

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN: SOUTHWEST QUADRANT

ELCOR DEVELOPMENT, LLC

A portion of Block 1, Lot 2 of Superior Marketplace Filing #1
 Located in the SE 1/4 of Section 13 and the N 1/2 of the NE 1/4 of Section 24, T1S, R70W of the 6th P.M. Town of Superior, County of Boulder, State of Colorado

SITE DEVELOPMENT CRITERIA

Maximum Building Height:
 Retail: 35' (flat parapet height)
 50' (entry elements, towers, or sloped roofs)
 Theater building: 55'

Retail Building Setbacks:
 From Public R.O.W.: 20' min.
 From Internal Property Lines: 0'

Min. Separation Between Freestanding Buildings: 0'

Parking Setbacks:
 From all Public R.O.W.: 20' min.
 From Internal Arteries: 10' min.

Typical Parking Stall: 9' x 18'

Typical Handicap Space: 14' x 18' (includes 5' aisle)

Typical Parking Aisle: 24' wide

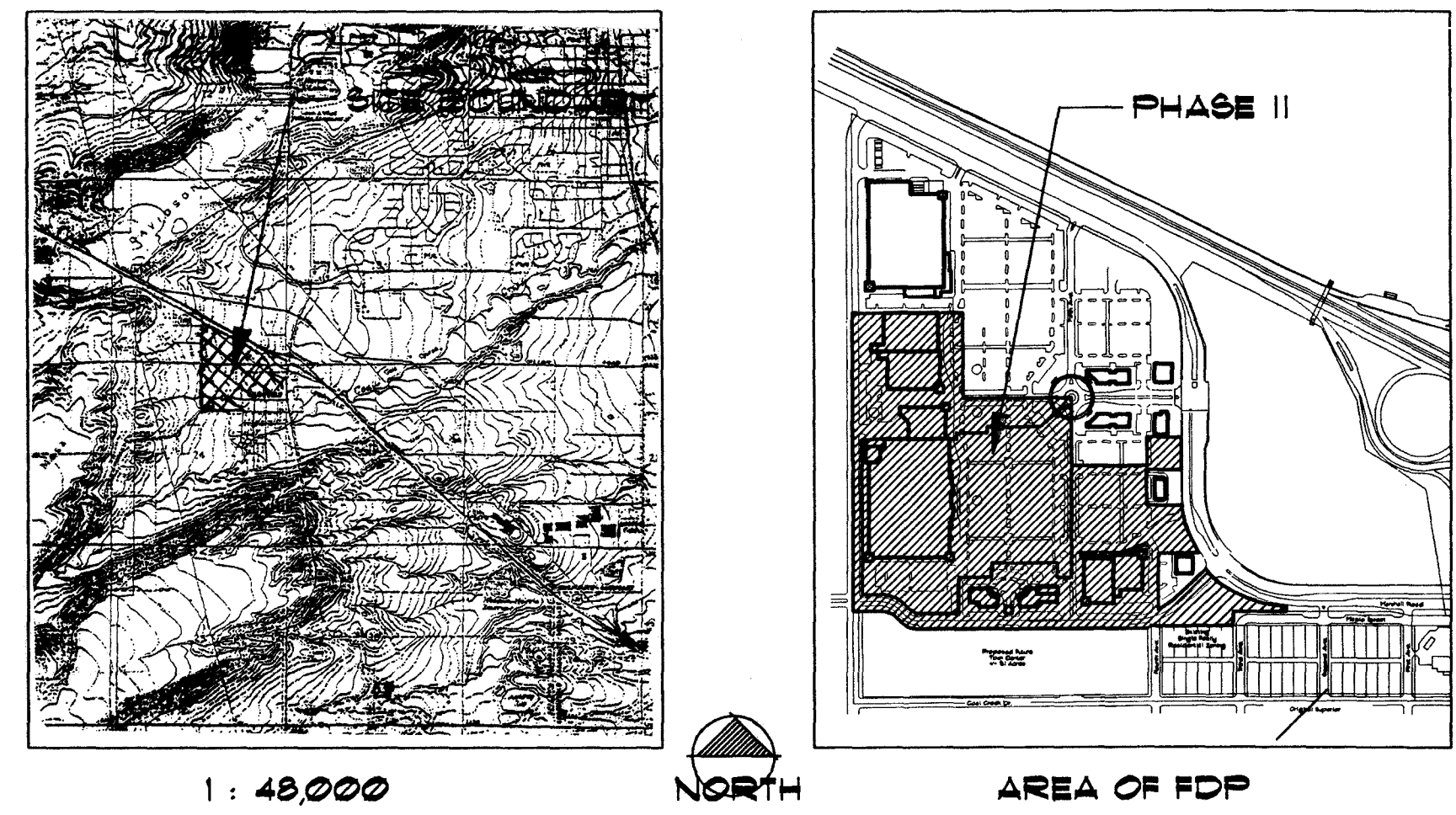
Internal Arteries: 25' min. flowline to flowline

* Rear of in-line buildings facing a R.O.W. shall be setback a minimum of 25' from R.O.W.

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VICINITY MAPS



LAND USE TABLE

NOTE: ALL CALCULATIONS BASED UPON THE ENTIRE EVENTUAL SITE AREA.
 CURRENT LEGAL DESCRIPTION (97.8 ACRES) DOES NOT INCLUDE LAND TO BE ACQUIRED FROM CDOT.

SURA Site Area:	97.8 Acres	100%	Net Right-of-Way Area:	11.6 Acres	12.0%
Future Development Parcel:	9.1 Acres	9.3%	Right-of-Way:		
Gross Development Area:	68.7 Acres	90.7%	Marshall Rd.	5.64 Acres	5.8%
Gross Development Area includes R.O.W. areas as well as Retail Development.			Extended Sycamore St.	2.38 Acres	2.4%
Density:	Commercial: 7,682 s.f./acre (F.A.R. Of .16)		Extended Fifth Ave.	0.40 Acres	0.4%
Breakdown:			East Side of 76th St.	2.34 Acres	2.4%
Building Area Subtotal:	679,065 S.F. (15.6 Ac)	17.6%	North Side of Coal Cr.	0.85 Acres	0.9%
Unobstructed Open Space:	22.8 Acres	25.7%			
Other Open Space:	3.4 Acres	3.8%			
Walks in front of buildings Plazas less than 5,000 s.f. Islands less than 400 s.f.					
Paving Area Subtotal:	46.9 Acres	52.0%			
Roadways, drives, loading areas, and parking lots					
Total:	68.7 Acres	100% of gross			
Parking Data/Requirements:					
Provided: Total site spaces:	4,171 Spaces				
Retail development:	3,871 Spaces	5.69/1000 s.f.			
RTD Park-n-Ride:	300 Spaces				
Required Ratio:					
Retail: 4.8 spaces/1000 s.f. (min.)					
Freestanding Restaurants: 8 spaces/1000 s.f. (min.)					
Estimated Water Usage:	208,000 Gallons daily use				
Estimated Sewer Usage:	32 cfs daily use				
Phase II Area:	1,443,426 s.f. (33.1 Acres)				
Building Area:	330,200 s.f.				
Density:	9,976 s.f./acre (F.A.R. = 22.8%)				
Open Space:	RE: PD Sheet #16				
Parking Data/Requirements:					
Provided: Total spaces this phase:	1683 (5.09/1000)				
Additional spaces provided for traffic flow this phase					
Required Ratio:	4.8/1000 min.				

LEGAL DESCRIPTION

(Entire PD Area)

Seven parcels of land described as follows:

Commencing at the northeast corner of said section 24; thence S89°08'48"W along the north line of the northeast quarter of said section 24, 621.2 feet to the true point of beginning, said point being on the west line of that parcel of land recorded in book 878, page 272 of the Boulder County records;

Thence along the west line of said parcel the following two courses:

1. Thence S32°34'11"E, 240.5 feet;
2. Thence S56°47'25"E, 364.71 feet;

Thence S09°01'18"E along the east line of that parcel of land recorded at reception no. 994229 of the Boulder County records, 530.85 feet to the north right-of-way line of Maple Street as platted in blocks 1, 2, 3, 4, 5, 6, 7, and 8, Minks Addition to Superior;

Thence S89°48'20"W along the north right-of-way line of said Maple Street, 1273.45 feet to the west right-of-way line of 4th Avenue as platted in said subdivision;

Thence S00°11'22"E along the west right-of-way line of said 4th Avenue, 386.76 feet to the south line of the north half of the northeast quarter of said section 24;

Thence S89°44'20"W along said line, 1262.74 feet to the southwest corner of the north half of the northeast quarter of said section 24;

Thence N00°11'11"W along the west line of the north half of the northeast quarter of section 24, to the southwest corner of a tract of land recorded at reception number 480202, 982.03 feet;

Thence N89°08'48"E along the south line of said parcel of land recorded at reception number 480202, 280.0 feet;

Thence N00°11'11"W along the west line of 2 parcels of land recorded at reception numbers 480202 and 369237, 311.14 feet;

Thence S89°08'48"W along the north line of said parcel of land recorded at reception number 369237, said line also being the north line of the north half of the northeast quarter of said section 24, 280.0 feet to the north quarter corner of said section 24;

Thence N00°00'59"E along the west line of the southeast quarter of said section 13, 1249.99 feet to the south line of US Highway 36 as recorded in book 878, page 263 of the Boulder County records;

Thence along said south line of said highway as recorded in book 878, page 263 and book 876, page 267 of the Boulder County records the following four (4) courses:

1. Thence S63°11'05"E, 1686.42 feet;
2. Thence N26°48'53"E, 10.00 feet;
3. Thence S63°11'05"E, 350.00 feet;
4. Thence S32°40'58"E, 368.40 feet to the true point of beginning.

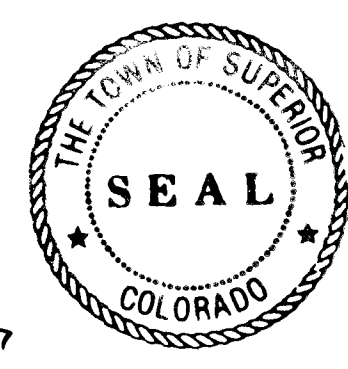
Said parcel contains 94.322 Acres, more or less.

TOWN BOARD OF TRUSTEES' CERTIFICATE

Approved this 15th day of November, A.D., 1999, by the Board of Trustees, Superior, Colorado. This approval is with the understanding that all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs, and sidewalks, shall be financed by others and not the Town of Superior.

Phyllis L. Herdin
Town Clerk

[Signature]
Mayor



PLANNING COMMISSION CERTIFICATE

Approved this 26th day of October, A.D., 1999.

[Signature]
Chairman - Superior Planning Commission

TOWN CLERK'S CERTIFICATE

I hereby certify that this instrument was filed in my office at 3:00 o'clock P.M. this 16th day of April, A.D., 2001, and is duly recorded.

Phyllis L. Herdin
Town Clerk

GENERAL NOTES

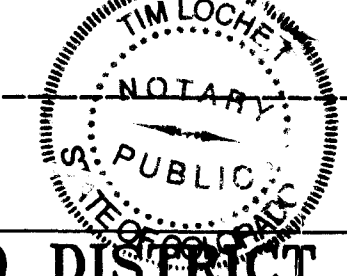
1. Any merchant's trailer rigs without tractors shall be parked entirely behind full height screen walls, typ.
2. All seasonal sales areas are subject to special use permit, each usage.
3. All tenants (except Super Target) presented this FDP shall be limited to hours of operation defined as from 7 am to 10 pm daily. Super Target's hours of operation shall be 7am to midnight. All tenants shall be allowed to stay open until midnight between November 15 and December 24.
4. Deliveries to the Super Target may commence at 5:00 am and must end at 10:00 pm, provided if there are more than three convictions for noise violations for deliveries prior to 7:00 am in any six month period, no deliveries shall be made prior to 7:00 am.
5. No deliveries shall occur between 10:00 pm and 7:00 am except as provided for Super Target in #4 above.
6. Target shall monitor the noise levels of its loading areas for two months after opening of Target to determine the decibel level and provide a report thereof to the town.

CERTIFICATE OF OWNERSHIP

I certify that Elcor Development, LLC is the owner of portions of property, and has the right to immediate possession of the remainder of the property under eminent domain actions filed by the Superior Urban Renewal Authority and I consent to the above F.D.P. This Final Development Plan and any amendments hereto, upon approval by the Town of Superior and recording, shall be binding upon the applicants therefore, their successors and assigns. This Plan shall limit and control the issuance and validity of all building permits, and shall restrict and limit the construction, location, use, occupancy and operation of all land and structures within this Plan to all conditions, requirements, locations, and limitations set forth herein. Abandonment, withdrawal or amendment of this Plan may be permitted only upon approval of the Town of Superior.

In witness whereof I hereunto set my hand this 21st day of January, 1999, by [Signature] manager, [Signature] vice president, and [Signature] president.

NOTARIAL:
 The foregoing instrument was acknowledged before me this 20th day of October, A.D. 1999, by William Wau as manager of Elcor Development, LLC, a corporation and [Signature] as president of [Signature] my commission expires 12-31-06.



SUPERIOR METRO DISTRICT #1 CERTIFICATE

Attest:
[Signature] Matthew J. Deibel, President
[Signature] Susan K. Spence
[Signature] Deborah D. McCoy, Secretary
[Signature] Lisa Johnson

VESTED RIGHTS

This plan constitutes a site specific development plan as defined in 24-68-01, et seq., and C.R.S. and Superior Municipal Code 16-572. The terms and conditions of such approval are contained in Resolution No. 99-R-52 adopted by the Town of Superior on 11-15-99 and available at the Superior Town Hall, 124 E. Coal Creek Drive, Superior, Colorado. These rights terminate on November 15, 2002.

DEVELOPER

Elcor Development, L.L.C.
 4040 EAST CAMELBACK ROAD SUITE 250
 PHOENIX, ARIZONA 85018
 602.640.3000
 FAX: 602.640.8101
 TOM ALFORD

CIVIL ENGINEER

Hydro-Triad/V3, Colorado
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 PH: 303.989.8588 FAX: 303.989.9932
 JOHN LACOUTURE MARK CEVAAL

LANDSCAPE ARCHITECT

Norris/Dullea
 710 WEST COLFAX WHEAT RIDGE, COLORADO 80204
 PH: 303.892.1168 FAX: 303.989.9932
 DOUG CRAIG JOHN BIRKEY

ARCHITECT/PLANNER

(for Master Developer)
 The Mulhern Group, Ltd.
 1730 BLAKE ST. #436 DENVER, CO 80202
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 MICHAEL MULHERN DWAYNE DALE

ARCHITECT/PLANNER

(for Target)
 DHC Property Development
 1000 NICOLLET MALL, NM-12 MINNEAPOLIS, MN 55403
 PH: 612.761.1576 FAX: 612.761.3322
 GREG STRUVE CHRIS COONAN

JUNE 4th, 1999

REVISED:
 August 10, 1999 November 4, 1999
 September 7, 1999 December 29, 1999
 October 1, 1999 December 30, 1999

SUPERIOR MARKETPLACE

ELCOR DEVELOPMENT, LLC

AO

THE MULHERN GROUP, LTD.

Recorded At Boulder County
 on April 16, 2001.
 Reception # 2138163

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - OVERALL ARCHITECTURAL SITE REFERENCE PLAN

ELCOR DEVELOPMENT, LLC

PHASE TWO DESIGN NARRATIVE

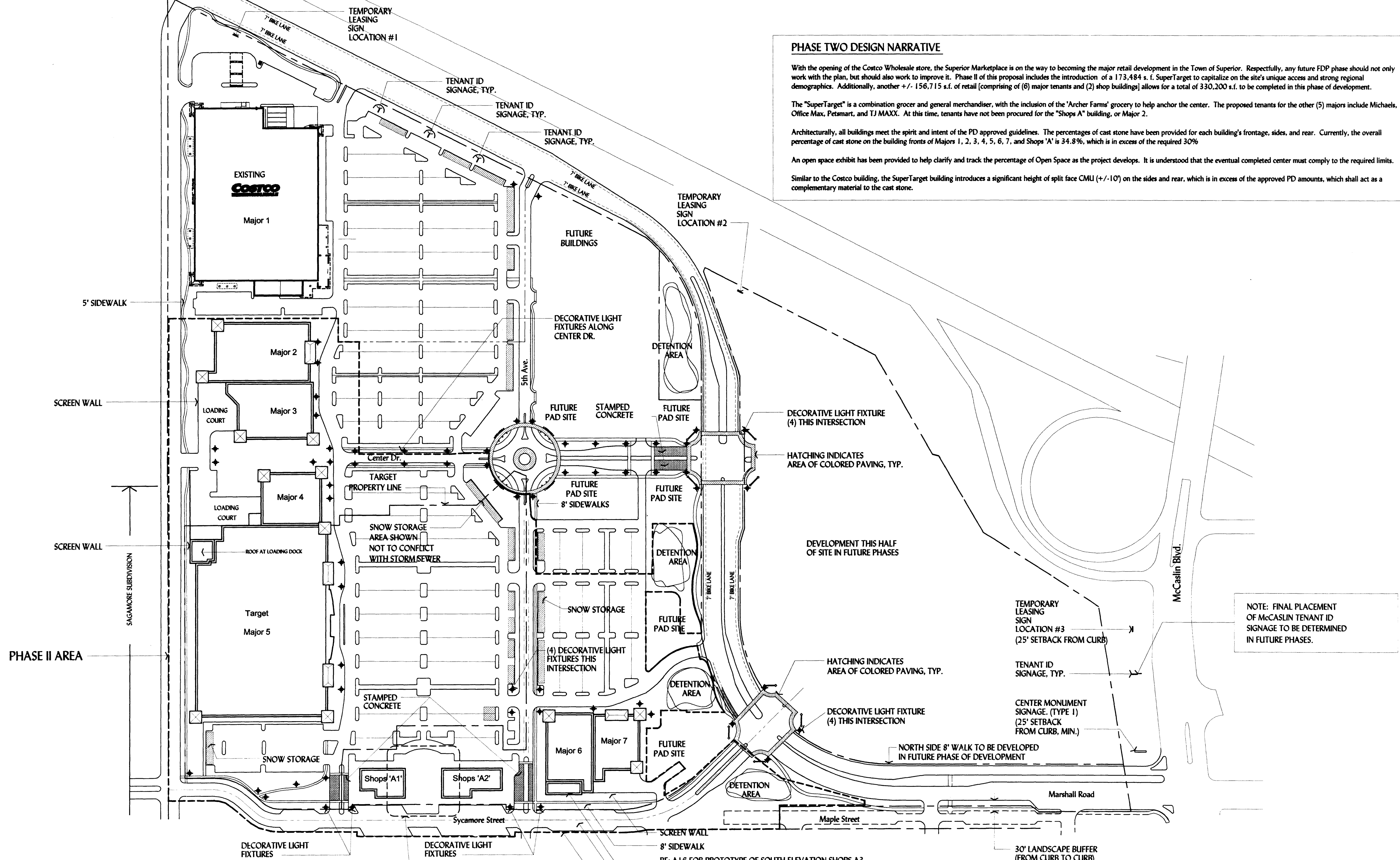
With the opening of the Costco Wholesale store, the Superior Marketplace is on the way to becoming the major retail development in the Town of Superior. Respectfully, any future FDP phase should not work with the plan, but should also work to improve it. Phase II of this proposal includes the introduction of a 173,484 s.f. SuperTarget to capitalize on the site's unique access and strong regional demographics. Additionally, another +/- 156,715 s.f. of retail (comprising of (6) major tenants and (2) shop buildings) allows for a total of 330,200 s.f. to be completed in this phase of development.

The "SuperTarget" is a combination grocer and general merchandiser, with the inclusion of the "Archer Farms" grocery to help anchor the center. The proposed tenants for the other (5) majors include Michaels, Office Max, PetSmart, and TJ MAXX. At this time, tenants have not been procured for the "Shops A" building, or Major 2.

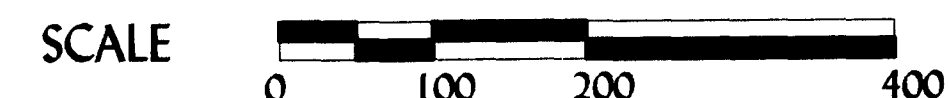
Architecturally, all buildings meet the spirit and intent of the PD approved guidelines. The percentages of cast stone have been provided for each building's frontage, sides, and rear. Currently, the overall percentage of cast stone on the building fronts of Majors 1, 2, 3, 4, 5, 6, 7, and Shops 'A' is 34.8%, which is in excess of the required 30%.

An open space exhibit has been provided to help clarify and track the percentage of Open Space as the project develops. It is understood that the eventual completed center must comply to the required limits.

Similar to the Costco building, the SuperTarget building introduces a significant height of split face CMU (+/-10') on the sides and rear, which is in excess of the approved PD amounts, which shall act as a complementary material to the cast stone.



PHASE TWO SUBMITTAL ARCHITECTURAL SITE/ REFERENCE PLAN



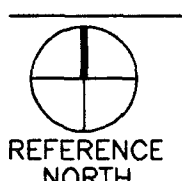
SCREEN WALL
8' SIDEWALK
RE: A1.6 FOR PROTOTYPE OF SOUTH ELEVATION SHOPS A3
SYCAMORE STREET R.O.W.
PHASE II AREA SHOWN DASHED

SUPERIOR MARKETPLACE PHASE TWO FDP SUBMITTAL SUPERIOR, COLORADO

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DATE	REVISION
6.4.99	FDP SUBMITTAL II
8.10.99	REVISION
8.20.99	REVISION
9.7.99	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	RE-SUBMITTAL
11.4.99	RE-SUBMITTAL
12.29.99	REVISION
12.30.99	" "

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: SITE PLAN



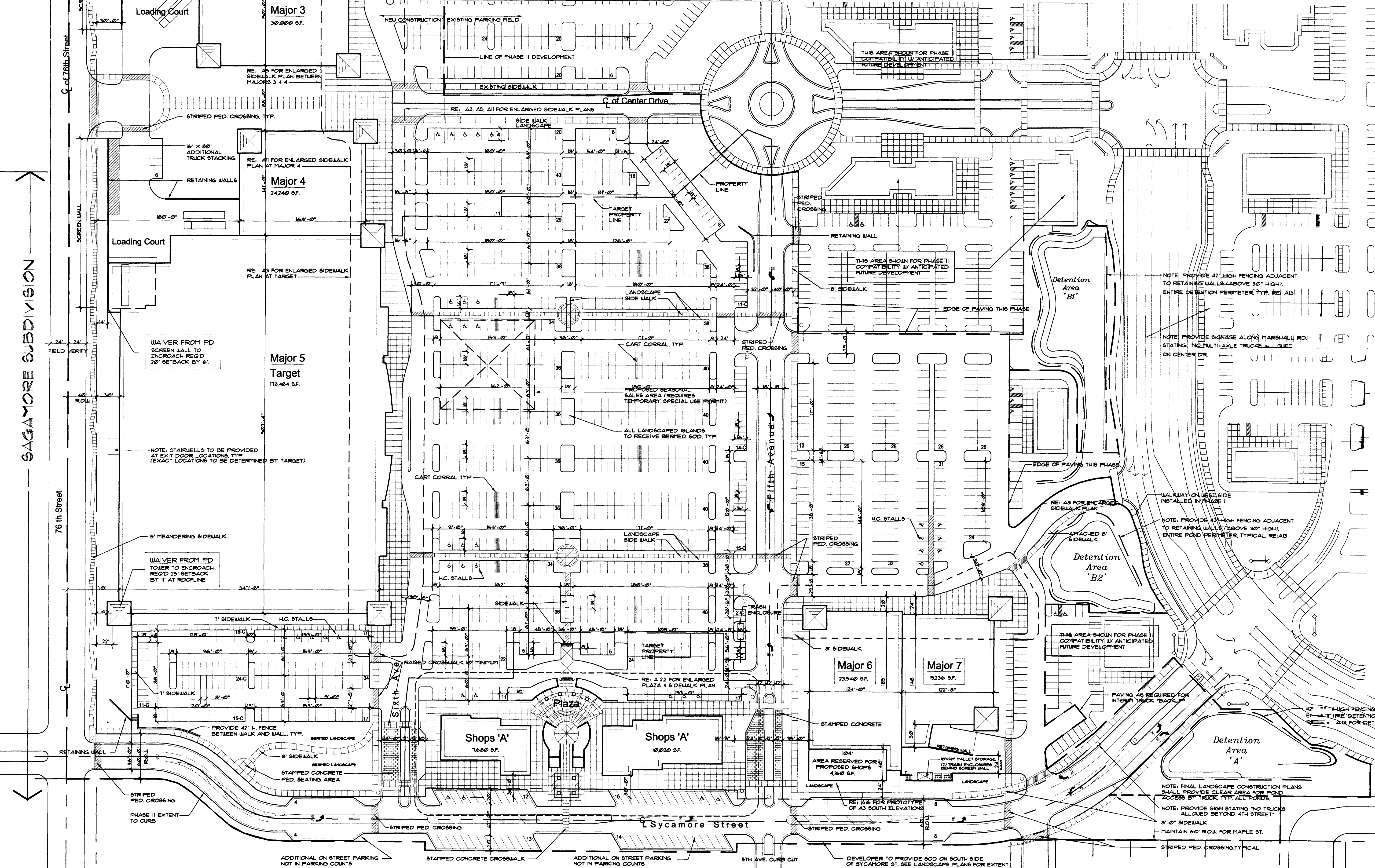
A1

SUPERIOR MARKETPLACE
PHASE TWO FDP SUBMITTAL
SUPERIOR, COLORADO

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10.15.99	RE-SUBMITTAL
11.4.99	RE-SUBMITTAL
12.29.99	REVISION
12.30.99	" "
SUPERIOR MARKETPLACE	
PROJECT NUMBER:	99010
DRAWN BY:	RAW
CHECKED BY:	DD/MGM
DESCRIPTION:	SITE PLAN

RE: A2.1 FOR CONTINUATION OF SITE PLAN THIS AREA



PARTIAL PHASE TWO
SITE PLAN
1"=60'

ADD
NOT

BUILDING DATA

MAJOR 2	42,000 S.F.
MAJOR 3	30,000 S.F.
MAJOR 4	24,240 S.F.
MAJOR 5 (TARGET)	173,434 S.F.
MAJOR 6	23,540 S.F.
MAJOR 7	19,236 S.F.
SHOPS 'A'	17,700 S.F.
TOTAL:	330,200 S.F.

PARKING @ TARGET

BUILDING DATA:	
BUILDING AREA	173,434 S.F.
PARKING DATA:	
PARKING PROVIDED	867 SPACES
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA	5.0 SPACES

PARKING @ MAJORS 2, 3, & 4

BUILDING DATA:	
BUILDING AREA	96,240 S.F.
PARKING DATA:	
PARKING PROVIDED	462 SPACES
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA	4.8 SPACES

PARKING @ SHOPS 'A'

BUILDING DATA:	
BUILDING AREA	17,700 S.F.
PARKING DATA:	
PARKING PROVIDED	101 SPACES
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA	5.7 SPACES

PARKING @ MAJORS 6 & 7

BUILDING DATA:	
BUILDING AREA	43,796 S.F.
PARKING DATA:	
PARKING PROVIDED	253 SPACES
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA	5.7 SPACES

NOTE: STALLS DESIGNED FOR SHOPS 'A' INCLUDE ON STREET PARKING ONLY ON THE NORTH SIDE OF SYCAMORE ST.

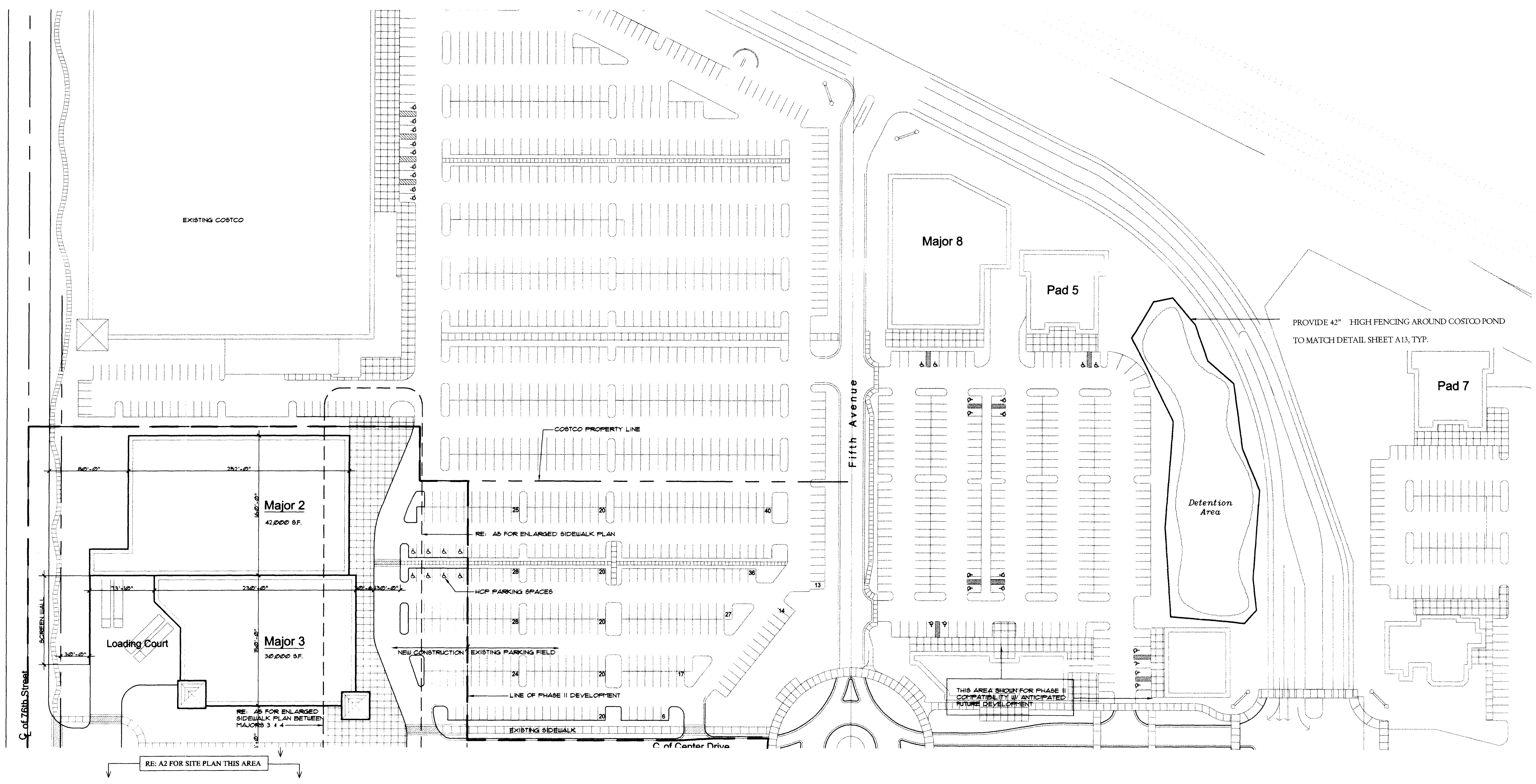
NOTE: PARKING #S FOR PHASE II ONLY. STALLS WILL BE UTILIZED BY PADS IN FUTURE PHASES. UPON PAD DEVELOPMENT MAJORS 6 & 7 SHALL HAVE 210 SPACES AND A 4.8/1000 RATIO

SUPERIOR MARKETPLACE
PHASE TWO FDP SUBMITTAL
SUPERIOR, COLORADO

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10.15.99	RE-SUBMITTAL
11.4.99	RE-SUBMITTAL
12.29.99	REVISION

SUPERIOR MARKETPLACE
 PROJECT NUMBER: 99010
 DRAWN BY: RAW
 CHECKED BY: DD/MGM
 DESCRIPTION: SITE PLAN



PARTIAL PHASE TWO
SITE PLAN
 1"=60'

BUILDING DATA	
TARGET	173,484 S.F.
MAJOR 2	42,000 S.F.
MAJOR 3	30,000 S.F.
MAJOR 4	24,240 S.F.
MAJOR 6	23,540 S.F.
MAJOR 7	19,236 S.F.
SHOPS 'A'	17,700 S.F.
TOTAL: 330,200 S.F.	

