



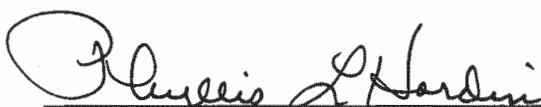
**RECORD OF APPROVAL OF THE SUPERIOR
MARKETPLACE FINAL DEVELOPMENT PLAN
FOR PHASE V**

**TOWN OF SUPERIOR
COUNTY OF BOULDER
STATE OF COLORADO**

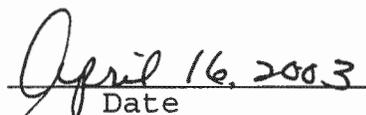
The Town of Superior approved the Final Development Plan for Phase V of the Superior Marketplace by Resolution No. R-4, Series 2003 on January 13, 2003 for the property within the Superior Marketplace.

The Final Development Plan is a site specific development plan and contains Vested Property Rights, the terms of which are contained in Resolution No. R-4, Series 2003, dated January 13, 2003.

The Final Development Plan is available for inspection at the Superior Town Hall, 124 E. Coal Creek Drive Superior, Colorado 80027.



Phyllis L. Hardin
Superior Town Clerk



Date

SUPERIOR MARKETPLACE

PHASE V FINAL DEVELOPMENT PLAN
NEW PLAN EXCEL REALTY TRUST, INC.

A PORTION OF BLOCK 1, LOT 2 OF SUPERIOR MARKETPLACE FILING #1

LOCATED IN THE SE 1/4 OF SECTION 13 AND THE N 1/2 OF THE NE 1/4 OF SECTION 24, T1S, R70W OF THE 6TH P.M. TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

DRAWING INDEX

ARCHITECTURE

- 1 Cover Sheet
- 2 Overall Site Plan
- 3 Phase V Site Plan
- 4 Concept One Enlarged Site Plan
- 5 Building Elevations and Sidewalk Plan
- 6 Building Elevations and Sidewalk Plan
- 7 Building Elevations
- 8 Building Elevations
- 9 Building Elevations
- 10 Building Elevations and Sidewalk Plan
- 11 Landscape Berm Cross Sections
- 12 Phase V Photometric Plan
- 13 Photometric Details
- 14 Material Data Table and Details

LANDSCAPE

- L0 Landscape Cover Sheet
- L1 Landscape Plan - Majors 9 and 10
- L2 Landscape Plan - Shops 'B' and Marshall Road
- L3 Landscape Plan - Major 11

CIVIL ENGINEERING

- C1.1 General Notes, Abbreviations and Legend
- C2.1 Site Demolition Plan
- C3.1 Site Layout Plan
- C4.1 Site Grading Plan
- C5.1 Site Utility Plan
- C6.1 Site Erosion Control Plan
- C7.1 Storm Sewer Plan and Profile
- C7.2 Storm Sewer Plan and Profile
- C7.3 Storm Sewer Plan and Profile
- C7.4 Sanitary Sewer Plan and Profile
- C8.1 Construction Details
- C8.2 Construction Details
- C8.3 Construction Details

LEGAL DESCRIPTION

(Phase V FDP Area Only)

SUPERIOR MARKETPLACE, FILING 5, LOT 6:

COMMENCING AT THE NORTHEAST CORNER SECTION 24; THENCE S89°08'48"W A DISTANCE OF 517.28 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE BOULDER-DENVER TURNPIKE, U.S. HIGHWAY NO. 36, BOOK 878, PAGES 267 AND 268; STATE OF COLORADO. THENCE S07°07'51"E ALONG SAID WESTERLY RIGHT-OF-WAY A DISTANCE OF 153.37 FEET TO A POINT ON SAID WESTERLY RIGHT-OF-WAY SAID POINT BEING THE POINT OF BEGINNING; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING 4 COURSES:

1. S07°07'51"E A DISTANCE OF 17.44 FEET;
2. S24°49'24"E A DISTANCE OF 114.32 FEET;
3. S42°30'57"E A DISTANCE OF 142.79 FEET;
4. S73°20'49"E A DISTANCE OF 121.38 FEET;

THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY ALONG THE WESTERLY LINE TRACT M S00°09'56"W A DISTANCE OF 421.95 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF MARSHALL ROAD; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING 2 COURSES:

1. S89°48'20"W A DISTANCE OF 485.17 FEET TO A POINT OF CURVATURE TO THE RIGHT;
2. ALONG SAID CURVE WHOSE RADIUS IS 398.00 FEET AND AN INCLUDED ANGLE OF 34°48'00", A DISTANCE OF 241.50 FEET TO A POINT ON SAID RIGHT-OF-WAY AND A POINT ON THE EASTERLY BOUNDARY OF TRACT L;

THENCE LEAVING SAID RIGHT-OF-WAY ALONG SAID EASTERLY BOUNDARY THE FOLLOWING 2 COURSES:

1. N04°04'38"W A DISTANCE OF 70.98 FEET; TO A POINT OF CURVATURE TO THE RIGHT, AND A POINT ON THE EASTERLY BOUNDARY OF LOT 4;
2. ALONG SAID CURVE TO THE RIGHT WHOSE RADIUS IS 281.23 FEET WITH AN INCLUDED ANGLE OF 19°05'00", A DISTANCE OF 87.01 FEET;

