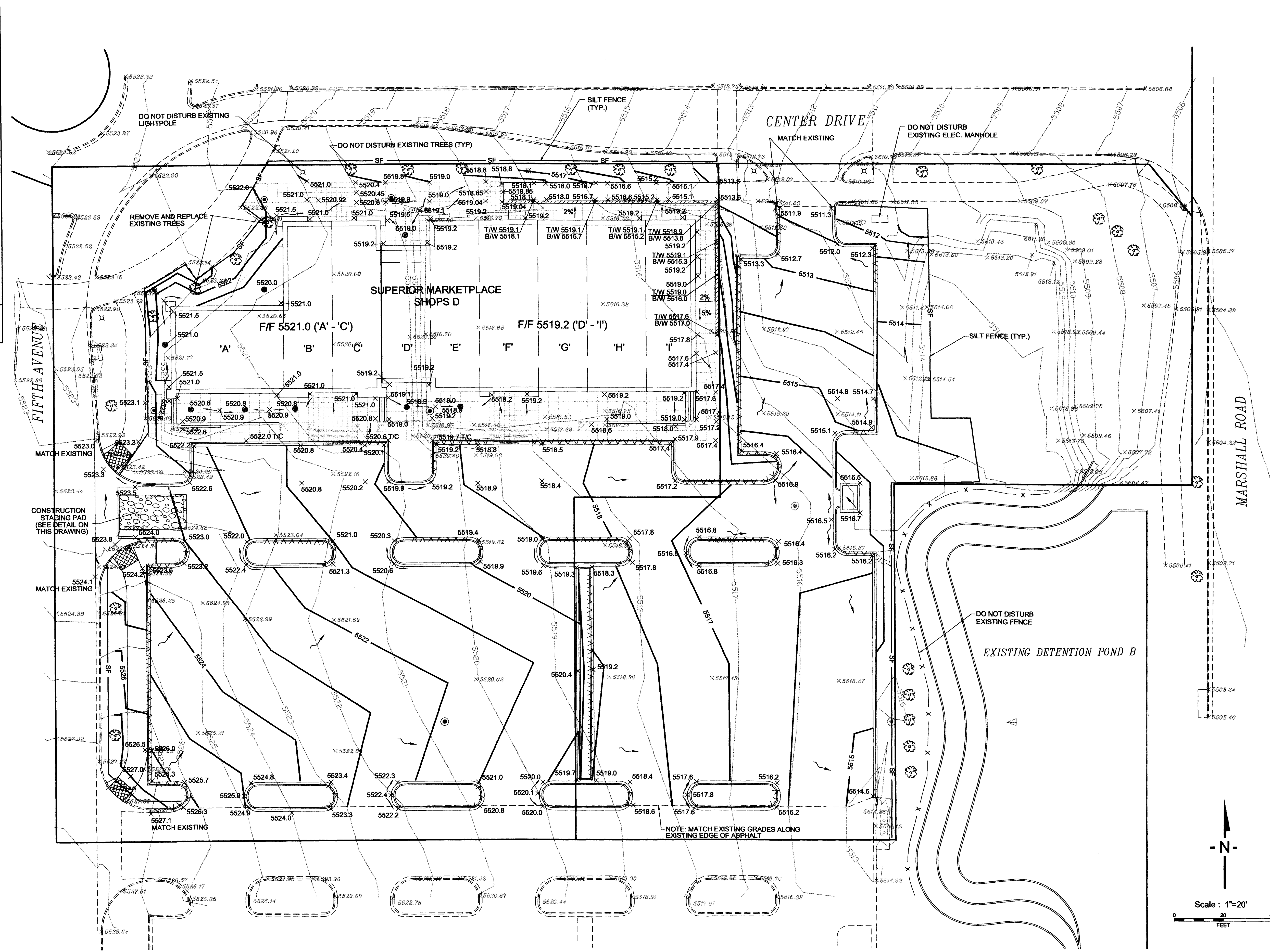
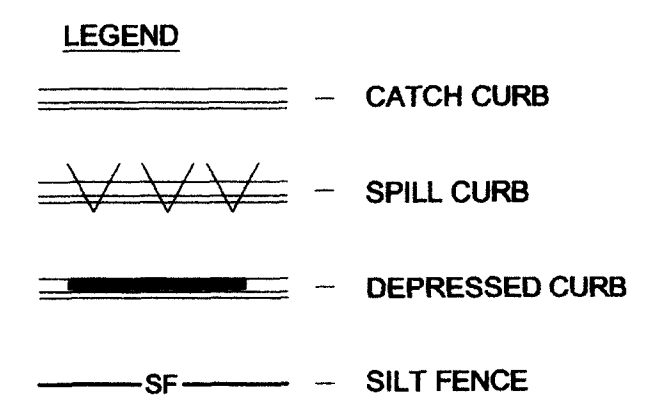
SITE LAYOUT PLAN

DRAWING NO.
C3.1

"THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS."



- NOTES:**
1. ALL SPOT GRADES ARE F/I UNLESS OTHERWISE NOTED.
 2. CROSS SLOPES SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5% IN HANDICAP AREAS.



V3 CONSULTANTS
Engineers
Scientists
Surveyors

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8598 voice
303.989.9632 fax
v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
01	1 Feb 2002	REVISED PER TOWN COMMENTS			
02	26 Feb 2002	REVISED PER TOWN COMMENTS			
03	08 Mar 2002	REVISED PER TOWN COMMENTS			
	3/14/02				

PROJ. NO.:	01036	DESIGNED BY:	ANH
FILE NAME:	C4.1-Grading	DRAWN BY:	DFS
DATE:	JAN. 3, 2002	CHECKED BY:	MDC
SCALE:	1"=20'	PROJ. MANAGER:	ANH

**SUPERIOR MARKETPLACE
SHOPS D**

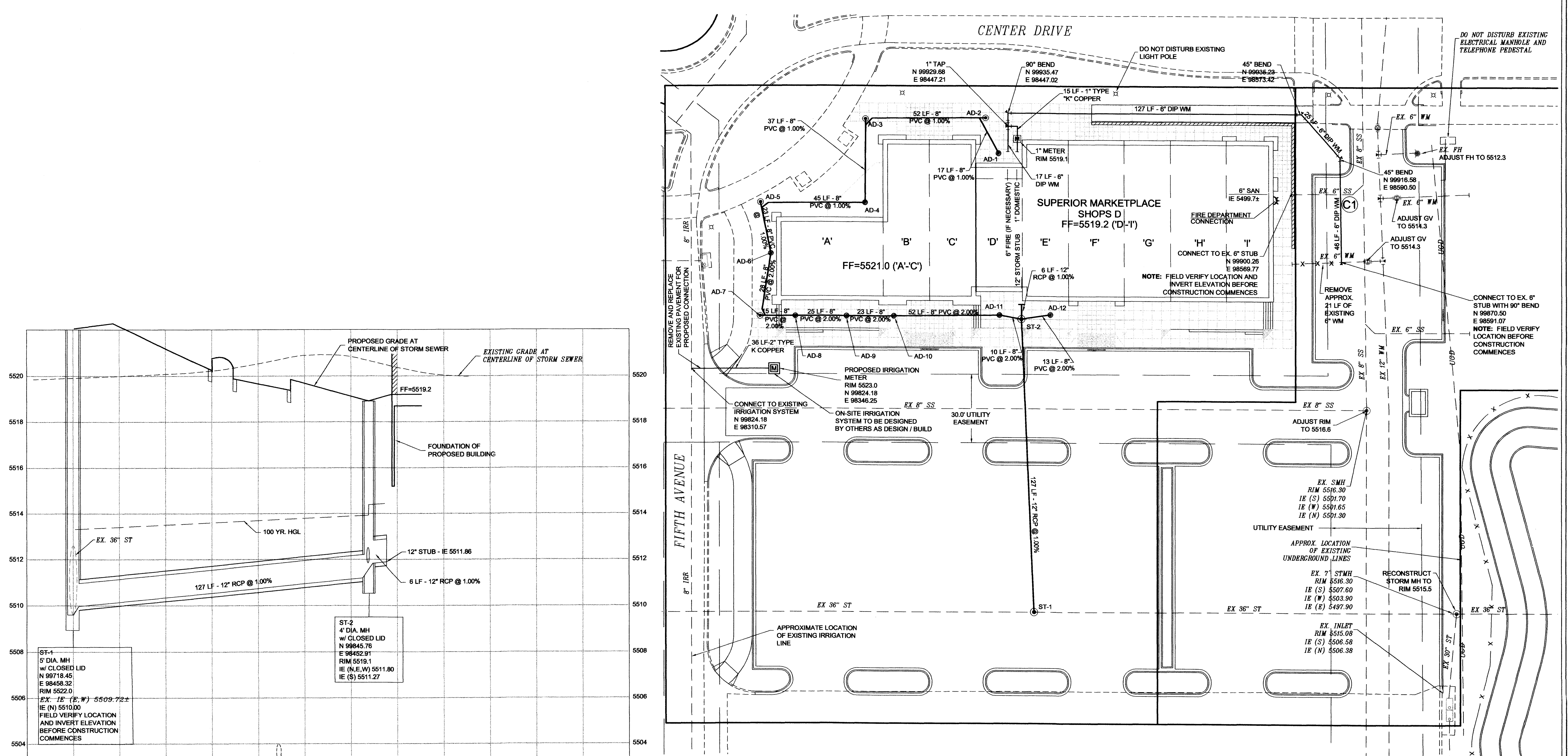
PHASE IV

COLORADO

SITE GRADING PLAN

DRAWING NO.
C4.1

"THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS."