PARKING @ MAJORS 2, 3, & 4	
BUILDING DATA:	
BUILDING AREA	96,240 S.F.
PARKING DATA:	
PARKING PROVIDED	462 SPACES
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA	4.8 SPACES
NOTE: 462 SPACES INCLUDE +/- 100 SPACES SOUTH OF CENTER DRIVE, (NOT SHOWN THIS PLAN. RE: A2.0)	

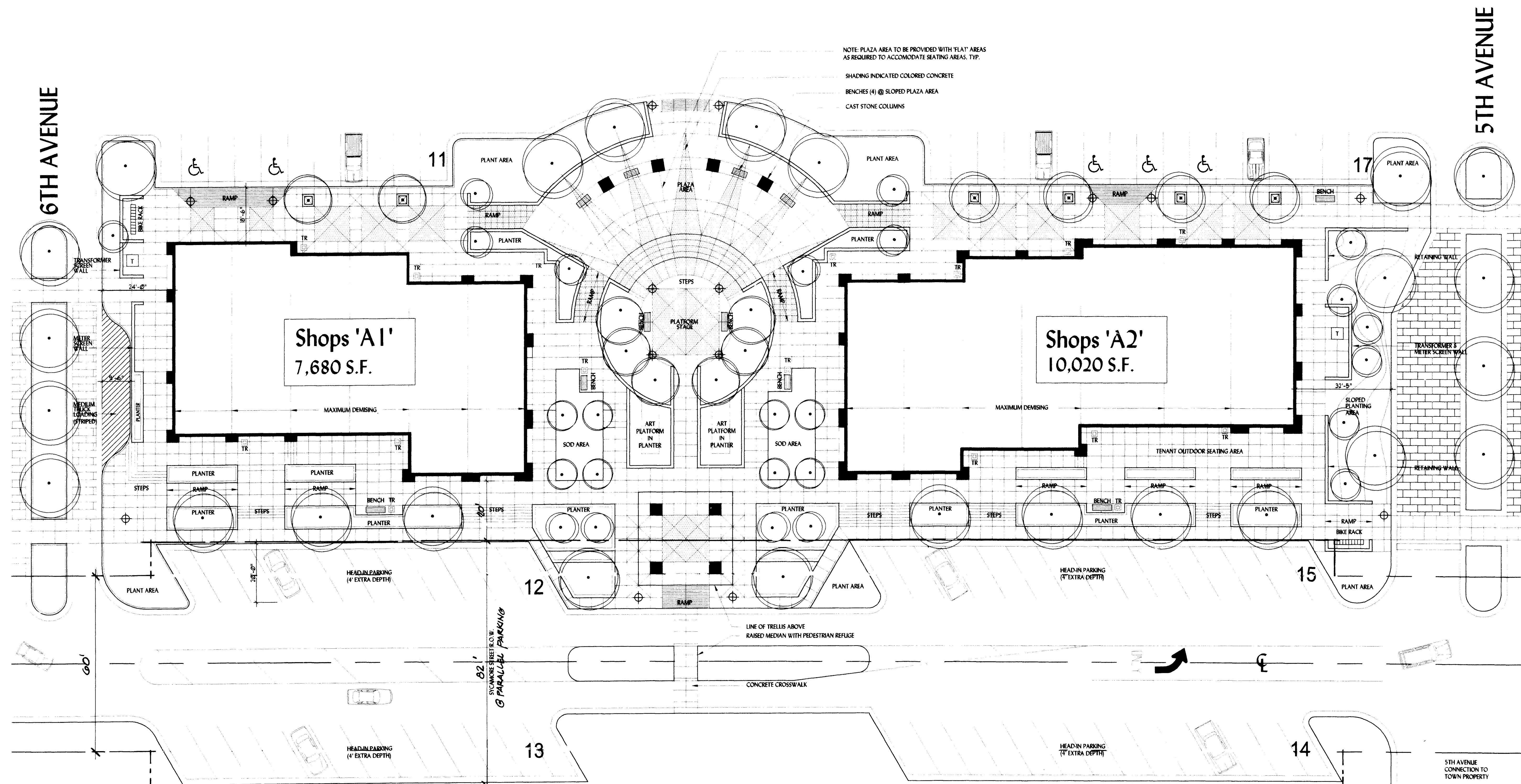
PHASE II BUILDING SETBACK CHART

	FROM 76TH ST. R.O.W.	FROM SYCAMORE ST. R.O.W.
MAJOR 2	30'-0"	N/A
MAJOR 3	103'-10"	N/A
MAJOR 4	180'-0"	N/A
MAJOR 5	30'-0"	170'-0"
MAJOR 6	N/A	36'-0"
MAJOR 7	N/A	70'-0"
SHOPS 'A'	N/A	24'-0"

NOTE: TARGET BUILDING HAS TOWERS AT THE BUILDING CORNERS THAT WILL ENCRACH UPON THE SETBACK

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - PLAZA AND SIDEWALK PLAN
 LICOR DEVELOPMENT, LLC

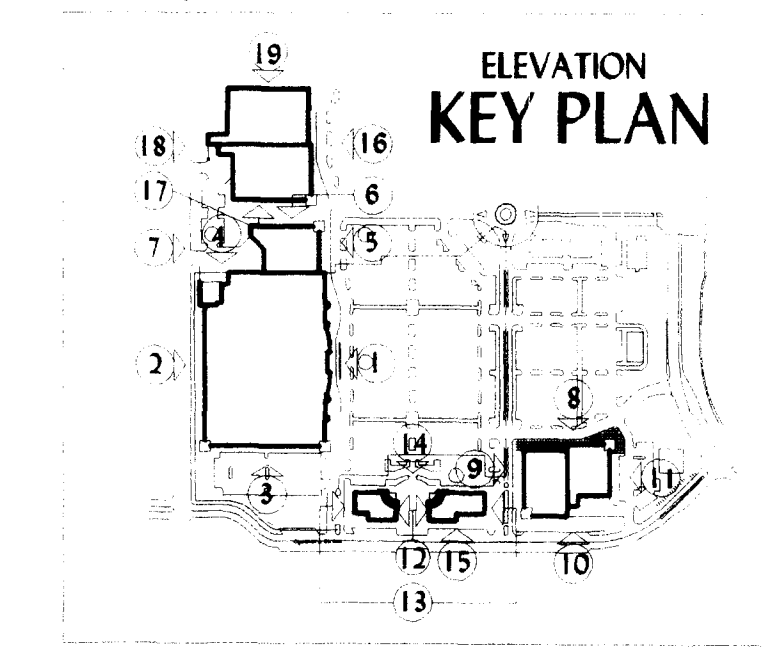


NOTE: PLAZA AREA TO BE PROVIDED WITH 'FLAT' AREAS AS REQUIRED TO ACCOMMODATE SEATING AREAS, TYP.
 SHADING INDICATED COLORED CONCRETE
 BENCHES (4) @ SLOPED PLAZA AREA
 CAST STONE COLUMNS

SHOPS 'A' PLAZA PLAN

LEGEND

- TR TRASH RECEPTACLE
- ORNAMENTAL LIGHT FIXTURE
- BENCH
- BIKE RACK
- SCORED CONCRETE (4" O.C.)
- COLORED CONCRETE (TAN & ROSE)
- STAMPED CONCRETE (STONE TEXTURE/ROSE COLOR)



ALL ELEVATIONS 1/16" = 1'-0"
 0 8 16 32

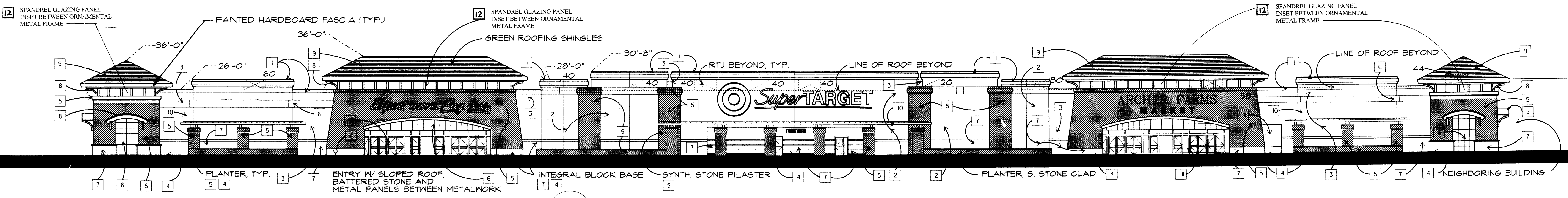
SHOPS 'A' PLAZA AND SIDEWALK PLAN

SUPERIOR MARKETPLACE
 PHASE TWO FDP SUBMITTAL
 SUPERIOR, COLORADO

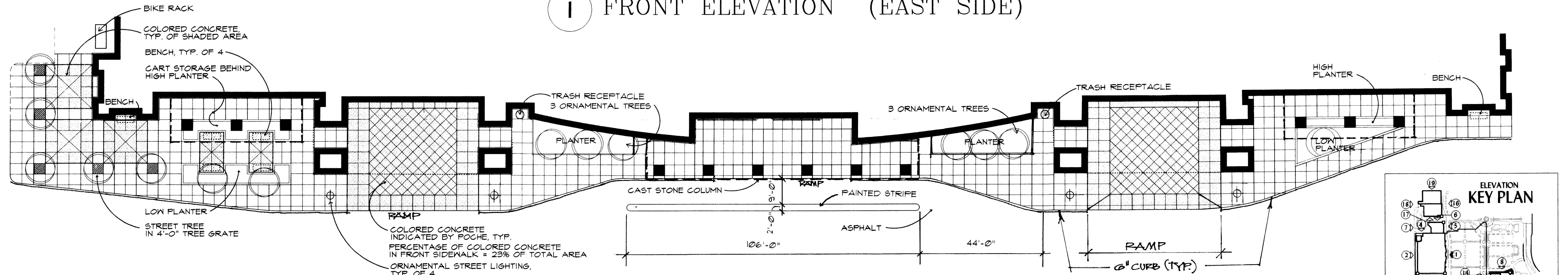
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11.4.99	RE-SUBMITTAL
12.29.99	REVISION
12.30.99	" "

SUPERIOR MARKETPLACE
 PROJECT NUMBER: 99010
 DRAWN BY: DD
 CHECKED BY: DD/MGM
 DESCRIPTION: ELEVATION/
 SIDEWALK PLAN



1 FRONT ELEVATION (EAST SIDE)



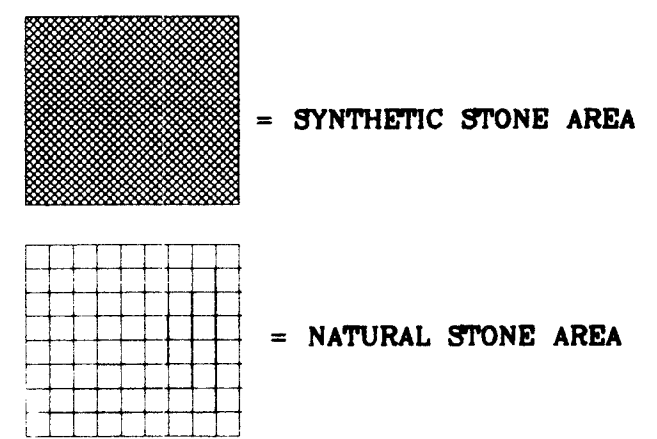
SIDEWALK PLAN (EAST SIDE)

NOTE: EXTERIOR LOADING OPERATIONS: SUPERTARGET: 5:00AM TO 10:00PM
OTHER TENANTS: 7:00AM TO 10:00PM.

GENERAL NOTE

ROOF TOP UNITS ARE SHOWN ON THE ELEVATION TO WHICH THEY ARE NEAREST, WITH A MAXIMUM DISTANCE OF 125' FROM THE PARAPET, (IF THEY ARE A GREATER DISTANCE THEY ARE NOT INDICATED). A NUMERICAL NOTE ADJACENT TO THE RTU SYMBOL (A DASHED RECTANGLE WITH AN X MARK) INDICATES THE ACTUAL DISTANCE TO THE PARAPET. VENTS AND POWER ROOF VENT'S ARE NOT SHOWN.

MATERIAL NOTE:
ALL EXTERIOR MATERIALS WILL BE PROVIDED SO AS TO CLOSELY MATCH THE MATERIALS ON THE EXISTING COSTCO



MATERIAL CALCULATIONS:

ELEVATION	AREA OF ELEVATION	AREA OF STONE	PERCENT PROVIDED	PERCENT REQUIRED	AREA OF CMU	PERCENT %	AREA OF EIPS	PERCENT %	AREA OF ORN. IRON	PERCENT %	LINEAL FRONTAGE OF FINISH (%)	PERCENT LEAD PCD
EAST	16,578 SF	8800	41	30	1836	11	7562	46	500	3	34.4%	25%
WEST	15,540 SF	2380	15	15	4000	26	9180	59	200	1.2	N/A	0
SOUTH	10,580 SF	2336	21	15	2112	20	6112	58	120	1	N/A	0
NORTH	9000 SF (5304)	560	15	15	5424	60	2920	32	80	1	N/A	0
		3696 SF										

AREA OF ADJ. MAJOR 4
TOTAL WALL AREA APPLICABLE

MATERIAL LEGEND:

No.	MATERIAL	COLOR	DESCRIPTION
1	EIPS CORNICE & TRIM	BEIGE	DRYVIT #455a PEARL
2	CONC. WALLS w/TEXTURE PNT., LIGHT BROWN DOORS AND GUTTER		TEXTURE PAINT TO MATCH DRYVIT # 387 PANCAKE
3	CONCRETE. w/TEXTURED PAINT RECESSED WALLS	MEDIUM BROWN	TEXTURE PAINT TO MATCH DRYVIT #339 CARIBOU
4	CONCRETE BASE & PAVING ACCENT	BEIGE	TO MATCH DRYVIT #455a
5	CAST STONE	FLAGSTONE RED	SUPERIOR BLEND WEATHERED EDGE ELDERADO STONE
6	FLAT STONE	FLAGSTONE RED	SIMULATED FLAGSTONE TO MATCH COSTCO
7	SPLIT FACE CMU	DARK FLAGSTN. RED	CLAYLITE #4671
8	ORNAMENTAL IRON	GREEN	SHERWIN WILLIAMS OLYMPIC RANGE SW2386
9	ROOFING SHINGLE	GREEN	SELECTED BY ARCHITECT
10	TRELLIS & RAILING	WHITE	SHERWIN WILLIAMS PURE WHITE SW1004
11	STOREFRONT ALUMINUM	CLEAR ANNOXIDIZED	BY MANUFACTURER
12	SPANDREL GLAZING	LIGHT GREEN	BY MANUFACTURER

SUPERIOR MARKETPLACE – SUPERTARGET PROPOSAL
FINAL DEVELOPMENT PLAN AUGUST, 1999



12.29.99 REVISION

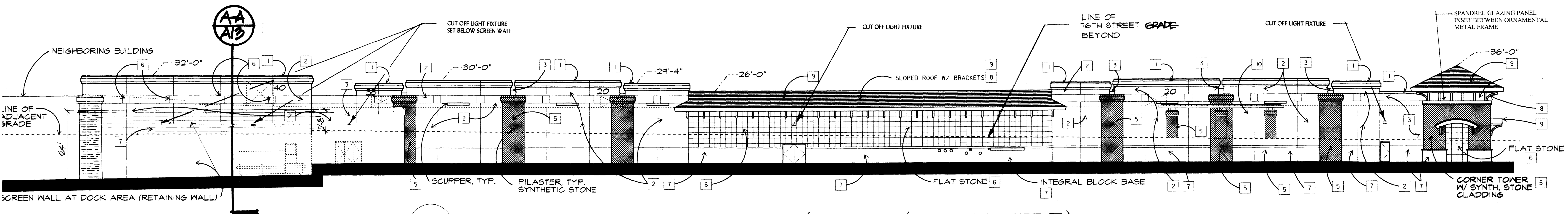
SUPERIOR MARKETPLACE

ELCOR DEVELOPMENT, LLC

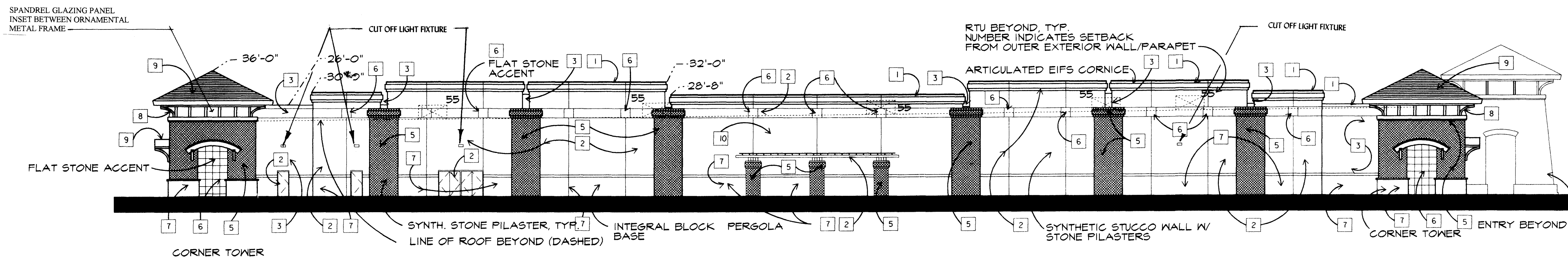
THE MULLIN GROUP, LTD.

A3

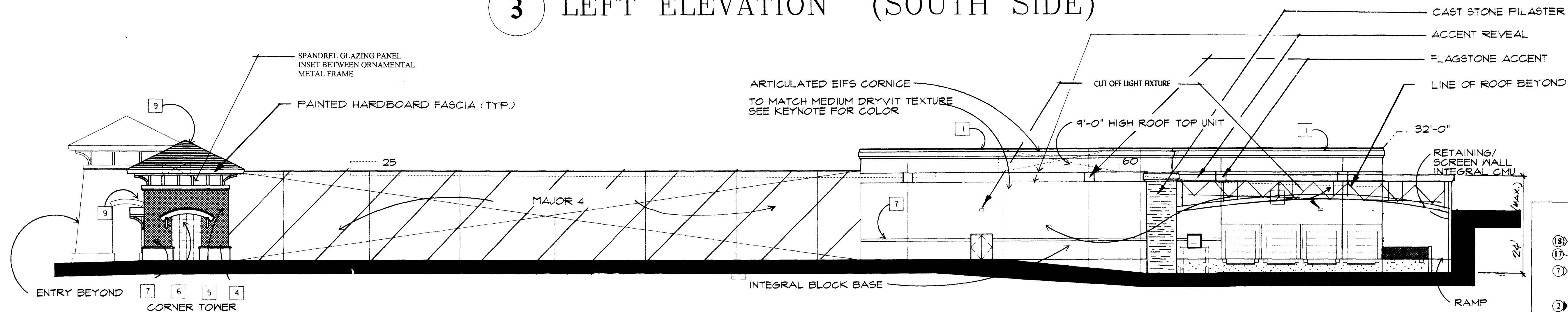
Page 9 of 24



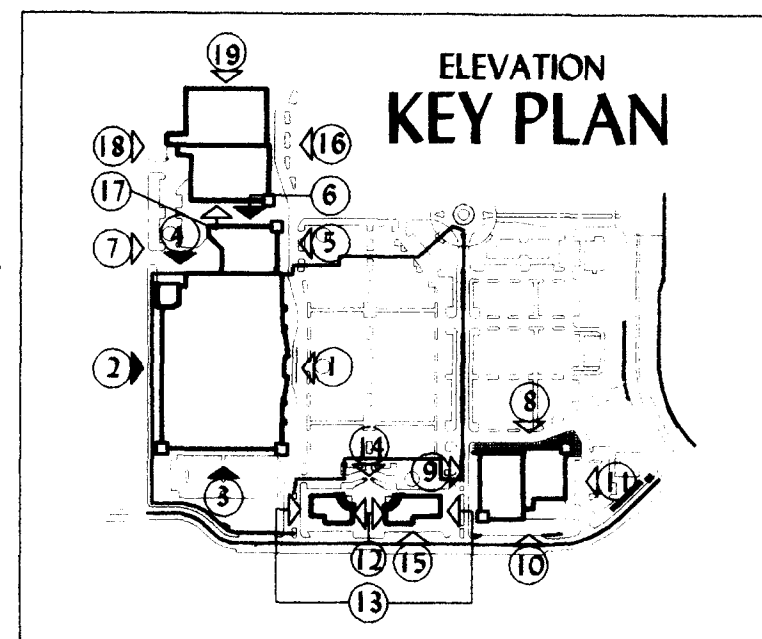
2 76th STREET ELEVATION (REAR / WEST SIDE)



3 LEFT ELEVATION (SOUTH SIDE)



4 RIGHT ELEVATION (NORTH SIDE)



SUPERIOR MARKETPLACE – SUPERTARGET PROPOSAL

FINAL DEVELOPMENT PLAN AUGUST, 1999



10.01.99 RE-SUBMITAL
 10.15.99 REVISION
 11.4.99 REVISION
 12.29.99 REVISION

AUGUST 10, 1999
 SEPTEMBER 7, 1999

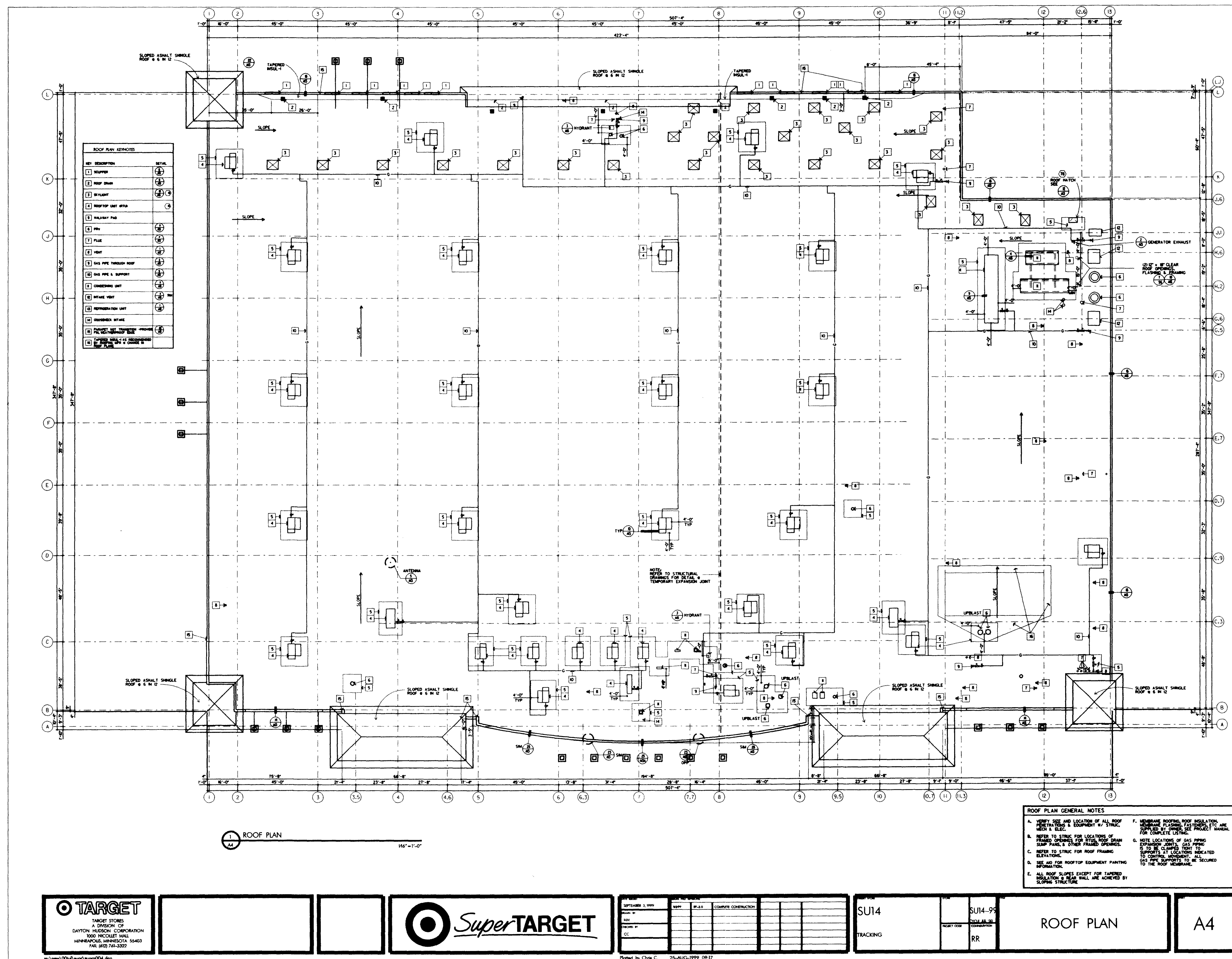
SUPERIOR MARKETPLACE

ELCOR DEVELOPMENT, LLC

A4

THE HULBURN GROUP, LTD.

Page 79 of 79



NOTE:
ALL UNITS AND VENT PIPING
TO BE COLORED TO MATCH
PARAPET COLORS

ROOF PLAN GENERAL NOTES

- VERIFY SIZE AND LOCATION OF ALL ROOF PENETRATIONS & EQUIPMENT W/ STRUCT. ARCH & ELEC.
- REFER TO STAIRS FOR EXISTING STAIR CASES & STAIR FRAMES. OPENINGS REFER TO STAIR FOR ROOF FRAMING.
- SEE ARCH FOR ROOFTOP EQUIPMENT FOOTPRINTS.
- ALL ROOF SLOPES EXCEPT FOR TAPERED INSULATION & SEAL SHALL BE ADVISED BY SLOPING STRUCTURE.
- MEMORANDUM ROOFTOP INSULATION, MEMORANDUM ROOFTOP INSULATION TO BE SUPPLIED BY OWNER. SEE PROJECT MANUAL FOR COMPLETE LISTING.
- NOTE LOCATIONS OF GAS PIPING (DRAWING ONLY). GAS PIPING IS TO BE CLAMPED TO THE STRUCTURE AT LOCATIONS INDICATED TO COMPLETE INSTALLATION. GAS PIPE SUPPORTS TO BE SECURED TO THE ROOF MEMBRANE.



DATE	NO.	BY	REVISION

SU14
TRACKING

SU14-99
RR

ROOF PLAN

A4

SCALE: 1/32" = 1'-0"

10.01.99 RE-SUBMITTAL
10.15.99 REVISION
11.4.99 REVISION
12.29.99 REVISION

AUGUST 10, 1999
SEPTEMBER 7, 1999

SUPERIOR MARKETPLACE - SUPERTARGET PROPOSAL

FINAL DEVELOPMENT PLAN AUGUST, 1999

SUPERIOR MARKETPLACE	
ELCOR DEVELOPMENT, LLC	
A4.1	
THE HUBBARD GROUP, LTD.	

SUPERIOR MARKETPLACE

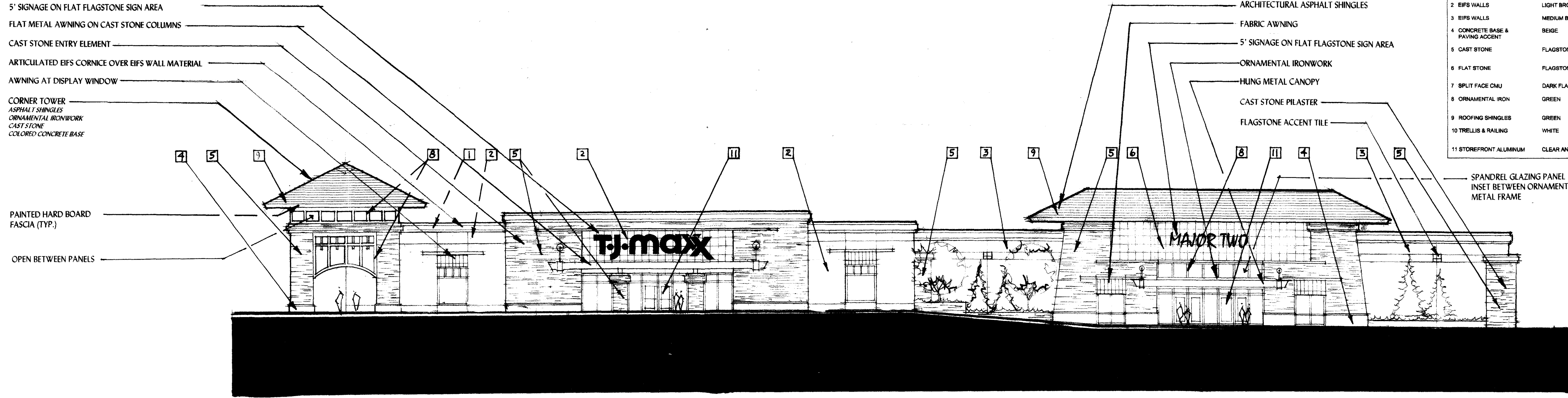
PHASE II FINAL DEVELOPMENT PLAN - ELEVATIONS / SIDEWALKS

ELCOR DEVELOPMENT, LLC

NOTE: SEE SHEET A11 FOR MATERIAL CALCULATION CHART FOR THESE ELEVATIONS

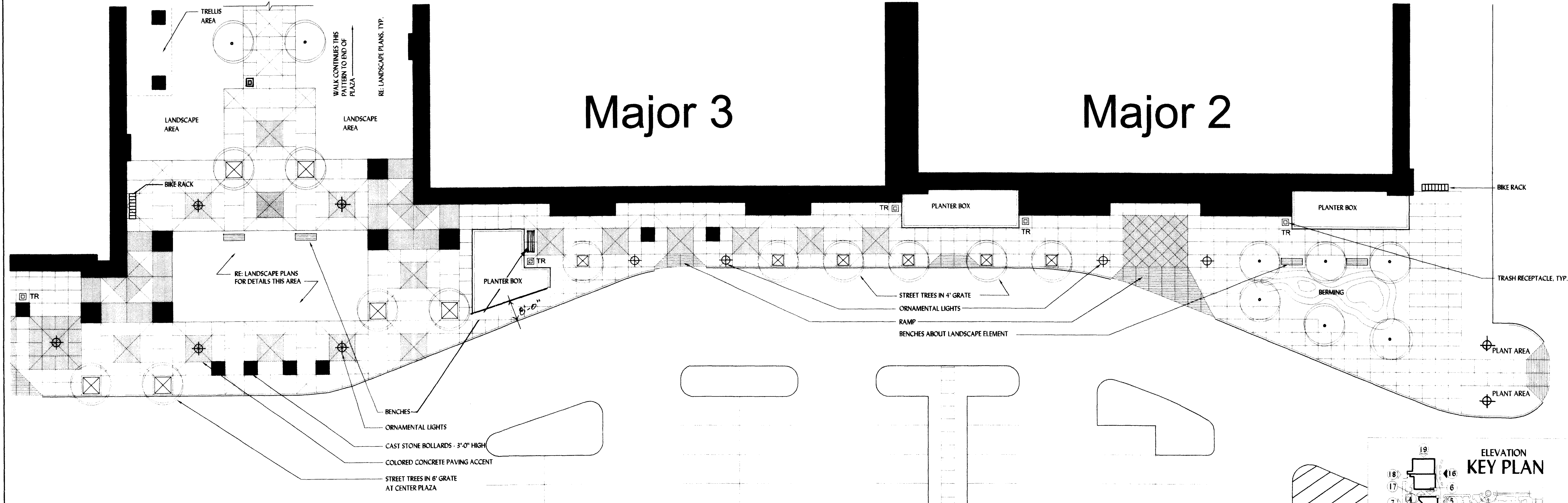
MATERIAL LEGEND:

NO. MATERIAL	COLOR	DESCRIPTION
1 EIFS CORNICE & TRIM	WHITE	DRYVIT TO MATCH COB2CO
2 EIFS WALLS	LIGHT BROWN	DRYVIT #887 PANGAKE
3 EIFS WALLS	MEDIUM BROWN	DRYVIT #838 CARIBOU
4 CONCRETE BASE & PAVING ACCENT	BEIGE	DAVIS COLOR: SAN DIEGO BUFF TO MATCH COB2CO
5 CAST STONE	FLAGSTONE RED	SUPERIOR BLEND WEATHERED EDGE COLORADO STONE
6 FLAT STONE	FLAGSTONE RED	NATURAL FLAGSTONE TO MATCH COB2CO
7 SPLIT FACE CMU	DARK FLAGSTONE RED	CLAYLITE #4671
8 ORNAMENTAL IRON	GREEN	SHERWIN WILLIAMS OLYMPIC RANGE SW2385
9 ROOFING SHINGLES	GREEN	TO MATCH COB2CO
10 TRELLIS & RAILING	WHITE	SHERWIN WILLIAMS PURE WHITE SW1004
11 STOREFRONT ALUMINUM	CLEAR ANODIZED	BY MANUFACTURER



16 EAST ELEVATION

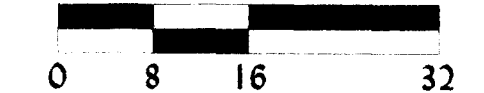
NOTE: SIGNAGE FOR MAJOR TWO TO BE APPROVED SEPARATELY



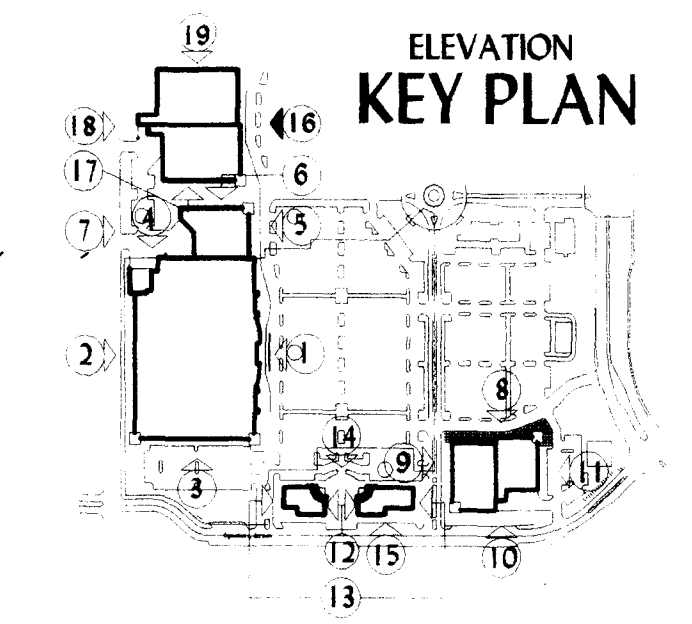
SIDEWALK PLAN

SCALE: 1/16" = 1'-0"

ALL ELEVATIONS 1/16" = 1'-0"



MAJOR 2 & 3



1730 BLAKE STREET SUITE 435
DENVER, COLORADO 80202
303-297-3334 FAX 303-292-2601

SUPERIOR MARKETPLACE
PHASE TWO FDP SUBMITTAL
SUPERIOR, COLORADO

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9.7.99	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: ELEVATION/
SIDEWALK PLAN

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - ELEVATIONS

ELCOR DEVELOPMENT, LLC

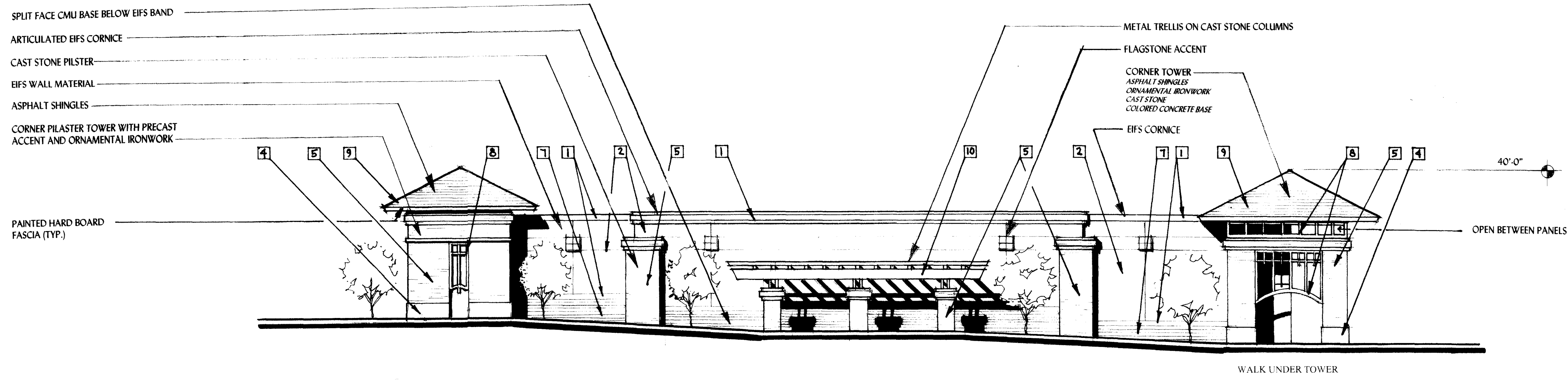
NOTE: SEE SHEET A11 FOR MATERIAL CALCULATION CHART FOR THESE ELEVATIONS

MATERIAL LEGEND:

No. MATERIAL	COLOR	DESCRIPTION
1 EIFS CORNICE & TRIM	WHITE	DRYVIT TO MATCH COSTCO
2 EIFS WALLS	LIGHT BROWN	DRYVIT #87 PANCAKE
3 EIFS WALLS	MEDIUM BROWN	DRYVIT #339 CARIBOU
4 CONCRETE BASE & PAVING ACCENT	BEIGE	DAVIS COLOR "SAN DIEGO BLUFF" TO MATCH COSTCO
5 CAST STONE	FLAGSTONE RED	SUPERIOR BLEND WEATHERED EDGE COLORADO STONE
6 FLAT STONE	FLAGSTONE RED	NATURAL FLAGSTONE TO MATCH COSTCO
7 SPLIT FACE CMU	DARK FLAGSTONE RED	CLAYLITE #4671
8 ORNAMENTAL IRON	GREEN	SHERWIN WILLIAMS OLYMPIC RANGE SW2385
9 ROOFING SHINGLES	GREEN	TO MATCH COSTCO
10 TRELLIS & RAILING	WHITE	SHERWIN WILLIAMS PURE WHITE SW1004
11 STONEFRONT ALUMINUM	CLEAR ANODIZED	BY MANUFACTURER

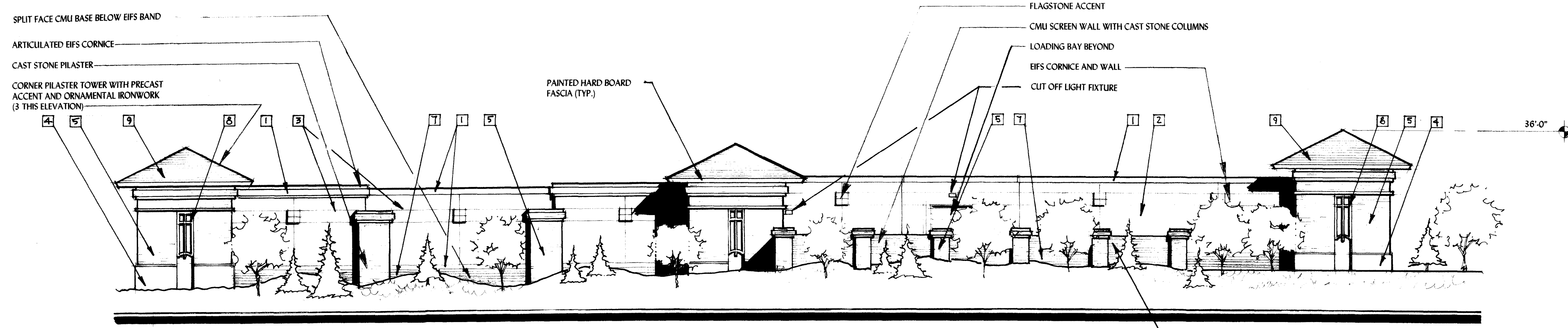
THE MULHER GROUP LTD.
ARCHITECTURE • PLANNING • INTERIORS