TO A POINT ON THE NORTHERLY BOUNDARY TRACT L; THENCE LEAVING SAID EASTERLY BOUNDARY SAID NORTHERLY LINE N67°29'52"W A DISTANCE OF 38.26 FEET THENCE ALONG AN ARC OF A CURVE TO THE LEFT WHOSE RADIUS IS 205.50 FEET WITH AN INCLUDED ANGLE OF 22°23'31", A DISTANCE OF 80.31 FEET TO A POINT ON THE EASTERLY BOUNDARY LOT 4; THENCE ALONG SAID EASTERLY BOUNDARIES OF LOT 3 AND SAID LOT 4 N00°00'00"E A DISTANCE OF 347.48 FEET TO A POINT ON SAID EASTERLY BOUNDARY OF LOT 3, AND A POINT ON THE SOUTHERLY BOUNDARY OF LOT 5; THENCE ALONG SAID SOUTHERLY BOUNDARY THE FOLLOWING 2 COURSES:

1. S90°00'00"E A DISTANCE OF 383.83 FEET;
2. N65°10'36"E A DISTANCE OF 71.62 FEET; TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 411,216 SQ. FT. (9.43 ACRES) MORE OR LESS.

SITE DEVELOPMENT CRITERIA

Maximum Building Height:	
Retail:	35' (flat parapet height) 50' (entry elements, towers, or sloped roofs)
Retail Building Setbacks:	
From Public R.O.W.:	20' min.
From Internal Property Lines:	0'
Min. Separation Between Freestanding Buildings:	0'
Parking Setbacks:	
From all Public R.O.W.:	20' min.
From Internal Arteries:	10' min.
Typical Parking Stall:	9' x 18'
Typical Handicap Space:	14' x 18' (includes 5' aisle)
Typical Parking Aisle:	24' wide
Internal Arteries:	25' min. flowline to flowline

* Rear of in-line buildings facing a R.O.W. shall be setback a minimum of 25' from R.O.W.

LEGAL DESCRIPTION

(Entire PD Area)

Seven parcels of land described at book 111, page 131, reception numbers 011451, 011453, 312972, 488983, and 869800, Boulder County records, located in the southeast quarter of section 13 and north half of the northeast quarter of section 24, township 1 south, range 70 west of the sixth principal meridian, County of Boulder, State of Colorado, more particularly described as follows:

Commencing at the northeast corner of said section 24; thence S89°08'48"W along the north line of the northeast quarter of said section 24, 521.2 feet to the true point of beginning, said point being on the west line of that parcel of land recorded in book 878, page 272 of the Boulder County records;

Thence along the west line of said parcel the following two courses:

1. Thence S32°34'11"E, 240.5 feet;
2. Thence S56°47'25"E, 384.71 feet;

Thence S09°01'18"E along the east line of that parcel of land recorded at reception no. 794229 of the Boulder County records, 530.55 feet to the north right-of-way line of Maple Street as platted in blocks 1, 2, 3, 4, 5, 6, 7, and 8, Minus Addition to Superior;

Thence S89°48'20"W along the north right-of-way line of said Maple Street, 1273.45 feet to the west right-of-way line of 4th Avenue as platted in said subdivision;

Thence S00°11'27"E along the west right-of-way line of said 4th Avenue, 386.78 feet to the south line of the north half of the northeast quarter of section 24;

Thence S89°44'20"W along said line, 1282.74 feet to the southwest corner of the north half of the northeast quarter of said section 24;

Thence N00°11'11"W along the west line of the north half of the northeast quarter of section 24, to the southwest corner of a tract of land recorded at reception number 480202, 982.03 feet;

Thence N89°08'48"E along the south line of said parcel of land recorded at reception number 480202, 280.0 feet;

Thence N00°11'11"W along the west line of 2 parcels of land recorded at reception numbers 480202 and 386237, 311.14 feet;

Thence S89°08'48"W along the north line of said parcel of land recorded at reception number 386237, said line also being the north line of the north half of the northeast quarter of said section 24, 280.0 feet to the north quarter corner of said section 24;

Thence N00°00'59"E along the west line of the southeast quarter of said section 13, 1249.99 feet to the south line of US Highway 36 as recorded in book 878, page 283 of the Boulder County records;

Thence along said south line of said highway as recorded in book 878, page 283 and book 878, page 287 of the Boulder County records the following four (4) courses:

1. Thence S63°11'05"E, 1686.42 feet;
2. Thence N28°49'55"E, 10.00 feet;
3. Thence S63°11'05"E, 356.00 feet;
4. Thence S33°40'58"E, 388.49 feet to the true point of beginning.

Said parcel contains 94,322 Acres, more or less.

1. Thence S63°11'05"E, 1686.42 feet;
2. Thence N28°49'55"E, 10.00 feet;
3. Thence S63°11'05"E, 356.00 feet;
4. Thence S33°40'58"E, 388.49 feet to the true point of beginning.

Said parcel contains 94,322 Acres, more or less.

LANDSCAPE ARCHITECT

Norris/Dullea

710 WEST COLFAX DENVER, COLORADO 80204
PH : 303.862.1166 FAX : 303.969.9932
DOUG CRAIG JOHN BIRKEY

CIVIL ENGINEER

Hydro-Triad/V3, Colorado

200 UNION BLVD., SUITE 200 LAKEWOOD, COLORADO 80228
PH : 303.989.8588 FAX : 303.989.9932
MARK CEVAAL

ARCHITECT/PLANNER

The Mulhern Group, Ltd.