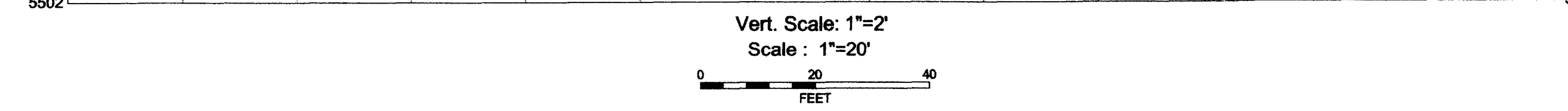
UTILITY INFORMATION

AD-1 NDS 1210 OR APPROVED EQUAL N 99917.84 E 98443.22 RIM 5519.0 IE 5516.60	AD-2 CLEAN-OUT N 99933.33 E 98437.22 RIM 5519.7 IE 5516.43	AD-3 CLEAN-OUT N 99932.81 E 98385.88 RIM 5521.8 IE 5515.91	AD-4 NDS 1210 OR APPROVED EQUAL N 99896.05 E 98385.63 RIM 5520.0 IE 5515.54	AD-5 CLEAN-OUT N 99896.23 E 98340.52 RIM 5522.8 IE 5515.09	AD-6 NDS 1210 OR APPROVED EQUAL N 99874.00 E 98344.96 RIM 5521.0 IE 5514.86	ST-1 5" DIA. MH w/ CLOSED LID N 99718.45 E 98458.32 RIM 5522.0 IE (N) 5510.00 EX. IE (E,W) 5509.72±
AD-7 CLEAN-OUT N 99847.07 E 98340.22 RIM 5523.0 IE 5514.30	AD-8 NDS 1210 OR APPROVED EQUAL N 99847.07 E 98355.42 RIM 5520.8 IE 5514.00	AD-9 NDS 1210 OR APPROVED EQUAL N 99847.07 E 98377.49 RIM 5520.8 IE 5513.50	AD-10 NDS 1210 OR APPROVED EQUAL N 99847.07 E 98397.91 RIM 5520.8 IE 5513.04	AD-11 NDS 1210 OR APPROVED EQUAL N 99847.48 E 98433.45 RIM 5518.9 IE 5512.00	AD-12 NDS 1210 OR APPROVED EQUAL N 99847.61 E 98465.39 RIM 5519.9 IE 5512.06	ST-2 4" DIA. MH w/ CLOSED LID N 99845.76 E 98452.91 RIM 5519.1 IE (N,E,W) 5511.80 IE (S) 5511.27

NOTE:

- 6" DIP FIRE MAIN IS ONLY NEEDED IF CODE REQUIRES FIRE SERVICE FOR FUTURE TENANTS.
- ALL PVC SHALL BE SDR-35. REFER TO DETAIL 1.3 ON DRAWING C6.1 FOR PVC STORM SEWER. STORM PIPE SHALL BE WHITE AND SANITARY PIPE SHALL BE GREEN.

CROSSING (C)
6" WM T/P 5509.5
EX. 6" SAN IE 5499.6



Engineers Scientists Surveyors
200 Union Boulevard, Suite 200
Lakewood, CO 80226
303.989.8588 voice
303.989.9832 fax
v3consultants.com

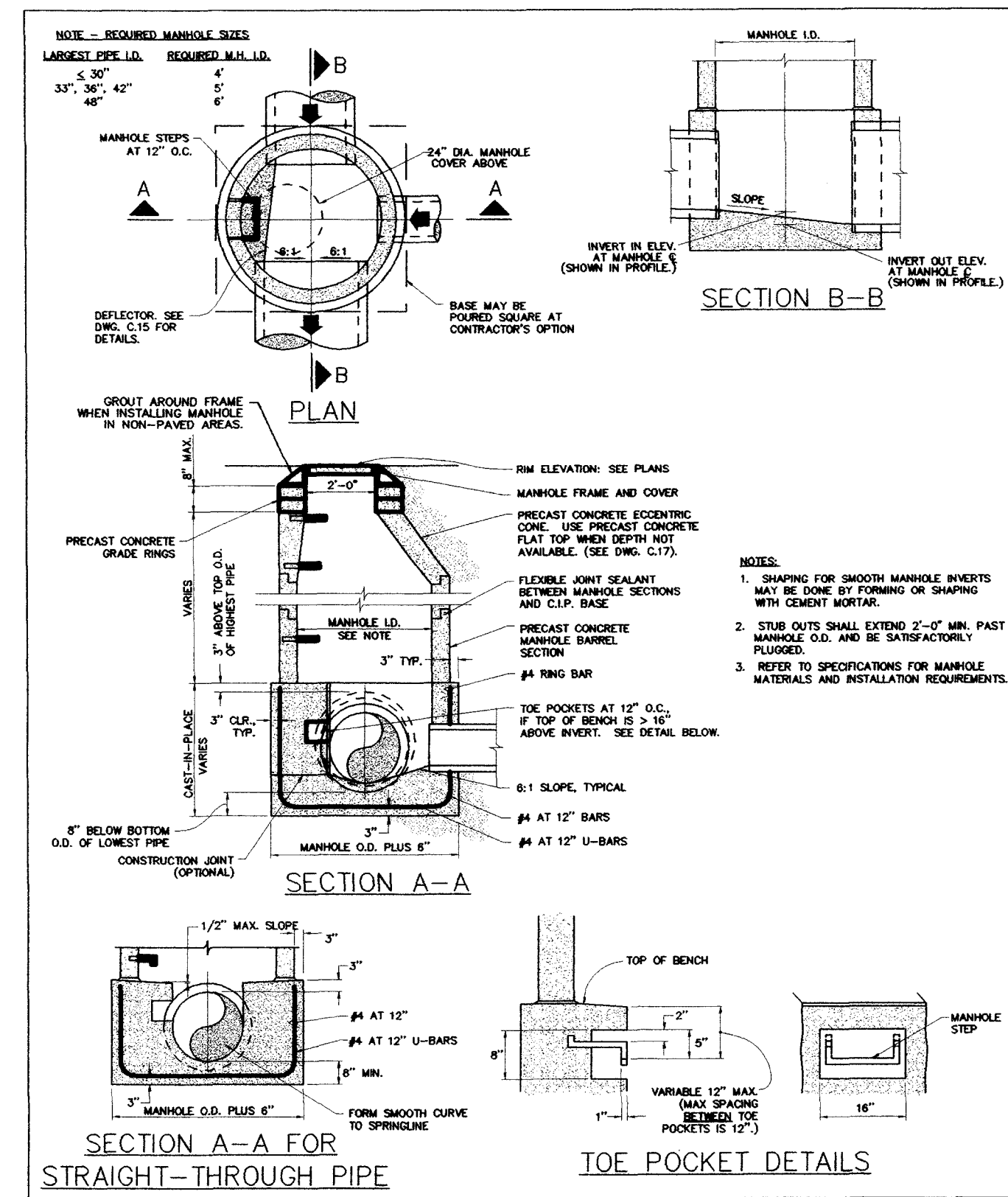
REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
01	1 Feb 2002	REVISED PER TOWN COMMENTS			
02	26 Feb 2002	REVISED PER TOWN COMMENTS			
03	08 Mar 2002	REVISED PER TOWN COMMENTS			
	3/14/02				

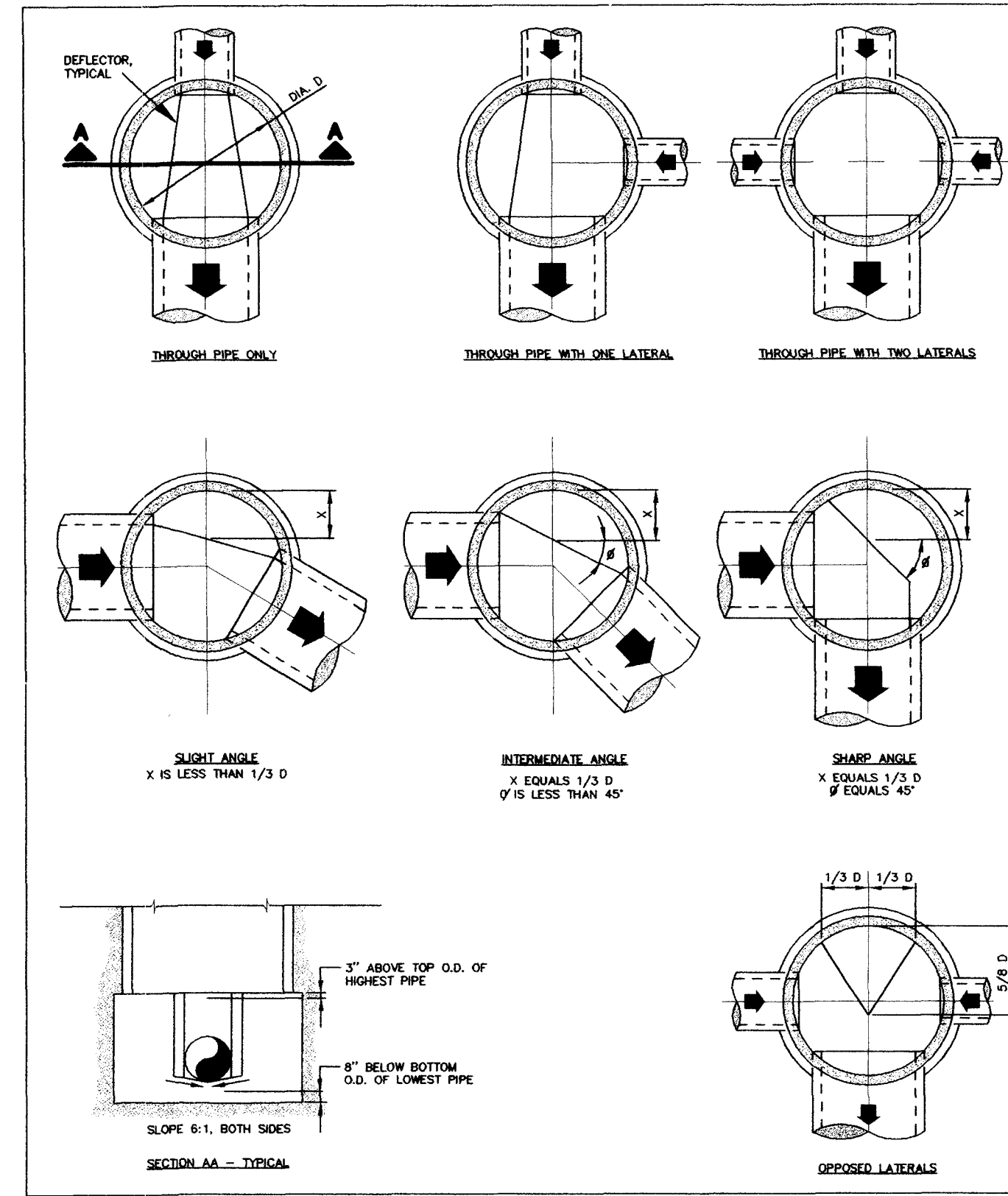
PROJ. NO.: 01036
DESIGNED BY: ANH
FILE NAME: C5.1-Utility
DRAWN BY: DFS
DATE: JAN 3, 2002
CHECKED BY: MDC
SCALE: 1"=20'
PROJ. MANAGER: ANH