1730 BLAKE STREET, SUITE 435
DENVER, CO 80202
303-297-3334 FAX 303-292-2601

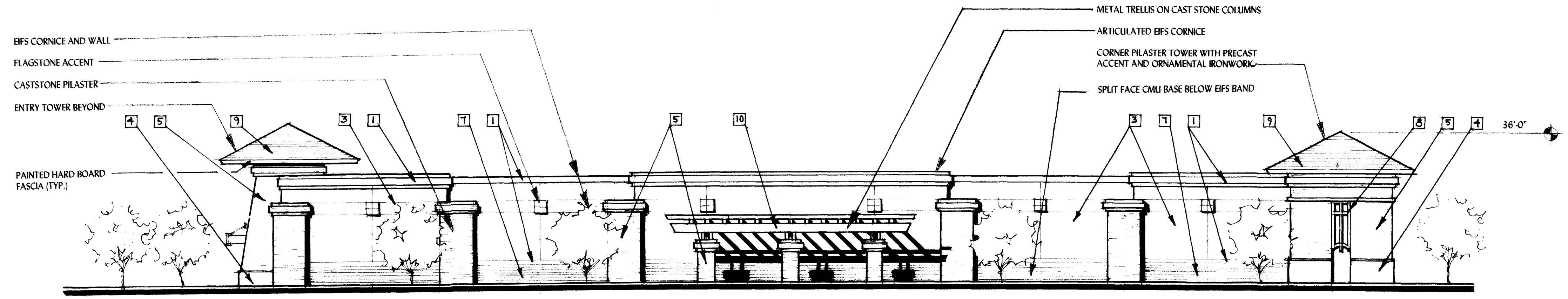


17 SOUTH ELEVATION

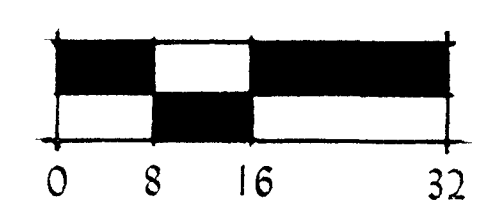
NOTE: ROOFTOP UNITS SHALL NOT EXCEED HEIGHT OF PARAPET LINE



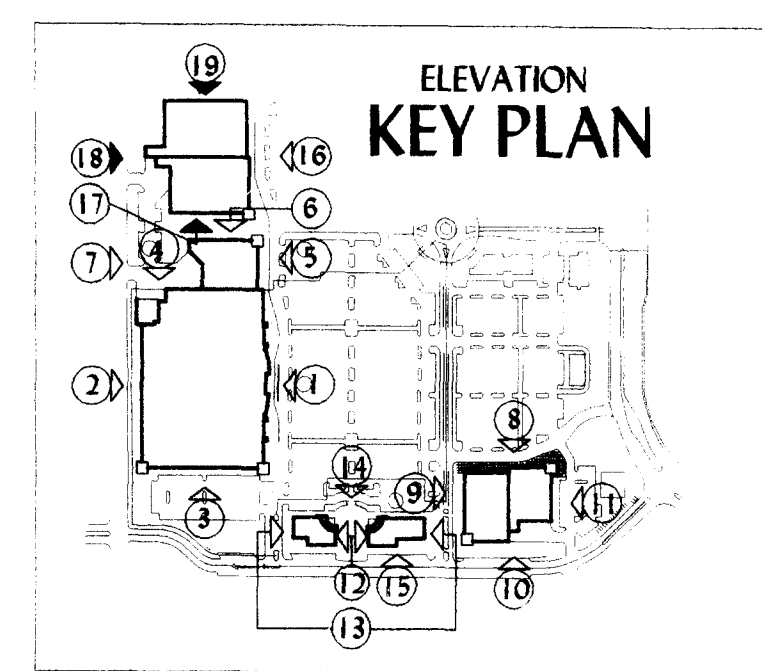
18 WEST ELEVATION



19 NORTH ELEVATION



ALL ELEVATIONS 1/16"=1'0"
MAJOR 2 & 3



SUPERIOR MARKETPLACE
PHASE TWO FDP SUBMITTAL
SUPERIOR COLORADO

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6.4.99	FDP	SI ON SUBMITTAL II
8.10.99	REVI	SI ON
9.7.99	REVI	SI ON
10.01.99	RE	SUBMITTAL
10.15.99	REVI	SI ON
11.4.99	REVI	SI ON
12.29.99	RE	VI SION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: SITE PLAN

REFERENCE NORTH

A6
Page 10 of 29

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - ELEVATIONS
ELCON DEVELOPMENT, LLC

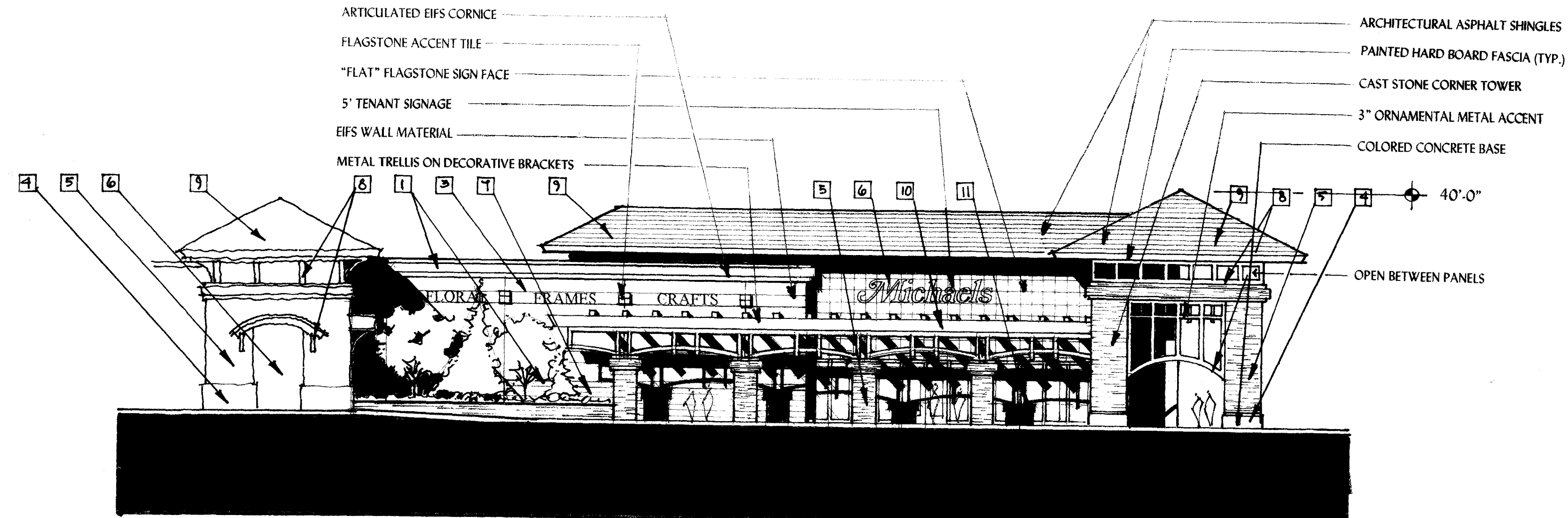
NOTE: SEE SHEET A11 FOR MATERIAL CALCULATION CHART FOR THESE ELEVATIONS

THE MULHERN GROUP LTD.
ARCHITECTURE • PLANNING • INTERIORS

MATERIAL LEGEND:

NO. MATERIAL	COLOR	DESCRIPTION
1 EIFS CORNICE & TRIM	WHITE	DRYVIT TO MATCH CORSTCO
2 EIFS WALLS	LIGHT BROWN	DRYVIT #82P PANCAKE
3 EIFS WALLS	MEDIUM BROWN	DRYVIT #52B CARIBOU
4 CONCRETE BASE & PAVING ACCENT	BEIGE	DAVIS COLOR: SAN DIEGO BUFF TO MATCH CORSTCO
5 CAST STONE	FLAGSTONE RED	SUPERIOR BLEND WEATHERED EDGE COLORADO STONE
6 FLAT STONE	FLAGSTONE RED	NATURAL FLAGSTONE TO MATCH CORSTCO
7 SPLIT FACE CMU	DARK FLAGSTONE RED	CLAYLITE #4871
8 ORNAMENTAL IRON	GREEN	SHERWIN WILLIAMS OLYMPIC RANGE #9285
9 ROOFING SHINGLES	GREEN	TO MATCH CORSTCO
10 TRELLIS & RAILING	WHITE	SHERWIN WILLIAMS PURE WHITE SW1004
11 STOREFRONT ALUMINUM	CLEAR ANODIZED	BY MANUFACTURER

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DENVER COLORADO 80202
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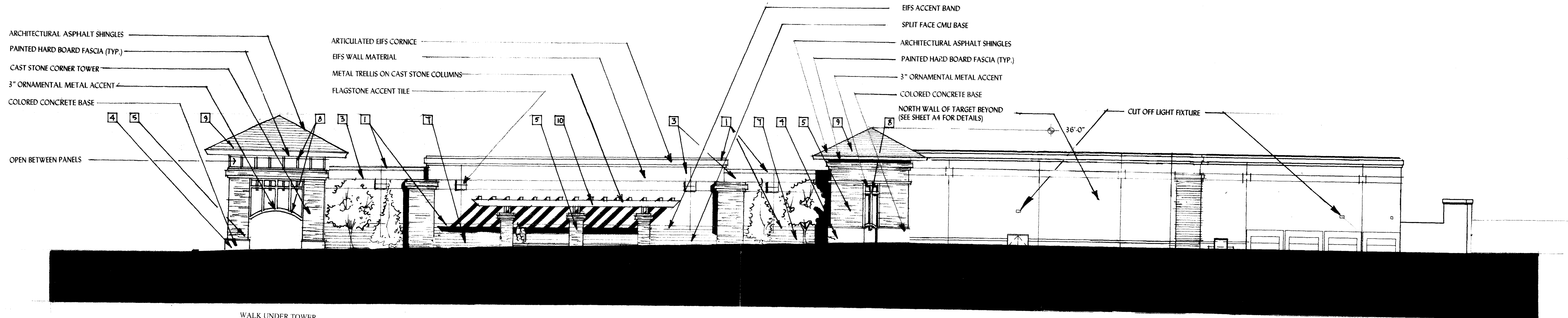
5 EAST ELEVATION

NOTE: SIGNAGE SHOWN IN ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY

NOTE: SEE A11 FOR SIDEWALK PLAN

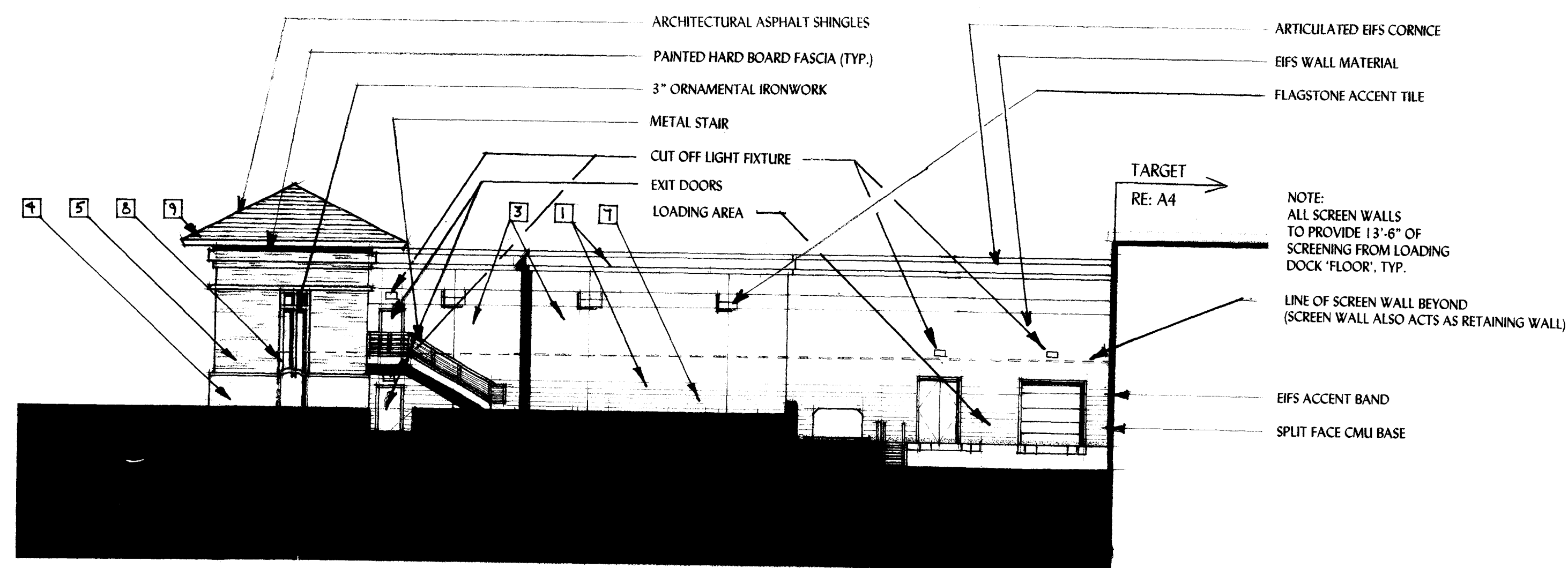
WALK UNDER TOWER

NOTE: ROOFTOP UNITS SHALL NOT EXCEED HEIGHT OF PARAPET LINE

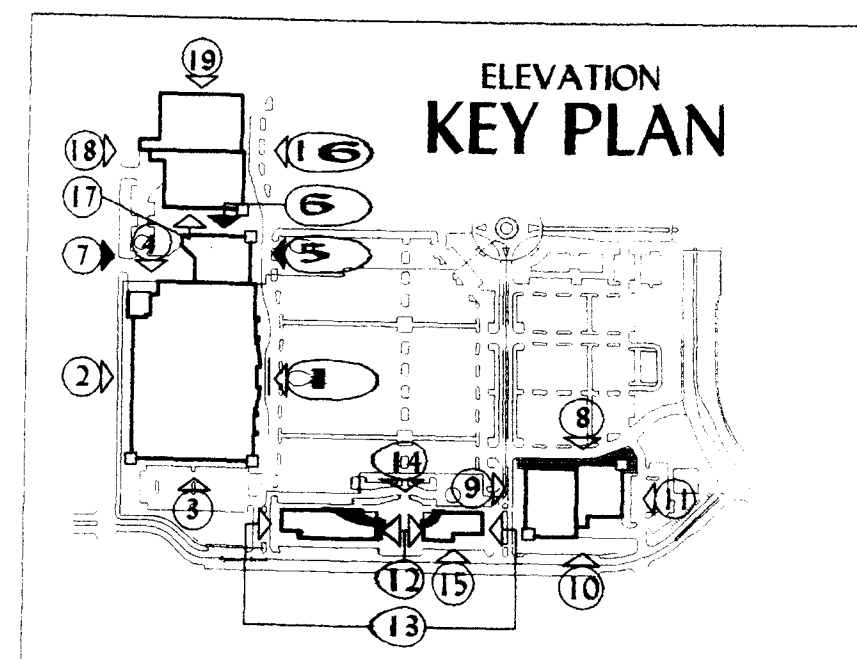


6 NORTH ELEVATION

WALK UNDER TOWER



7 WEST ELEVATION

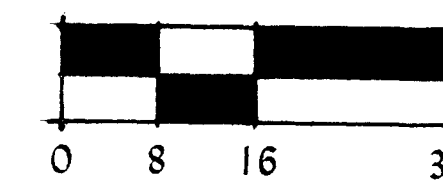


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10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: SITE PLAN

ALL ELEVATIONS 1/16" = 1'-0"



MAJOR 4

REFERENCE NORTH

A7

Page 11 of 22

SUPERIOR MARKETPLACE

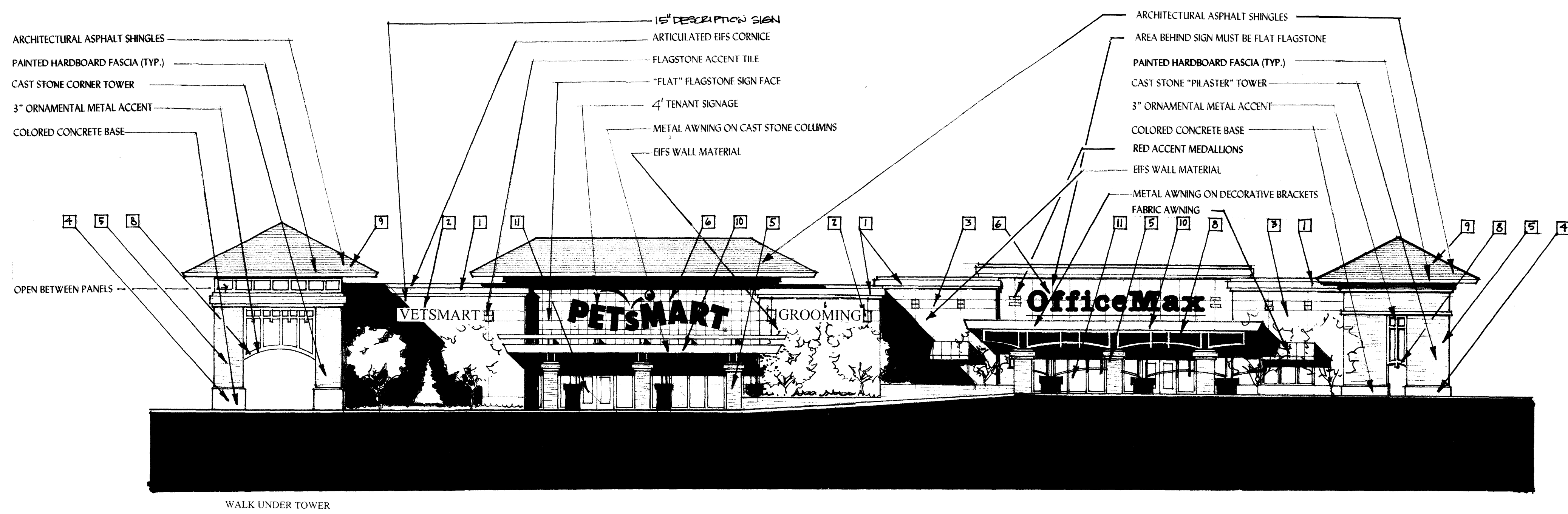
PHASE II FINAL DEVELOPMENT PLAN - ELEVATIONS / SIDEWALKS

ELCOR DEVELOPMENT, LLC

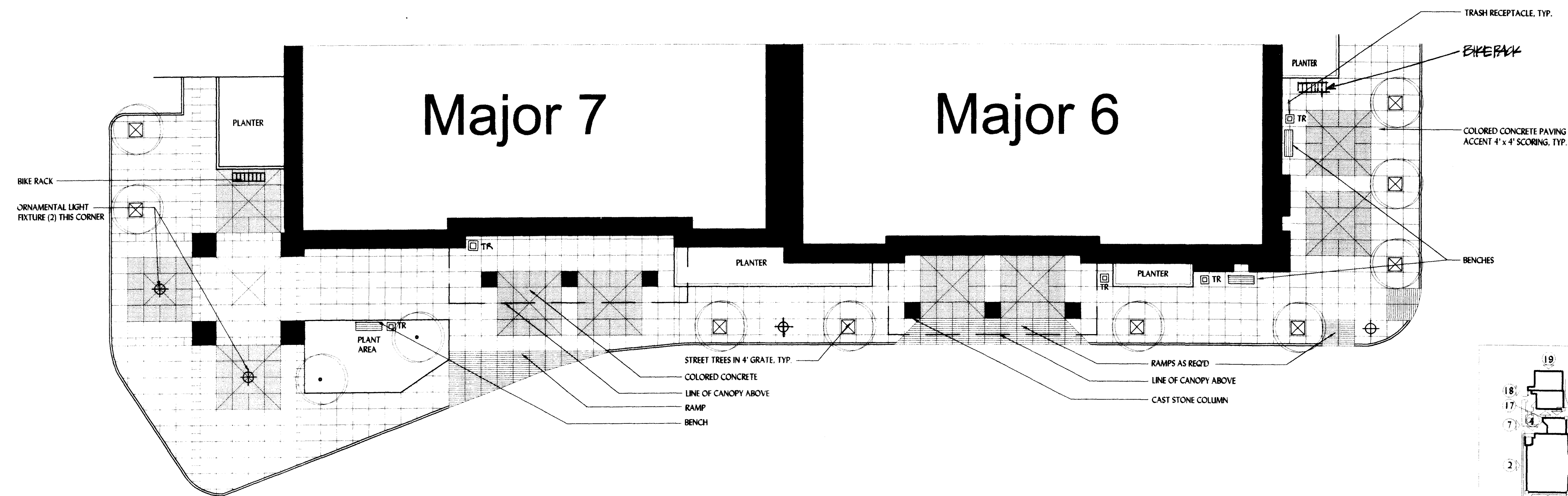
NOTE: SEE SHEET A11 FOR MATERIAL CALCULATION CHART FOR THESE ELEVATIONS

MATERIAL LEGEND:

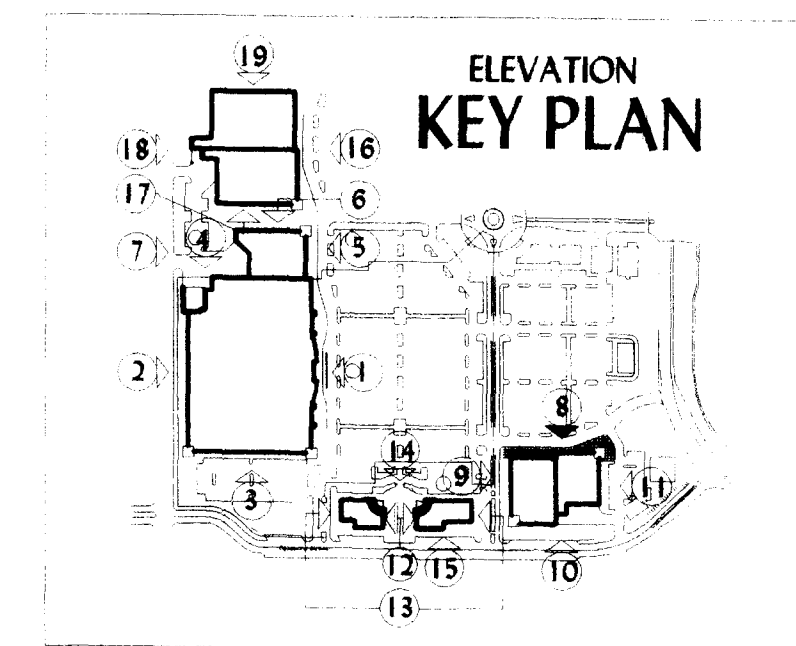
No. MATERIAL	COLOR	DESCRIPTION
1	WHITE	DRYVIT TO MATCH CORECO
2	LIGHT BROWN	DRYVIT #887 PANCAKE
3	MEDIUM BROWN	DRYVIT #889 CARIBOU
4	BEIGE	DAVIS COLOR: SAN DIEGO BUFF TO MATCH CORECO
5	FLAGSTONE RED	SUPERIOR BLEND WEATHERED EDGE COLORADO STONE
6	FLAGSTONE RED	NATURAL FLAGSTONE TO MATCH CORECO
7	DARK FLAGSTONE RED	CLAYLITE #4871
8	GREEN	SHERWIN WILLIAMS OLYMPIC RANGE SW9385
9	GREEN	TO MATCH CORECO
10	WHITE	SHERWIN WILLIAMS PURE WHITE SW1104
11	CLEAR ANODIZED	BY MANUFACTURER



8 NORTH ELEVATION



SIDEWALK PLAN
SCALE: 1/16" = 1'-0"



ALL ELEVATIONS 1/16" = 1'-0"
0 8 16 32

MAJOR 6 & 7

1730 BLAKE STREET SUITE 436
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2601

SUPERIOR MARKETPLACE
PHASE TWO FDP SUBMITTAL
SUPERIOR, COLORADO

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9.7.99	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: ELEVATION/
SIDEWALK PLAN

SUPERIOR MARKETPLACE

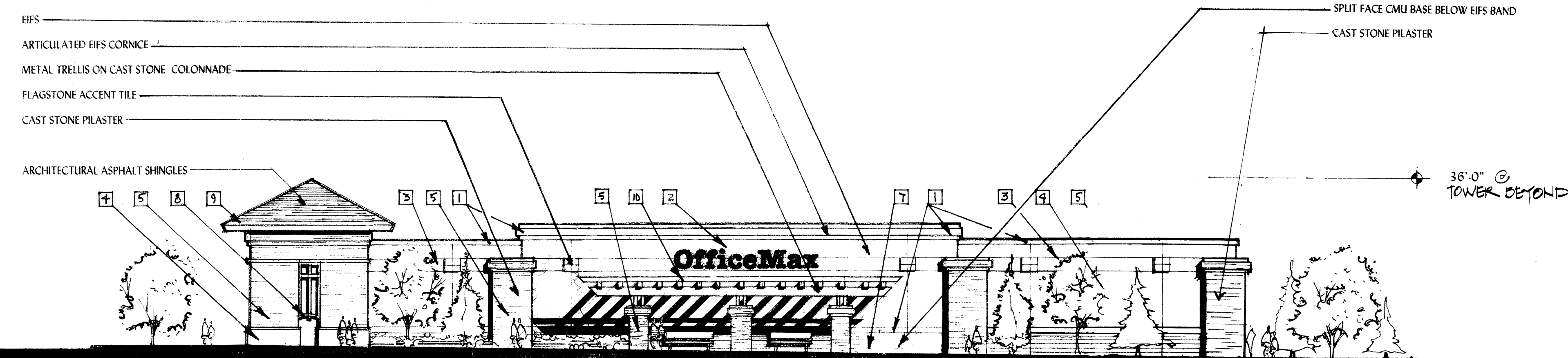
PHASE II FINAL DEVELOPMENT PLAN - ELEVATIONS
ELCON DEVELOPMENT, LLC

NOTE: SEE SHEET A11 FOR MATERIAL CALCULATION CHART FOR THESE ELEVATIONS

MATERIAL LEGEND:

No. MATERIAL	COLOR	DESCRIPTION
1 EIFS CORNICE & TRIM	WHITE	DRYWIT TO MATCH COB2CO
2 EIFS WALLS	LIGHT BROWN	DRYWIT #387 PANGAKE
3 EIFS WALLS	MEDIUM BROWN	DRYWIT #339 CARIBOU
4 CONCRETE BASE & PAVING ACCENT	BEIGE	DAVIS COLOR: SAN DIEGO BUFF TO MATCH COB2CO
5 CAST STONE	FLAGSTONE RED	SUPERIOR BLEND WEATHERED EDGE COLORADO STONE
6 FLAT STONE	FLAGSTONE RED	NATURAL FLAGSTONE TO MATCH COB2CO
7 SPLIT FACE CMU	DARK FLAGSTONE RED	CLAYLITE #4671
8 ORNAMENTAL IRON	GREEN	SHERWIN WILLIAMS OLYMPIC RANGE SW2365
9 ROOFING SHINGLES	GREEN	TO MATCH COB2CO
10 TRELLIS & RAILING	WHITE	SHERWIN WILLIAMS PURE WHITE SW1004
11 STOREFRONT ALUMINUM	CLEAR ANODIZED	BY MANUFACTURER

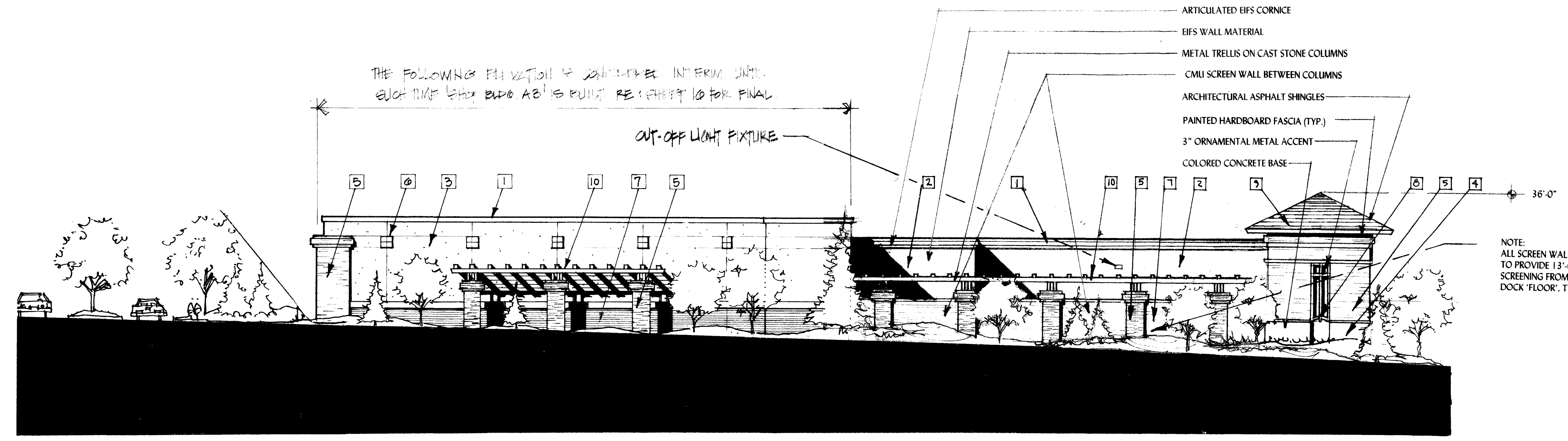
1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2601



NOTE: ROOFTOP UNITS SHALL NOT EXCEED HEIGHT OF PARAPET LINE

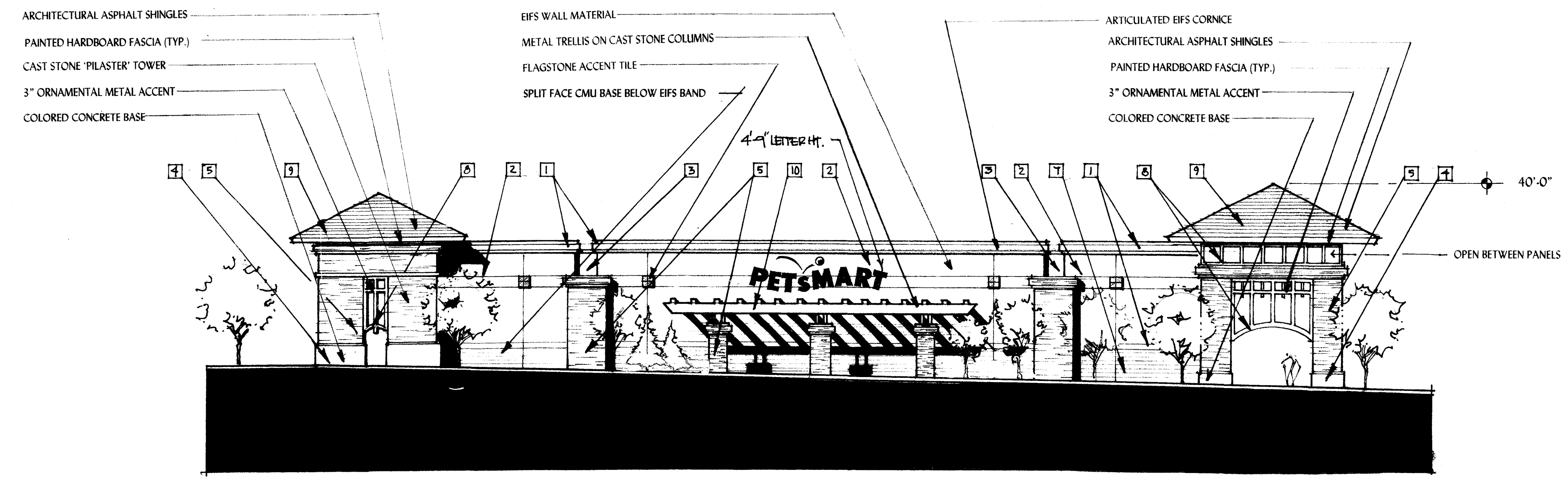
9 WEST ELEVATION

NOTE: SIGNAGE SHOWN IN ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY

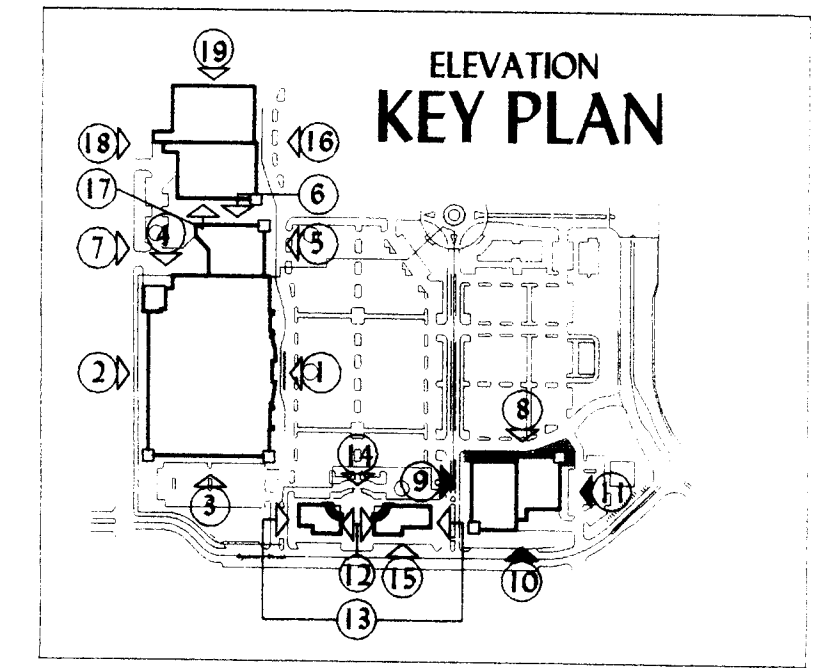


NOTE: ALL SCREEN WALLS TO PROVIDE 13'-6" OF SCREENING FROM LOADING DOCK FLOOR, TYP.