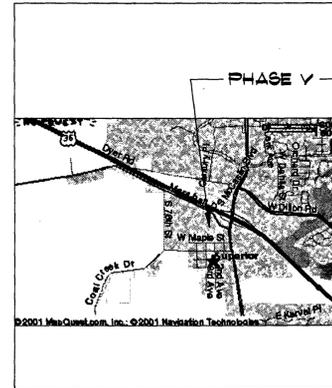
1730 BLAKE ST. #435 DENVER, CO 80202
PH : 303.297.3334 FAX : 303.292.2601
DWAYNE DALE

DEVELOPER

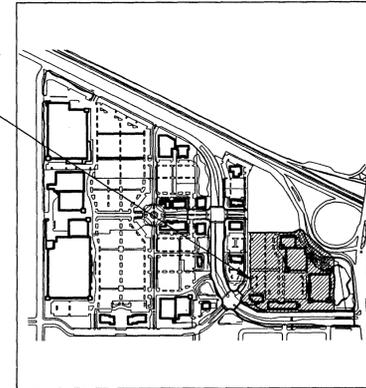
New Plan Excel Realty Trust, Inc.

583 West 500 South, Suite 440 WOODS CROSS, UTAH 84007
PH: 801.296.6033 FAX : 801.296.6052
TOM MULKEY

VICINITY MAPS



VICINITY MAP



AREA OF FDP



LAND USE TABLE

NOTE: ALL CALCULATIONS BASED UPON THE ENTIRE EVENTUAL SITE AREA.
CURRENT LEGAL DESCRIPTION (97.8 ACRES) DOES NOT INCLUDE LAND TO BE ACQUIRED FROM CDOT.

SUBA Site Area :	97.8 Acres	100%	Net Right-of-Way Area :	11.6 Acres	12.0%
Future Development Parcel :	9.1 Acres	9.3%	Right-of-Ways		
Gross Development Area :	88.7 Acres	90.7%	Marshall Rd.	5.64 Acres	5.8%
Gross Development Area includes R.O.W. areas as well as Retail Development.			Extended Steamore St.	2.36 Acres	2.4%
Density :	Commercial : 7,682 s.f./acre (F.A.R. Of .16)		Extended Fifth Ave.	0.40 Acres	0.4%
Breakdown:			East Side of 76th St.	2.34 Acres	2.4%
Building Area Subtotal:	679,665 S.F.	17.9%	North Side of Coal Cr.	0.65 Acres	0.7%
(15.6 Ac)			Estimated Water Usage		
Unobstructed Open Space:	22.8 Acres	25.4%	206,000 Gallons daily use		
Other Open Space:	3.4 Acres	3.8%	Estimated Sewer Usage		
Walks in front of buildings			.32 cfs daily use		
Plazas less than 5,000 s.f.			Phase V Area :	410,770 s.f. (9.43 Acres)	
Islands less than 400 s.f.			Building Area:	106,000 s.f. (25.6% of total ground coverage)	
Faving Area Subtotal:	46.9 Acres	52.9%	Landscape/Open Space Area:	128,840 s.f. (28.94% of total ground coverage)	
Roadways, drives, loading areas, and parking lots			Density:	11,229 s.f./acre (F.A.R. = 27.3%)	
Total:	88.7 Acres	100% of gross	Parking Data/Requirements :		
Parking Data/Requirements :			Provided: Total site spaces:	3,871 Spaces	5.69/1000 s.f.
Provided: Total site spaces:	3,871 Spaces	5.69/1000 s.f.	Required Ratio:		
Required Ratio:			Retail : 4.8 spaces/1000 s.f. (min.)		
Retail : 4.8 spaces/1000 s.f. (min.)			Freestanding Restaurants : 8 spaces/1000 s.f. (min.)		
Freestanding Restaurants : 8 spaces/1000 s.f. (min.)			Notes:		

VESTED RIGHTS

This plan constitutes a site specific development plan as defined in 24-68-101, et seq., and C.R.S. and Superior Municipal Code 16-571. The terms and conditions of such approval are contained in Resolution No. _____ adopted by the Town of Superior on _____ and available at the Superior Town Hall, 124 E. Coal Creek Drive, Superior, Colorado. These rights terminate on _____.

TOWN BOARD OF TRUSTEES' CERTIFICATE

Approved this 13th day of January, A.D., 2003, by the Board of Trustees, Superior, Colorado. This approval is with the understanding that all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs, and sidewalks, shall be financed by others and not the Town of Superior.

Phyllis L. Hardin
Town Clerk

[Signature]
Mayor



PLANNING COMMISSION CERTIFICATE

Approved this 7th day of January, A.D., 2003.

Joseph F. Cioffi
Chairman - Superior Planning Commission

TOWN CLERK'S CERTIFICATE

I hereby certify that this instrument was filed in my office at 10:30 o'clock A.M. this 13th day of March, A.D., 2003, and is duly recorded.