SUPERIOR MARKETPLACE SHOPS D
PHASE IV
COLORADO

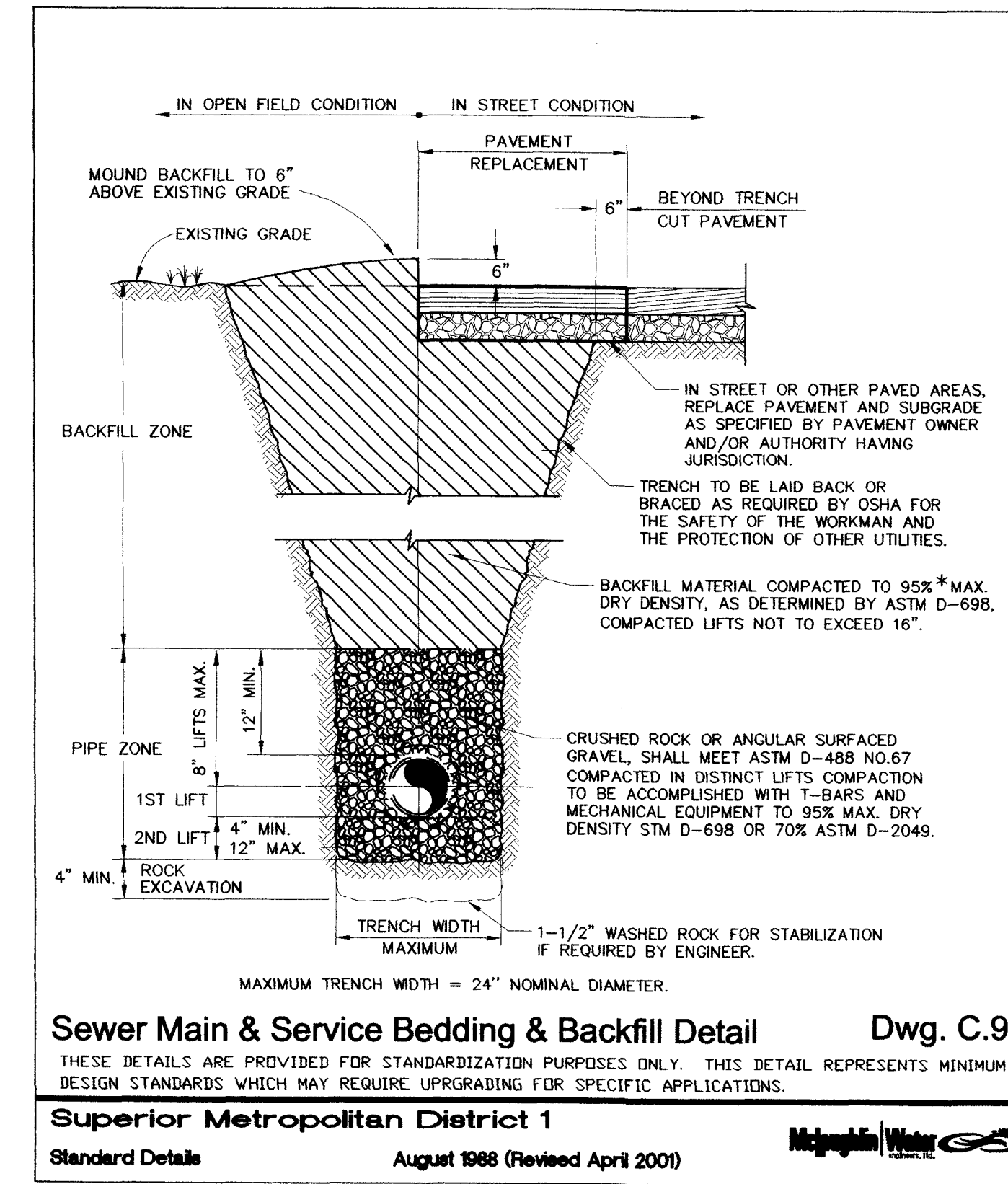
UTILITY PLAN AND STORM PROFILE
DRAWING NO. C5.1