10 SOUTH ELEVATION



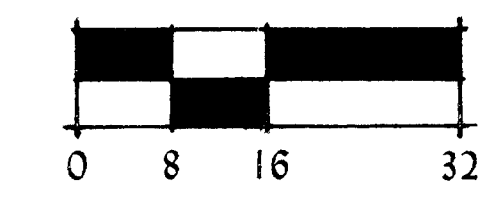
11 EAST ELEVATION



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DATE	REVISION
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8.10.99	REVISION
9.7.99	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
12.0.99	REVISION
12.29.99	REVISION
12.30.99	" "

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: SITE PLAN



ALL ELEVATIONS 1/16" = 1'-0"

MAJOR 6 & 7

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - OVERALL ARCHITECTURAL SITE REFERENCE PLAN
ELCOR DEVELOPMENT, LLC

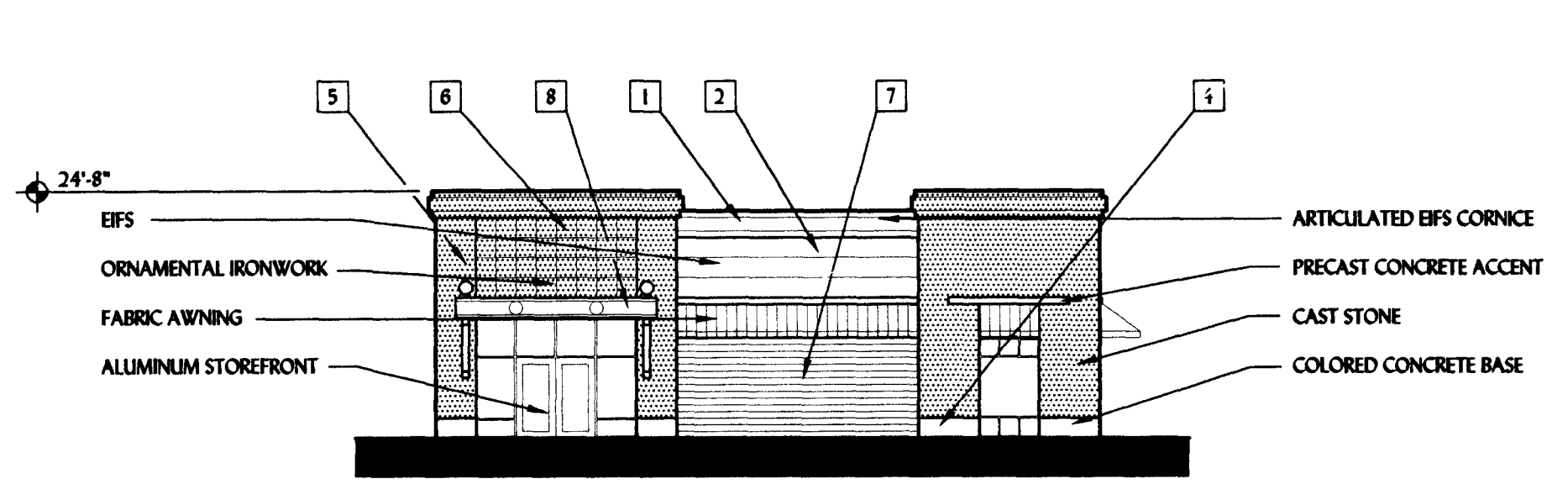
NOTE: SEE SHEET A11 FOR MATERIAL CALCULATION CHART FOR THESE ELEVATIONS

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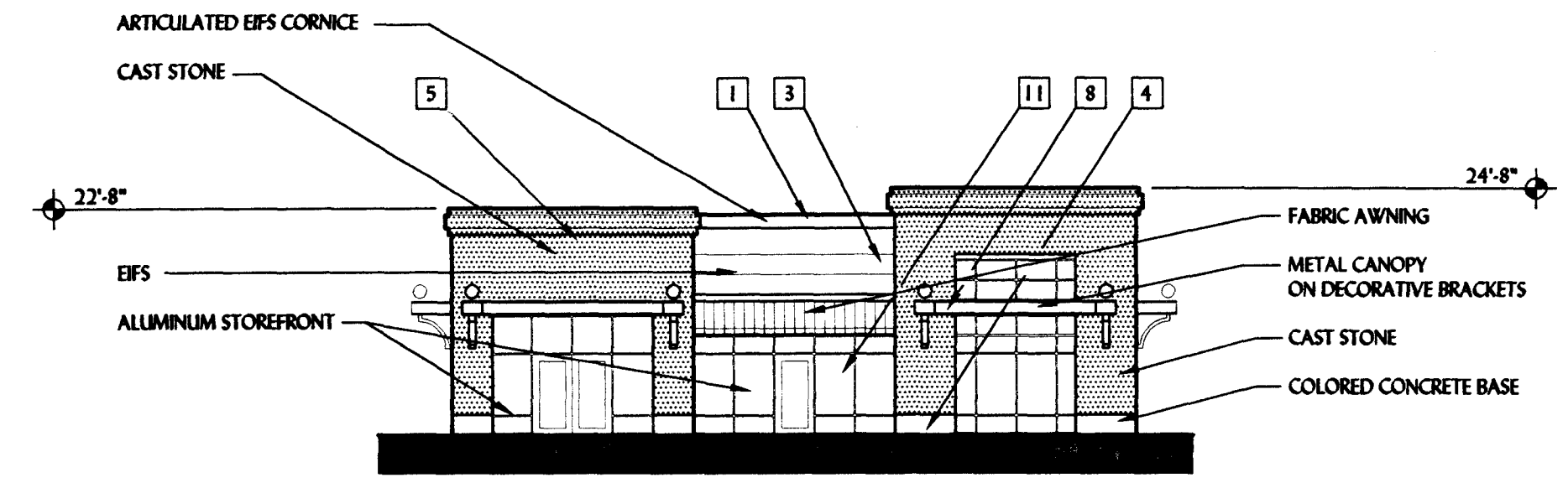
MATERIAL LEGEND:

No. MATERIAL	COLOR	DESCRIPTION
1 EIFS CORNICE & TRIM	WHITE	DRYVIT TO MATCH CORTICO
2 EIFS WALLS DOORS AND GUTTER	LIGHT BROWN	DRYVIT #87 PANCAKE
3 EIFS @ RECESSED WALLS	MEDIUM BROWN	DRYVIT #39 CARIBOU
4 CONCRETE BASE & PAVING ACCENT	BEIGE	TO MATCH DRYVIT #65A
5 CAST STONE	FLAGSTONE RED	SUPERIOR BLEND WEATHERED EDGE COLORADO STONE
6 FLAT STONE	FLAGSTONE RED	NATURAL FLAGSTONE TO MATCH CORTICO
7 SPLIT FACE CMU	DARK FLAGSTONE RED	CLAYLITE #4671
8 ORNAMENTAL IRON	GREEN	SHERWIN WILLIAMS OLYMPIC RANGE SW238
9 ROOFING SHINGLES	GREEN	SELECTED BY ARCHITECT
10 TRELLIS & RAILING	WHITE	SHERWIN WILLIAMS PURE WHITE SW1004
11 STOREFRONT ALUMINUM	MEDIUM BRONZE	BY MANUFACTURER

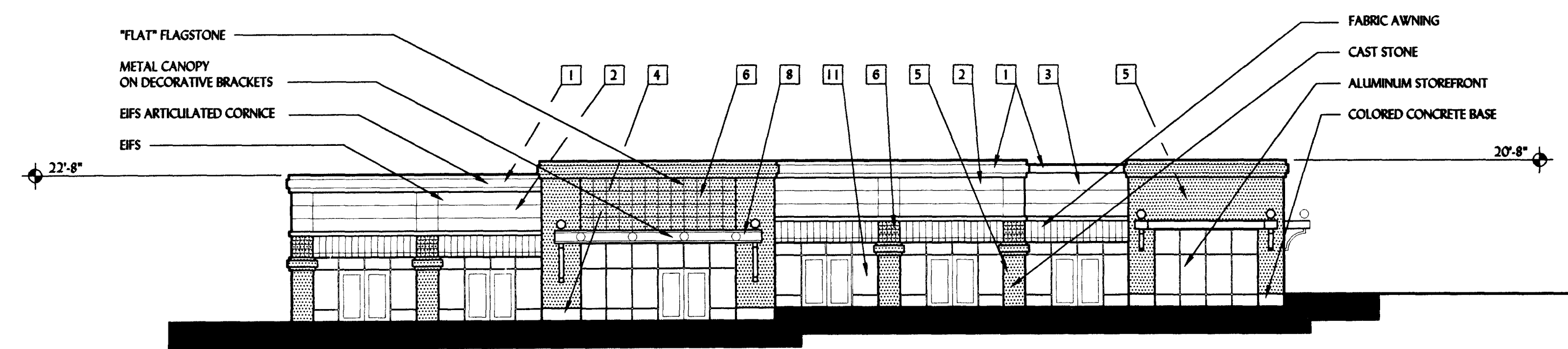
1730 BLAKE STREET SUITE 435
DENVER COLORADO 80102
303-297-3334 FAX 303-292-2101



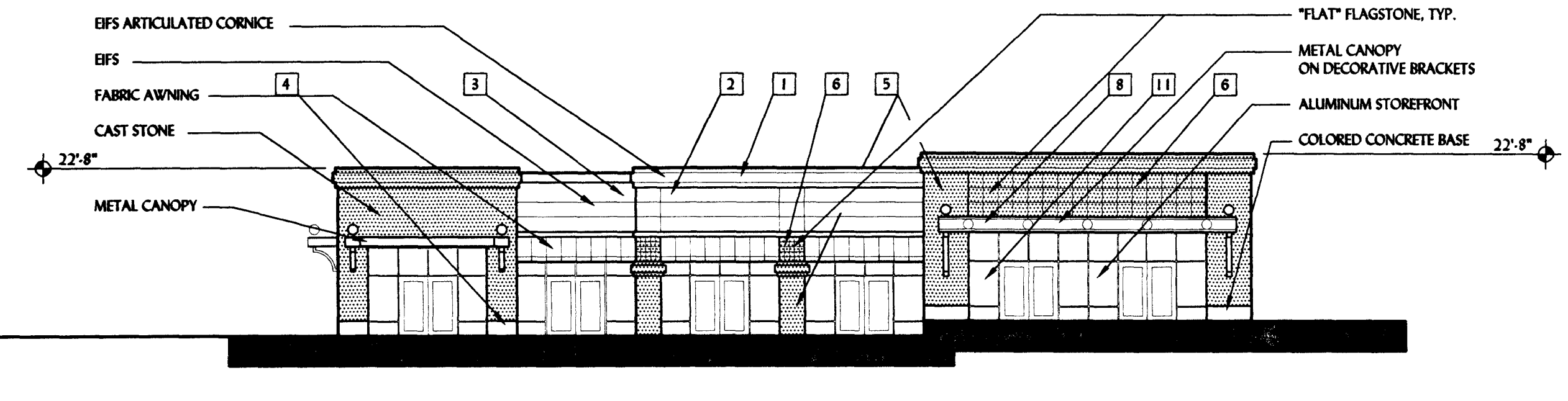
13 WEST ELEVATION (STREET) - A1



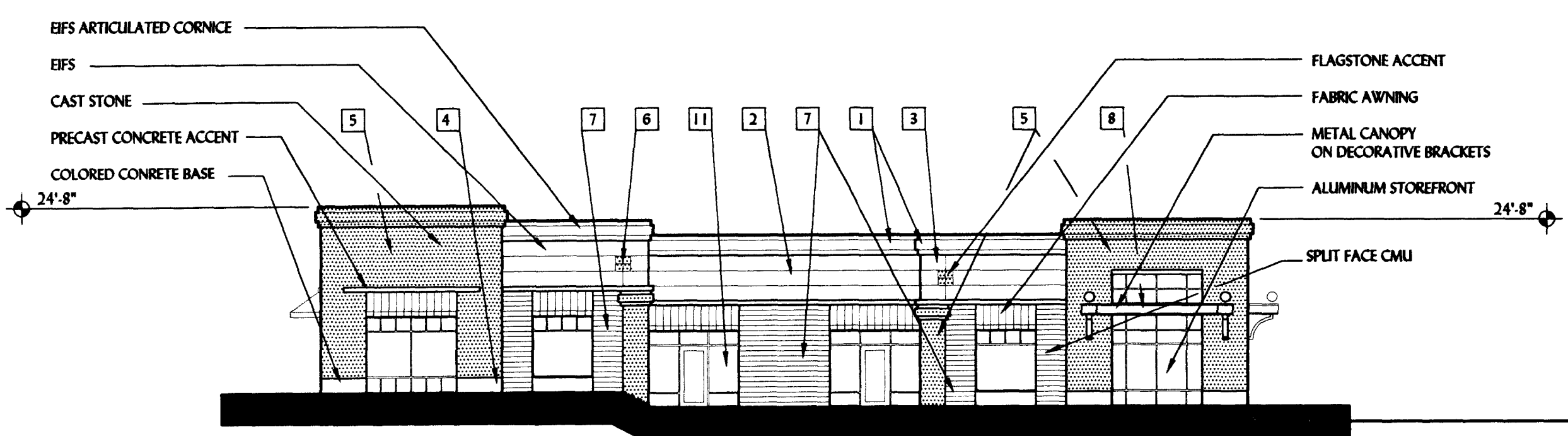
12 EAST ELEVATION (COURTYARD) - A1 WEST ELEVATION SIMILAR - OPPOSITE HAND



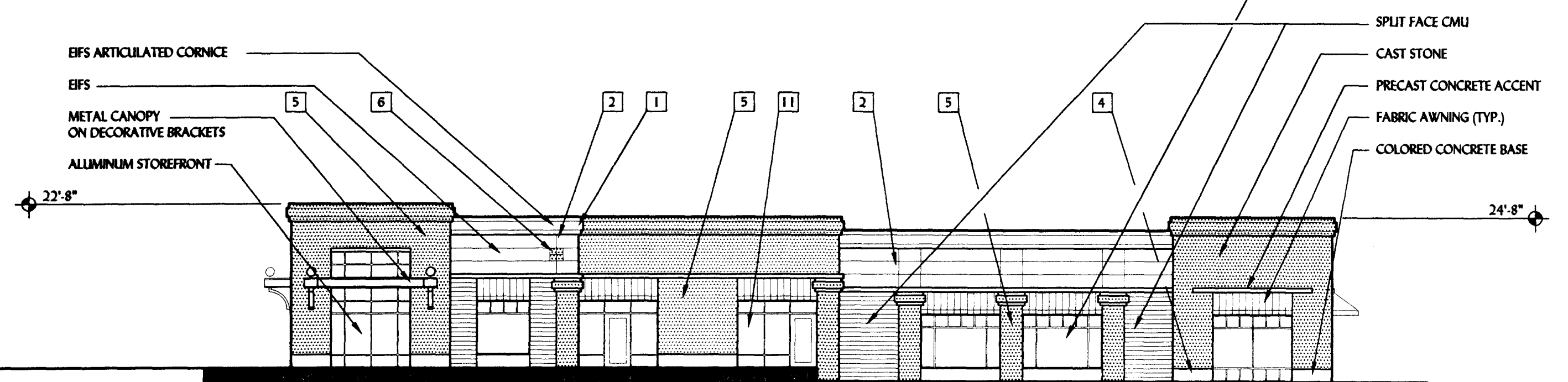
14 NORTH ELEVATION - A2



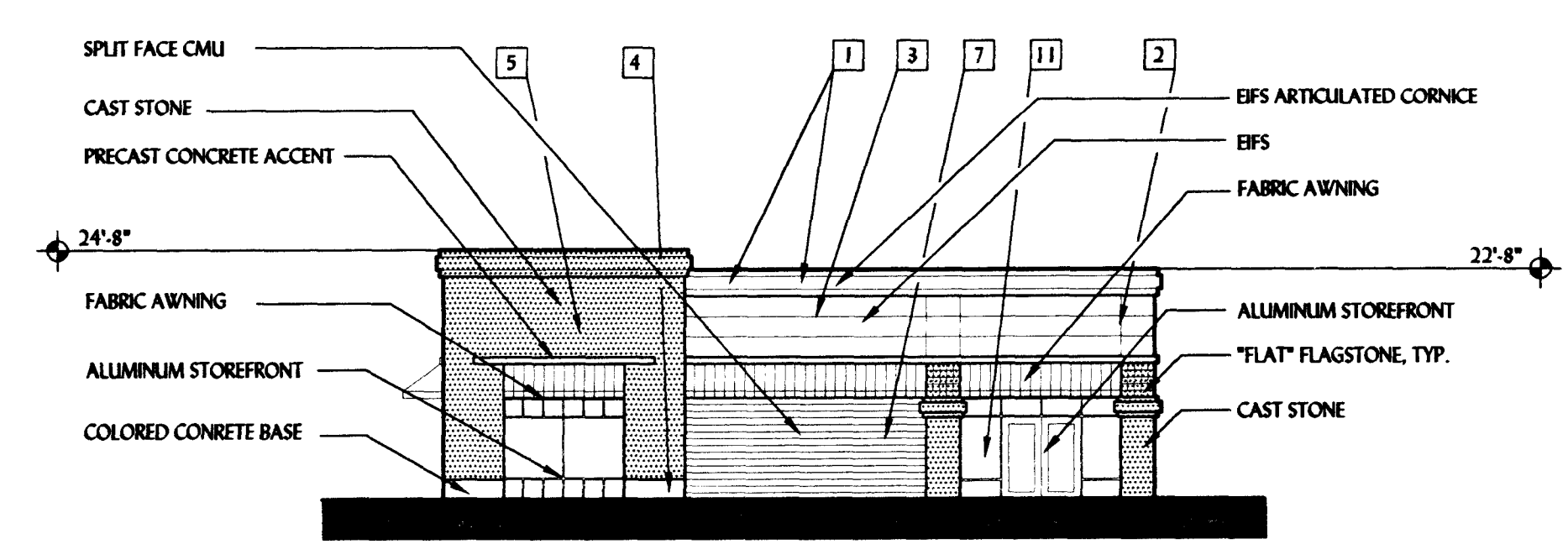
NORTH ELEVATION - A1



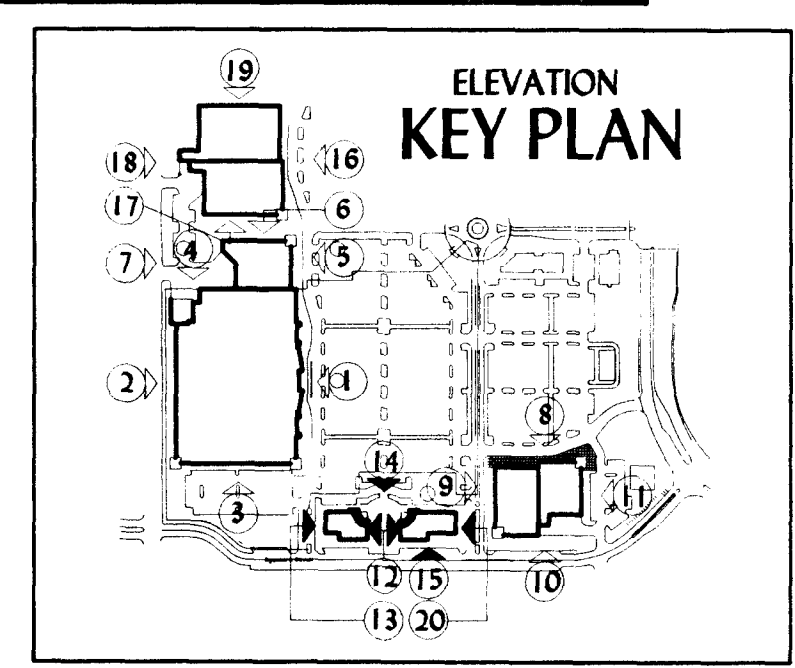
15 SOUTH ELEVATION - A1



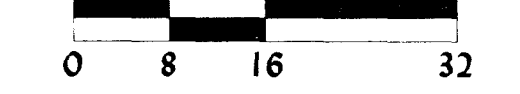
SOUTH ELEVATION - A2



20 EAST ELEVATION (STREET) - A2



ALL ELEVATIONS 1/16" = 1'-0"



SHOPS 'A'

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DATE	REVISION
6.4.99	FDP SUBMITTAL II
8.10.99	REVISION
9.7.99	REVISION
9.27.99	REVISION
12.30.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: ELEVATION/
SIDEWALK PLAN

REFERENCE NORTH A10

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - ELEVATIONS / SIDEWALKS / SITE FURNISHINGS

ELCOR DEVELOPMENT, LLC

SITE FURNISHINGS

Major site furnishings include benches, waste receptacles, bicycle racks, and tree grates. In general, visual continuity of these elements is desired throughout the project. The color, in addition to design, will create continuity on the site. All components of outdoor site furniture should be low maintenance and durable. Said fixtures shall be located at all major pedestrian plazas and other areas deemed appropriate in the F.D.P. phase.

- Tree Grate:** Ironsmith Olympian or approved equal
- Trash Receptacle:** Victor Stanley The T Series or 32 gallon steel receptacle with standard spun steel tapered lid or approved equal
- Radius Bench with Back:** Gametime The Ultrum Collection or approved equal
- Backless Bench:** Gametime The Ultrum Collection or approved equal
- Bicycle Racks:** Cycloops Super 2175 or approved equal.

Material Calculations of Building Elevations (frontages in bold)

#	Elevation	Wall Area S.F. Total	S.F. Cast Stone	% Req'd.	% Provided	S.F. CMU	% Prov.	S.F. EIFS	% Prov.	S.F. Orn. Iron	Bldg. Frontage (feet)	Roof Linear Frontage (feet)	% Prov.	GLAZING Storefront Linear Footage	% Prov.	Planter Linear Footage	% Prov.
N/A	Costco	14,079	4,206	30	30	960	4	7,837	56	625	428	204	48	28	7	97	23
1/A3	Target (Major #5) East	16,576	6,800	30	41	1,836	11	7,552	45	500	512	216	42	108	21	162	32
5/A7	Major #4 East	4,279	1,807	30	42	-	0	1,432	33	640	157	144	92	48	27	44	25
6/A7	Major #4 North	4,811	1,288	15	27	528	11	2,517	52	478	208	76	37	-	-	-	-
7/A7	Major #4 West	3,796	436	15	15	652	17	2,388	63	70	140	36	26	-	-	-	-
8/A8	Major #6 & #7 North	6,984	2,495	30	35	-	0	3,502	50	93	275	182	66	77	28	85	31
9/A9	Major #6 West	5,081	1,424	15	28	519	10	2,934	58	96	202	71	35	-	-	94	47
10/A9	Major #6 & #7 South	6,214	1,014	20	16	1,436	23	3,625	58	112	254	71	28	-	-	-	-
11/A9	Major #7 East	4,450	1,112	15	25	840	19	2,400	54	348	211	80	38	-	-	41	19
12/A10	Shops A Court West/East	1,555	675	15	43	-	0	160	10	95	66	-	0	48	73	-	-
13/A10	Shops A West/East	1,570	686	15	44	240	15	162	10	63	66	-	0	22	33	-	-
14/A10	Shops A North	6,283	1,953	30	31	-	0	1,269	20	282	276	-	0	196	71	-	-
15/A10	Shops A South	6,541	1,753	20	27	855	13	1,607	25	90	280	-	0	160	57	-	-
16/A5	Major #2 & #3 East	8,113	3,668	30	45	-	0	2,786	34	384	320	140	44	80	25	75	23
17/A6	Major #3 South	5,600	1,096	15	19	689	12	3,197	57	352	200	76	38	-	-	-	-
18/A6	Major #2 & #3 West	7,632	2,068	15	27	1,380	18	3,948	52	144	318	108	34	-	-	-	-
19/A6	Major #2 North	6,916	1,454	15	21	1,020	15	4,222	61	48	266	64	24	-	-	-	-
Building Fronts Totals		56,314	20,929	30	36	2,396	4.25	23,109	41	2,524	1,968	886	45	537	27	463	24

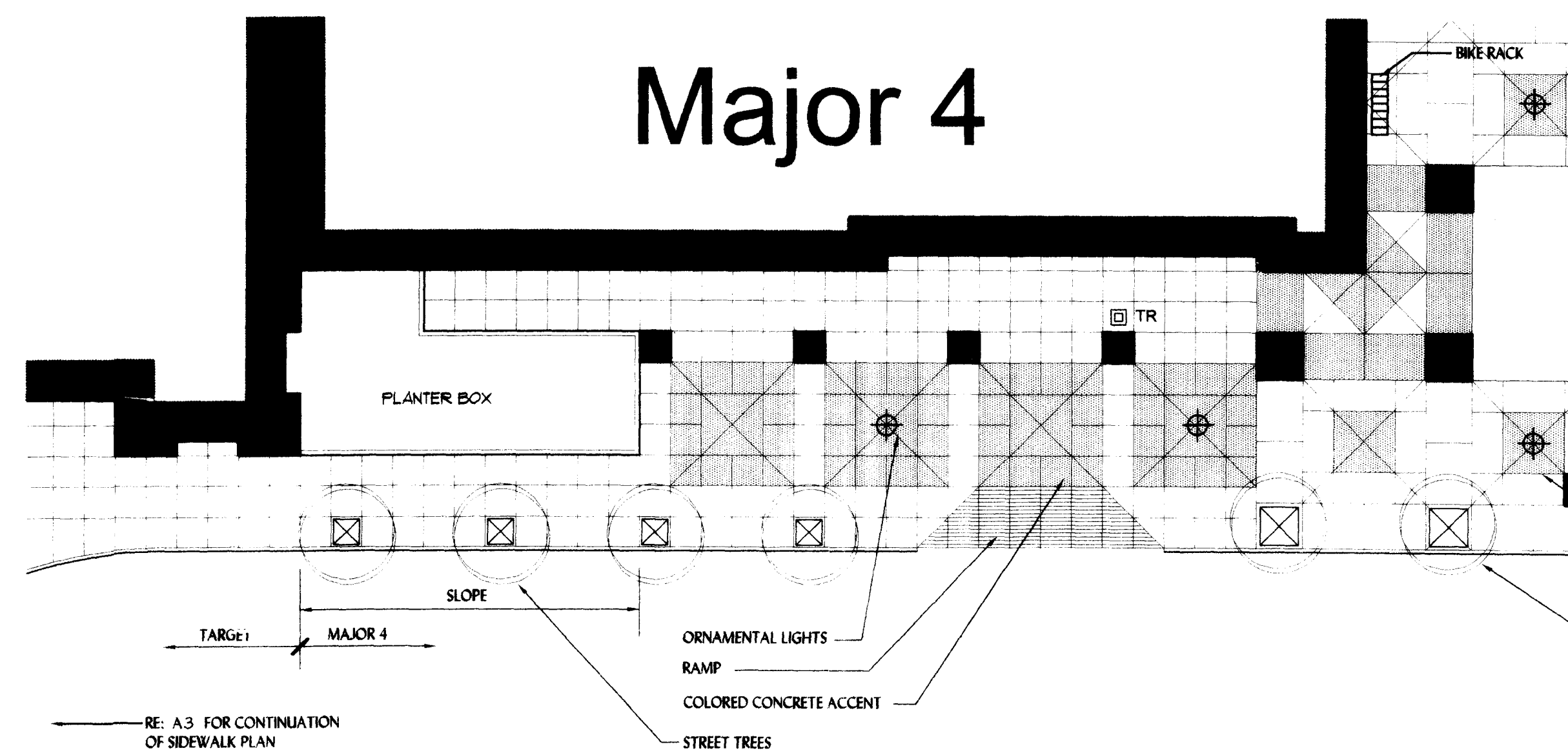
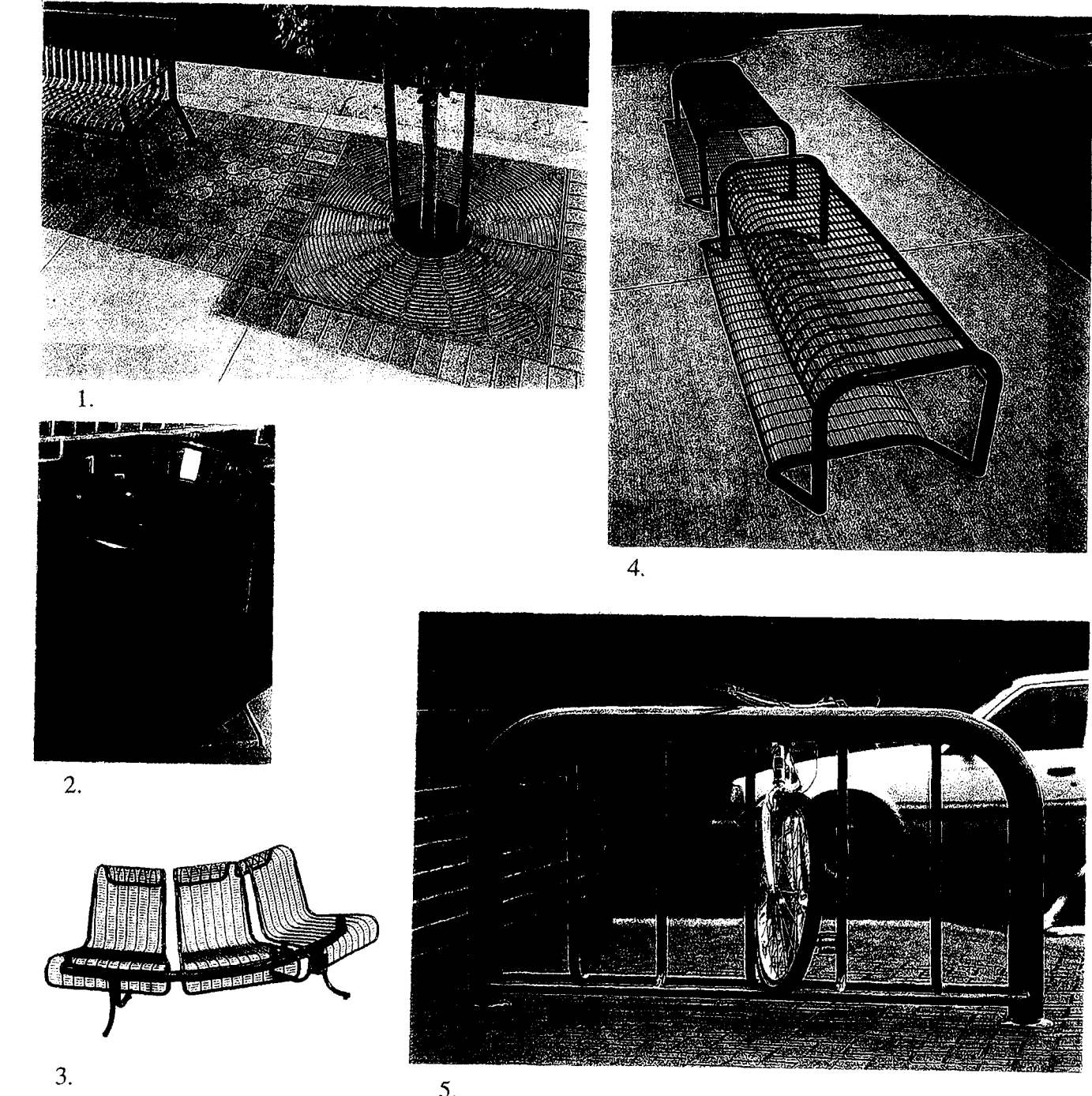
Includes Target and Costco

MAJOR BUILDING ENTRY ELEMENT AREA BREAKDOWN

MAJOR #	TOTAL S.F.	CAST STONE S.F.	GLAZING S.F.	ORNAMENTAL IRON S.F.	OTHER S.F.
2	2156	1372 (63.6%)	530 (24.6%)	190 (8.8%)	64 (3.0%)
3	2400	1910 (79.6%)	300 (12.5%)	110 (4.6%)	80 (3.3%)
4	1344	676 (50.3%)	380 (28.3%)	288 (21.4%)	0
5 TARGET ENTRY	1942	1224 (63.0%)	414 (21.3%)	256 (13.2%)	48 (2.5%)
5 ARCHER FARMS	1942	1224 (63.0%)	414 (21.3%)	256 (13.2%)	48 (2.5%)
6	1144	374 (32.7%)	384 (33.6%)	264 (23.1%)	338 (29.5%)
7	1120	500 (51.8%)	380 (33.9%)	160 (14.3%)	80 (7.1%)
OVERALL:	12048	7280 (60.4%)	2802 (23.3%)	1524 (12.6%)	658 (5.5%)

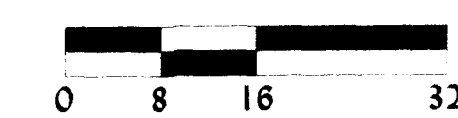
SIDEWALK AREA BREAKDOWN

MAJOR #	TOTAL S.F.	COLOR CONCRETE S.F.
2,3,4	16328	2688 (16.5%)
5 TARGET	13024	3936 (30.2%)
6,7	10194	2560 (25.1%)
OVERALL:	40126	9184 (22.9%)



SIDEWALK PLAN RE: 5/A7 FOR ELEVATION

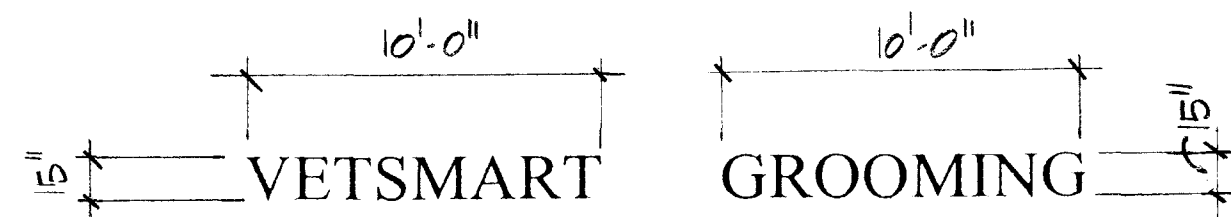
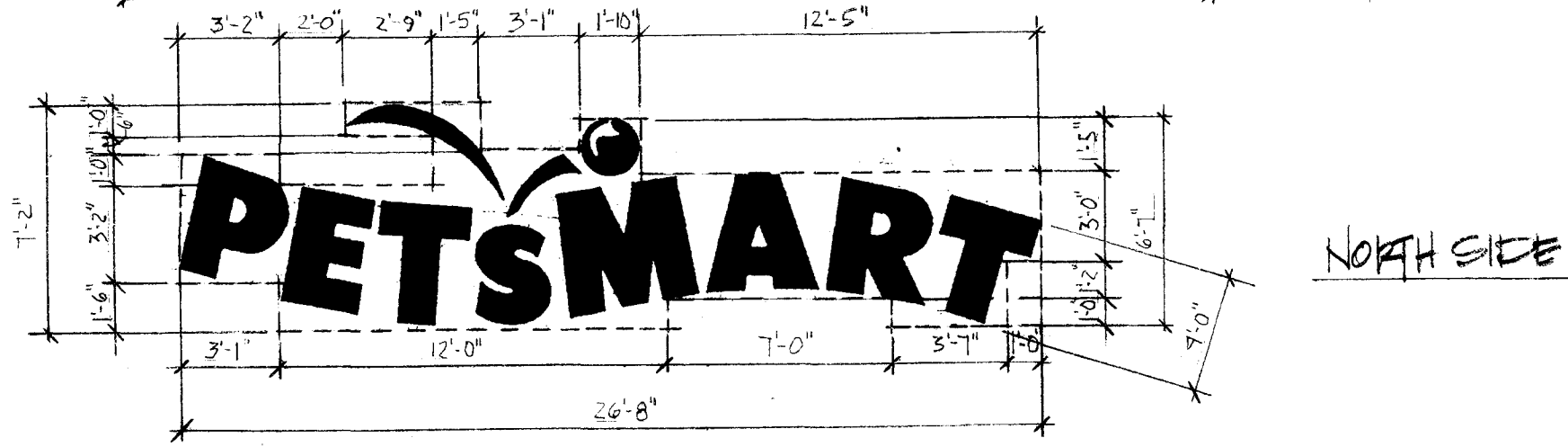
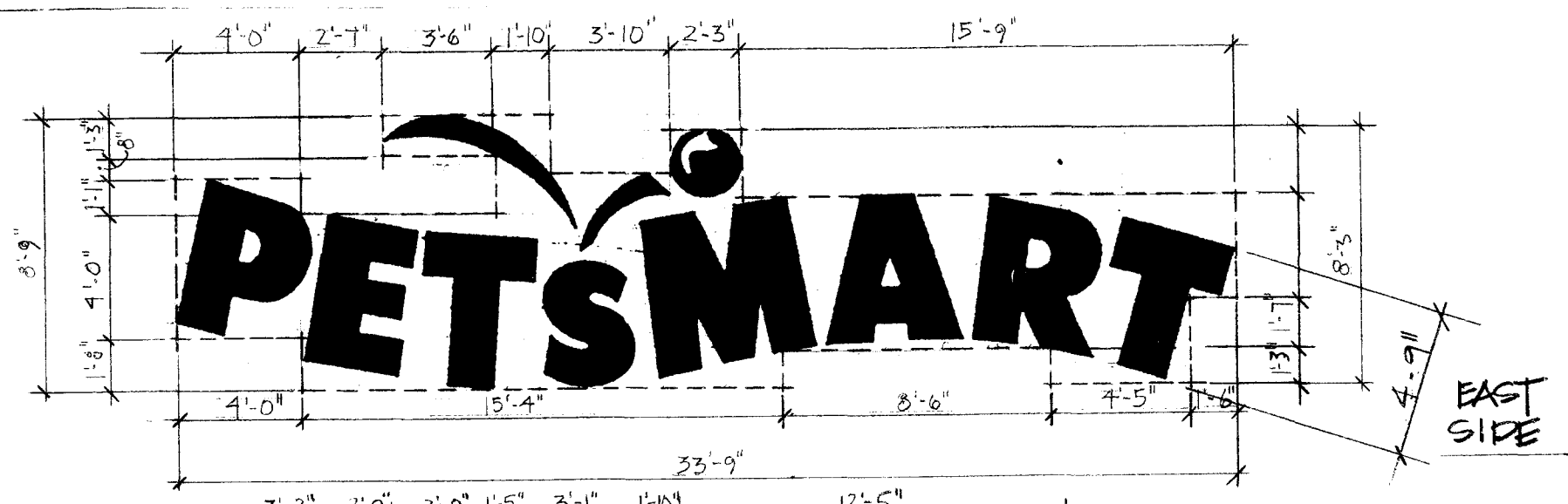
SCALE: 1/16" = 1'-0"