Phyllis L. Hardin
Town Clerk

CERTIFICATE OF OWNERSHIP

I certify that New Plan Excel Realty Trust, Inc. is the owner of portions of property, and has the right to immediate possession of the remainder of the property under eminent domain actions filed by the Superior Urban Renewal Authority and I consent to the above F.D.P. This Final Development Plan and any amendments hereto, upon approval by the Town of Superior and recording, shall be binding upon the applicants therefore, their successors and assigns. This Plan shall limit and control the issuance and validity of all building permits, and shall restrict and limit the construction, location, use, occupancy and operation of all land and structures within this Plan to all conditions, requirements, locations, and limitations set forth herein. Abandonment, withdrawal or amendment of this Plan may be permitted only upon approval of the Town of Superior.

In witness whereof I hereunto set my hand this 13th day of March, 2003.

Manager, New Plan Excel Realty Trust, Inc. by *[Signature]*, SR. Vice President.

NOTARIAL: The foregoing instrument was acknowledged before me this 12th day of March, A.D.

20 03 by Thomas L. Mulkey, manager of New Plan Excel Realty, A corporation and [Signature] as president of _____ my commission expires 9.26.04

[Signature]
Notary Public



Memo of Record recorded on April 16, 2003 at Boulder County clerks office.
Recording # 2426257

REVISED:

DATE: 11/11/02
DATE: 10/07/02
DATE: 08/17/02
DATE: 06/28/02
DATE: 04/30/02

SUPERIOR MARKETPLACE PHASE V FDP

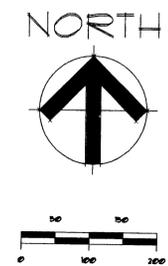
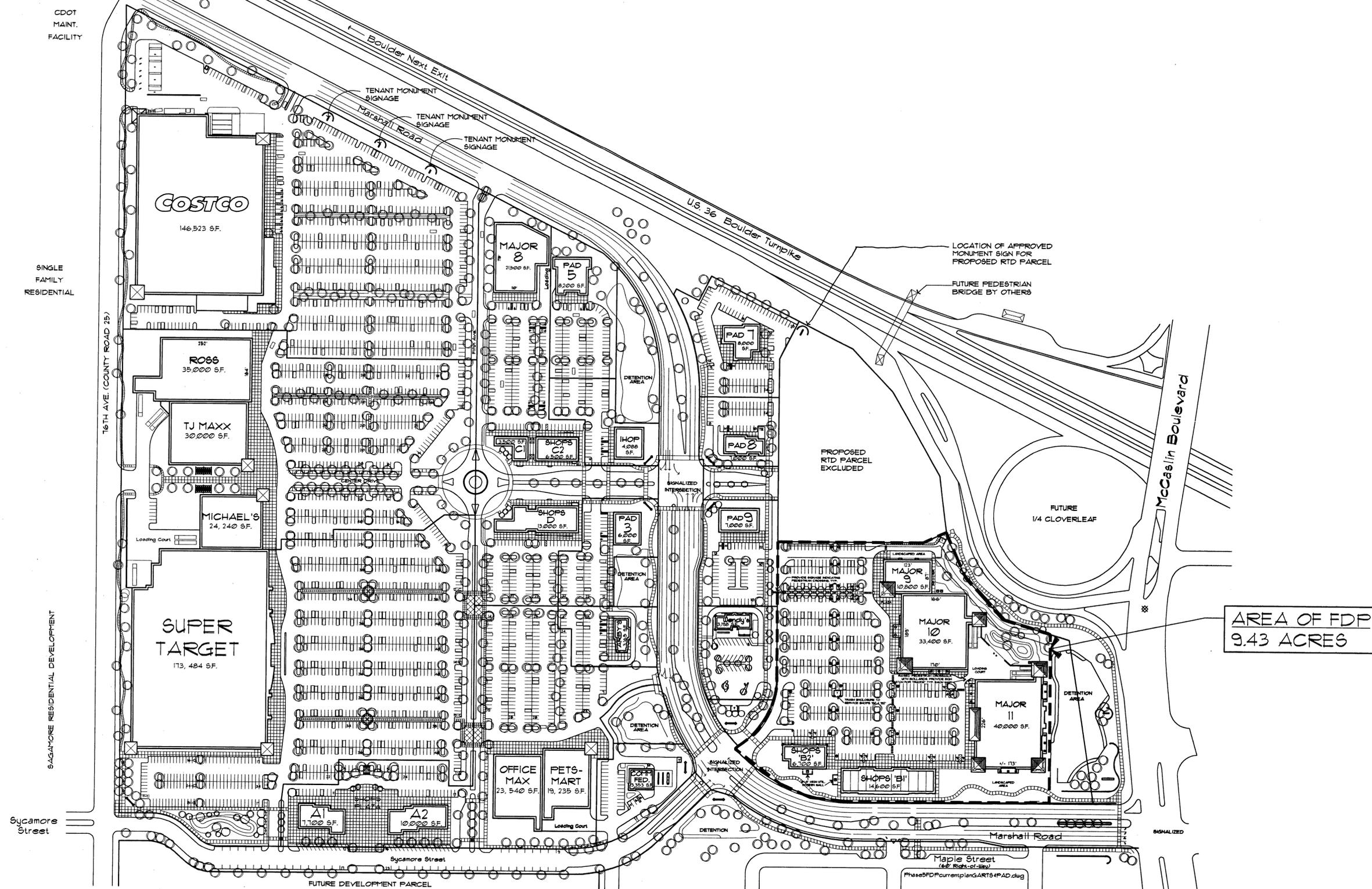
ARCHITECTURAL SHEET

1

OF 14

SUPERIOR MARKETPLACE

PHASE V FINAL DEVELOPMENT PLAN - OVERALL ARCHITECTURAL SITE REFERENCE PLAN
 NEW PLAN EXCEL REALTY TRUST, INC.