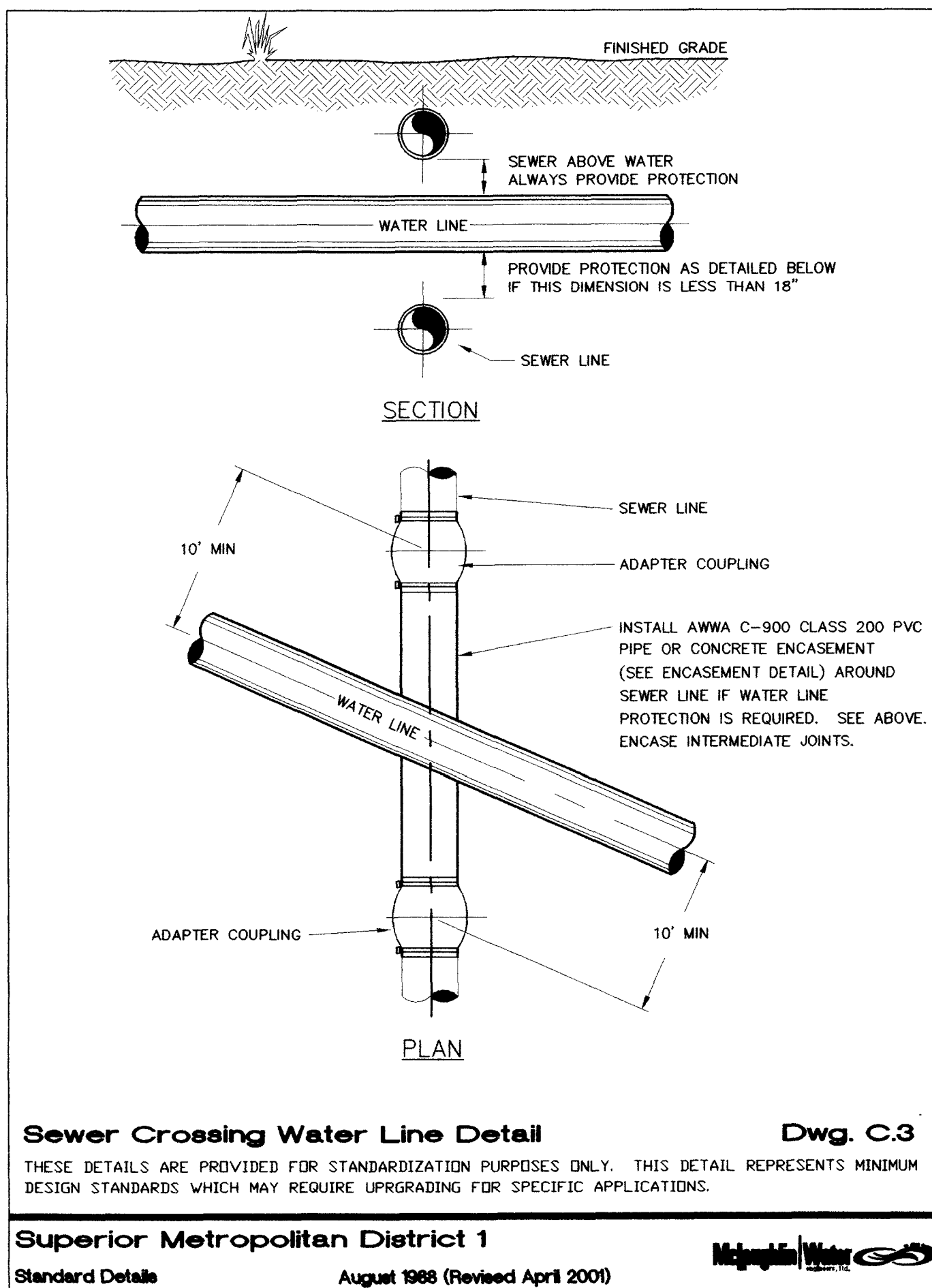
1.1 STORM SEWER MANHOLE DETAILS



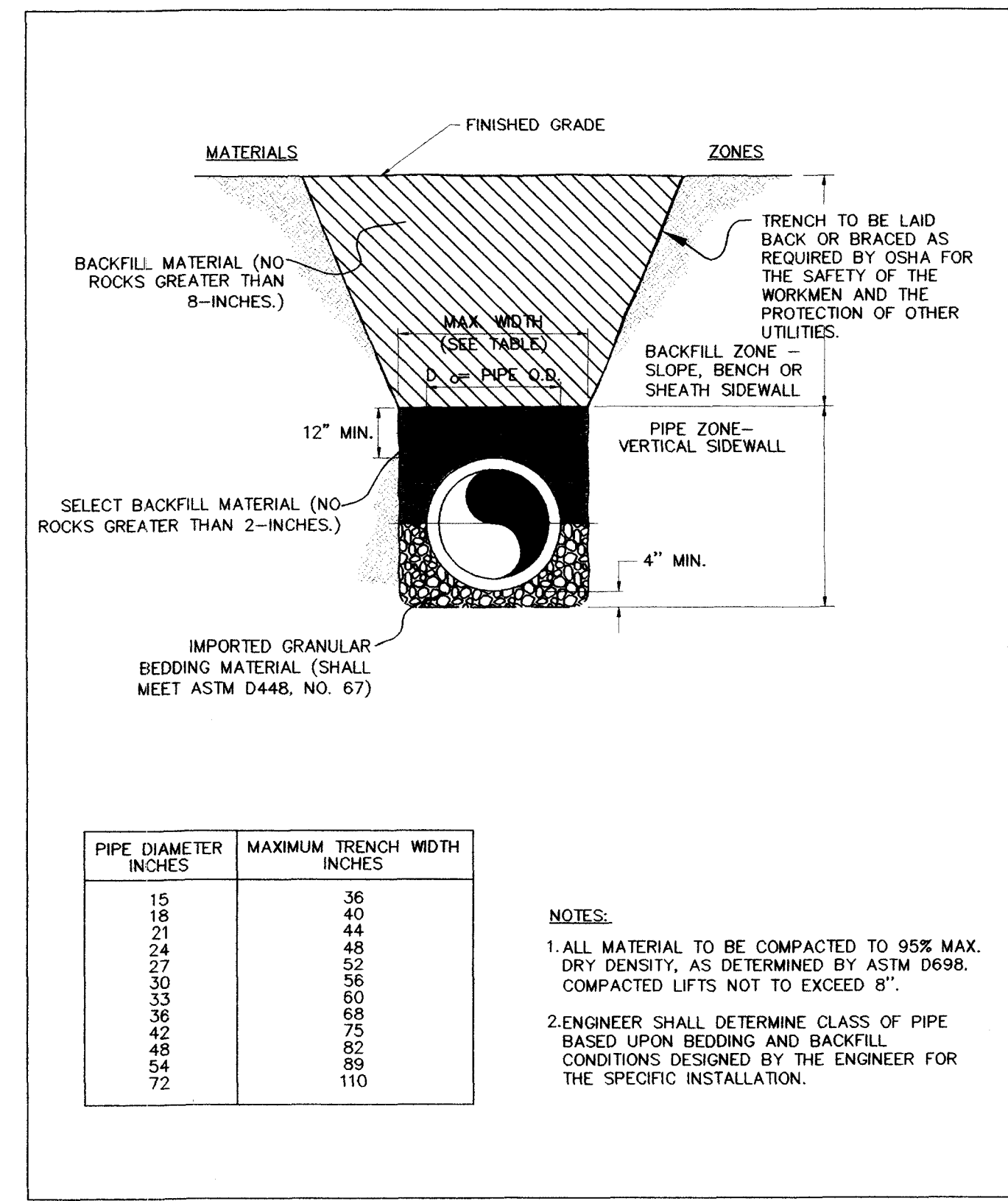
1.2 STORM SEWER DEFLECTOR DETAILS



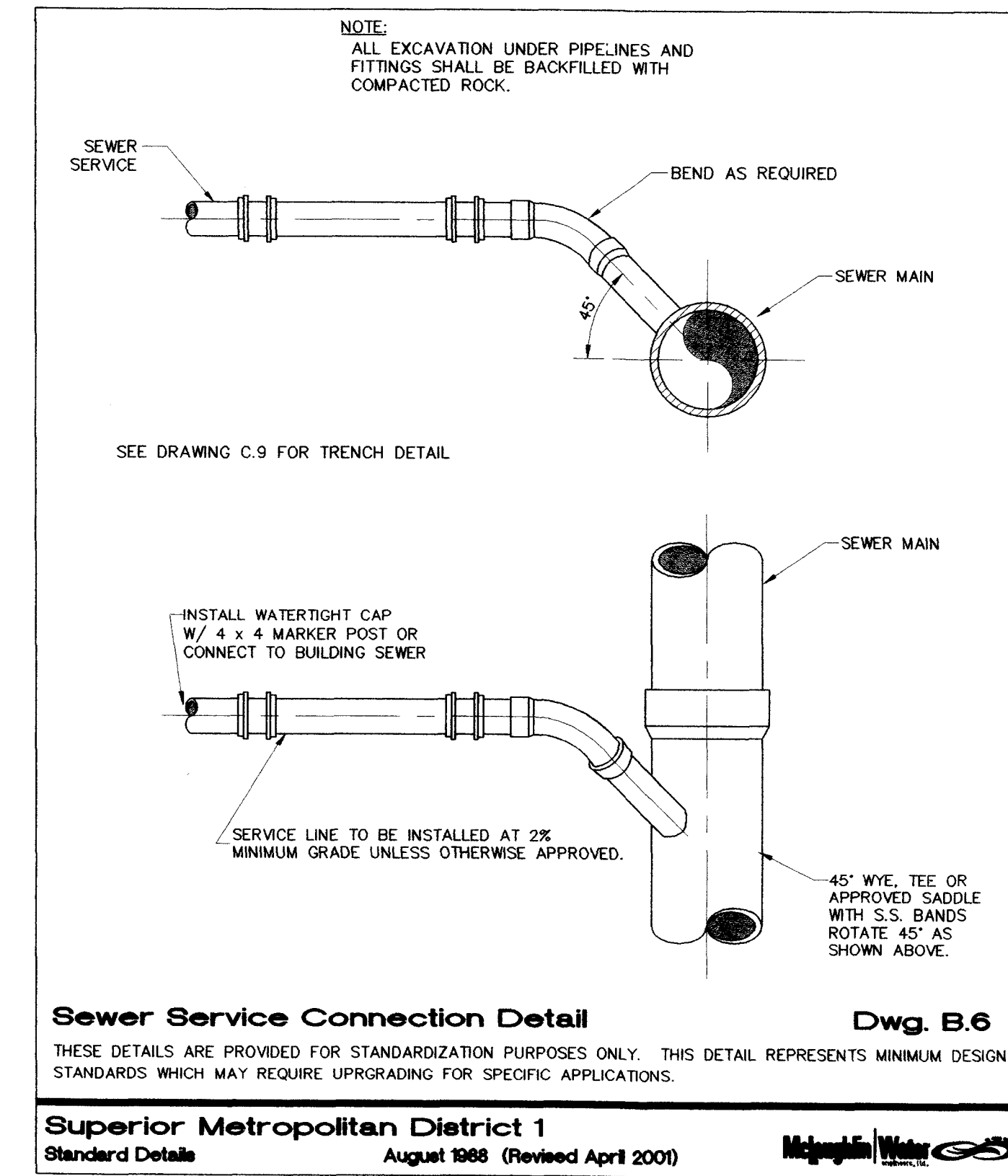
1.3 PVC SEWER AND PVC STORM MAIN BEDDING & BACKFILL DETAIL



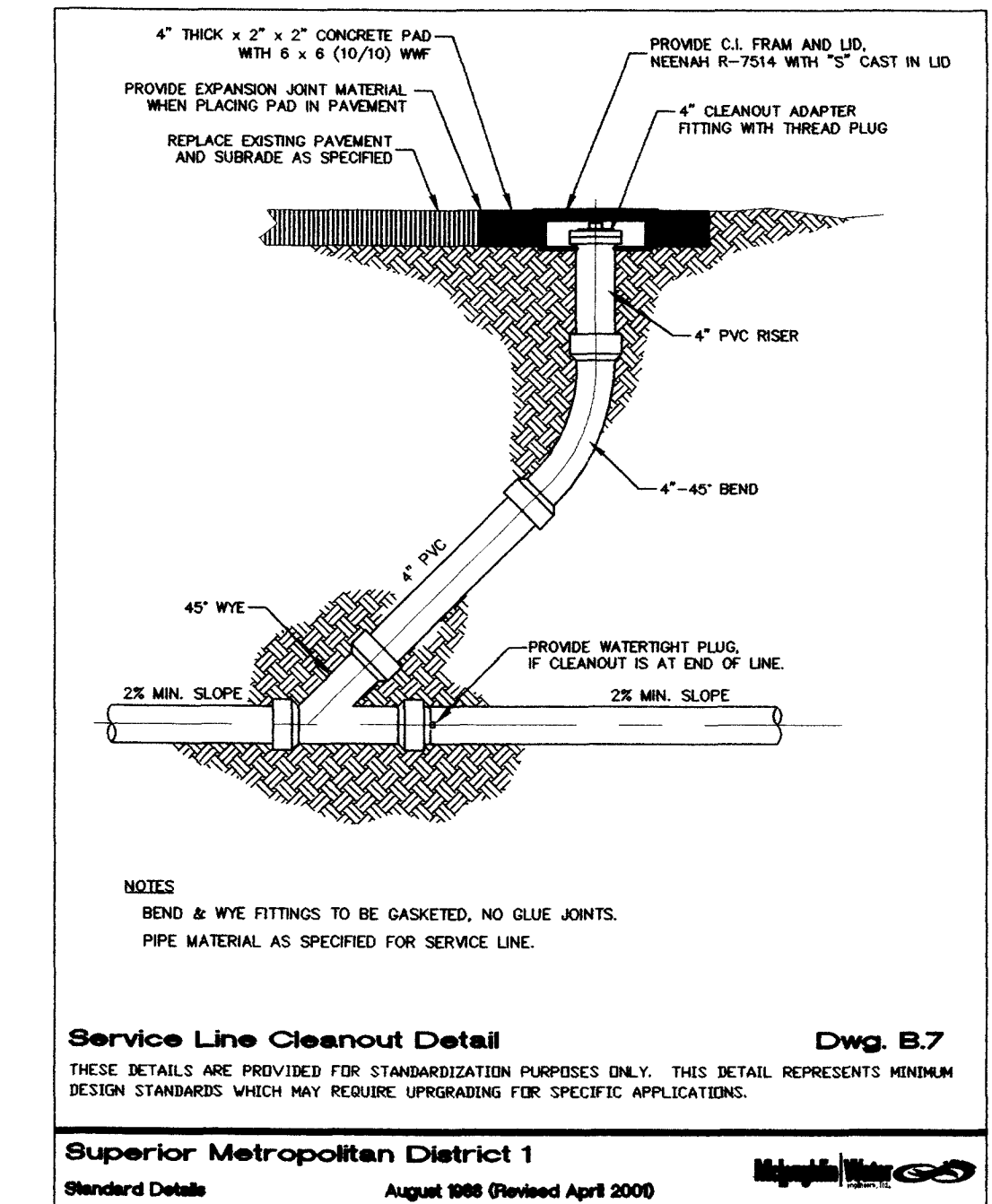
1.4 SEWER CROSSING WATER LINE DETAIL



1.5 RCP STORM SEWER PIPE TRENCH DETAIL



1.6 SEWER SERVICE CONNECTION DETAIL



1.7 SERVICE LINE CLEANOUT DETAIL

V3 Engineers Scientists Surveyors
 200 Union Boulevard, Suite 200
 Lakewood, CO 80228
 303.989.8588 voice
 303.989.9832 fax
 v3consultants.com