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6.4.99	FDP SUBMITTAL II
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9.7.99	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

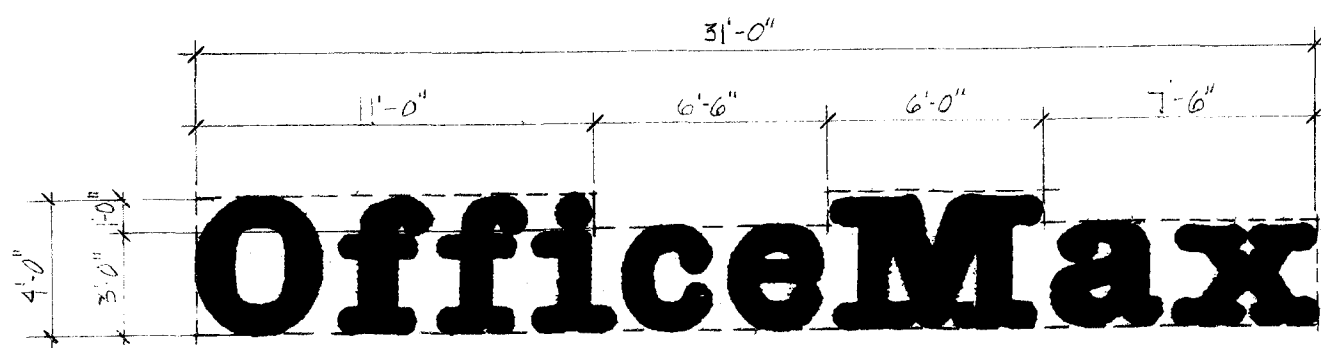
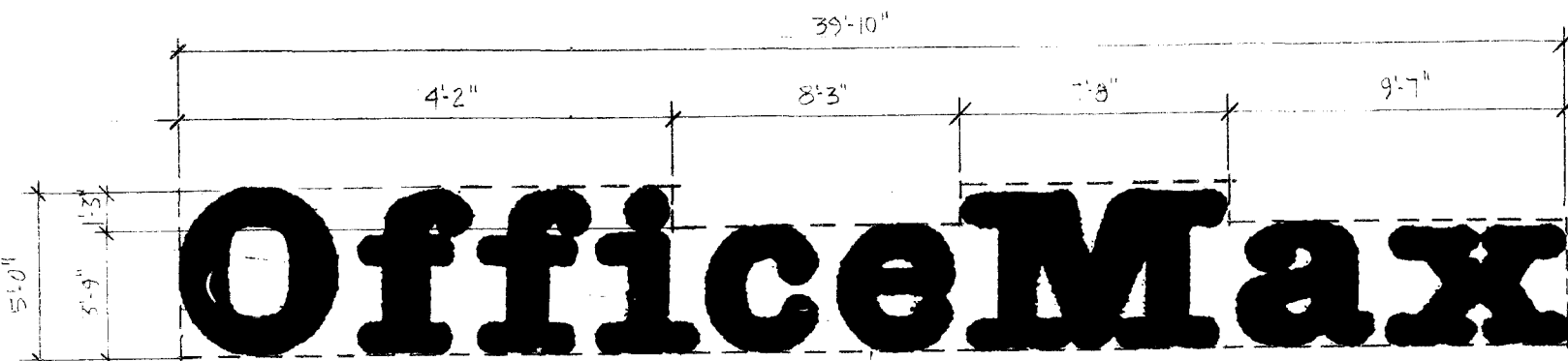
SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: ELEVATION/SIDEWALK PLAN



SCALE: 3/16" = 1'-0"

SIGN AREA CALCULATION (MAJOR 1)

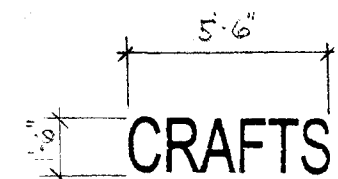
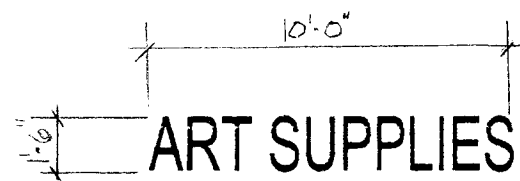
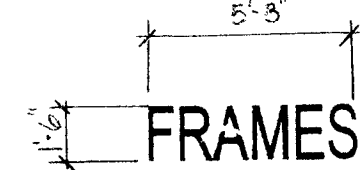
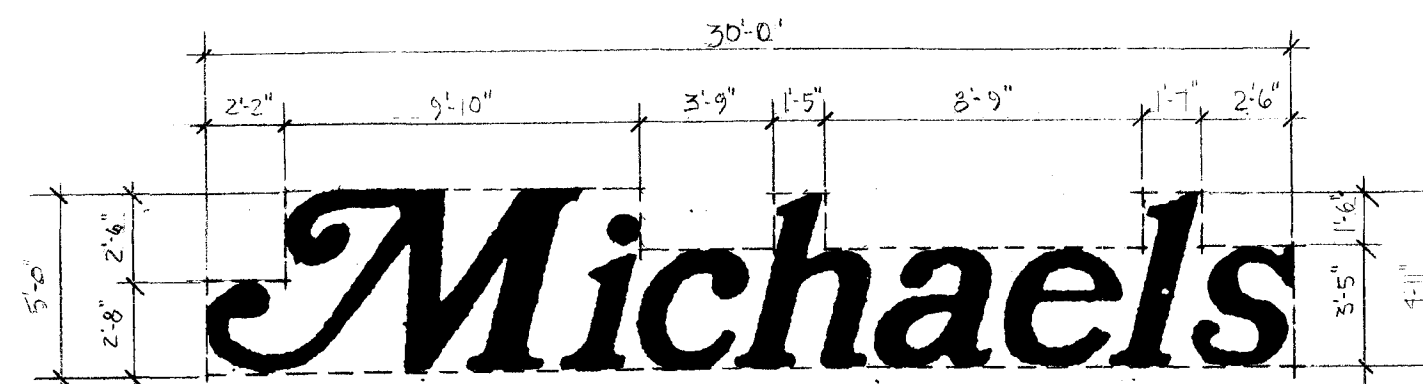
NO.	SIGN	AREA (S.F.)	LOCATION	COLOR
1	"PETSMART" (4' LETTER)	136	NORTH ELEV. • ENTRY	RED
3	"VETSMART"	12.5	NORTH ELEV.	RED
4	"GROOMING"	12.5	NORTH ELEV.	RED
SUB-TOTAL		161	MAX ALLOWABLE	172.00
2	"PETSMART" (4'-9" LETTER)	173.00	EAST ELEV.	RED
SUB-TOTAL		173.00	MAX ALLOWABLE	200.00
TOTAL SIGN AREA		334	MAX ALLOWABLE	372.00
MAX HEIGHT =		4'-9"	MAX ALLOWABLE	5'



SCALE: 3/16" = 1'-0"

SIGN AREA CALCULATION (MAJOR 6)

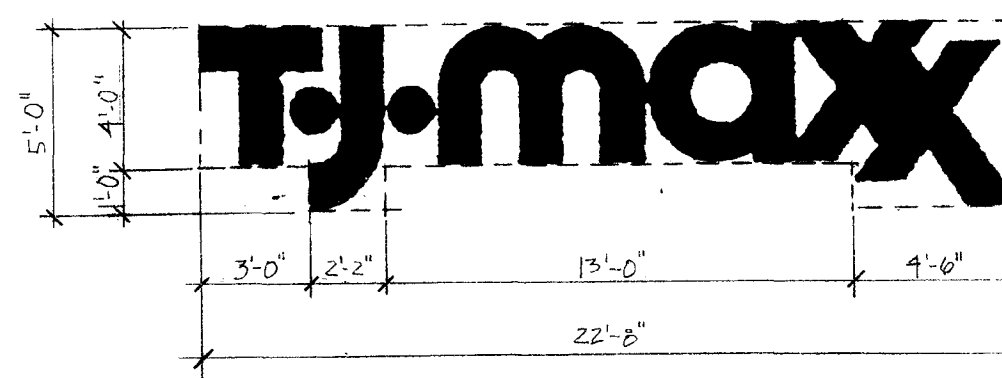
NO.	SIGN	AREA (S.F.)	LOCATION	COLOR
1	"OFFICEMAX" (5'-0")	175.30	NORTH ELEV. • ENTRY	RED
SUB-TOTAL		175.30	MAX ALLOWABLE	175.00
2	"OFFICEMAX" (4'-0")	140.24	WEST ELEV.	RED
SUB-TOTAL		140.24	MAX ALLOWABLE	200.00
TOTAL SIGN AREA		315.54	MAX ALLOWABLE	375.00
MAX. HEIGHT		5'	MAX ALLOWED	5'



SCALE: 3/16" = 1'-0"

SIGN AREA CALCULATION (MAJOR 4)

NO.	SIGN	AREA (S.F.)	LOCATION	COLOR
1	"MICHAELS"	127.06	EAST ELEV. • ENTRY	RED
2	"FRAMES"	8.50	EAST ELEV.	RED
3	"ART SUPPLIES"	15.00	EAST ELEV.	RED
4	"CRAFTS"	8.25	EAST ELEV.	RED
TOTAL SIGN AREA		158.81	MAX ALLOWABLE	190.00
MAX HEIGHT		5'	MAX HT. ALLOW.	5'



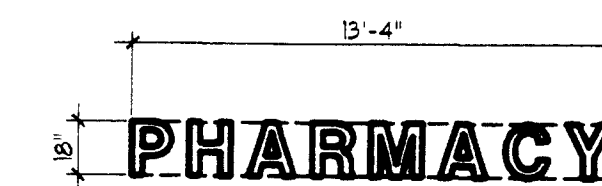
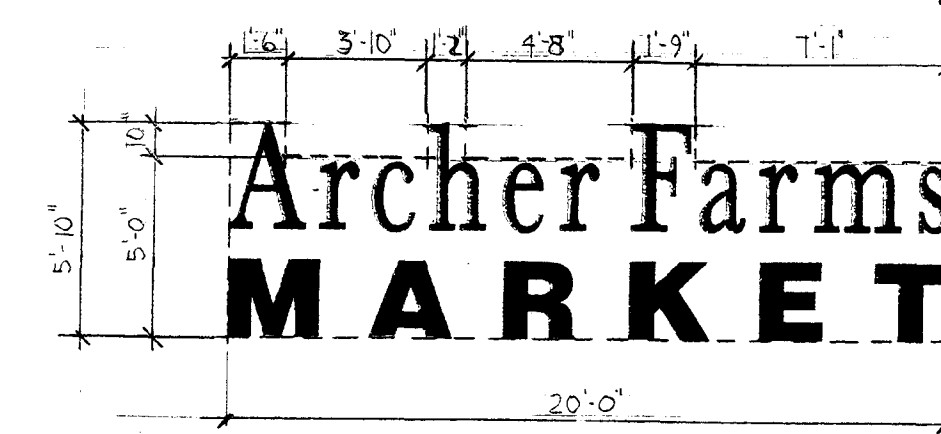
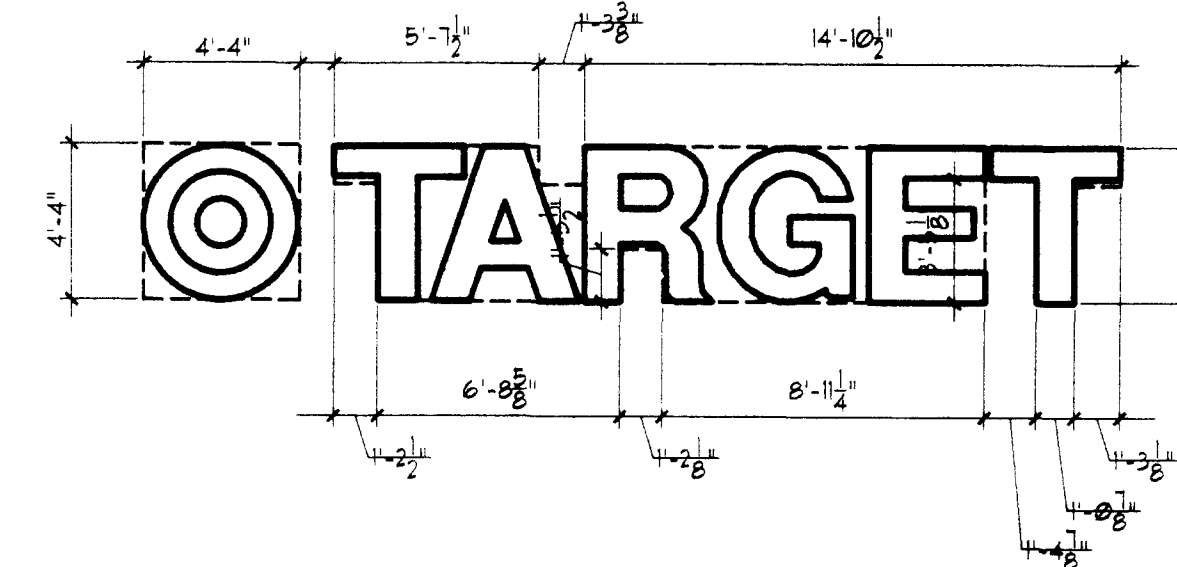
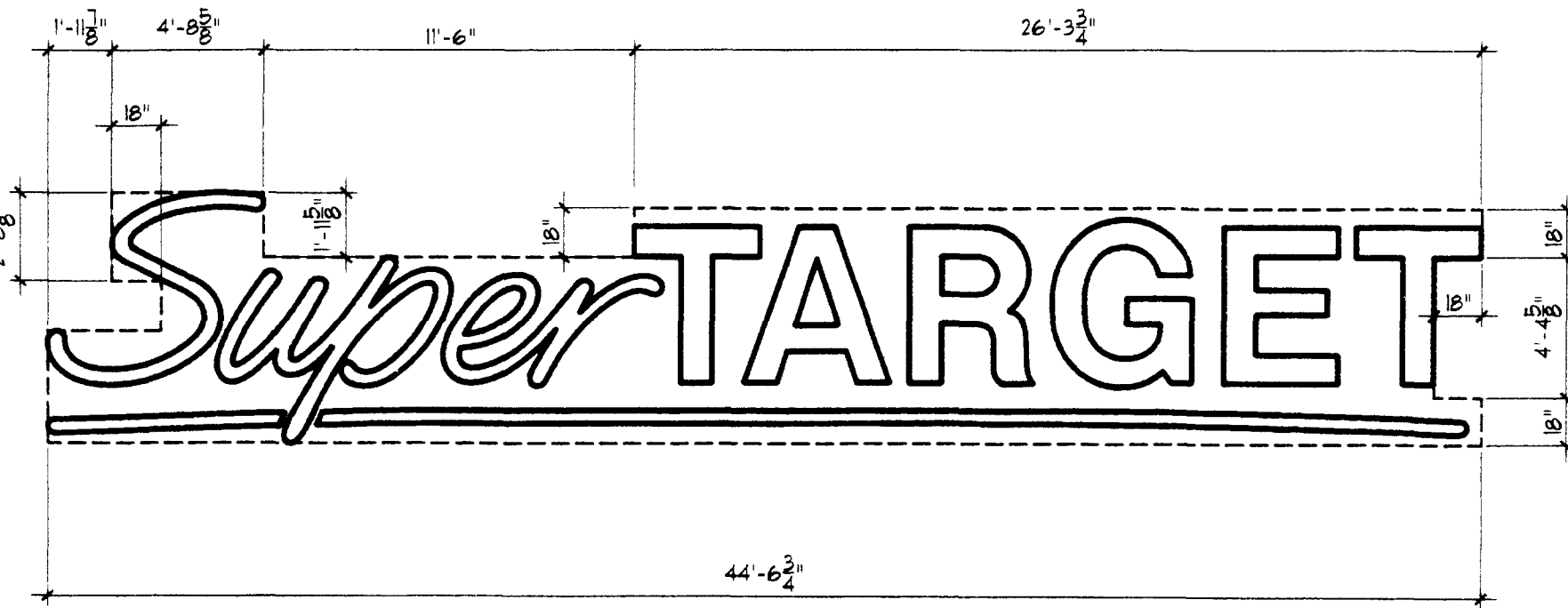
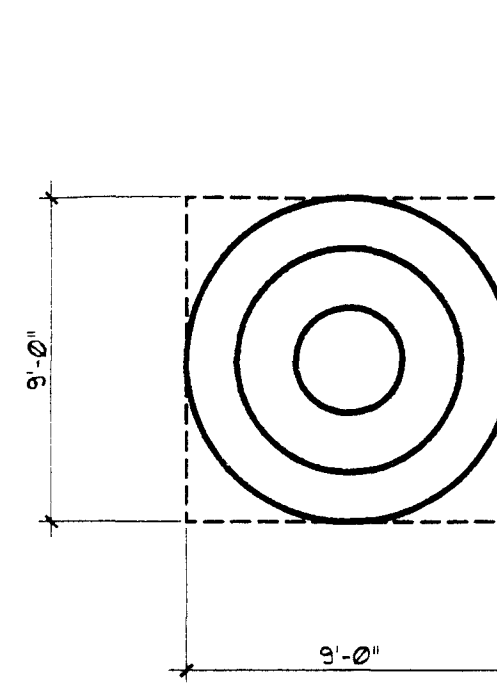
SCALE: 3/16" = 1'-0"

SIGN AREA CALCULATION (MAJOR 3)

NO.	SIGN	AREA (S.F.)	LOCATION	COLOR
1	"TJ-MAXX"	94.68	EAST ELEV. • ENTRY	WHITE
TOTAL SIGN AREA		94.68	MAX ALLOWABLE	200.00
MAX HEIGHT		5'	MAX ALLOWABLE	5'

NOTES:

1. MAIN TENANT NAME SIGNS SHALL BE INTERNALLY LIGHTED.
2. ALL OTHER SIGNS SHALL BE EXTERNALLY LIGHTED.
3. ALL INTERNALLY LIGHTED SIGN FACES TO BE TRANSLUCENT PLASTIC OF INDICATED COLOR.



SCALE: 3/16" = 1'-0"

SIGN AREA CALCULATION (MAJOR 5)

NO.	SIGN	AREA (S.F.)	LOCATION	COLOR
1	"SUPER TARGET"	371	EAST ELEV. CENTRAL	BULLSEYE - RED, SUPER - GREEN, UNDERLINE - RED
2	"Archer Farms MARKET"	104	EAST ELEV. NORTH	Archer Farms - GREEN, MARKET - RED
3	"TARGET"	97	EAST ELEV. SOUTH	RED
4	"PHARMACY"	20	EAST ELEV.	RED
TOTAL SIGN AREA		592	MAX ALLOWABLE	600

MAX LETTER HT = 0' MAX ALLOWED = 0'
MAX LOGO HT = 9' MAX ALLOWED = 9'

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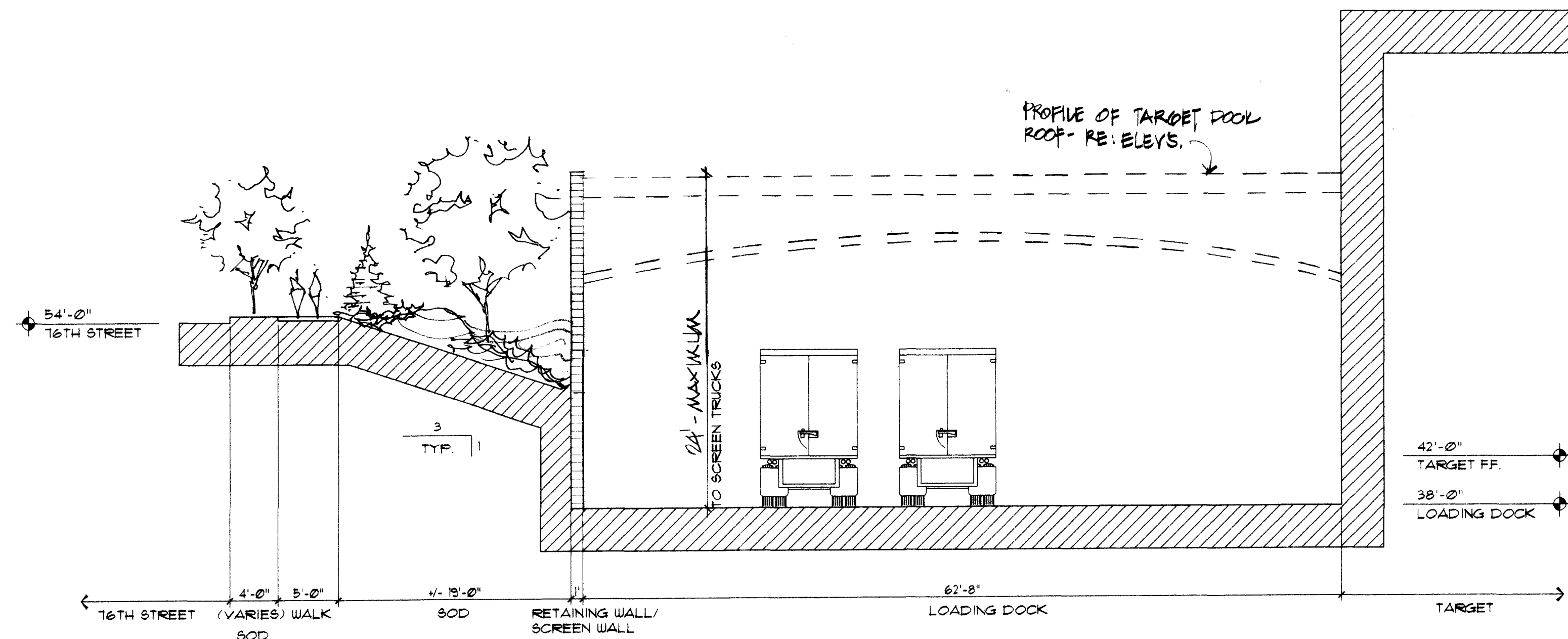
DATE	REVISION
8.30.99	REVISION
9.7.99	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

PROJECT NUMBER:
DRAWN BY:
CHECKED BY:
DESCRIPTION:

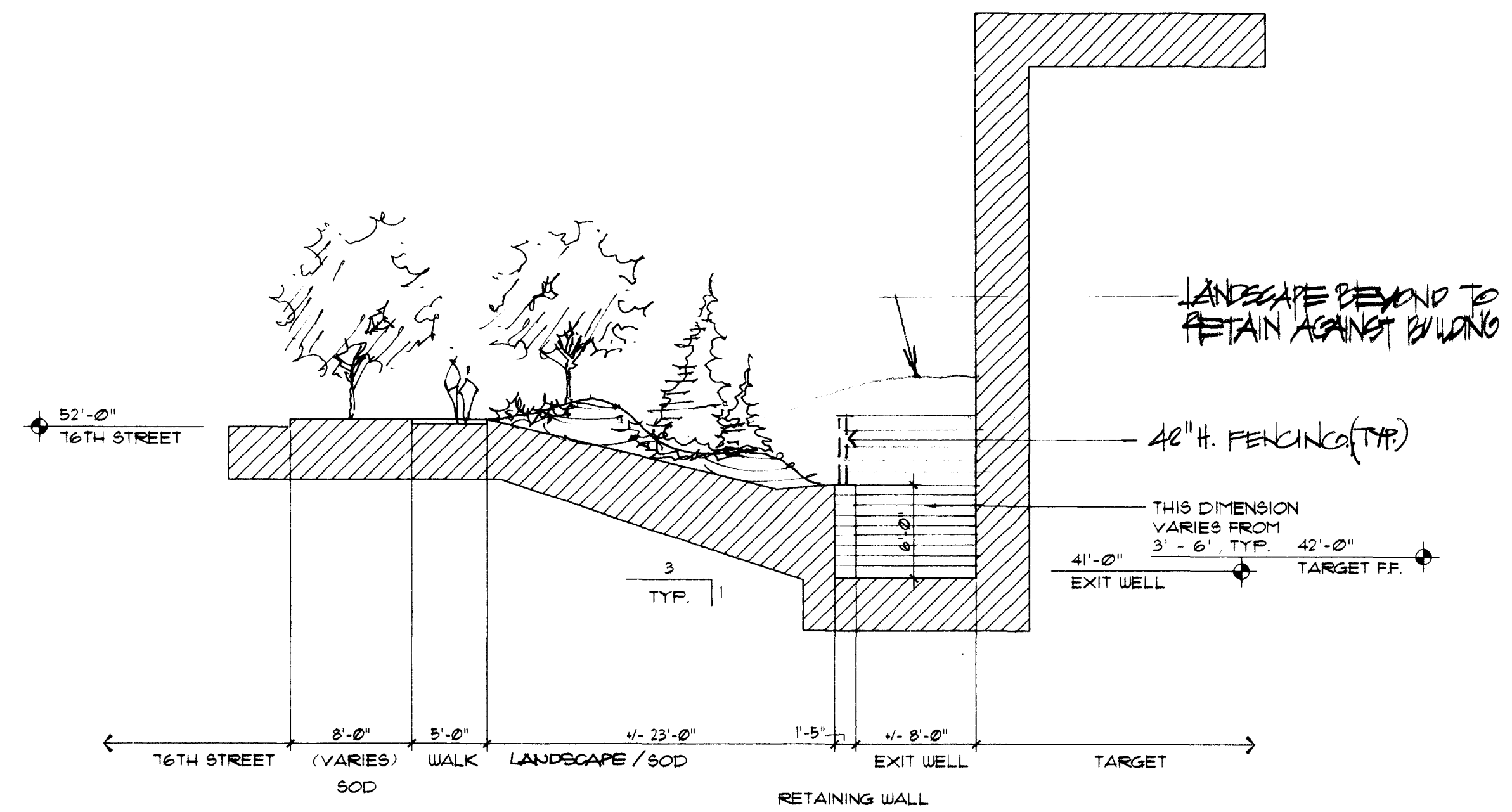
SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - DIAGRAMMATIC SITE SECTIONS
ELCOR DEVELOPMENT, LLC

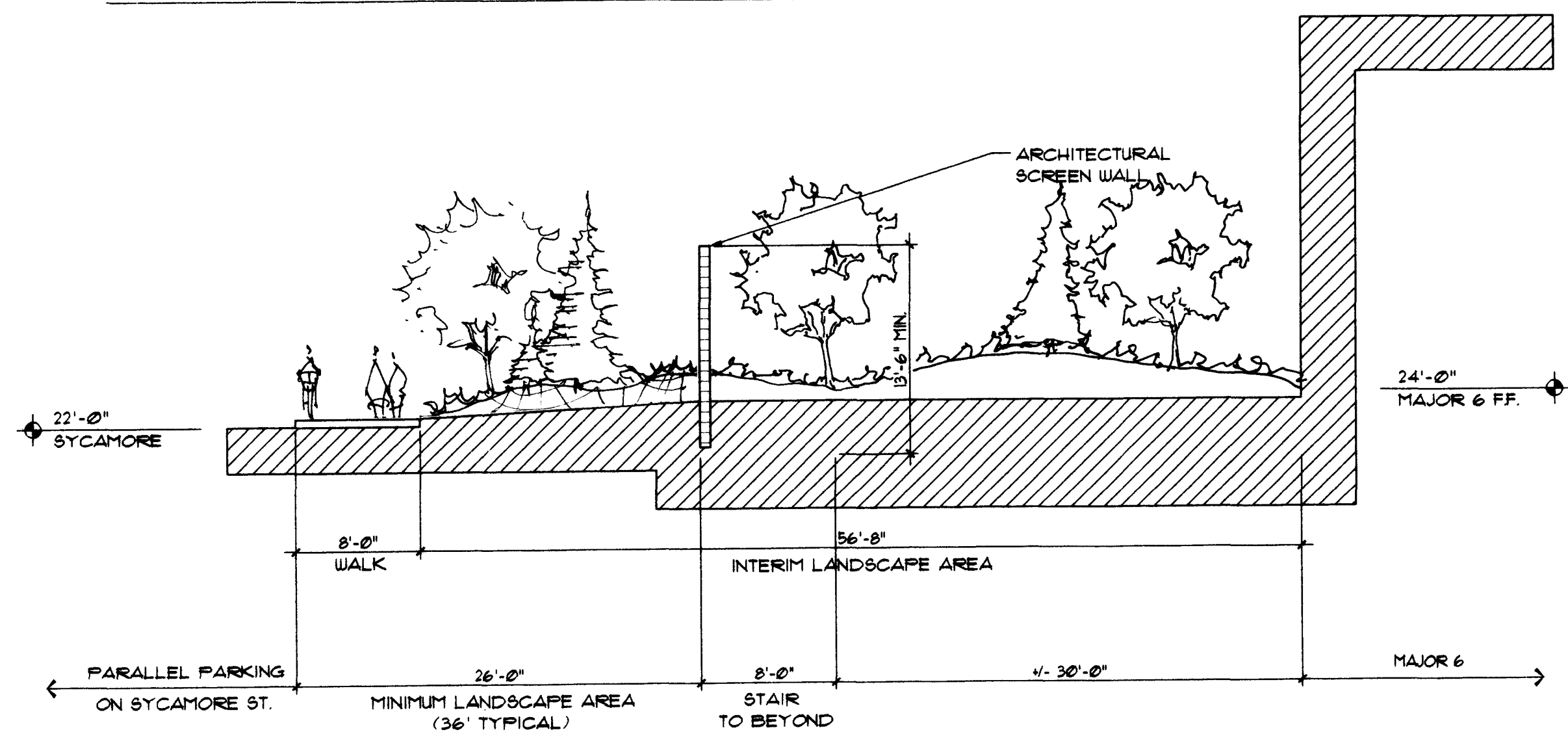
1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2601



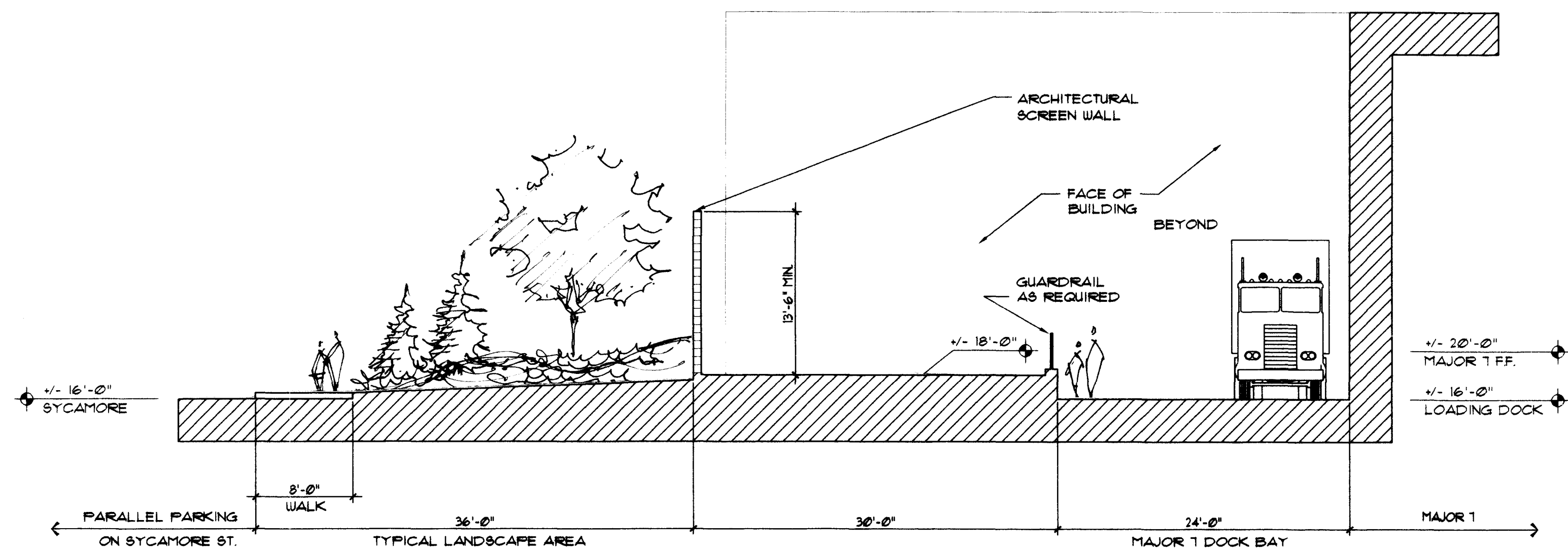
SECTION A-A - THRU TARGET LOADING DOCK



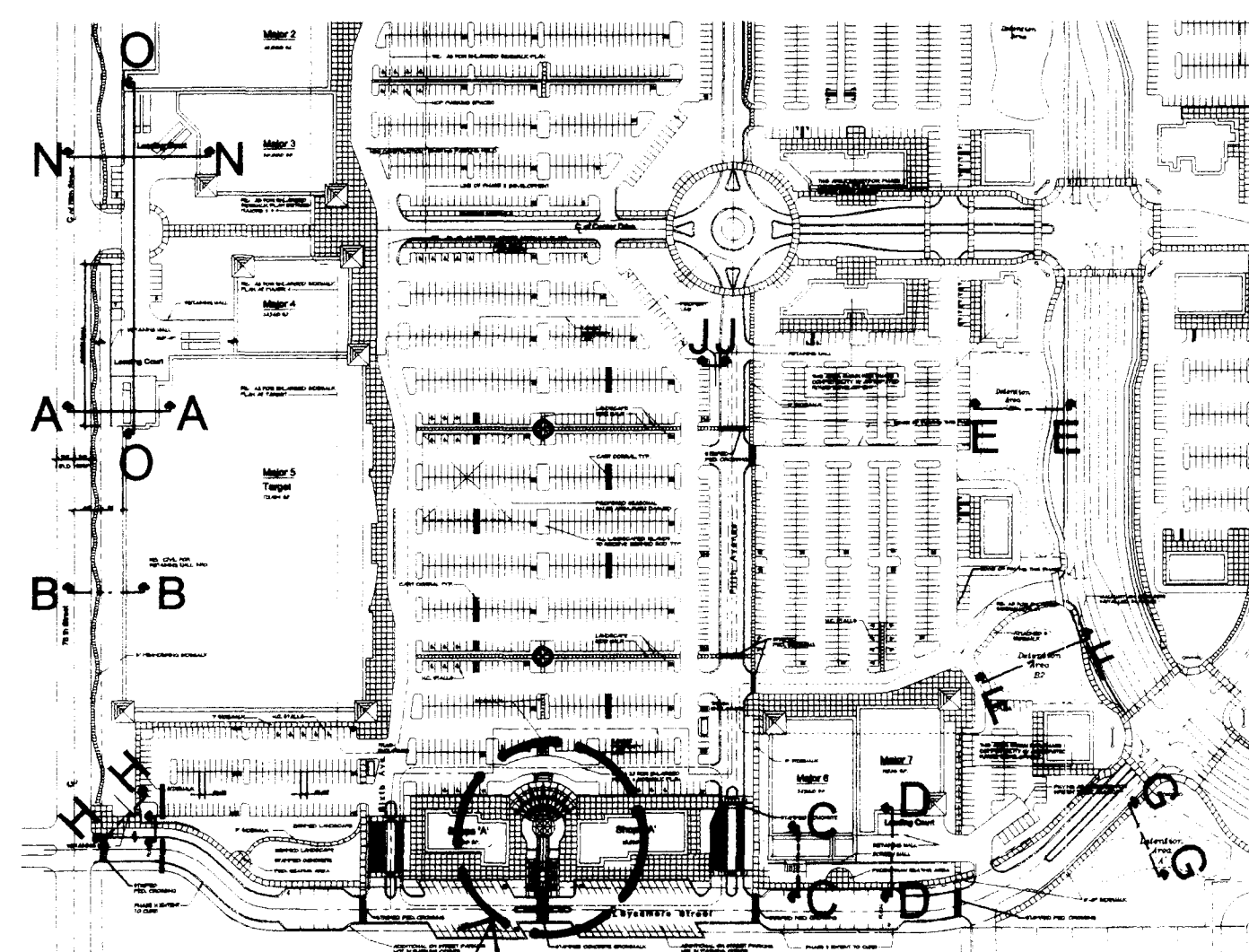
SECTION B-B - AT TARGET BUILDING REAR



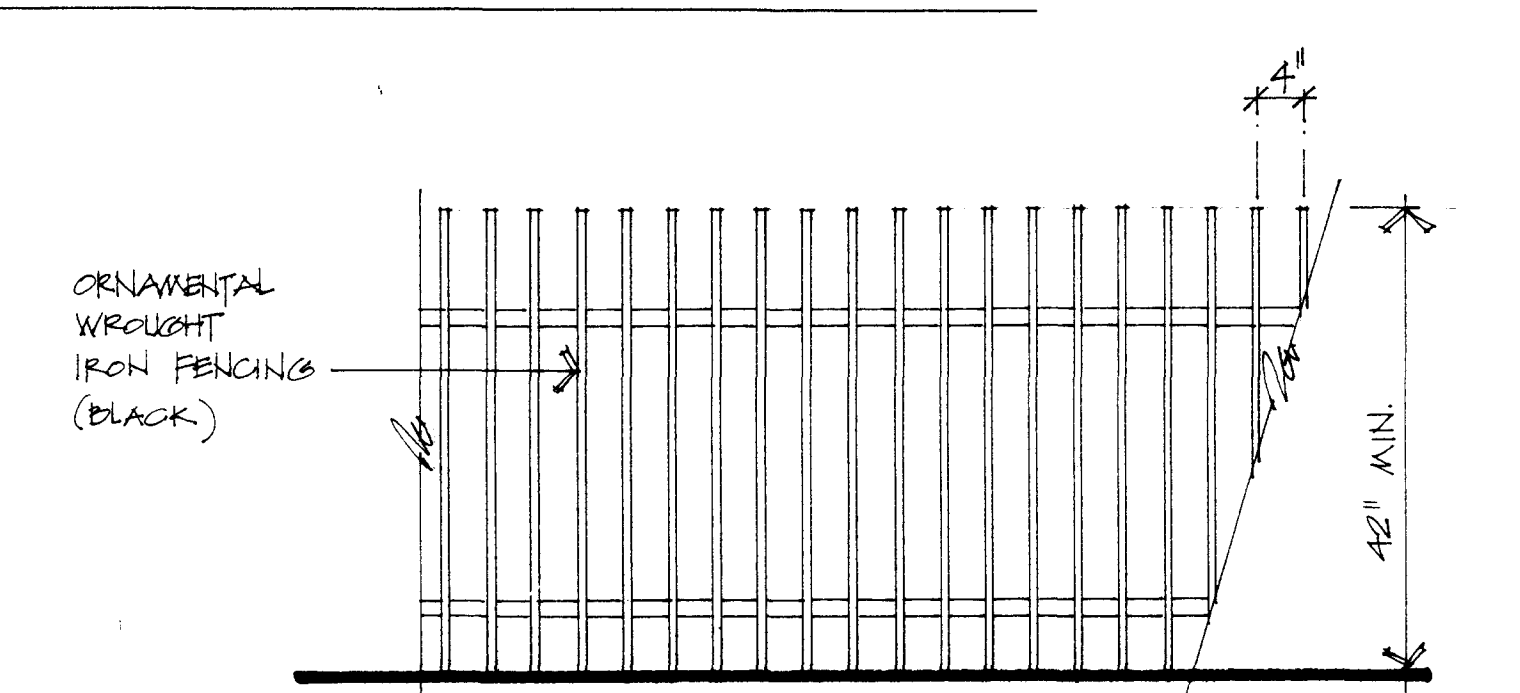
SECTION C-C - BEHIND MAJOR 6 - INTERIM LANDSCAPE



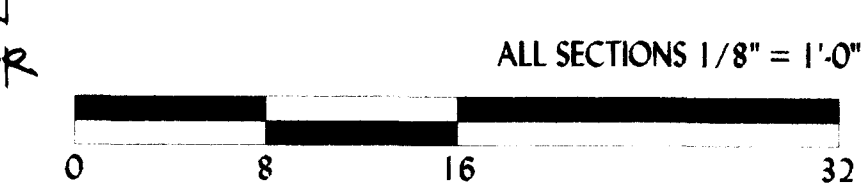
SECTION D-D - THRU MAJOR 7 LOADING DOCK



NOTE: SEE A15 FOR PLAZA SECTION CUTS
SECTION KEY PLAN
SEE A14 & A16 FOR ADDITIONAL SECTIONS



ORNAMENTAL WROUGHT IRON FENCING (BLACK)
TYPICAL FENCING DETAIL
NOT TO SCALE
NOTE: REFERENCE SITE PLAN SHEETS A2 & A2.1 FOR EXTENT.