DATE: 11/11/02
 DATE: 10/07/02
 DATE: 09/17/02
 DATE: 06/28/02
 DATE: 04/30/02

SUPERIOR MARKETPLACE
 PHASE V FDP

ARCHITECTURAL SHEET

2
 OF 14

SUPERIOR MARKETPLACE

PHASE V FINAL DEVELOPMENT PLAN - ENLARGED PLAN - CONCEPT 1
 NEW PLAN EXCEL REALTY TRUST, INC.

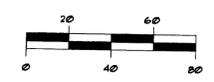
PARKING SUMMARY

MAJOR 9	
Building Area	= 10,800 s.f.
Parking Provided	= 91 spaces
Parking Ratio	= 8.4/1,000
Handicap Parking	= 2
MAJOR 10 & (10a and 10b)	
Building Area	= 33,400 s.f.
Parking Provided	= 150 spaces
Parking Ratio	= 4.5/1,000
Handicap Parking	= 2
MAJOR 11	
Building Area	= 40,000 s.f.
Parking Provided	= 180 spaces
Parking Ratio	= 4.5/1,000
Handicap Parking	= 5
SHOPS 'B1' & 'B2'	
Building Area	= 21,300 s.f.
Parking Provided	= 42 spaces
Parking Ratio	= 2.0/1,000
Handicap Parking	= 6
OVERALL	
Building Area	= 105,500 s.f.
Parking Provided	= 462 spaces
Parking Ratio	= 4.38/1,000
Handicap Parking	= 15

LEGEND

-  TRASH ENCLOSURE (SEE DETAIL 1/14.)
-  ORNAMENTAL LIGHT FIXTURE
-  CONCRETE PAVING AREA: SEE SIDEWALK PLANS FOR SPECIFIC INFORMATION
-  30 FT. PARKING LOT LIGHT TO MATCH EXISTING
-  EXISTING PARKING LOT LIGHT
-  ELEVATION KEY
-  SNOW STORAGE AREA
-  PEDESTRIAN CROSSWALK, WHITE PAINT ON ASPHALT
-  TRANSFORMER - PROPOSED LOCATION TO EXCEL ENERGY
-  POLE MOUNTED TRAFFIC SIGN

NOTE: PLANTINGS SHOWN FOR EFFECT ONLY.
 RE: LANDSCAPE PLAN FOR EXACT INFO.