REVISIONS			
NO.	DATE	DESCRIPTION	
01	1 Feb 2002	REVISED PER TOWN COMMENTS	
02	26 Feb 2002	REVISED PER TOWN COMMENTS	
03	08 Mar 2002	REVISED PER TOWN COMMENTS	
	3/14/02		

SEAL: _____

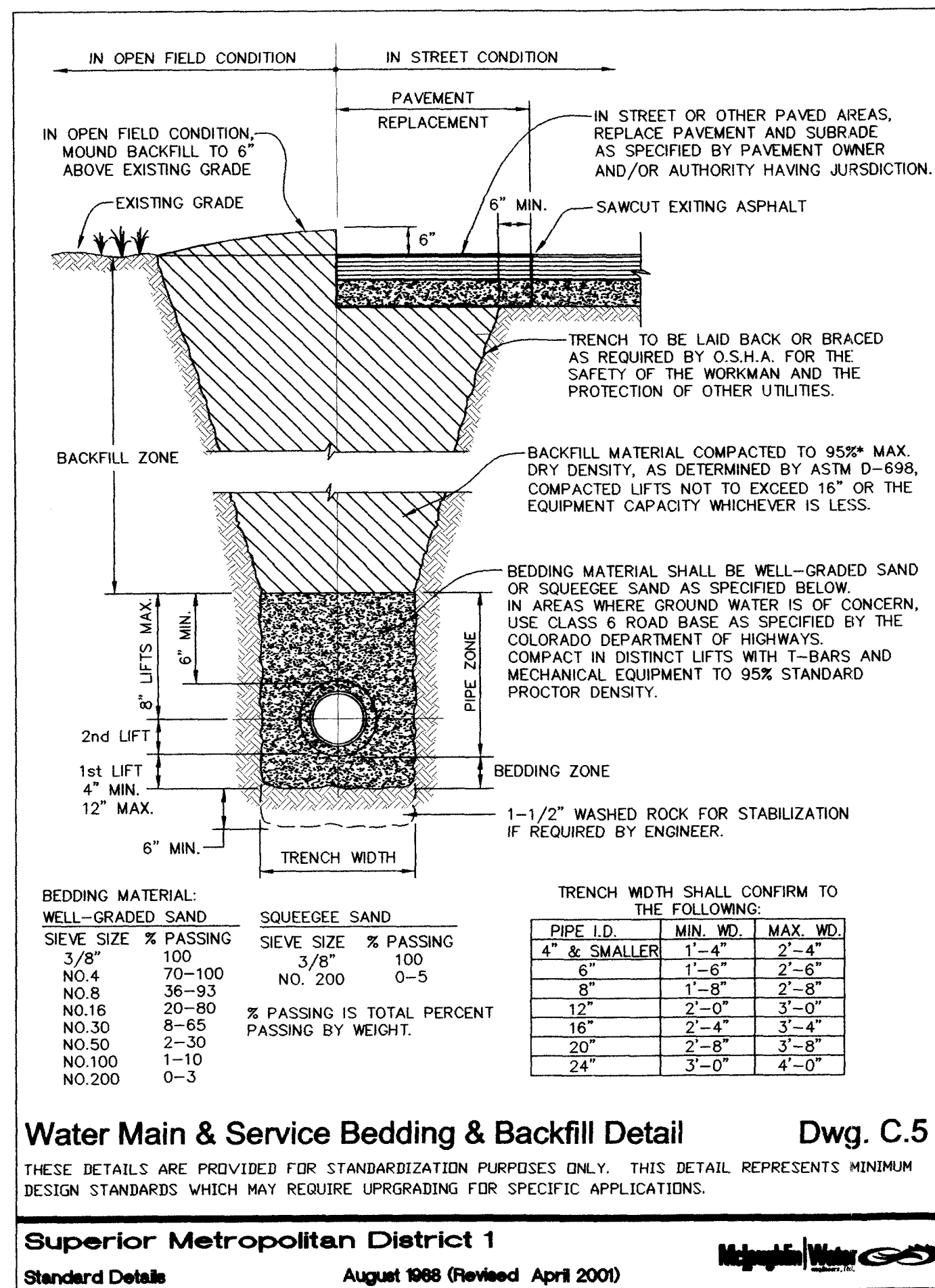
PROJ. NO.: 01036
 FILE NAME: C6.1-Details
 DATE: JAN. 3, 2002
 SCALE: NTS

DESIGNED BY: ANH
 DRAWN BY: DFS
 CHECKED BY: MDC
 PROJ. MANAGER: ANH

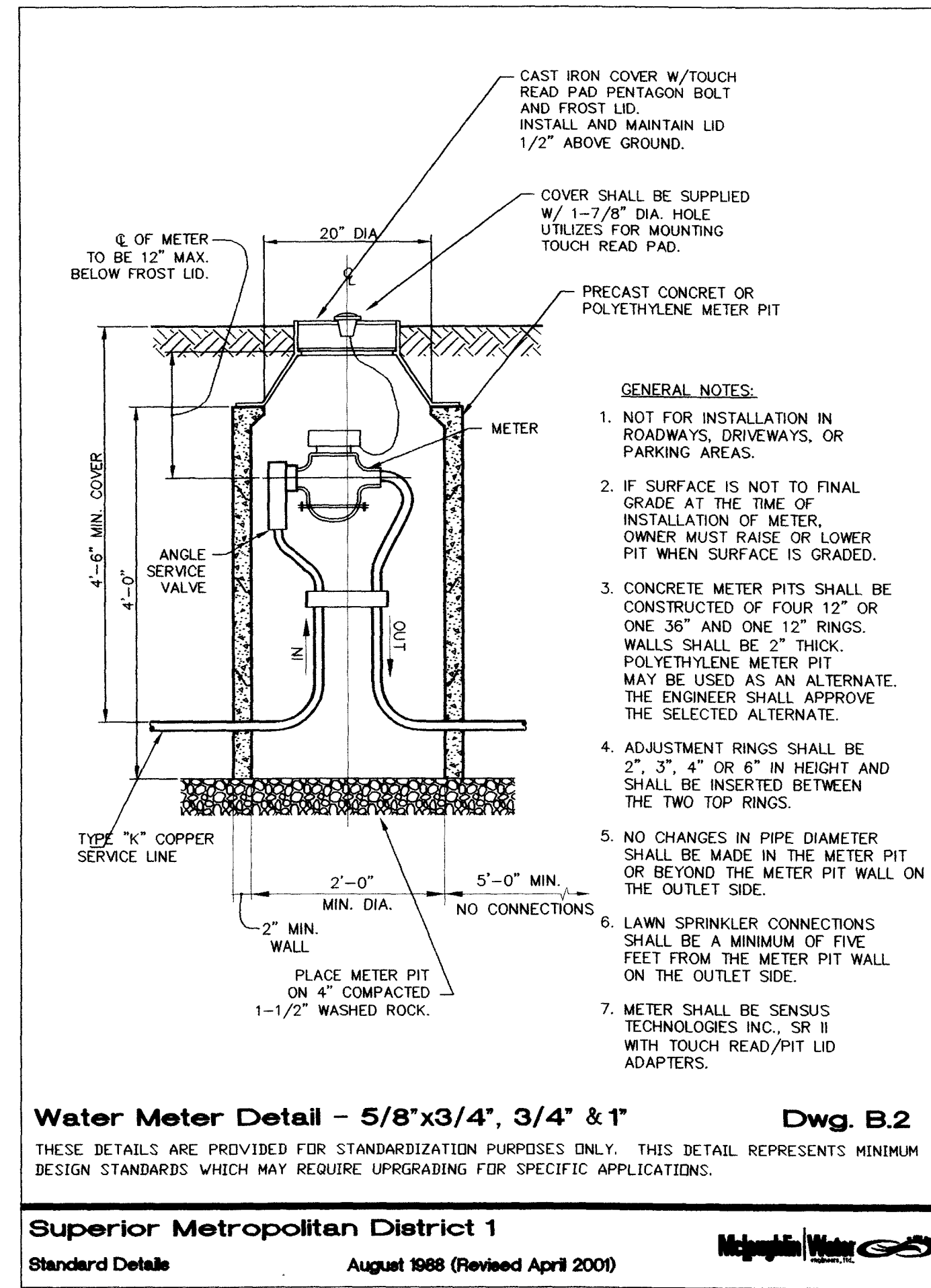
SUPERIOR MARKETPLACE SHOPS D
 PHASE IV
 SUPERIOR COLORADO

CONSTRUCTION DETAILS
C6.1
 DRAWING NO.