ALL SECTIONS 1/8" = 1'-0"

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DATE	REVISION
9.13.99	FDP REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: CM
CHECKED BY: DD/MGM
DESCRIPTION: DIAGRAMMATIC SITE SECTIONS

DIAGRAMMATIC SITE SECTIONS

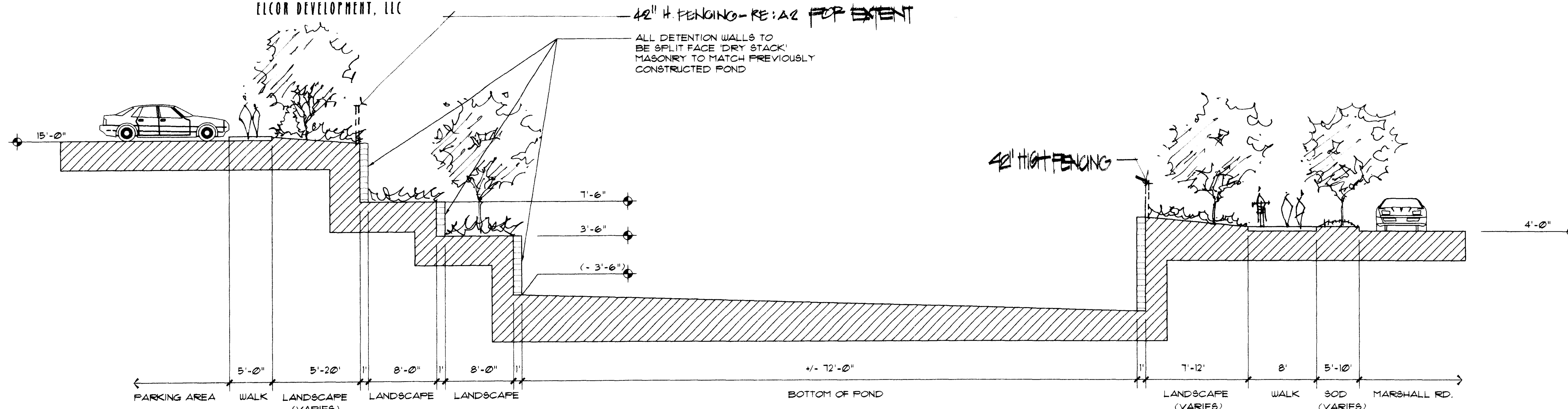
SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - DIAGRAMMATIC SITE SECTIONS

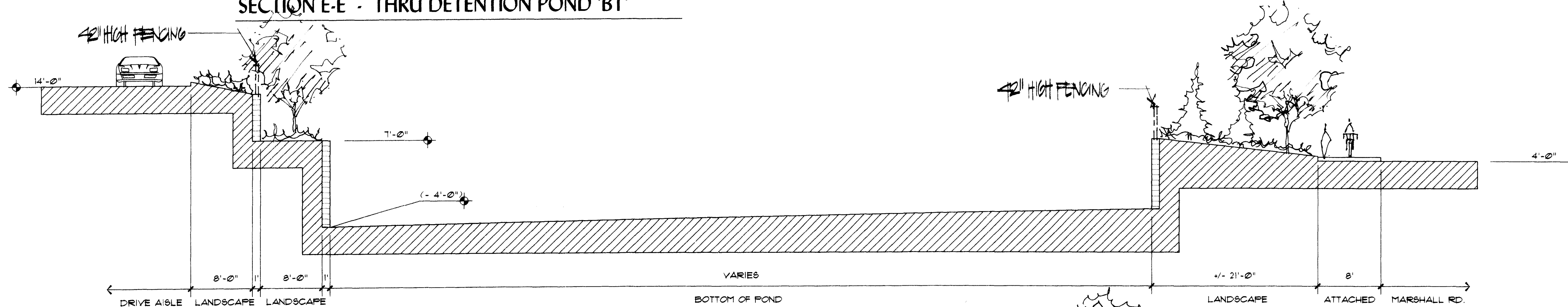
ELCOR DEVELOPMENT, LLC

42" H. FENCING - RE: A2 FDP EXIST

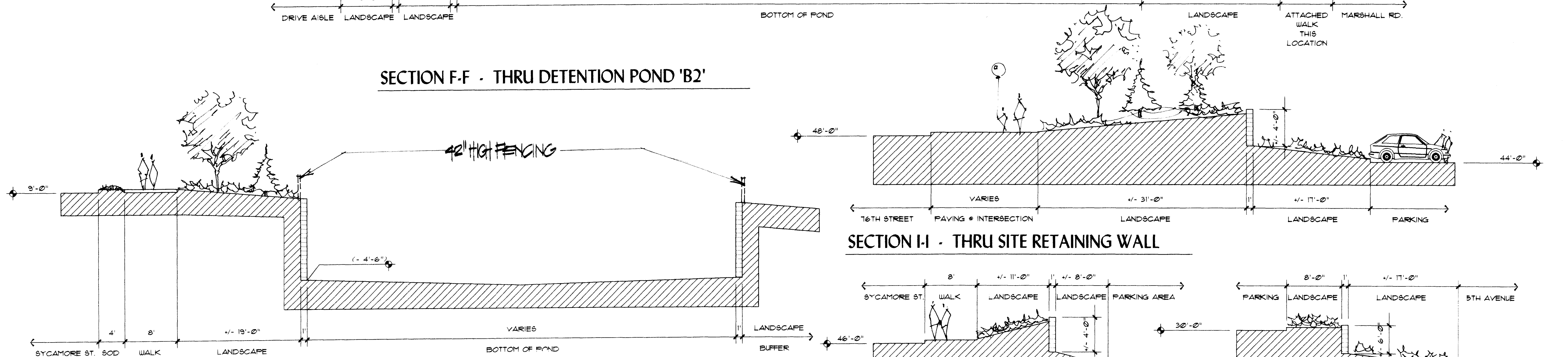
ALL DETENTION WALLS TO BE SPLIT FACE 'DRY STACK' MASONRY TO MATCH PREVIOUSLY CONSTRUCTED POND



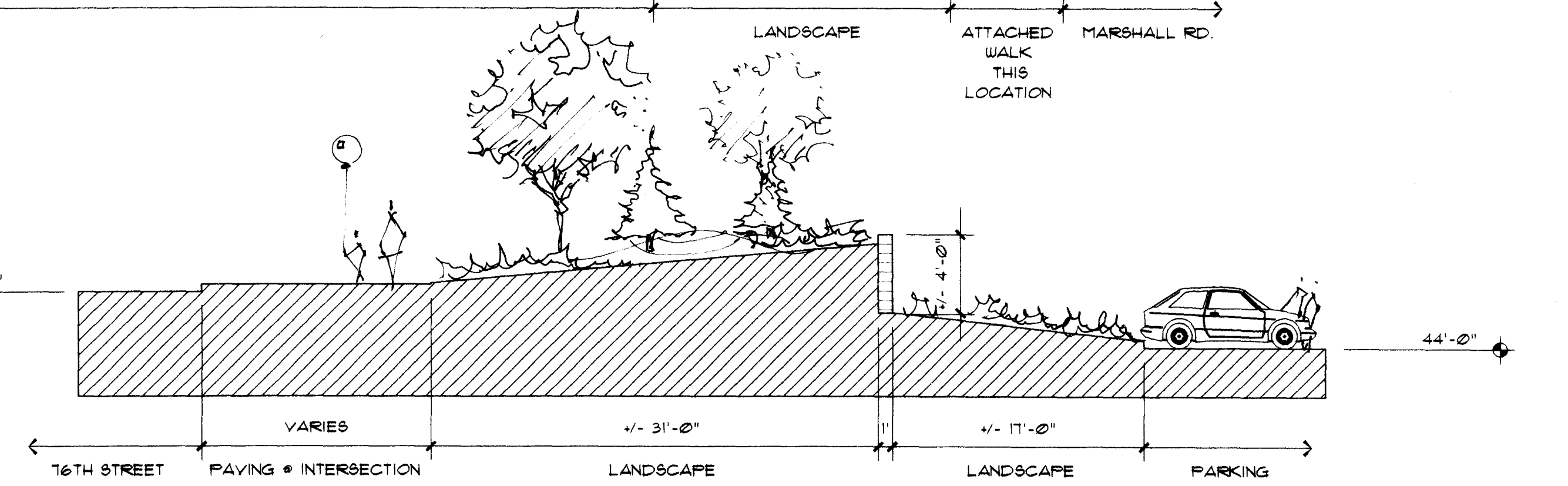
SECTION E-E - THRU DETENTION POND 'B1'



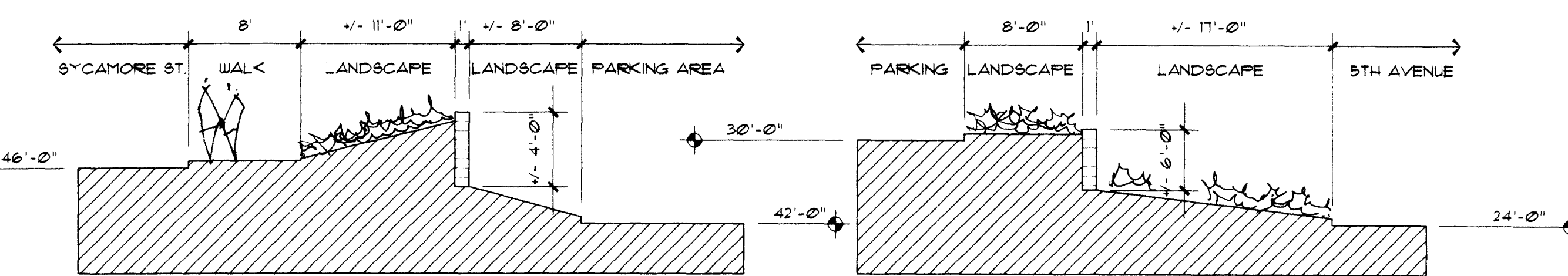
SECTION F-F - THRU DETENTION POND 'B2'



SECTION G-G - THRU DETENTION POND 'A'

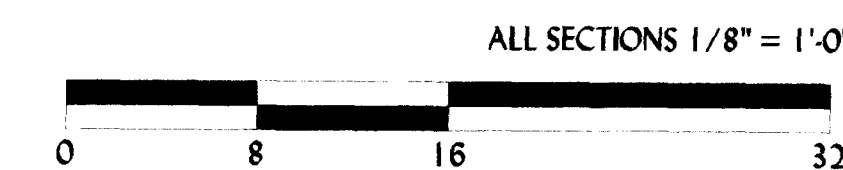


SECTION I-I - THRU SITE RETAINING WALL



SECTION J-J - THRU SITE RETAINING WALL

SECTION J-J - THRU SITE RETAINING WALL



DIAGRAMMATIC SITE SECTIONS

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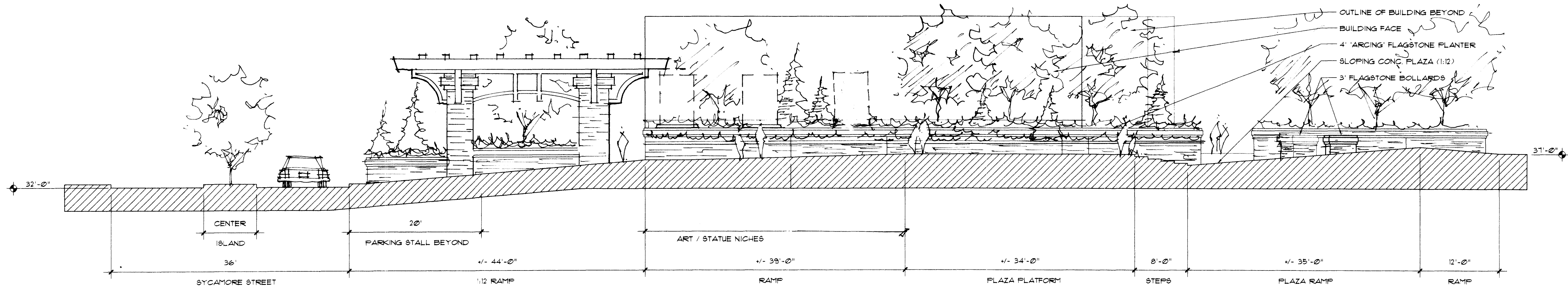
DATE	REVISION
9.13.99	FDP REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: CM
CHECKED BY: DD/MGM
DESCRIPTION: DIAGRAMMATIC SITE SECTIONS

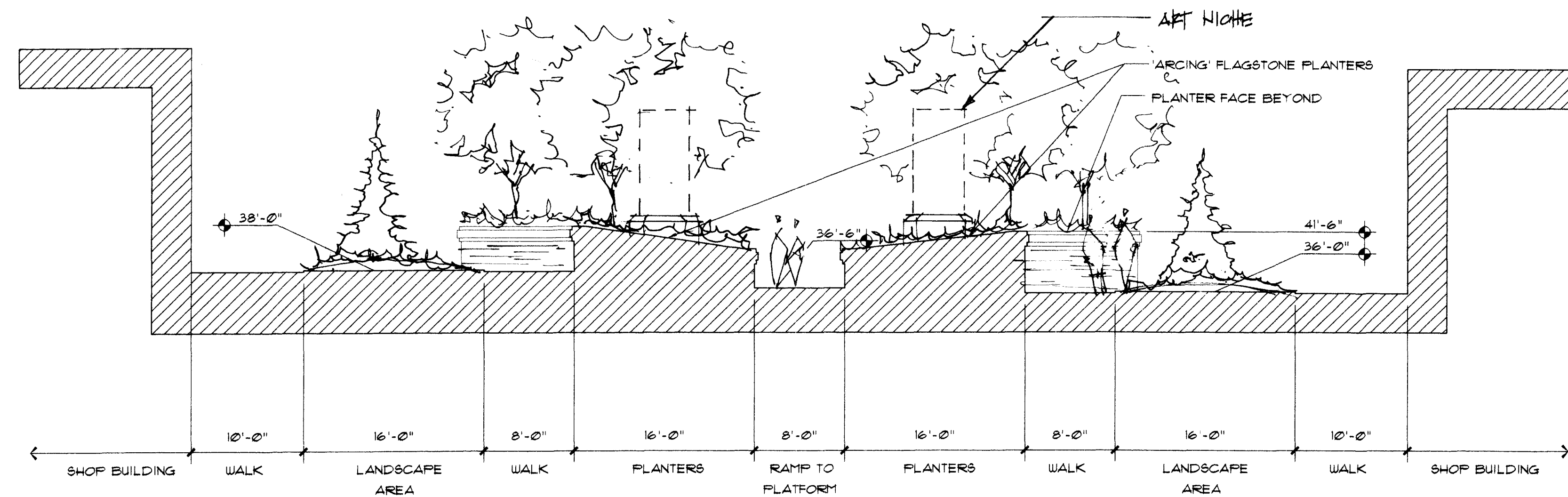
SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN - SHOPS 'A' PLAZA SECTIONS
ELCOR DEVELOPMENT, LLC

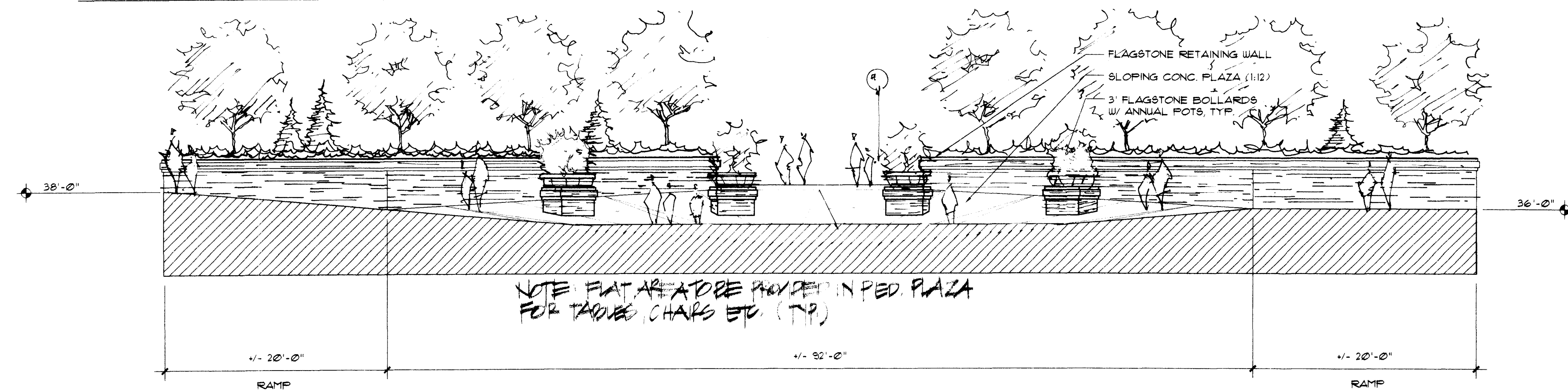
1730 BLAKE STREET SUITE 435
DENVER, COLORADO 80202
303-287-3334 FAX 303-292-2601



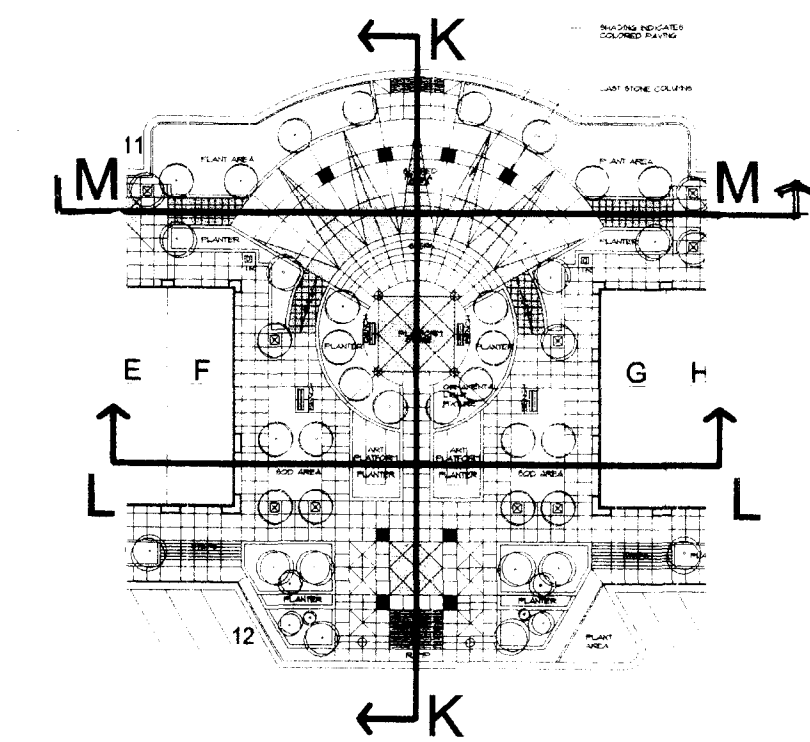
SECTION K-K - LONGITUDINAL THRU PLAZA



SECTION L-L - BETWEEN RETAIL BUILDINGS



SECTION M-M - THRU SLOPING PLAZA

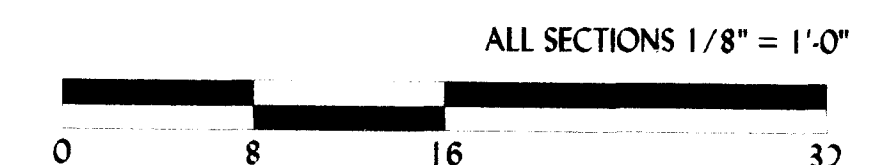


SECTION KEY PLAN

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DATE	REVISION
9.13.99	FDP REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: CM
CHECKED BY: DD/MGM
DESCRIPTION: SHOPS 'A' SECTIONS



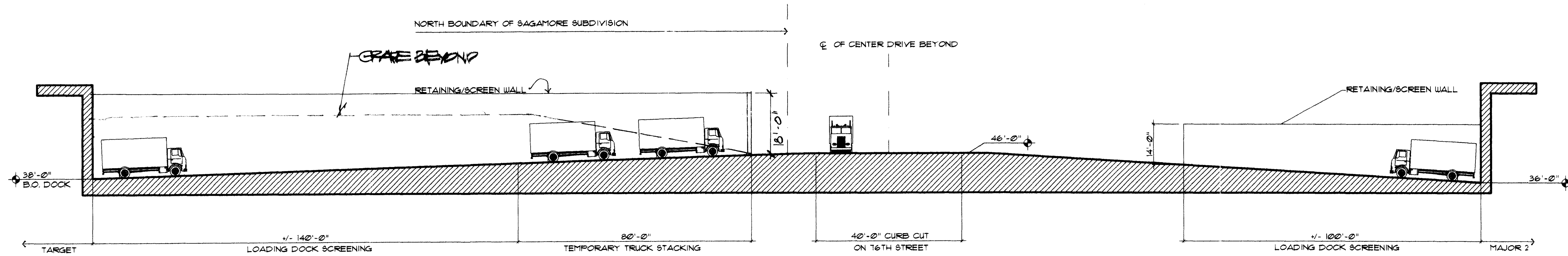
SHOPS 'A' PLAZA SECTIONS

SUPERIOR MARKETPLACE

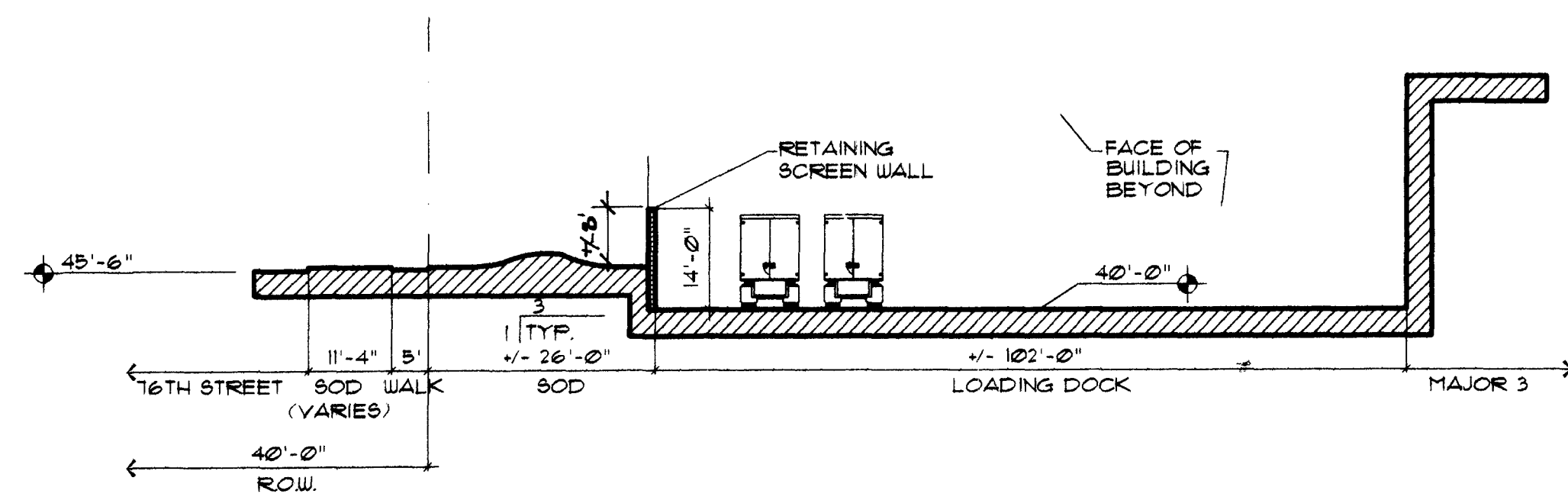
PHASE II FINAL DEVELOPMENT PLAN - DIAGRAMMATIC SITE SECTIONS
ILCOR DEVELOPMENT, LLC

THE MULHERN GROUP LTD.
ARCHITECTURE • PLANNING • INTERIORS

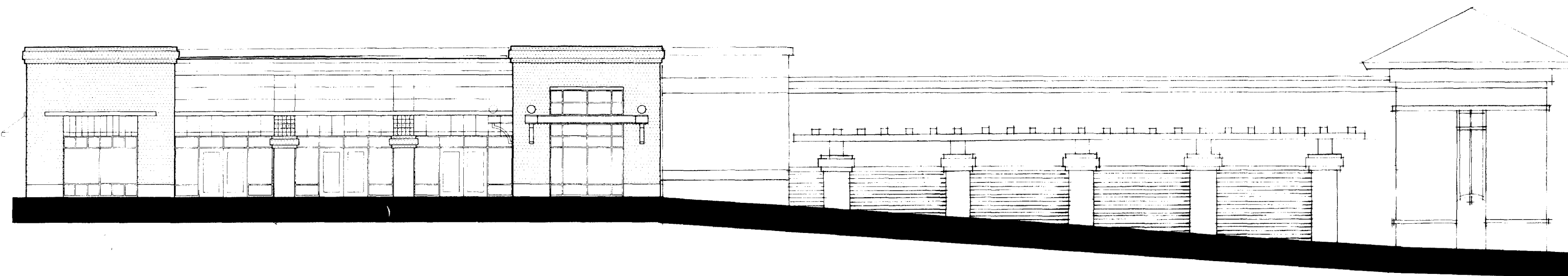
1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2601



SECTION O-O - THRU TARGET AND MAJOR 2 & 3 LOADING DOCK - LOOKING WEST.



SECTION N-N - THRU MAJOR 2 & 3 LOADING DOCK



SOUTH ELEVATION - SHOPS A3

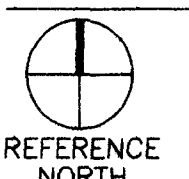
SUPERIOR MARKETPLACE
PHASE TWO FDP SUBMITTAL
SUPERIOR, COLORADO

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DATE	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: CM
CHECKED BY: DD/MGM
DESCRIPTION: DIAGRAMMATIC SITE SECTIONS

ALL ELEVATIONS 1" = 20'-0"

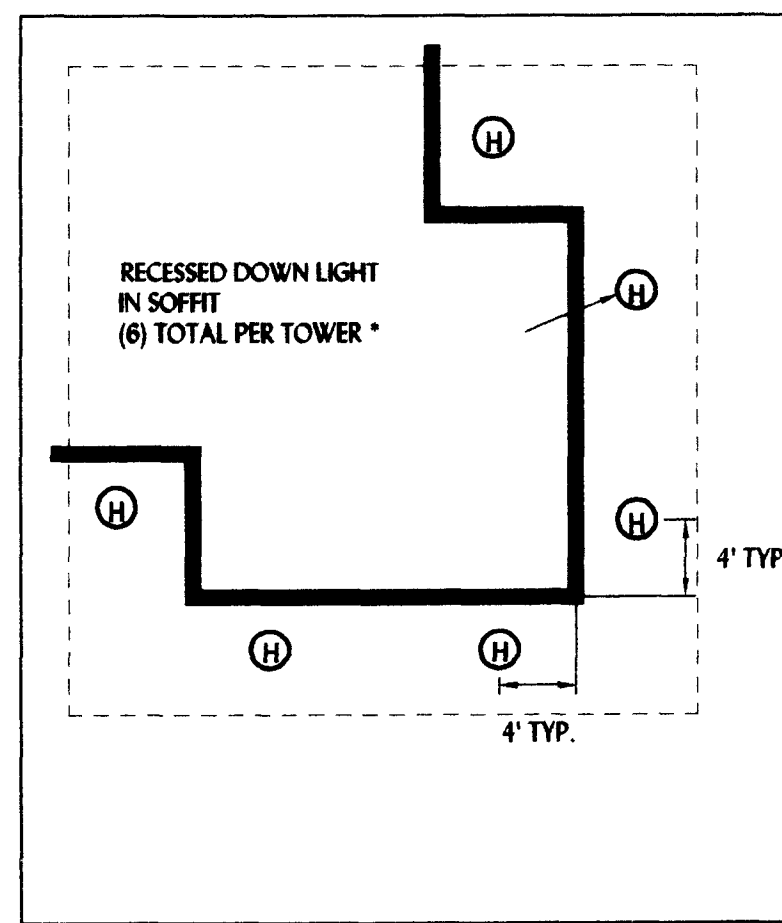


A16

DIAGRAMMATIC SITE SECTIONS

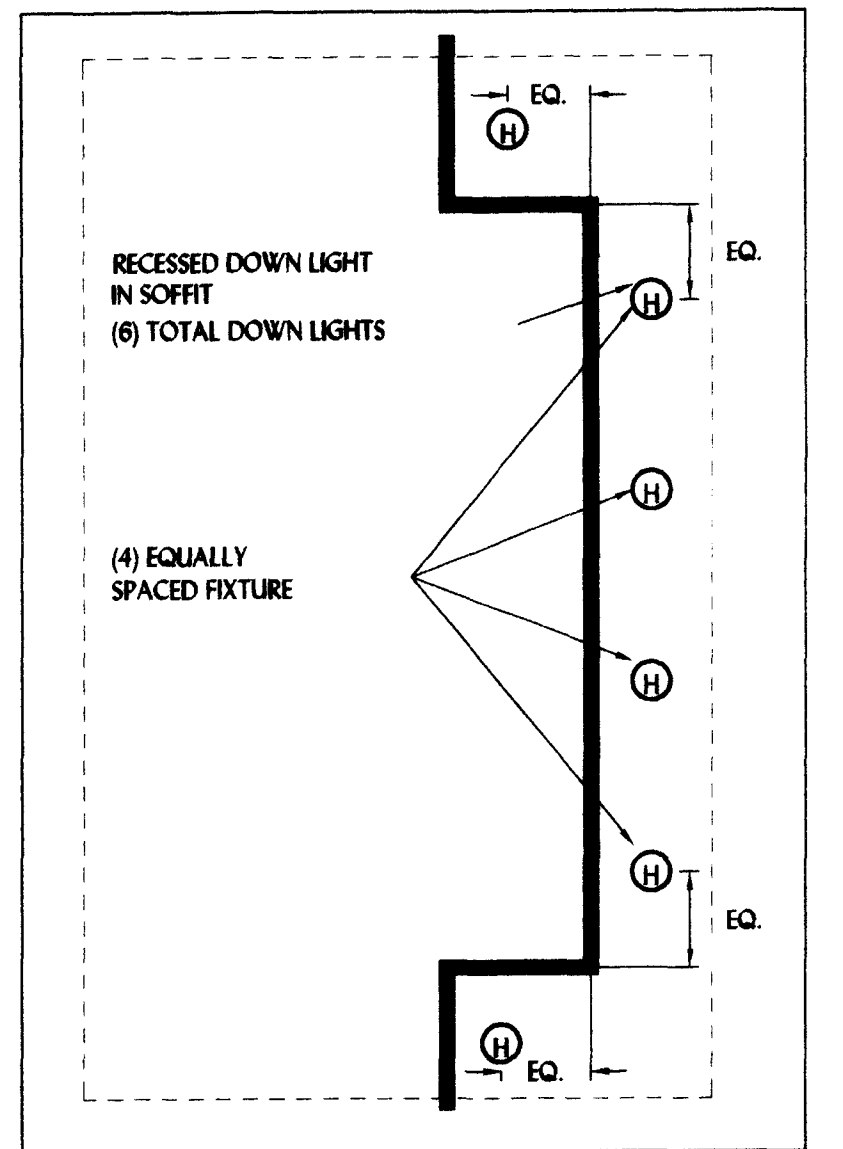
PHASE II LUMINAIRE SCHEDULE

LUMINAIRE LABEL	QUANTITY	DESCRIPTION	LUMENS PER LAMP	WATTAGE PER LAMP	LIGHT LOSS FACTOR
A	12	GARD-H191-3-400MH-480-FG-MVR400-08TRS35-D1	40000	400	.72
B	36	GARDCO# H192-Q-400MH/35' POLE (DOUBLE)	80000	400	.72
C	4	GARDCO# H191-3H-HS-400MH/35' POLE (SHIELD)	40000	400	.72
D		EXISTING FIXTURES ON PLAN			
E					
F	78	ORNAMENTAL LIGHT FIXTURE-TOTAL PHASE I & II		100	
G		EXISTING PUBLIC SERVICE LIGHTING			
H	102	BUILDING SOFFIT RECESSED DOWN LIGHT		100	
I	13	BUILDING MOUNTED 'CUT-OFF' LIGHT FIXTURE		100	