DATE: 11/11/02
 DATE: 10/07/02
 DATE: 09/17/02
 DATE: 06/28/02
 DATE: 04/30/02

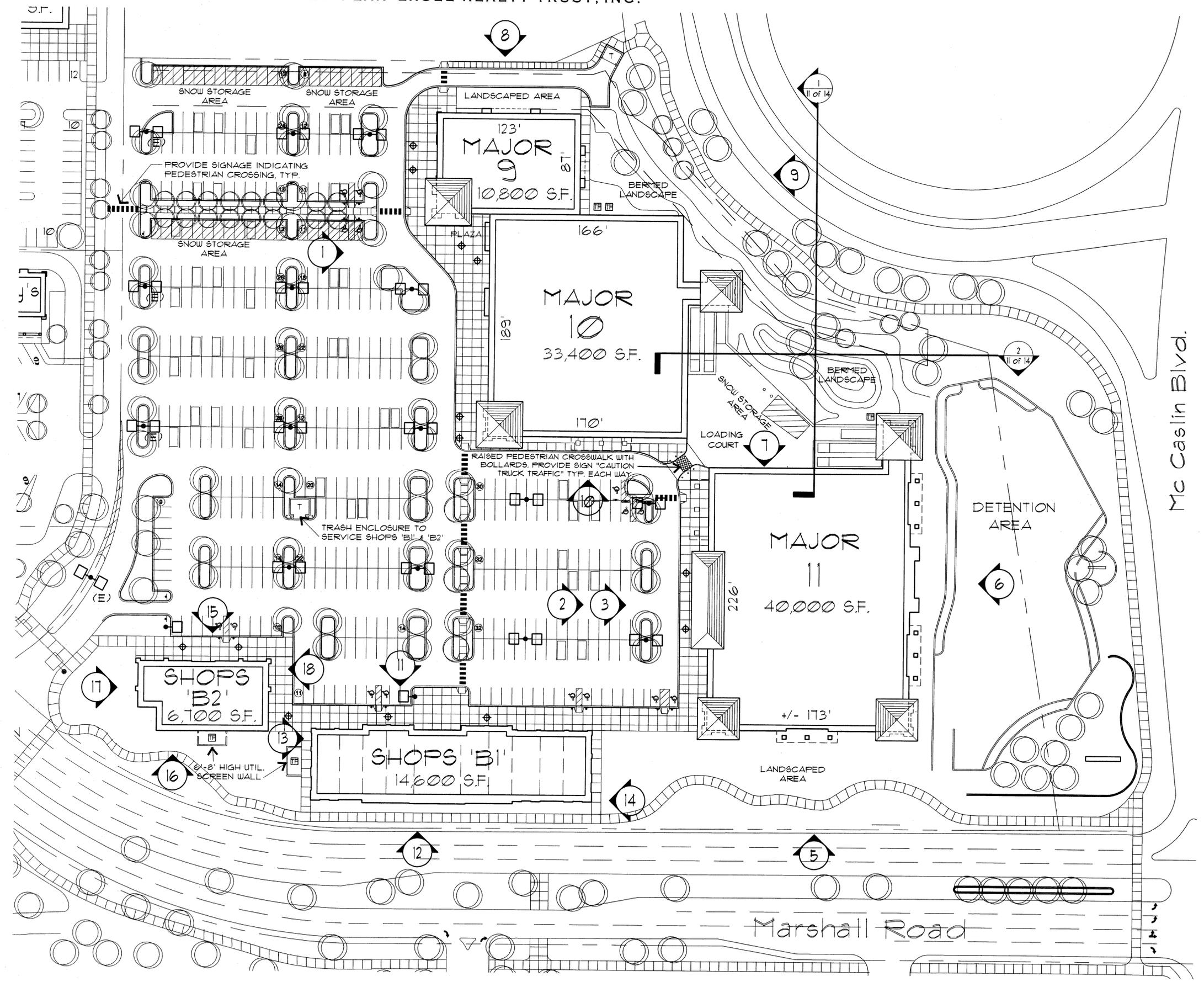
SUPERIOR MARKETPLACE
 PHASE V FDP

ARCHITECTURAL SHEET

3

OF 14

Page 3 of 31

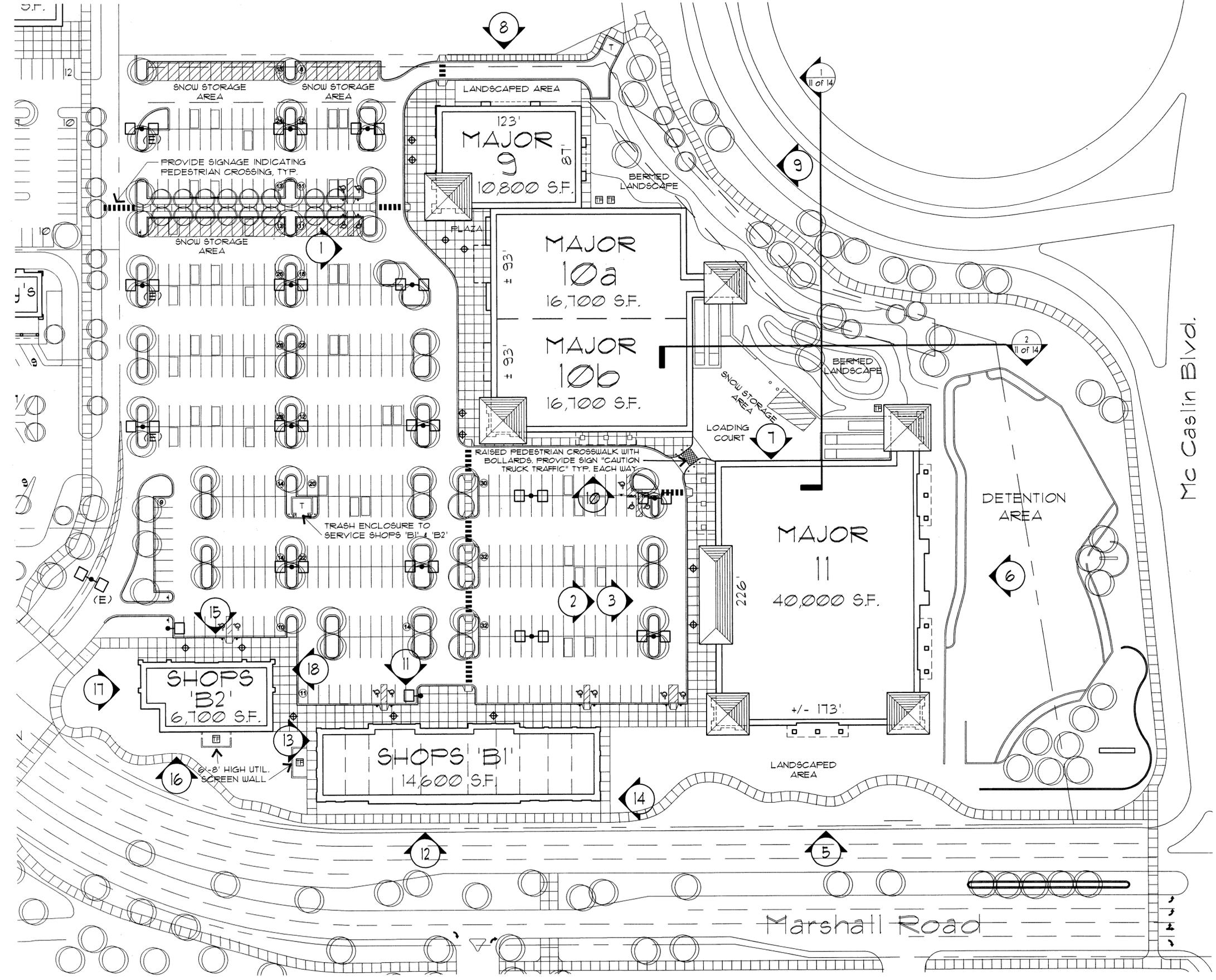


SUPERIOR MARKETPLACE

PHASE V FINAL DEVELOPMENT PLAN - ENLARGED PLAN - CONCEPT 2
 NEW PLAN EXCEL REALTY TRUST, INC.