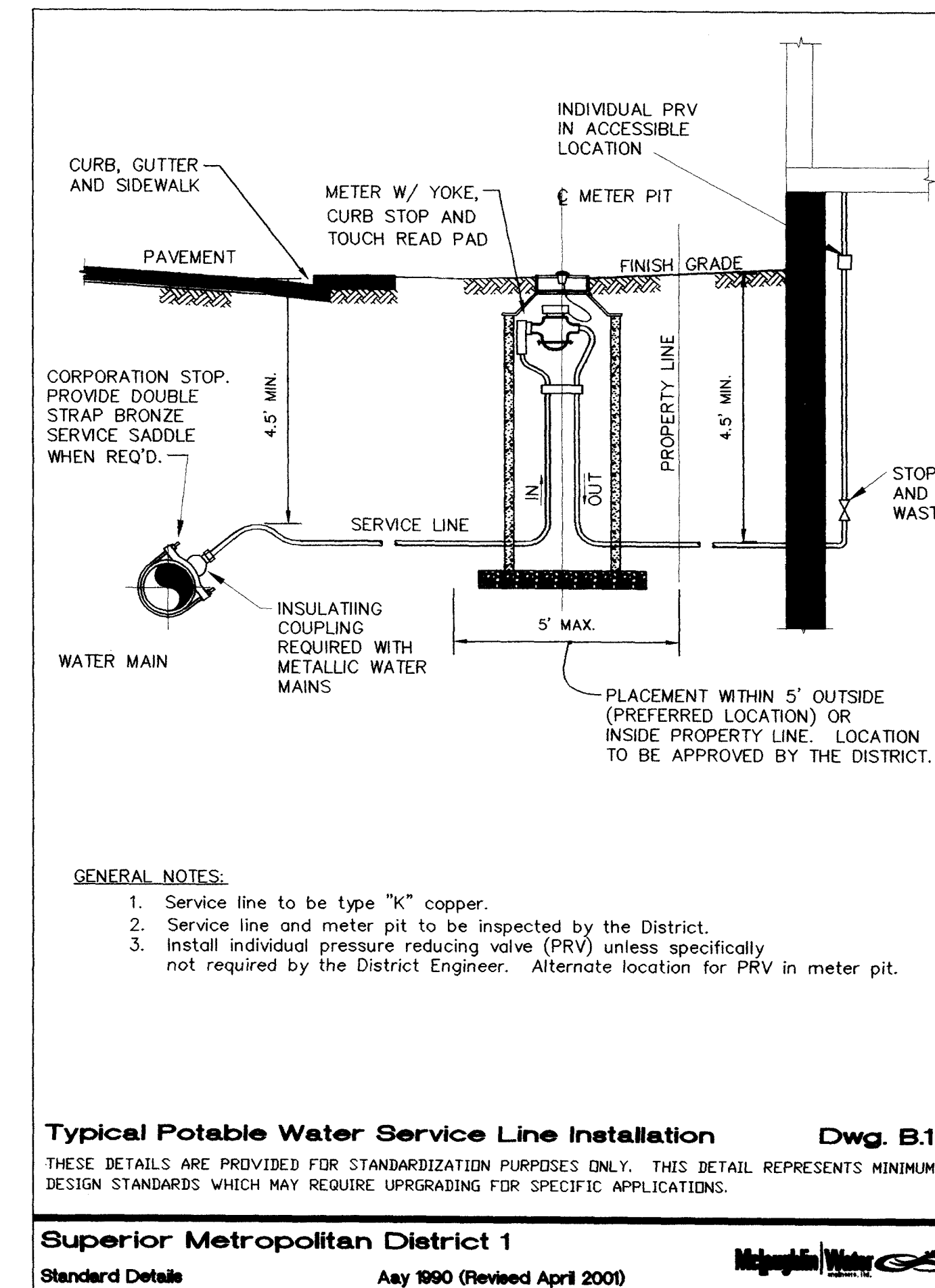
"THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS."



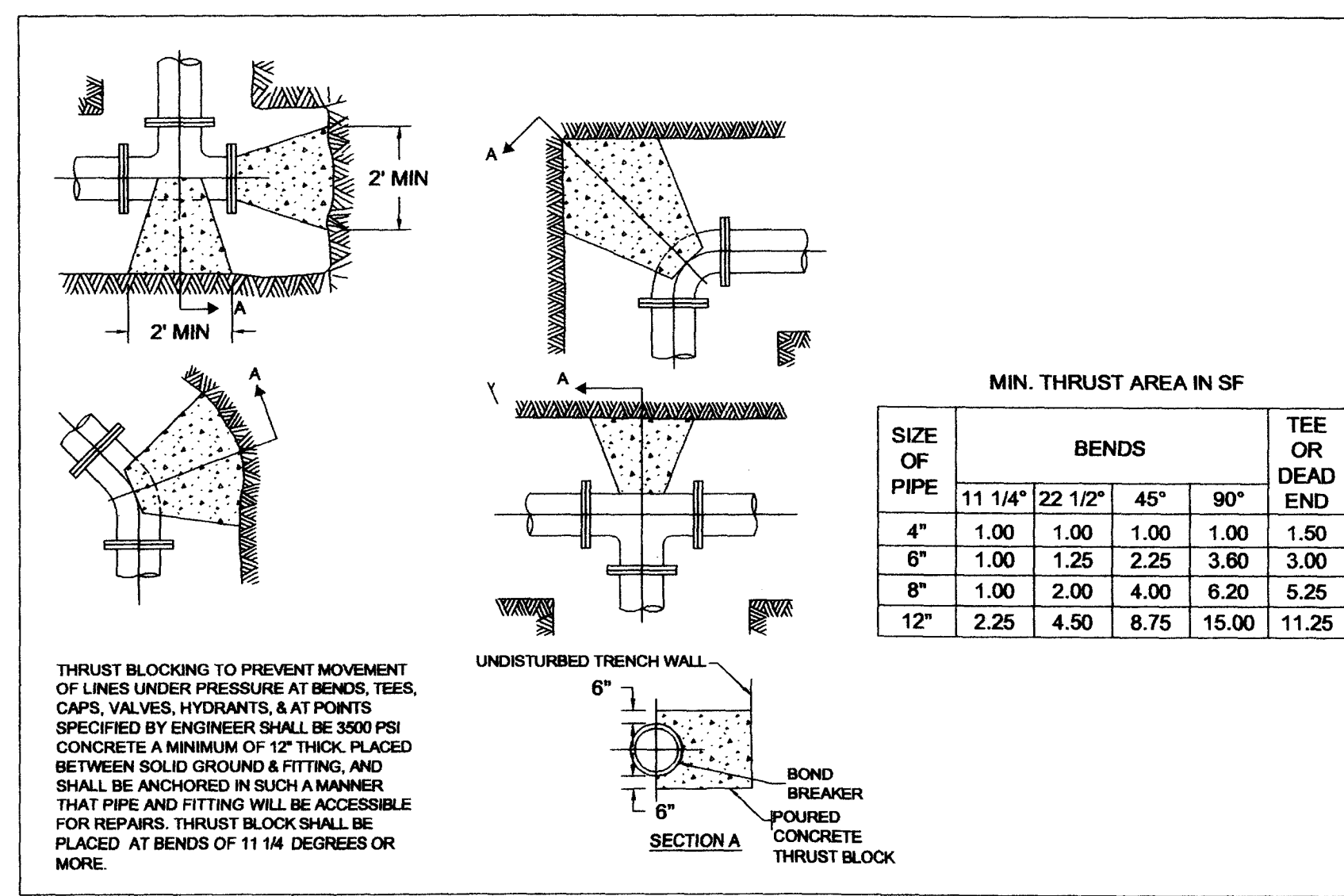
2.1 WATER MAIN & SERVICE BEDDING & BACK FILL DETAIL



2.2 WATER METER DETAIL 3/4\"/>



2.3 POTABLE WATER SERVICE LINE INSTALLATION



2.4 THRUST BLOCK DETAIL

V3 Engineers
Scientists
Surveyors

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9932 fax
v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
01	1 Feb 2002	REVISED PER TOWN COMMENTS			
02	26 Feb 2002	REVISED PER TOWN COMMENTS			
03	08 Mar 2002	REVISED PER TOWN COMMENTS			
	3/14/02				

SEAL:

PROJ. NO.: 01036
FILE NAME: C6.2-Details
DATE: JAN 3, 2002
SCALE: NTS

DESIGNED BY: ANH
DRAWN BY: DFS
CHECKED BY: MDC
PROJ. MANAGER: ANH

SUPERIOR MARKETPLACE SHOPS D

PHASE IV

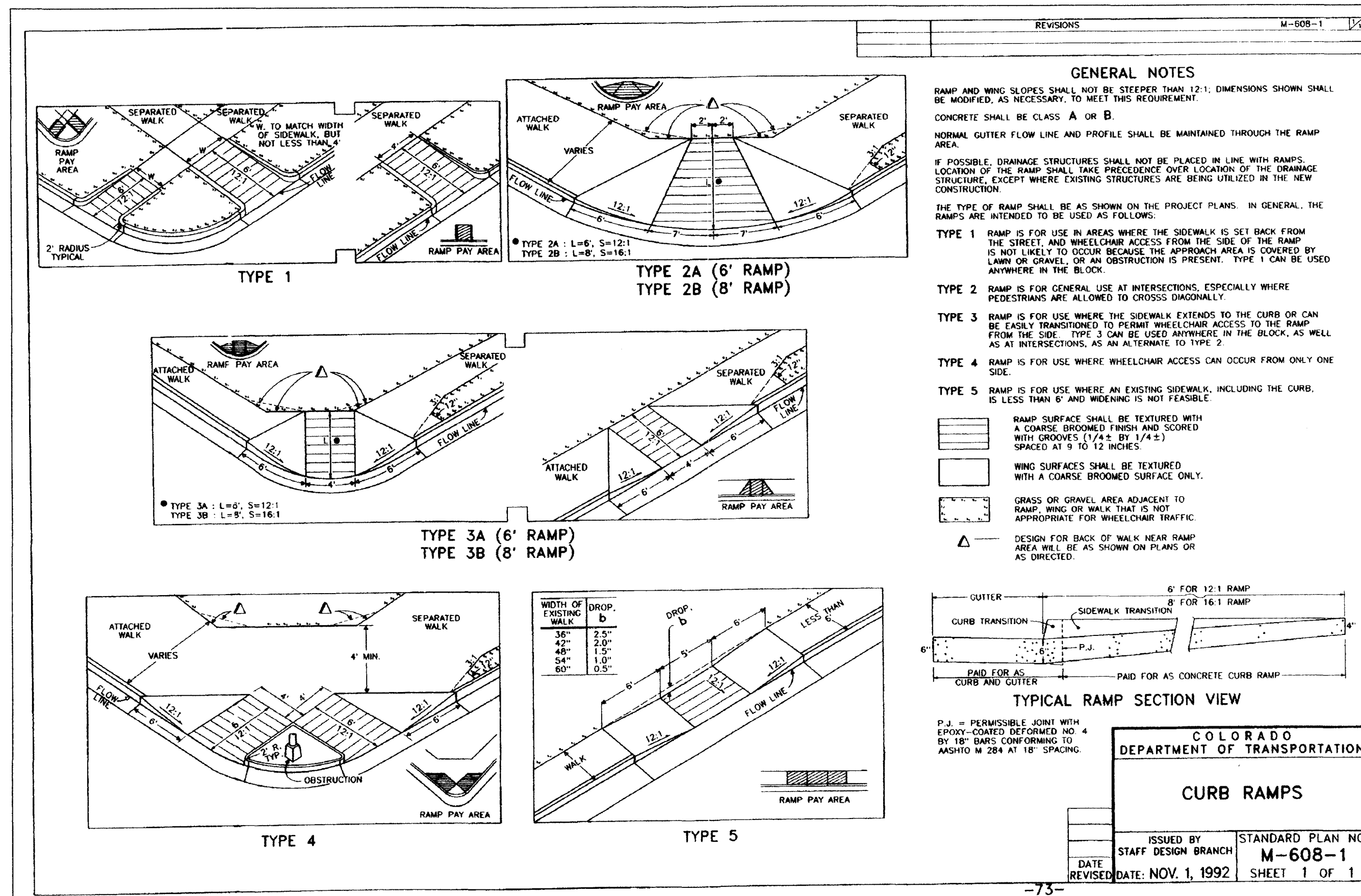
COLORADO

CONSTRUCTION DETAILS

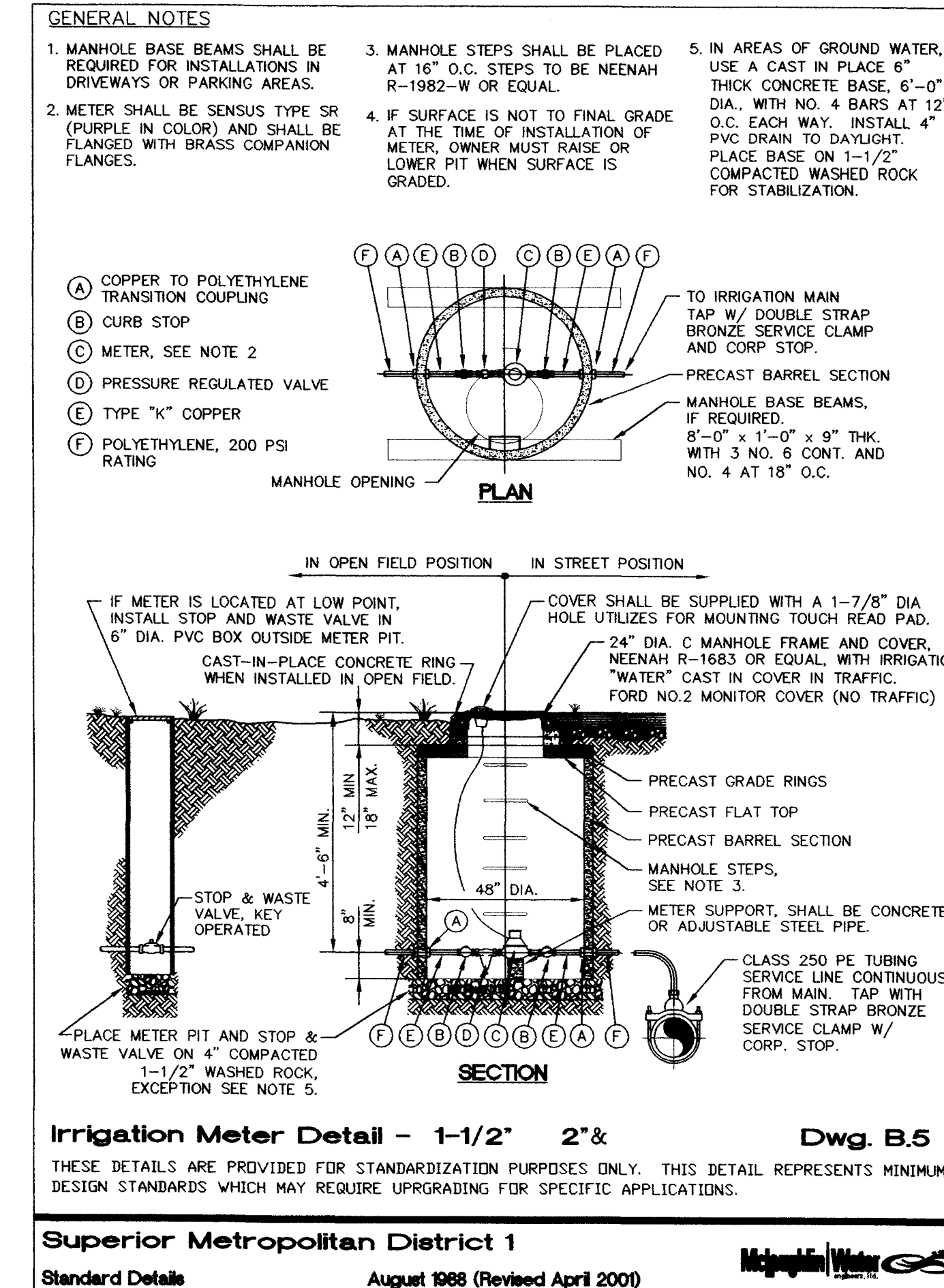
C6.2

DRAWING NO. C6.2

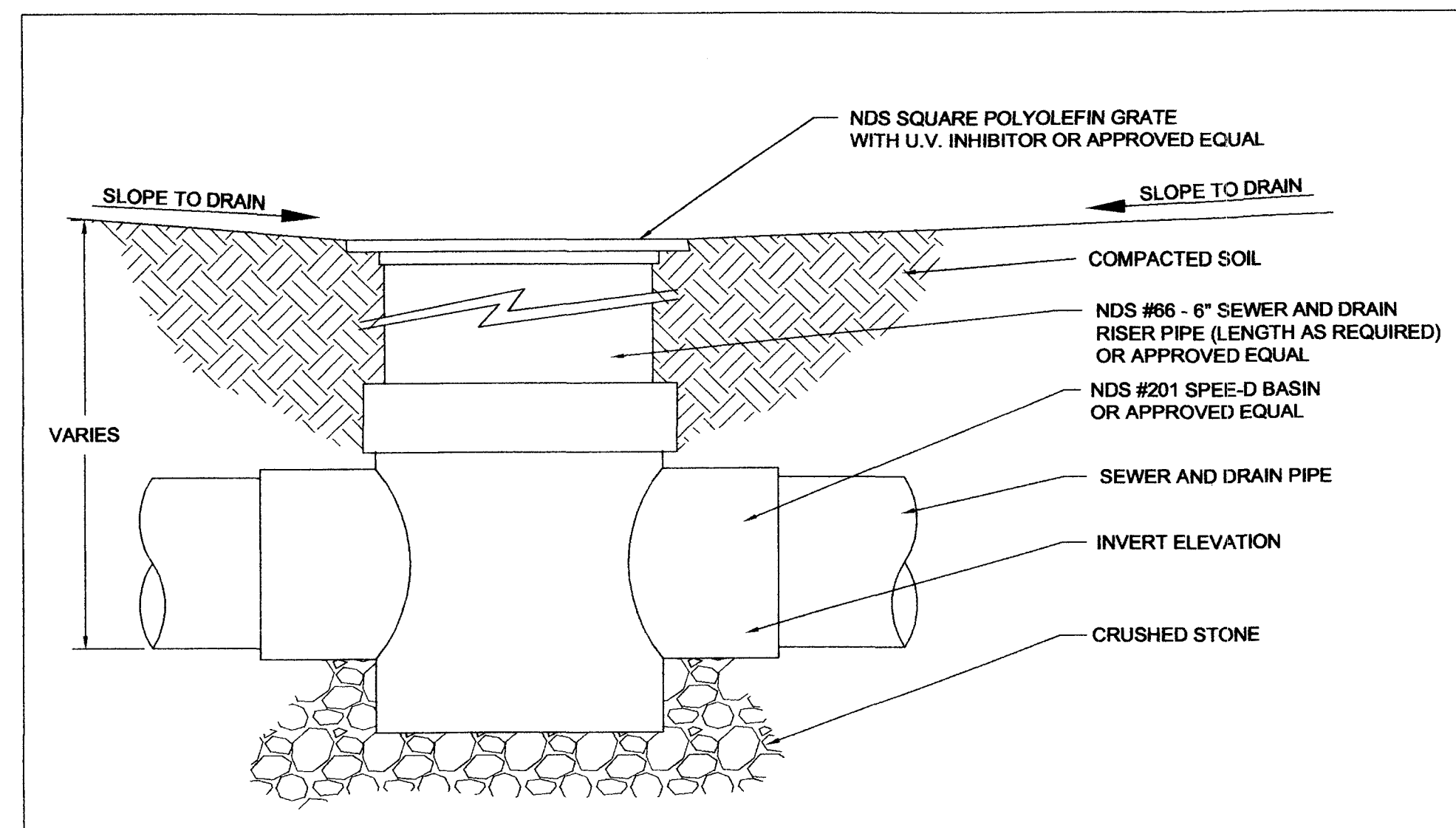
THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.