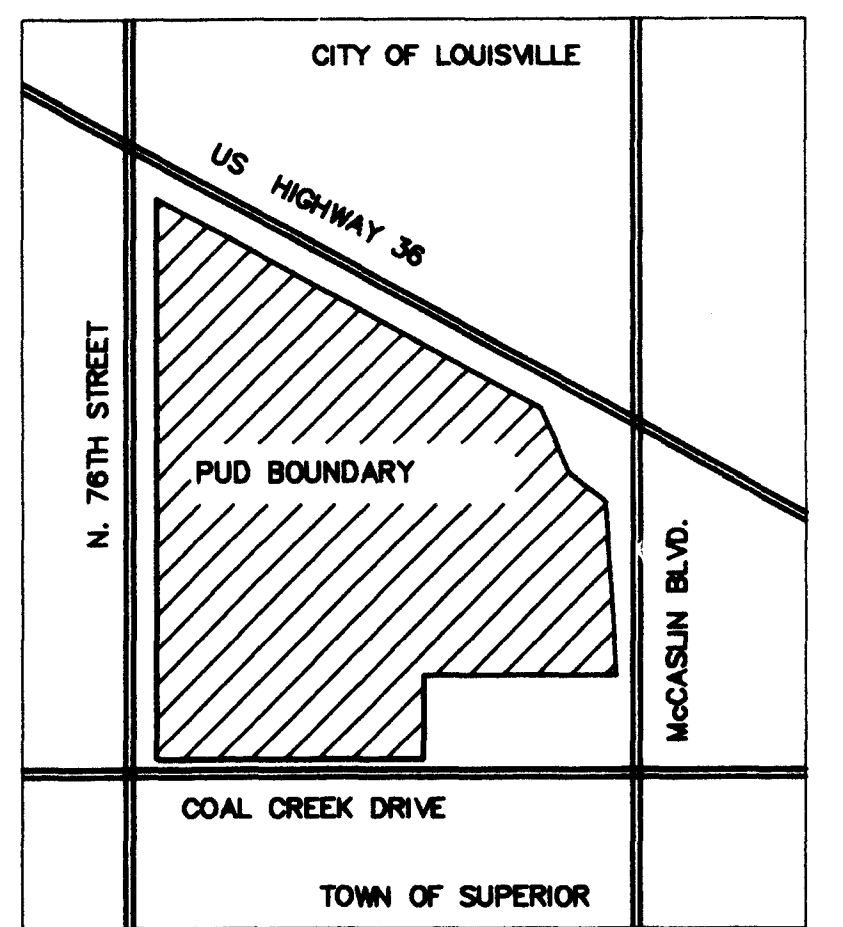


1 TYP. CORNER LIGHTING PLAN
NOT TO SCALE

PARKING LOT LIGHTS (NOT INCLUDING MAJOR TRAFFIC WAYS) SHALL GENERALLY STAY ILLUMINATED 1 - 1 1/2 HOURS BEYOND STORE HOURS OF OPERATION



2 TYP. ENTRY LIGHTING PLAN
NOT TO SCALE



VICINITY MAP

REVISED 09.07.99
RE-SUBMITTAL 10.01.99
10.15.99 REVISION
11.4.99 REVISION
12.29.99 REVISION

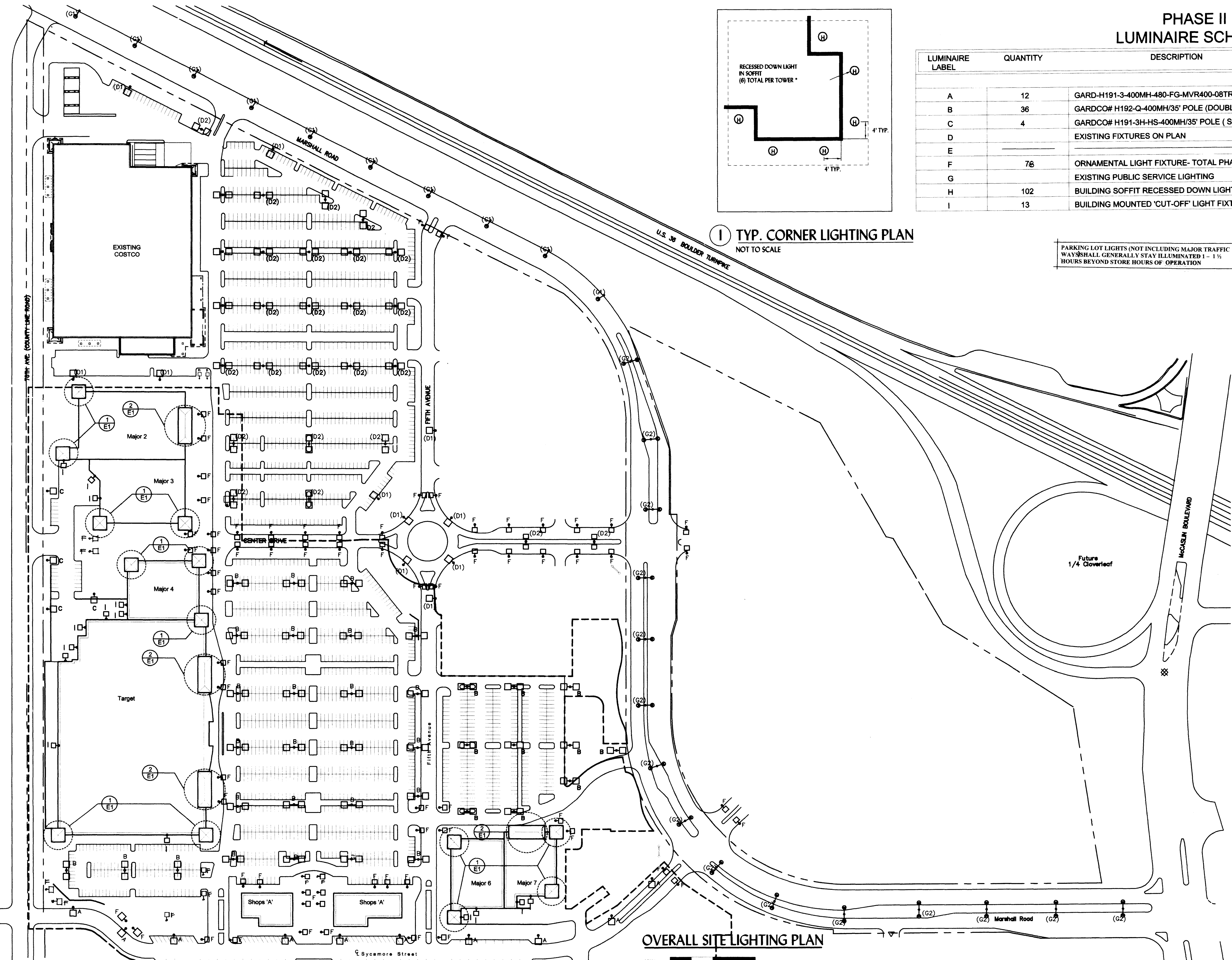
SUPERIOR MARKETPLACE
A portion of the LVZ of Section 22, T3S, R 69W of the 6th Principal Meridian

ELCON DEVELOPMENT, LLC

E1

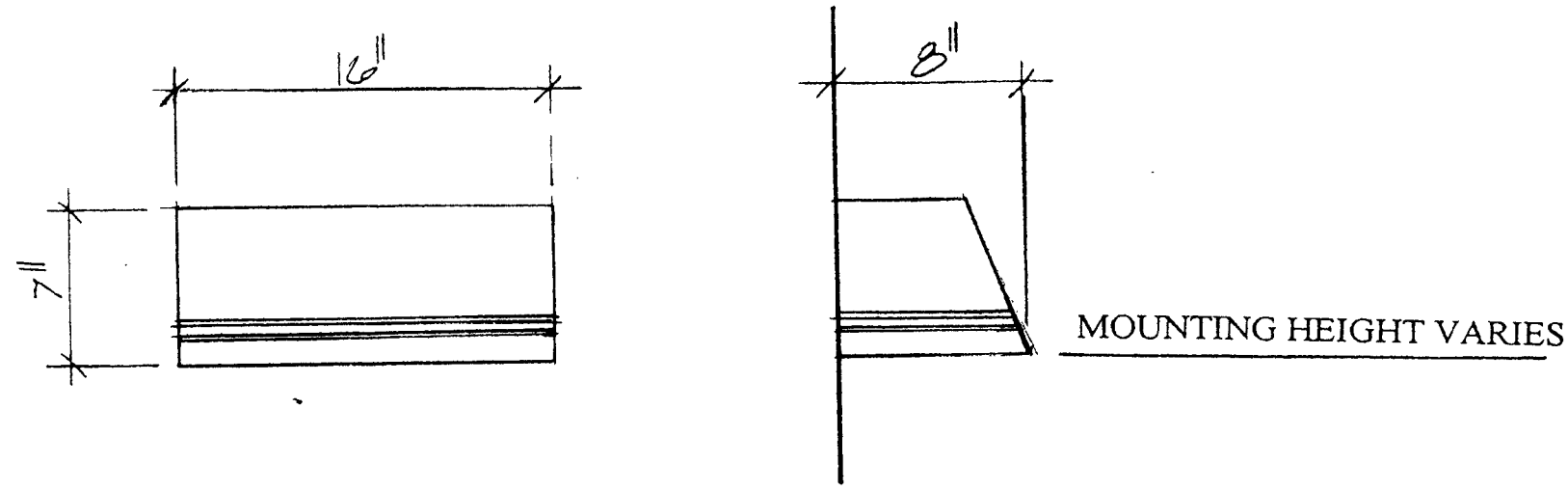
THE HULBURN GROUP, LTD.

Page 21 of 29



OVERALL SITE LIGHTING PLAN

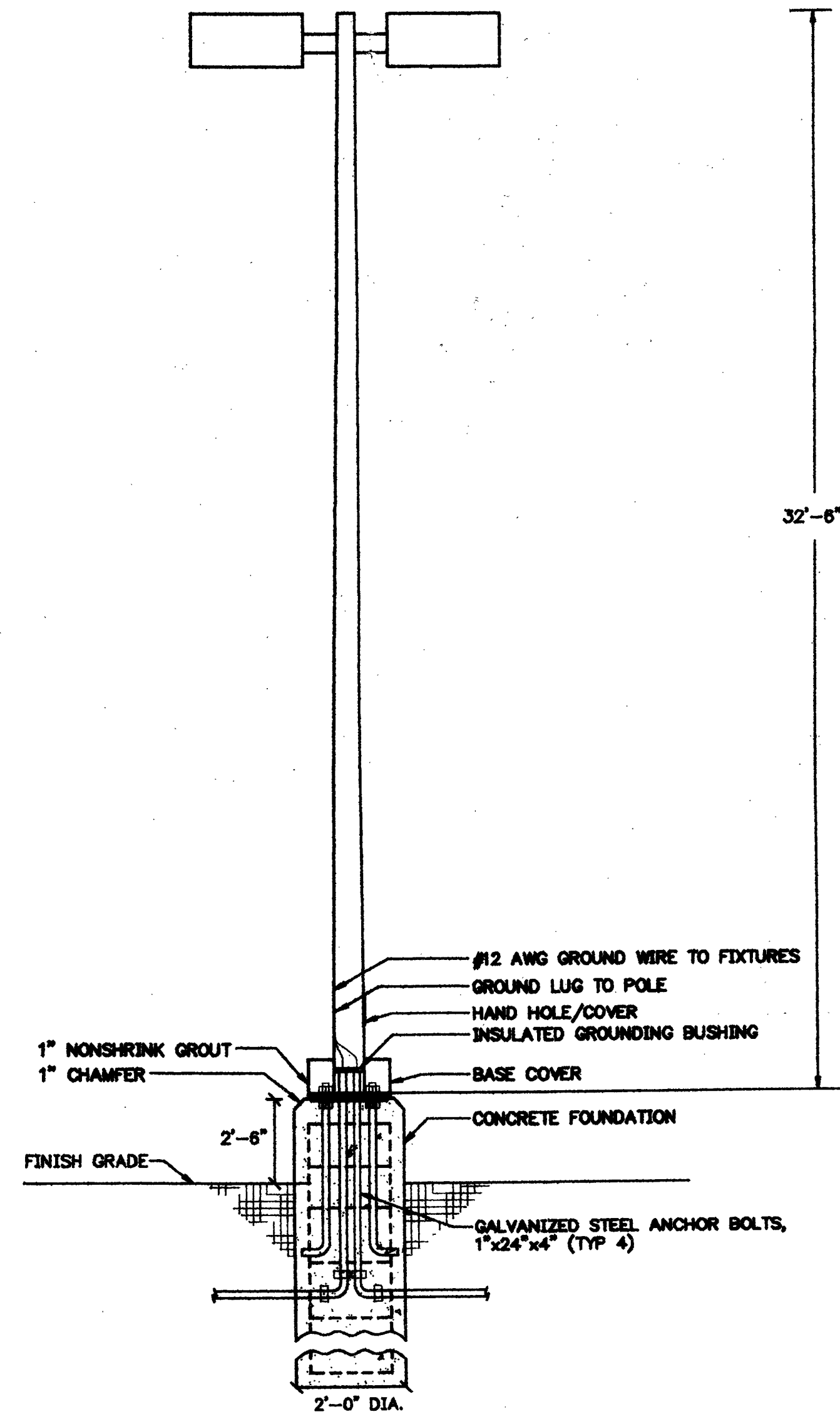
FIXTURE TO EXACTLY MATCH THE
FIXTURE INSTALLED ON COSTCO



Wall Mounted Light Fixture

McPhilben 101 TRAPAZOIDAL SCNCE
LAMPS VARY, 70-175W MH

FIXTURE TYPE 'I'
NOT TO SCALE

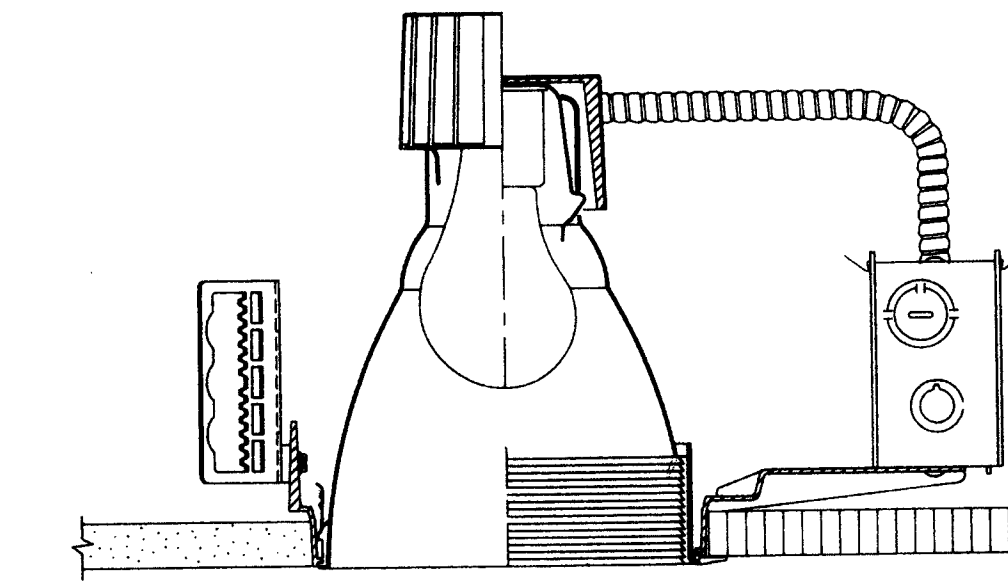
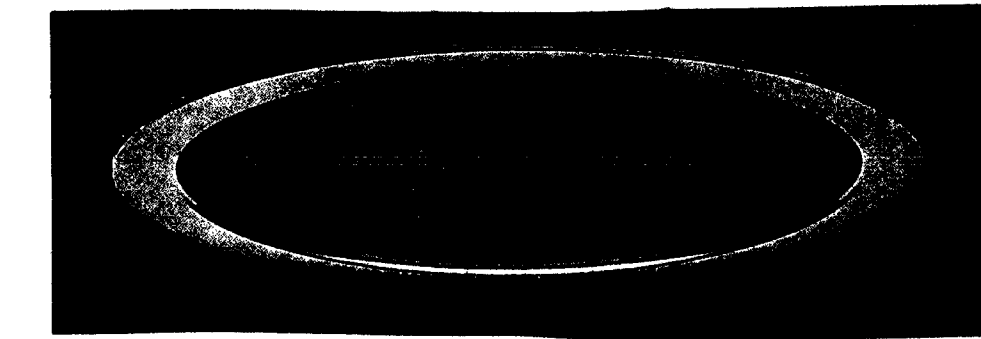


FIXTURE 'A, B, C, D'

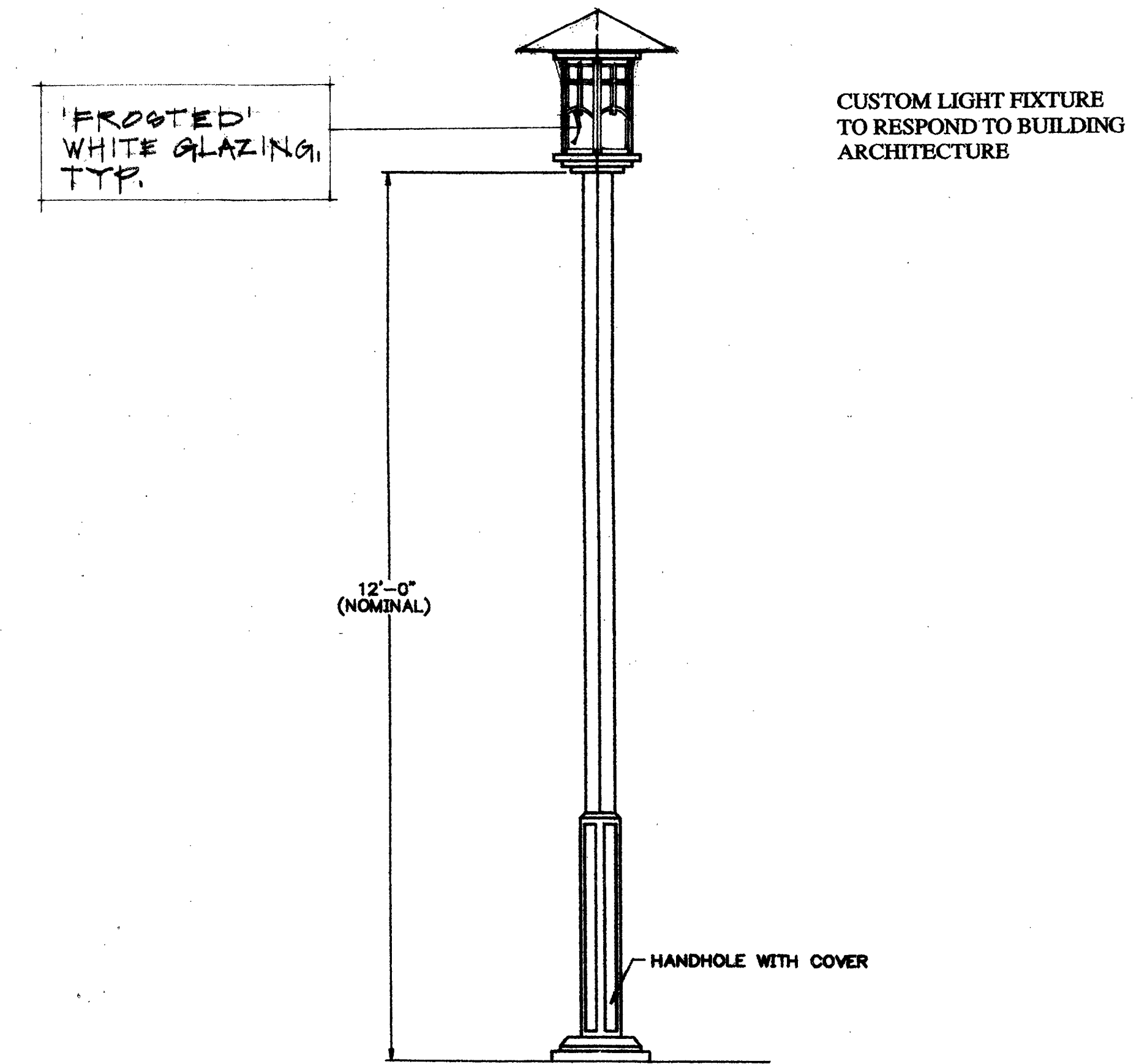
NOT TO SCALE

PARKING LOT LIGHTING

SECTION AND ELEVATION THRU TYPICAL RECESSED DOWNLIGHT



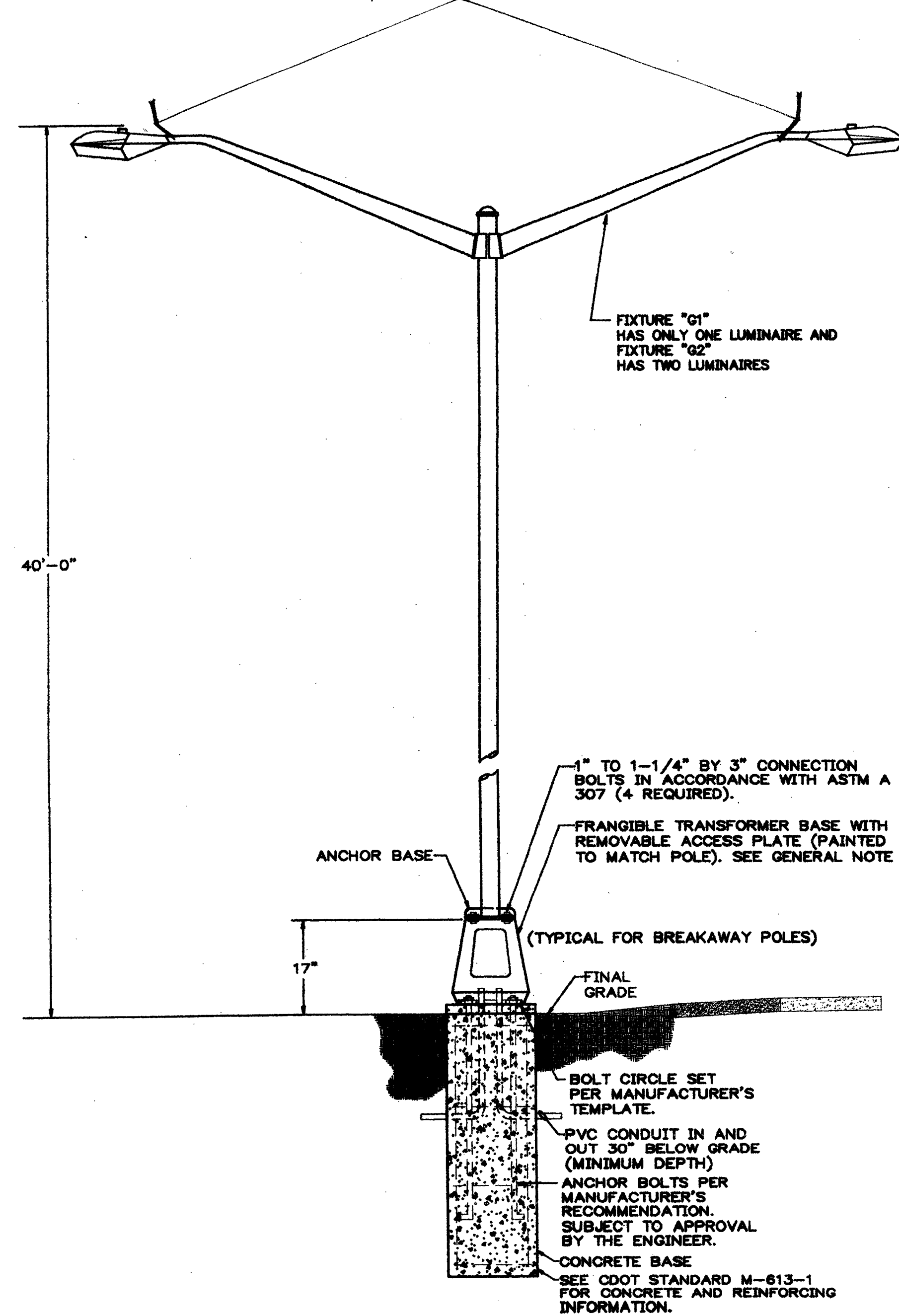
FIXTURE TYPE 'H'
NOT TO SCALE



FIXTURE TYPE 'F' MOUNTING DETAIL
NOT TO SCALE

SIDEWALK/ACCENT LIGHTING

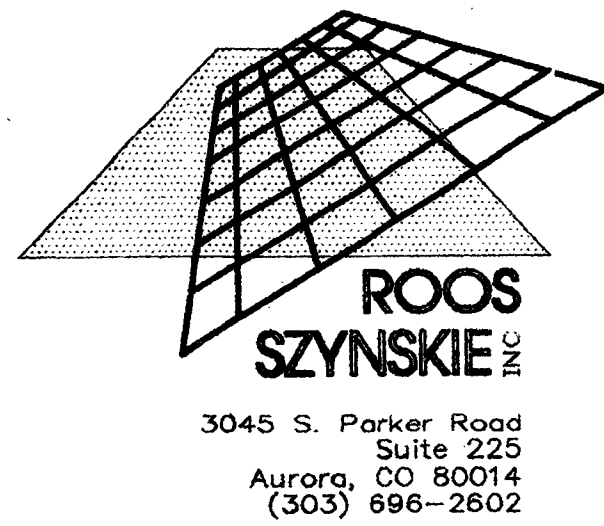
NOTE:
LUMINAIRES NEED TO
BE DOWNCAST.



FIXTURE TYPE "G1" & "G2" MOUNTING DETAIL
NOT TO SCALE

NOTE: FOR INFORMATION ONLY.
POLES AND LUMINAIRES TO BE INSTALLED BY P.S.Co.

MARSHALL ROAD LIGHTING



11.4.99 REVISION
10.15.99 REVISION
10.01.99 RE-SUBMITTAL
REVISED 6/4/99
REVISED 1.28.99
REVISED 12/4/98
REVISED 10/20/98
12.29.99 REVISION

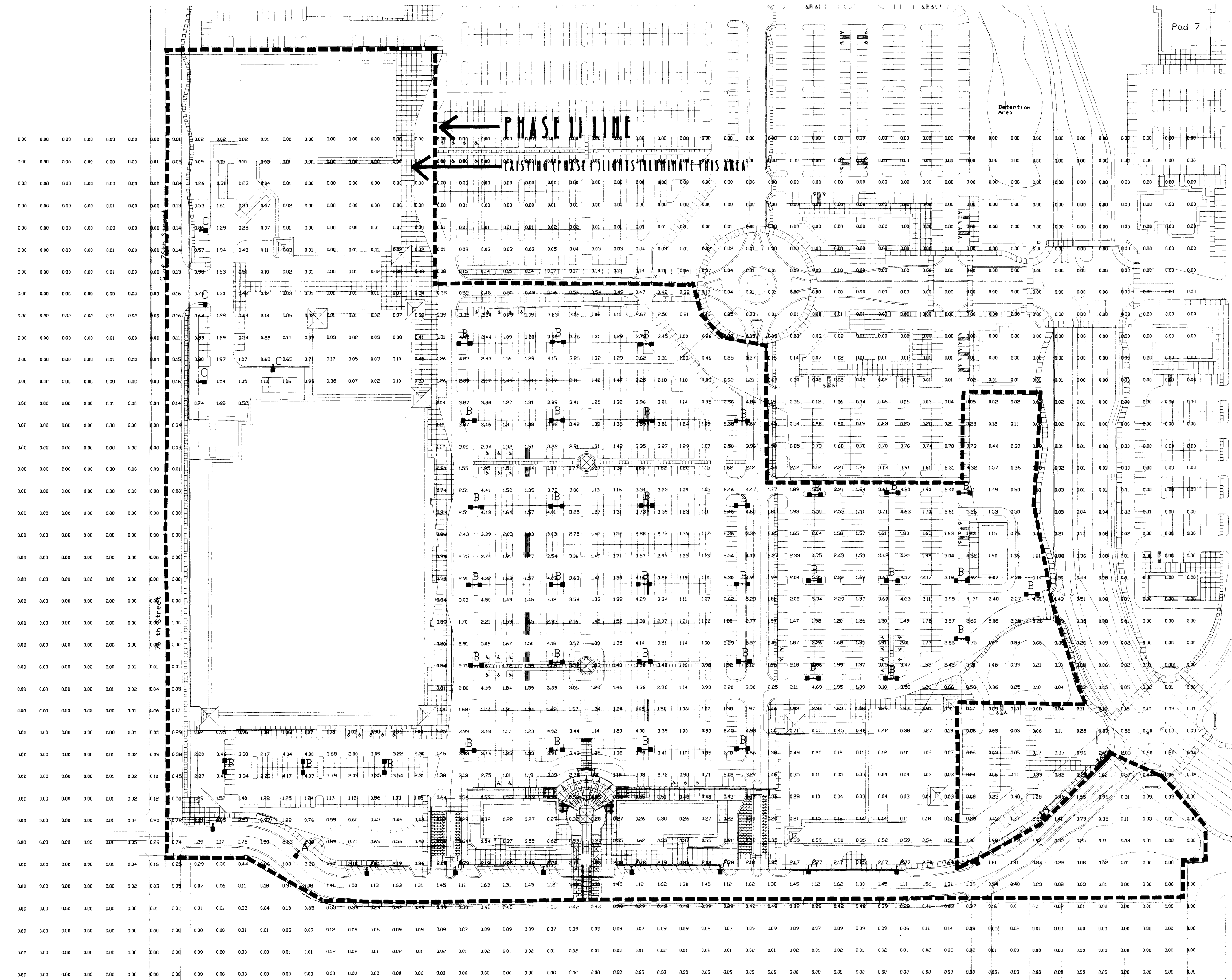
SUPERIOR MARKETPLACE
A portion of the E 1/2 of Section 22, T 30, R 69W of the 6th Tripartite Platteau
ELCON DEVELOPMENT, LLC

**SHEET
F2**

SUPERIOR MARKETPLACE

PHASE II FINAL DEVELOPMENT PLAN SITE PHOTOMETRIC/LIGHT PLAN
ELCON DEVELOPMENT, LLC

1730 BLAKE STREET SUITE 435
DENVER COLORADO 80202
303-297-3334 FAX 303-292-2601



ENTIRE AREA
AVERAGE Fc = .76
MAXIMUM Fc = 5.6
MINIMUM Fc = 0
AVERAGE/MINIMUM = 0
MAXIMUM/MINIMUM = 0
TOTAL NUMBER OF POINTS = 1943

STATISTICAL AREA - NORTH/EAST
AVERAGE Fc = 1.97
MAXIMUM Fc = 1.97
MINIMUM Fc = .28
AVERAGE/MINIMUM = 3.46
MAXIMUM/MINIMUM = 7.04
TOTAL NUMBER OF POINTS = 32

STATISTICAL AREA - ROADWAY
AVERAGE Fc = 1.67
MAXIMUM Fc = 3.05
MINIMUM Fc = .57
AVERAGE/MINIMUM = 2.93
MAXIMUM/MINIMUM = 5.35
TOTAL NUMBER OF POINTS = 93

STATISTICAL AREA - TARGET
AVERAGE Fc = 2.39
MAXIMUM Fc = 5.6
MINIMUM Fc = .71
AVERAGE/MINIMUM = 3.37
MAXIMUM/MINIMUM = 7.89
TOTAL NUMBER OF POINTS = 459

PLANE : GROUND
POINT SPACING LEFT-TO-RIGHT = 35 Ft
POINT SPACING TOP-TO-BOTTOM = 35 Ft
LOWER LEFTHAND CORNER OF PLANE:
X = 97088 Y = 98847 Z = 0
UPPER RIGHTHAND CORNER OF PLANE:
X = 98952 Y = 100196 Z = 0
LIGHT METER IS NORMAL TO PLANE

AVERAGE Fc = .76
MAXIMUM Fc = 5.6
MINIMUM Fc = 0
AVERAGE/MINIMUM = 0
MAXIMUM/MINIMUM = 0
TOTAL NUMBER OF POINTS = 1943

Project: Superior Marketplace
Client: Lokewood Electric
Scale: 1" = 70' ft
Project No:
Date: 09-08-1999
Drawing: sr/agj/smk.t.dxf

LUMINAIRE LABEL	SYMBOL	QUANTITY	DESCRIPTION	LUMENS PER LAMP	LIGHT LOSS FACTOR
A	12	GARD-H191-3-400MH-480-FG-MWR400-08TR325-D1	40000	.72	
B	36	GARBCOH H192-9-400MH/35' POLE (DOUBLE)	80000	.72	
C	4	GARBCOH H191-3H-HS-400MH/35' POLE (SHIELD)	40000	.72	

SUPERIOR MARKETPLACE
PHASE TWO FDP SUBMITTAL
SUPERIOR, COLORADO

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DATE	REVISION
6.4.99	FDP SUBMITTAL II
8.10.99	REVISION
9.7.99	REVISION
10.01.99	RE-SUBMITTAL
10.15.99	REVISION
11.4.99	REVISION
12.29.99	REVISION

SUPERIOR MARKETPLACE
PROJECT NUMBER: 99010
DRAWN BY: DD
CHECKED BY: DD/MGM
DESCRIPTION: SITE PHOTOMETRIC/LIGHT PLAN

N.T.S.