PARKING SUMMARY

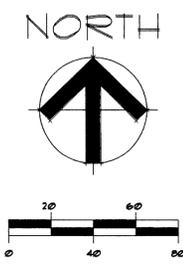
MAJOR 9	
Building Area	= 10,800 s.f.
Parking Provided	= 91 spaces
Parking Ratio	= 8.4/1,000
Handicap Parking	= 2
MAJOR 10 & (10a and 10b)	
Building Area	= 33,400 s.f.
Parking Provided	= 150 spaces
Parking Ratio	= 4.5/1,000
Handicap Parking	= 2
MAJOR 11	
Building Area	= 40,000 s.f.
Parking Provided	= 180 spaces
Parking Ratio	= 4.5/1,000
Handicap Parking	= 5
SHOPS 'B1' & 'B2'	
Building Area	= 21,300 s.f.
Parking Provided	= 42 spaces
Parking Ratio	= 2.0/1,000
Handicap Parking	= 6
OVERALL	
Building Area	= 105,500 s.f.
Parking Provided	= 462 spaces
Parking Ratio	= 4.38/1,000
Handicap Parking	= 15



LEGEND

- TRASH ENCLOSURE (SEE DETAIL 1/14.)
- ORNAMENTAL LIGHT FIXTURE
- CONCRETE PAVING AREA: SEE SIDEWALK PLANS FOR SPECIFIC INFORMATION
- 30 FT. PARKING LOT LIGHT TO MATCH EXISTING
- EXISTING PARKING LOT LIGHT
- ELEVATION KEY
- SNOW STORAGE AREA
- PEDESTRIAN CROSSWALK, WHITE PAINT ON ASPHALT
- TRANSFORMER - PROPOSED LOCATION TO EXCEL ENERGY
- POLE MOUNTED TRAFFIC SIGN

NOTE: PLANTINGS SHOWN FOR EFFECT ONLY.
 RE: LANDSCAPE PLAN FOR EXACT INFO.