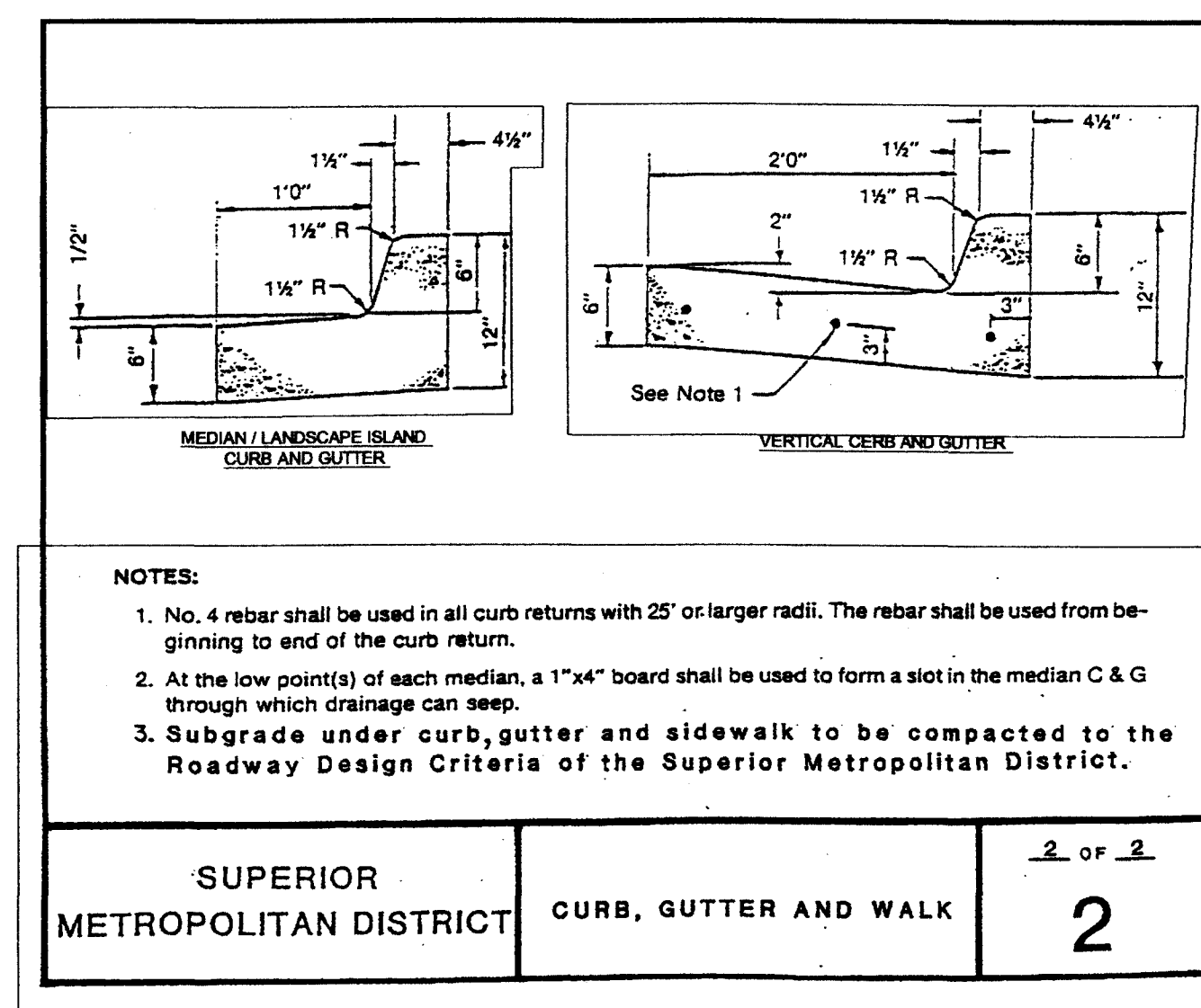
3.1 CURB RAMPS



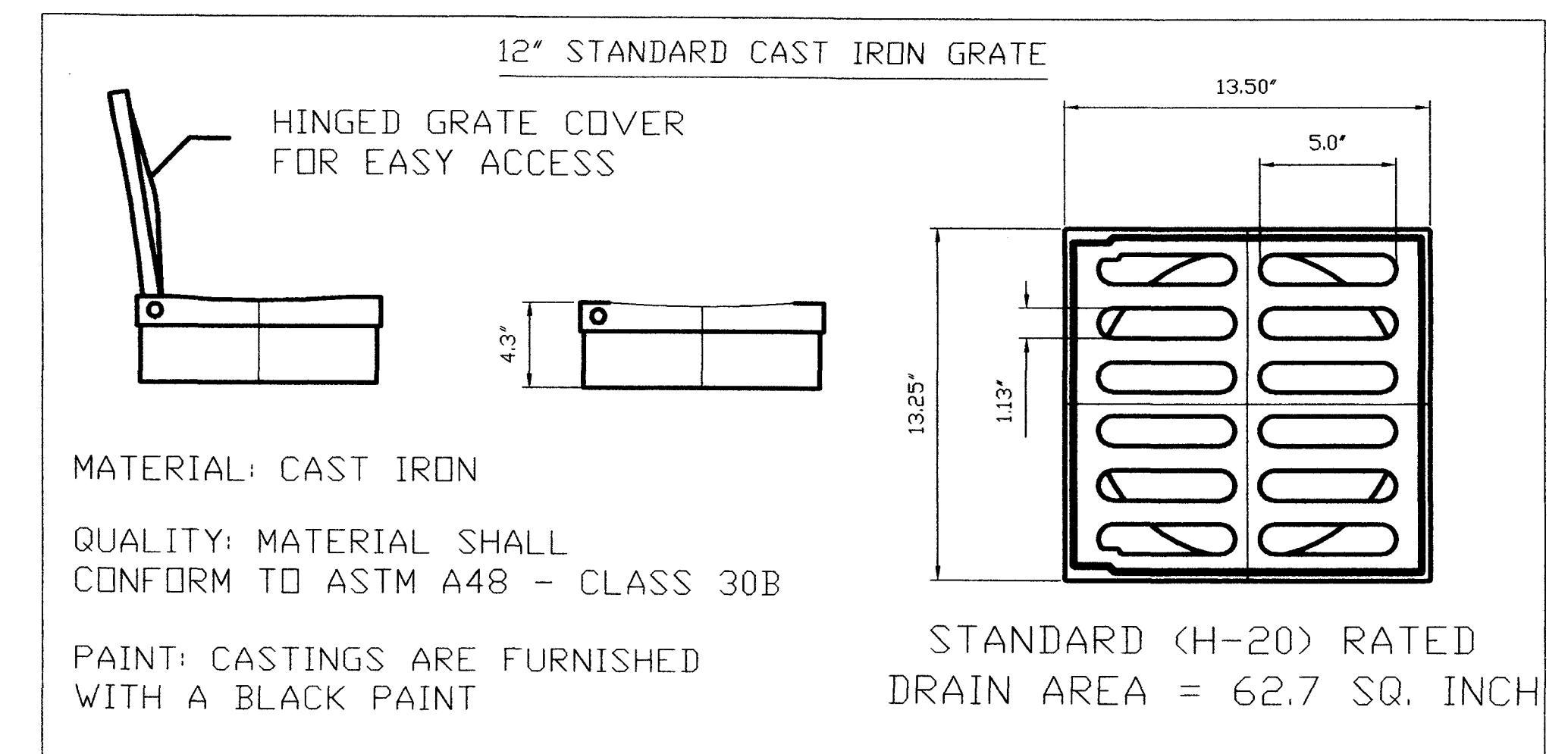
3.2 IRRIGATION METER 1-1/2" & 2"



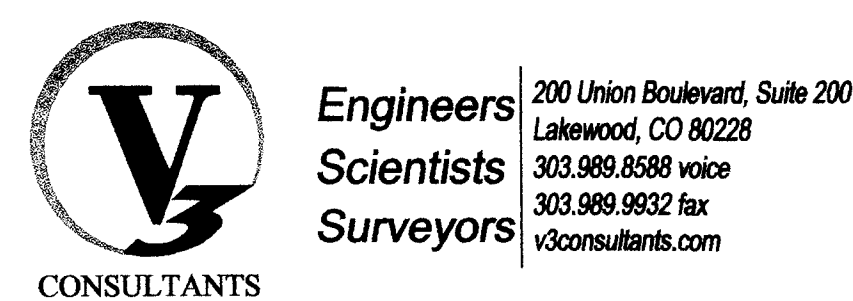
3.3 NDS 1210 INLET



3.4 CURB & GUTTER DETAIL



3.5 12" STANDARD CAST IRON GRATE



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
01	1 Feb 2002	REVISED PER TOWN COMMENTS			
02	26 Feb 2002	REVISED PER TOWN COMMENTS			
03	08 Mar 2002	REVISED PER TOWN COMMENTS			
	3/14/02				

SEAL:

PROJ. NO.: 01036
FILE NAME: C6.3-Details
DATE: JAN 3, 2002
SCALE: NTS

DESIGNED BY: ANH
DRAWN BY: DFS
CHECKED BY: MDC
PROJ. MANAGER: ANH

SUPERIOR MARKETPLACE SHOPS D
PHASE IV
COLORADO

CONSTRUCTION DETAILS

DRAWING NO. **C6.3**