SUPERIOR MARKETPLACE

PHASE II F.D.P. SUBMITTAL SUPERIOR, COLORADO LANDSCAPE PLAN

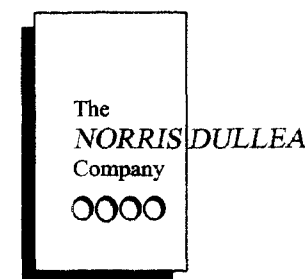
PREPARED BY:

PREPARED FOR:

DATE OF PREPARATION:

F.D.P. LIMITS

SHEET LAYOUT



Planning
Landscape Architecture
710 West Colfax
Denver, Colorado 80204
Fax: 303 892 1186
Phone: 303 892 1166



1730 BLAKE STREET SUITE 435
DENVER, COLORADO 80202
303-297-3334 FAX 303-282-2801

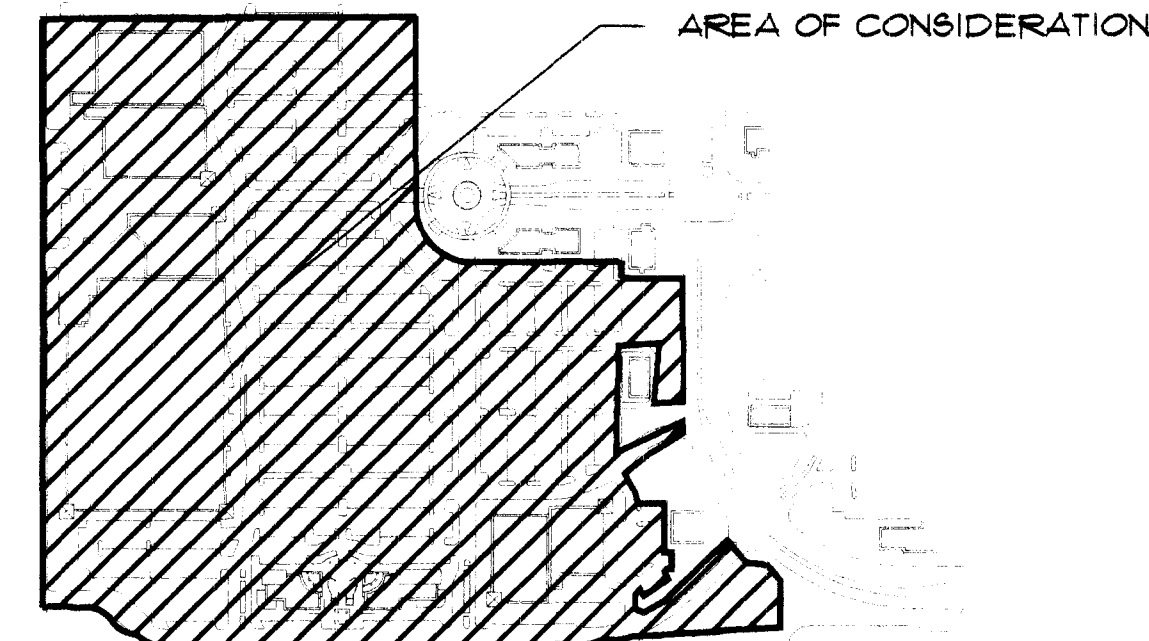
F.D.P. SUBMITTAL 6-4-99

F.D.P. RE-SUBMITTAL 9-10-99

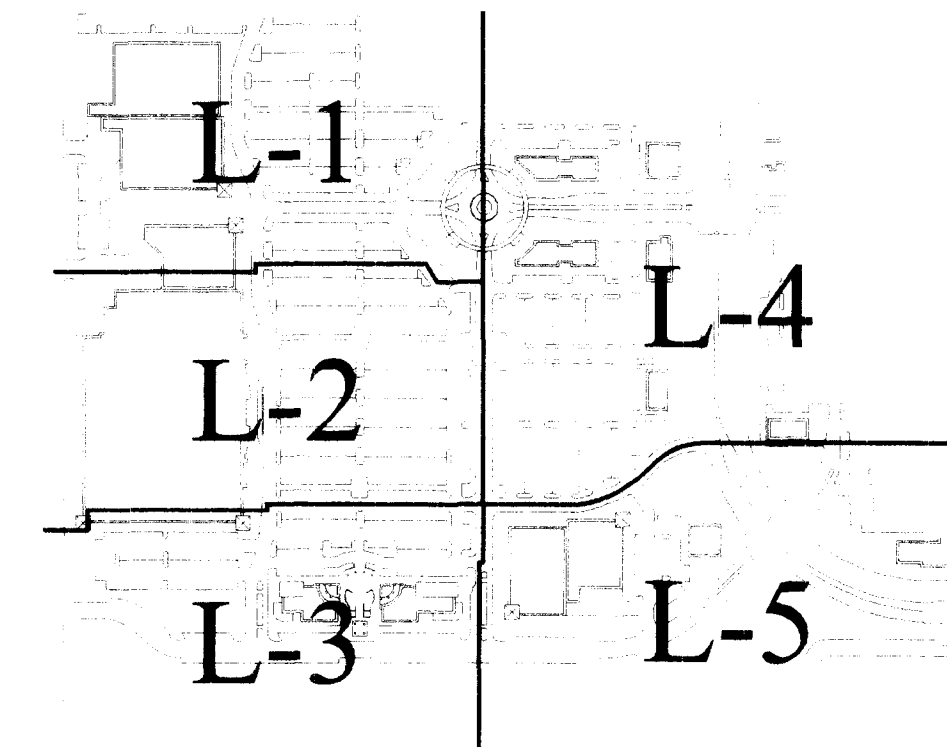
F.D.P. RE-SUBMITTAL 10-1-99

F.D.P. RE-SUBMITTAL 11-4-99

F.D.P. RE-SUBMITTAL 12-29-99



NTS



NTS

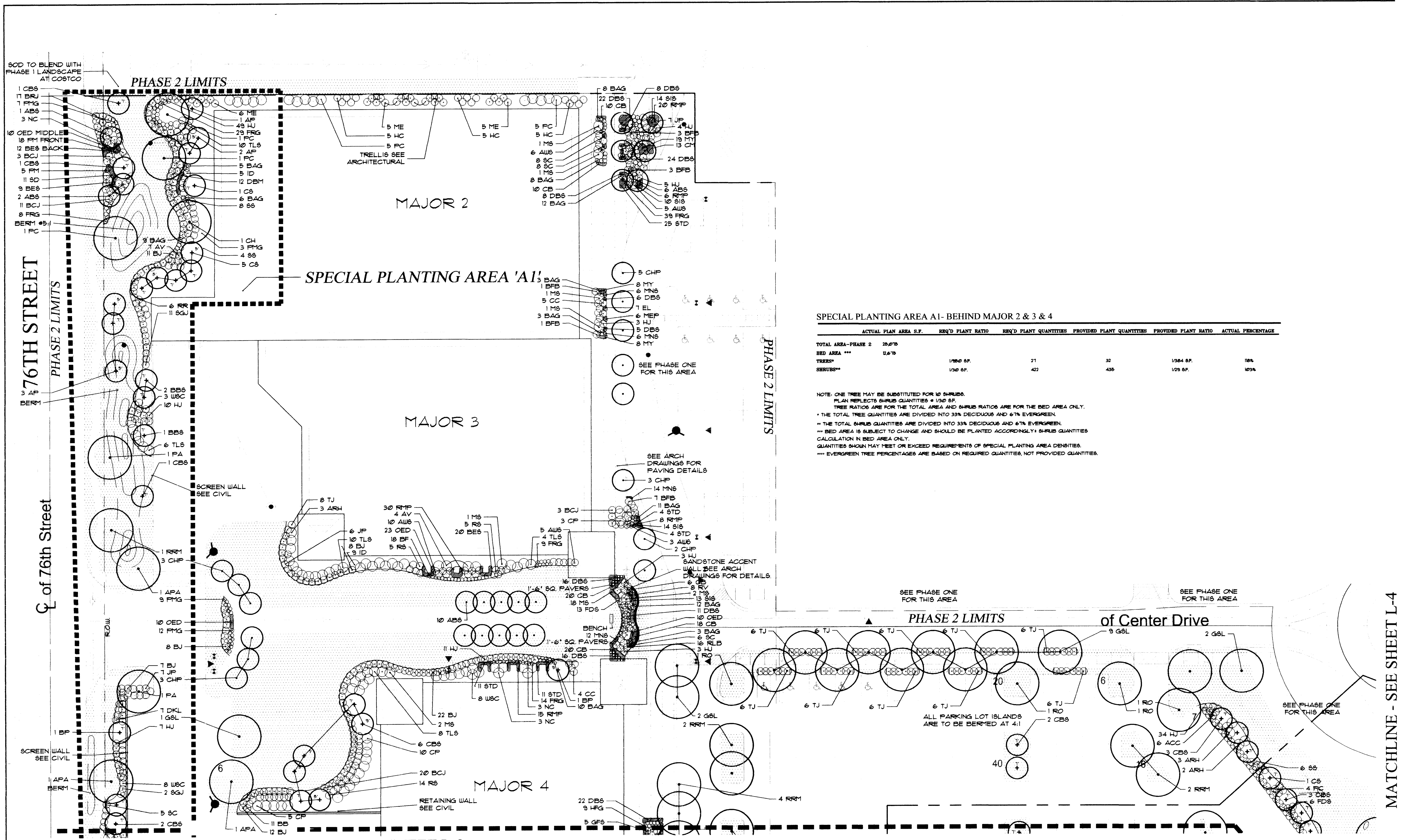


PLANTING LEGEND

SYM.	QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION	SYM.	QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION	SYM.	QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION	
DECIDUOUS TREES																		
21	RO		RED OAK	QUERCUS ROBUR	3' CAL., B4B, SPECIMEN													
28	GSL		GREEN SPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2 1/2' CAL., B4B, SPECIMEN													
33	APA		AUTUMN PURPLE ASH	FRAXINUS PENN. 'AUTUMN PURPLE'	2 1/2' CAL., B4B, SPECIMEN													
19	FA		PATHMORE ASH	FRAXINUS PENN. 'PATHMORE'	2 1/2' CAL., B4B, SPECIMEN													
26	RRM		ROYAL RED MAPLE	ACER PLATANOIDES 'ROYAL RED'	3' CAL., B4B, SPECIMEN													
13	PC		PLAIN'S COTTONWOOD	POPULUS SARGENTII	2 1/2' CAL., B4B, SPECIMEN													
2	CH		COMMON HACKBERRY	CELTIS OCCIDENTALIS	2 1/2' CAL., B4B, SPECIMEN													
TOTAL: 142																		
EVERGREEN TREES																		
33	AP		AUSTRIAN PINE	PINUS NIGRA	5'-9' HT., B4B SPECIMEN													
68	CB5		COLORADO BLUE SPRUCE	PICEA FUNGENS VAR. GLAUCA	5'-9' HT., B4B SPECIMEN													
19	C3		COLORADO SPRUCE	PICEA FUNGENS	5'-9' HT., B4B SPECIMEN													
8	BP		BRISTLE CONE PINE	PINUS ARISTATA	5'-9' HT., B4B SPECIMEN													
26	BB5		BACHERI BLUE SPRUCE	PICEA FUNGENS 'BACHERI'	5'-9' HT., B4B SPECIMEN													
TOTAL: 154																		
ORNAMENTAL TREES																		
18	SSC		SPRING SNOW CRAB	MALUS 'SPRING SNOW'	2' CAL., B4B, SPECIMEN													
17	CRC		CANADA RED CHERRY	PRUNUS VIRGINIANA MELANOCARPA 'SHUBERT'	2' CAL., B4B, SPECIMEN													
11	WH		WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	8' CLUMP, B4B, SPECIMEN													
53	CHP		CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	2' CAL., B4B, SPECIMEN													
33	ABS		AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	2' CAL., B4B, SPECIMEN													
TOTAL: 132																		
EVERGREEN SHRUBS																		
590	BJ		BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL 30' SP. MIN.													
443	TJ		TAM JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA'	5 GAL 30' SP. MIN.													
136	SGJ		SEA GREEN JUNIPER	JUNIPERUS MEDIA 'SEA GREEN'	5 GAL													
165	BCJ		BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL 30' SP. MIN.													
180	BRJ		BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONII'	5 GAL 30' SP. MIN.													
53	MS		MONTGOMERY SPRUCE	PICEA FUNGENS 'MONTGOMERY'	10 GAL 3' HGT MIN.													
467	HJ		HUGHES JUNIPER	JUNIPERUS SABINA 'HUGHES'	5 GAL 30' SP. MIN.													
29	MP		MUGO PINE	FINUS MUGO 'BIG TUNA'	6 GAL, 2' HGT. MIN.													
6	ME		MANHATTAN EUONYMUS	EUONYMUS FORTUNEI 'MANHATTAN'	5 GAL													
7	BGS		BLUE GLOBE SPRUCE	PICEA FUNGENS GLOBOSA GLAUCA	5 GAL, LOW GRAFT													
TOTAL: 2032																		
90/10 TALL FESCUE/BLUEGRASS BLEND																		
FRESH CUT SOD																		
DECIDUOUS SHRUBS																		
79	CP		CISTENA FLUM	CISTENA FLUM	5 GAL, 36' HT., 4 CANE MIN.													
49	RS		RUSSIAN SAGE	RUSSIAN SAGE	5 GAL, 30' HT., 3 CANE MIN.													
58	GVP		GOLDEN VICARY PRIVET	LIGUSTRUM VICARY	5 GAL, 30' HT., 4 CANE MIN.													
32	FD5		FRAGRANT DWARF SUMAC	RHUS AROMATICA 'GROLO'	5 GAL, 24' HT., 3 CANE MIN.													
56	GF5		GOLD FLAME SPIREA	SPIRAEA BUMALDA 'GOLDFLAME'	5 GAL, 24' HT., 3 CANE MIN.													
70	FC		FEKING COTONEASTER	COTONEASTER LUCIDUS	5 GAL, 24' HT., 3 CANE MIN.													
19	SC		SPREADING COTONEASTER	COTONEASTER DIVARICATUS	5 GAL, 30' HT., 4 CANE MIN.													
45	ID		ISANTI DOGWOOD	CORNUS SERICEA 'ISANTI'	5 GAL, 24' HT., 3 CANE MIN.													
47	DKL		DWARF KOREAN LILAC	SYRINGA MERERI	5 GAL, 24' HT., 3 CANE MIN.													
41	BFB		BUTTERFLY BUSH	BUDLEIA DAVIDII 'BLACK KNIGHT'	5 GAL, 24' HT., 3 CANE MIN.													
66	BB		DWARF BURNING BUSH	EUONYMUS ALATA COMPACTUM	5 GAL, 24' HT., 3 CANE MIN.													
59	JP		JACKMAN'S POTENTILLA	POTENTILLA FRUTICOSA 'JACKMANII'	5 GAL, 30' HT., 3 CANE MIN.													
148	RLB		REDLEAF BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL, 30' HT., 3 CANE MIN.													
29	FFA		PINK FLOWERING ALMOND	FRJUNIS GLANDULOSA	5 GAL, 20' HT., 3 CANE MIN.													
48	HC		HANCOCK CORALBERRY	SYMPHORICARPOS CHENAULTII 'HANCOCK'	5 GAL, 20' HT., 3 CANE MIN.													
53	AV		ARROWOOD VIBURNUM	VIBURNUM DENTATUM	5 GAL, 36' HT., 4 CANE MIN.													
47	SB		SASKATOON SERVICEBERRY	AMELANCHIER ALNIFOLIA	5 GAL, 30' HT., 3 CANE MIN.													
22	RR		RUGOSA ROSE	ROSA RUGOSA	5 GAL, 36' HT., 4 CANE MIN.													
18	ACR		AUSTRIAN COPPER ROSE	ROSA FOETIDA 'BICOLOR'	5 GAL, 36' HT., 4 CANE MIN.													
16	AUS		ANTHONY WATERER SPIREA	SPIRAEA BUMALDA 'ANTHONY WATERER'	5 GAL, 30' HT., 4 CANE MIN.													
129	CC		COMPACT CRANBERRY	VIBURNUM TRILOBUM 'COMPACT SPRING RED'	5 GAL, 30' HT., 3 CANE MIN.													
102	TL5		THREE LEAF SUMAC	RHUS TRILOBATA	5 GAL, 30' HT., 3 CANE MIN.													
53	WSC		WESTERN SAND CHERRY	PRUNUS BESSEYI	5 GAL, 30' HT., 4 CANE MIN.													
21	VS		VANHOUTTE'S SPIREA	SPIRAEA VANHOUTEI	5 GAL, 30' HT., 3 CANE MIN.													
22	NC		NANKING CHERRY	PRUNUS TOMENTOSA	5 GAL, 24' HT., 4 CANE MIN.													
8	SY		SOAPWEED YUCCA	YUCCA GLAUCA	4' HGT. B4B SPECIMEN													
23	THB		TALL HEDGE BUCKTHORN	RHAMNUS FRANGULA 'COLUMNARIS'	5 GAL, 30' HT., 3 CANE MIN.													
35	ARH		ARNOLD'S RED HONEY SUCKLE	LONICERA TATARICA 'ARNOLD RED'	5 GAL, 30' HT., 3 CANE MIN.													
28	BSW		BLUE STEM WILLOW	SALIX IRRORATA	5 GAL, 30' HT., 3 CANE MIN.													
TOTAL: 1524																		
ORNAMENTAL GRASSES																		
51	FMG		FURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'FURPURESCENS'	1 GAL.													
47	HFG		HAMELN FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'HAMELN'	1 GAL.													
112	FRG		FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.													
241	BAG		BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.													
94	BF		BLUE FESCUE	FESTUCA OVINA 'GLAUCA'	1 GAL.													
TOTAL: 545																		
VINES																		
23	EI		ENGLISH IVY	HEDERA HELIX	1 GAL, 5' O.C.													
18	SE		SARCOXIE EUONYMUS	EUONYMUS FORTUNEI 'SARCOXIE'	1 GAL, 5' O.C.													
TOTAL: 41																		
PERENNIALS & GROUND COVERS																		
	OED		OX EYE DAISY	LEUCANTHEMUM SUPERBUM 'ALASKA'	1 GAL.													
	STD		STELLA D'ORO DAYLILY	HEMEROCALIS 'STELLA D'ORO'	1 GAL.													
	DB5		DRAGON'S BLOOD SEDUM	SEDUM SPURIMUM	1 GAL.													
	DBM		DOUBLE BUBBLE MINT	AGASTACHE CANA	1 GAL.													
	CM		CATMINT	NEPETA FASSENI	1 GAL.													
	MNS		MAY NIGHT SALVIA	SALVIA NEREROSA 'MAY NIGHT'	1 GAL.													
	BES		BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GAL.													
	EL		ENGLISH LAVENDER	LAVANDULA ANGSTIFOLIA 'MUNSTEAD'	1 GAL.													
	VHP		VIOLET HARDY FANSIES	VIOLA CORSGICA	1 GAL.													
	RV		RED VALERIAN	CENTRANTHUS RUBER	1 GAL.													
	MY		MOONSHINE YARROW	ACHILLEA FILIPENDULINA 'MOONSHINE'	1 GAL.													
	AUS		AUTUMN JOY SEDUM	SEDUM TELEPHIUM 'AUTUMN JOY'	1 GAL.													
	MEP		MEXICAN EVENING PRIMROSE	OENOTHERA BERLANDIERI 'SISKIYOU'	1 GAL.													
	SC		SUNRAY COREOPSIS	COREOPSIS GRANDIFLORA 'SUNRAY'	1 GAL.													
	SIS		SNOW IN SUMMER	CERASTIUM TOMENTOSUM	1 GAL.													
	RMP		ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS	1 GAL.													

SUPERIOR MARKETPLACE
FINAL DEVELOPMENT PLAN (PHASE II)
SUPERIOR, COLORADO

Owner:



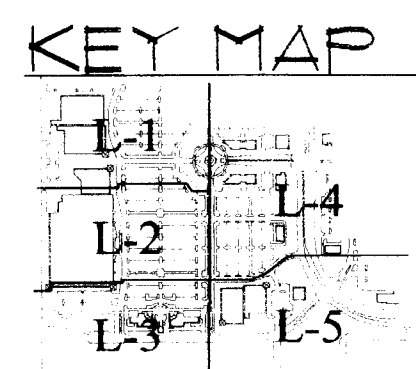
SPECIAL PLANTING AREA A1- BEHIND MAJOR 2 & 3 & 4

	ACTUAL PLAN AREA S.F.	REQ'D PLANT RATIO	REQ'D PLANT QUANTITIES	PROVIDED PLANT QUANTITIES	PROVIDED PLANT RATIO	ACTUAL PERCENTAGE
TOTAL AREA-PHASE 2	28,670					
BED AREA ***	12,670					
TREES**		1/800 S.F.	21	32	1/264 S.F.	10%
SHRUBS**		1/200 S.F.	422	436	1/229 S.F.	103%

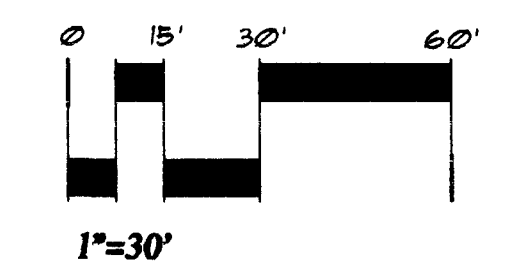
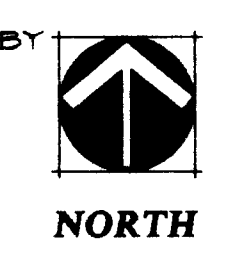
NOTE: ONE TREE MAY BE SUBSTITUTED FOR 10 SHRUBS.
PLAN REFLECTS SHRUB QUANTITIES @ 1/200 S.F.
TREE RATIOS ARE FOR THE TOTAL AREA AND SHRUB RATIOS ARE FOR THE BED AREA ONLY.
** THE TOTAL TREE QUANTITIES ARE DIVIDED INTO 33% DECIDUOUS AND 67% EVERGREEN.
*** BED AREA IS SUBJECT TO CHANGE AND SHOULD BE PLANTED ACCORDINGLY: SHRUB QUANTITIES CALCULATION IN BED AREA ONLY.
QUANTITIES SHOWN MAY MEET OR EXCEED REQUIREMENTS OF SPECIAL PLANTING AREA DENSITIES.
*** EVERGREEN TREE PERCENTAGES ARE BASED ON REQUIRED QUANTITIES, NOT PROVIDED QUANTITIES.

EVERGREEN TREE SIZE RATIO

SIZE	REQUIRED	PROPOSED
6' OR GREATER (9')	10%	10%
4'-6' (7')	10%	10%
4'-6' (5')	20%	20%
TOTAL	100%	100%



NOTE: BASE INFORMATION PROVIDED BY THE MULHERN GROUP ARCHITECTS



MATCHLINE - SEE SHEET L-4

MATCHLINE - SEE SHEET L-2

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FILENAME: P0322.DWG

Issue Date

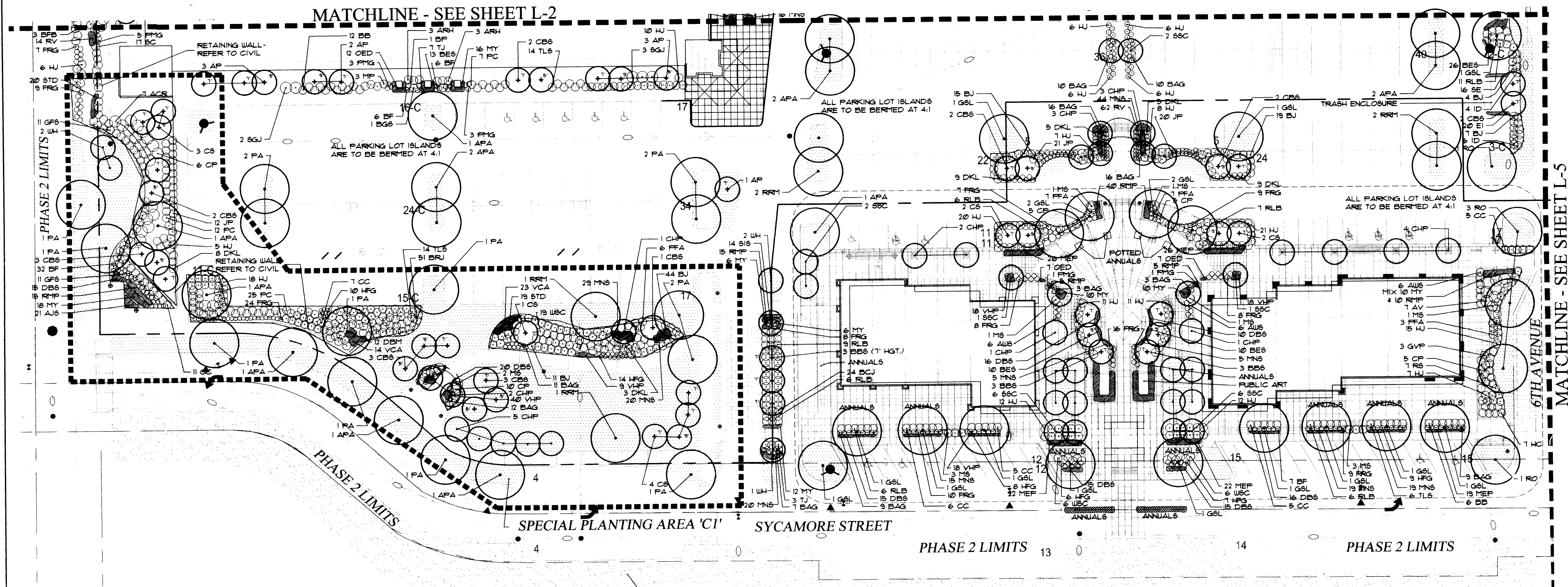
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F.D.P. RE-SUBMITTAL 9-10-99
F.D.P. RE-SUBMITTAL 10-1-99
F.D.P. RE-SUBMITTAL 11-4-99
F.D.P. RE-SUBMITTAL 12-29-99

Revision Date

Sheet Title
LANDSCAPE PLAN
Sheet Number
L-1

SUPERIOR MARKETPLACE
FINAL DEVELOPMENT PLAN (PHASE II)
SUPERIOR, COLORADO

Owner:



NOTE: DEVELOPER TO PROVIDE TEMPORARY IRRIGATION AND SEEDED TURF FOR A MINIMUM OF 30' SOUTH OF SOUTHERN SYCAMORE ST. CURB TO MAINTAIN LANDSCAPED EDGE ON TOWN'S FUTURE PARCEL.

SPECIAL PLANTING AREA C1- SOUTH OF TARGET

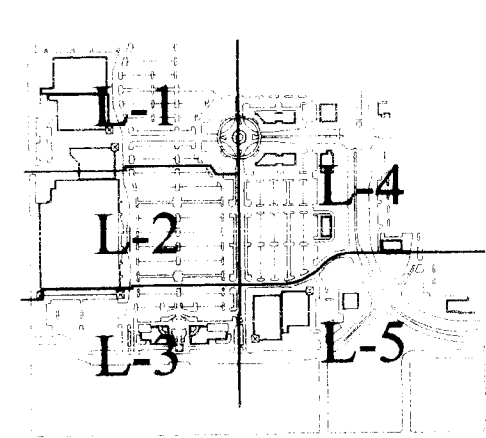
ACTUAL PLAN AREA S.F.	REQ'D PLANT RATIO	REQ'D PLANT QUANTITIES	PROVIDED PLANT QUANTITIES	PROVIDED PLANT RATIO	ACTUAL PERCENTAGE
TOTAL AREA-PHASE 2	28,311				
BED AREA ***	9,682	1/2000 SF.	28	46	1/675 SF. 16.4%
TREES**					
SHRUBS**		1/20 SF.	322	306	1/25 SF. 17%

NOTE: ONE TREE MAY BE SUBSTITUTED FOR 10 SHRUBS.
PLAN REFLECTS SHRUB QUANTITIES @ 1/20 SF.
TREE RATIOS ARE FOR THE TOTAL AREA AND SHRUB RATIOS ARE FOR THE BED AREA ONLY.
* THE TOTAL TREE QUANTITIES ARE DIVIDED INTO 33% DECIDUOUS AND 67% EVERGREEN.
** THE TOTAL SHRUB QUANTITIES ARE DIVIDED INTO 33% DECIDUOUS AND 67% EVERGREEN.
*** BED AREA IS SUBJECT TO CHANGE AND SHOULD BE PLANTED ACCORDINGLY; SHRUB QUANTITIES CALCULATION IN BED AREA ONLY.
QUANTITIES SHOWN MAY MEET OR EXCEED REQUIREMENTS OF SPECIAL PLANTING AREA DENSITIES.
**** EVERGREEN TREE PERCENTAGES ARE BASED ON REQUIRED QUANTITIES, NOT PROVIDED QUANTITIES.

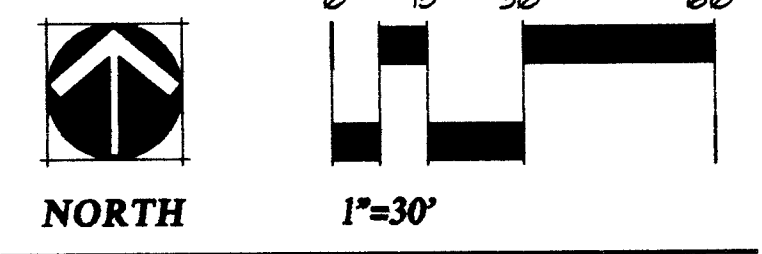
EVERGREEN TREE SIZE RATIO

SIZE	REQUIRED	PROPOSED
8' OR GREATER (9')	10%	10%
6'-8' (7')	70%	70%
4'-6' (5')	20%	20%
TOTAL	100%	100%

KEY MAP



NOTE: BASE INFORMATION PROVIDED BY THE MULHERN GROUP ARCHITECTS



Issue Date
F.D.P. SUBMITTAL 6-4-99
F.D.P. RE-SUBMITTAL 9-10-99
F.D.P. RE-SUBMITTAL 10-1-99
F.D.P. RE-SUBMITTAL 11-3-99
F.D.P. RE-SUBMITTAL 12-29-99

Revision Date

Sheet Title

LANDSCAPE PLAN

Sheet Number

L-3

SUPERIOR MARKETPLACE
FINAL DEVELOPMENT PLAN (PHASE II)
SUPERIOR, COLORADO

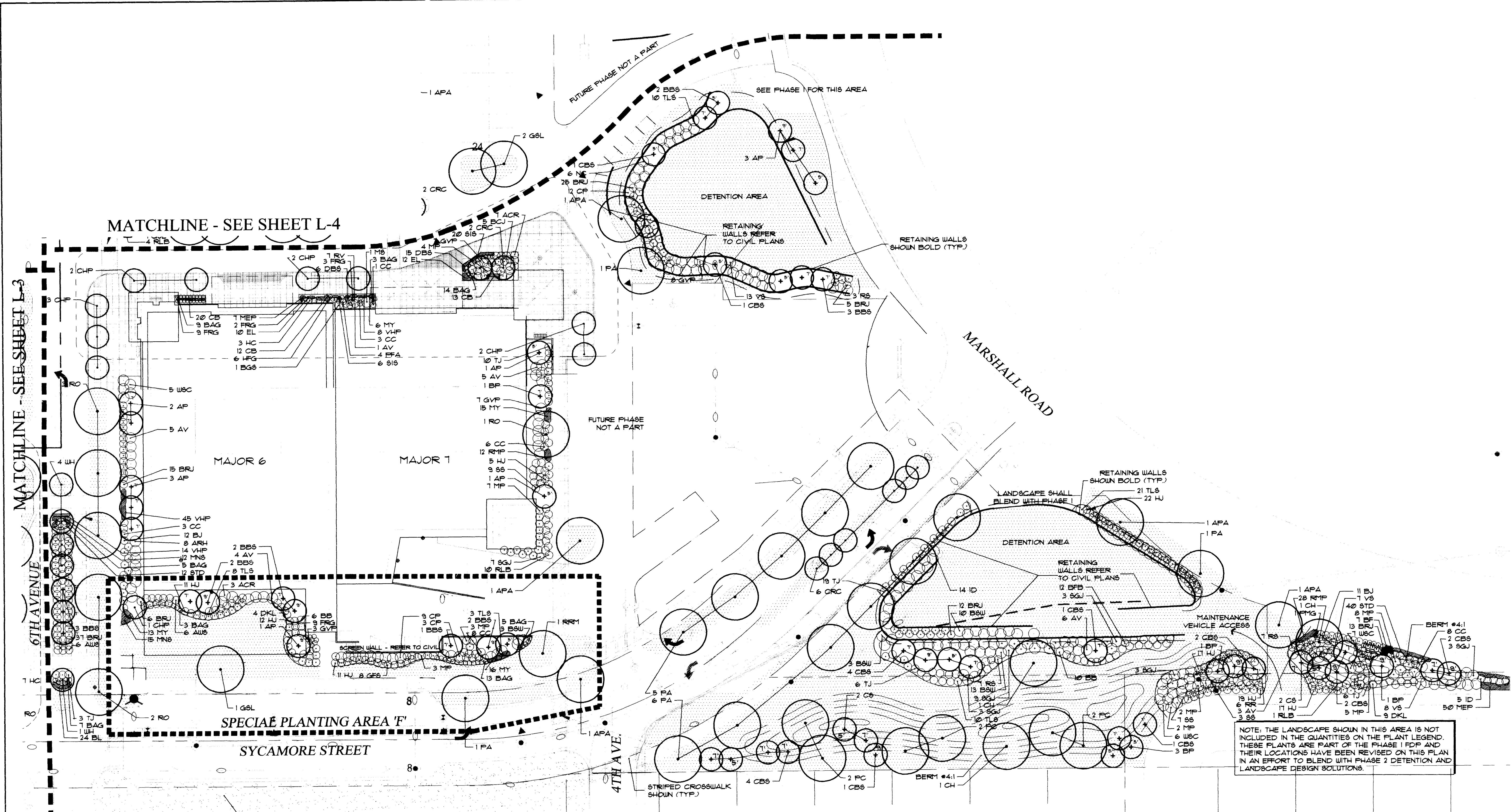
Owner:

Issue Date
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F.D.P. RE-SUBMITTAL 9-10-99
F.D.P. RE-SUBMITTAL 10-1-99
F.D.P. RE-SUBMITTAL 11-4-99
F.D.P. RE-SUBMITTAL 12-29-99

Revision Date

Sheet Title
LANDSCAPE PLAN

Sheet Number
L-5



NOTE: DEVELOPER TO PROVIDE TEMPORARY IRRIGATION AND SEEDING TURF FOR A MINIMUM OF 30' SOUTH OF SOUTHERN SYCAMORE ST. CURB TO MAINTAIN LANDSCAPED EDGE ON TOWN'S FUTURE PARCEL.

SPECIAL PLANTING AREA F- SOUTH OF MAJOR 6 & 7

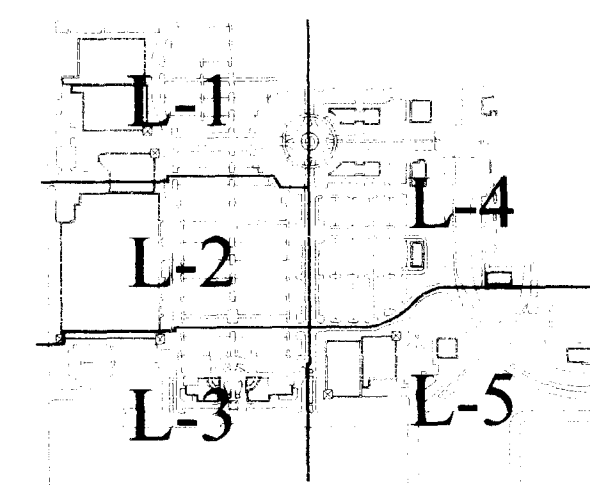
	ACTUAL PLAN AREA S.F.	REQ'D PLANT RATIO	REQ'D PLANT QUANTITIES	PROVIDED PLANT QUANTITIES	PROVIDED PLANT RATIO	ACTUAL PERCENTAGE
TOTAL AREA - PHASE-2	9,394					
BED AREA ***	3,709					
TREES**		1/100 S.F.	8	12	1/102 S.F.	150%
SHRUBS**		1/30 S.F.	123	142	1/26 S.F.	115%

NOTE: ONE TREE MAY BE SUBSTITUTED FOR 10 SHRUBS.
PLAN REFLECTS SHRUB QUANTITIES @ 1/30 S.F.
TREE RATIOS ARE FOR THE TOTAL AREA AND SHRUB RATIOS ARE FOR THE BED AREA ONLY.
*** BED AREA IS SUBJECT TO CHANGE AND SHOULD BE PLANTED ACCORDINGLY. SHRUB QUANTITIES CALCULATION IN BED AREA ONLY.
** THE TOTAL TREE QUANTITIES ARE DIVIDED INTO 33% DECIDUOUS AND 67% EVERGREEN.
** THE TOTAL SHRUB QUANTITIES ARE DIVIDED INTO 33% DECIDUOUS AND 67% EVERGREEN.
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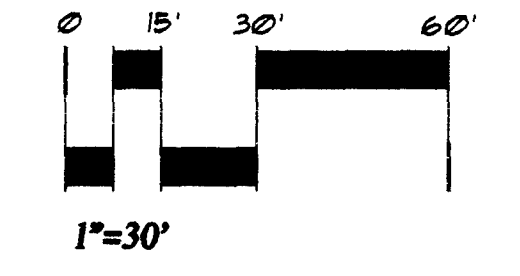
EVERGREEN TREE SIZE RATIO

SIZE	REQUIRED	PROPOSED
8' OR GREATER	(9')	10%
6'-8'	(7')	10%
4'-6'	(5')	20%
TOTAL		100%

KEY MAP



NOTE: BASE INFORMATION PROVIDED BY THE MULHERN GROUP ARCHITECTS



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FILE NO: 2000-0000-01