DATE: 11/11/02
 DATE: 10/07/02
 DATE: 09/17/02
 DATE: 06/28/02
 DATE: 04/30/02

SUPERIOR MARKETPLACE
 PHASE V FDP

ARCHITECTURAL SHEET

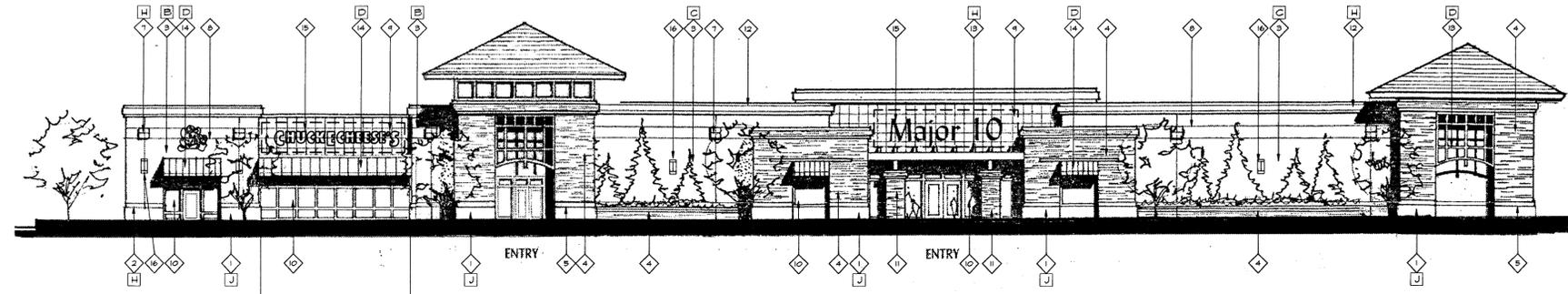
4

OF 14

Page 403 31

SUPERIOR MARKETPLACE

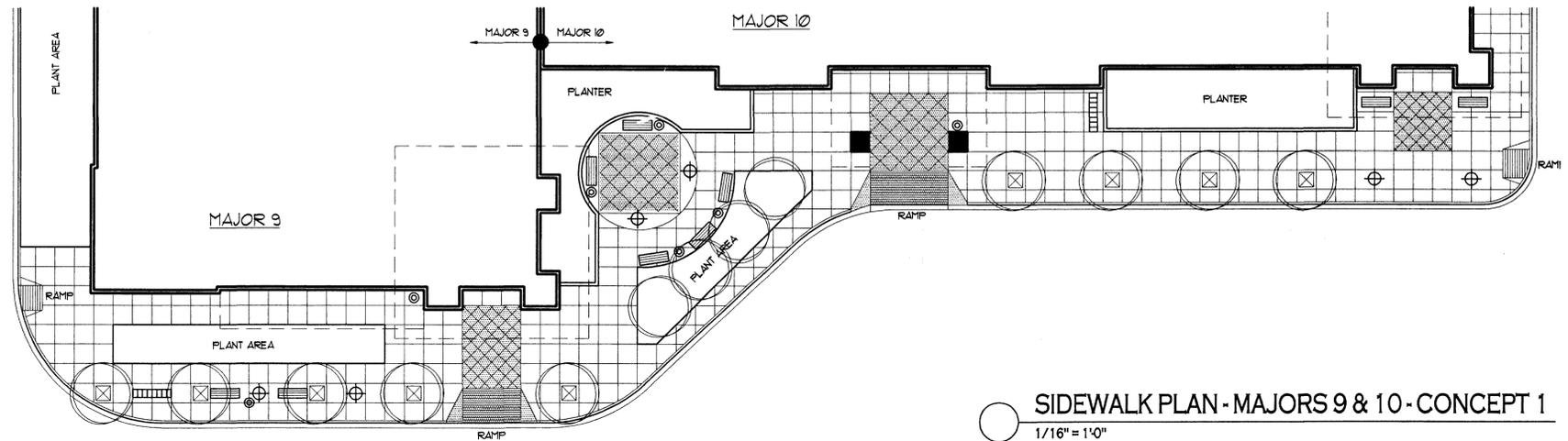
PHASE V FINAL DEVELOPMENT PLAN - ELEVATIONS
NEW PLAN EXCEL REALTY TRUST, INC.



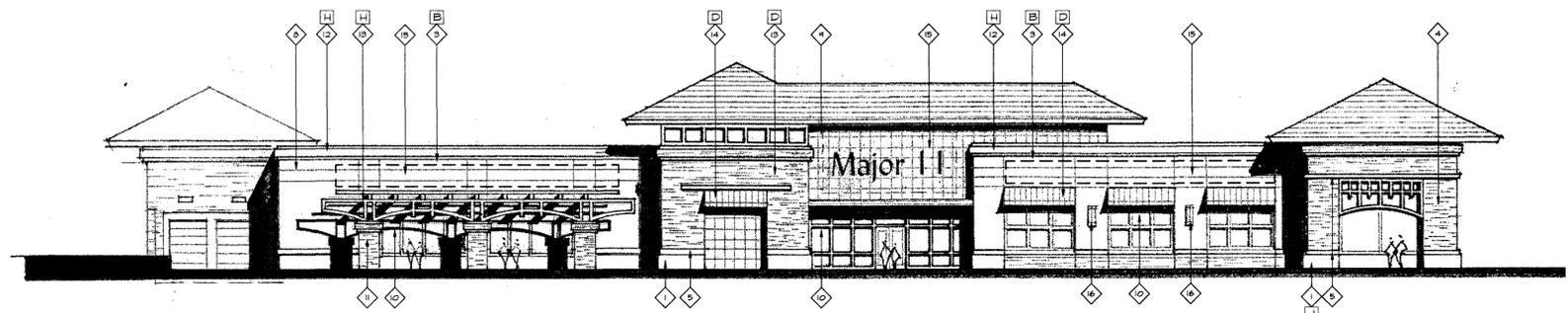
1 WEST ELEVATION - MAJORS 9 & 10 - CONCEPT 1
1/16" = 1'0"

NOTE: THIS ELEVATION SHOWN LONGER THAN FOOTPRINT ON SITE PLAN. CENTER GLAZING DIMENSION SHALL BE REDUCED.

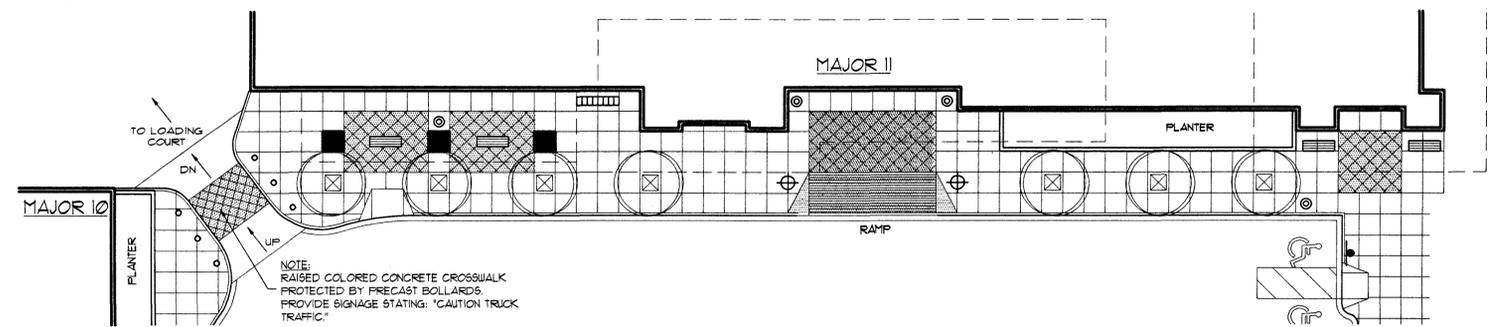
NOTE: REFER TO SHEET NUMBER SIX FOR MAJOR NINE SIGN DETAILS.



2 SIDEWALK PLAN - MAJORS 9 & 10 - CONCEPT 1
1/16" = 1'0"



2 WEST ELEVATION - MAJOR 11 - CONCEPT 1
1/16" = 1'0"



2 SIDEWALK PLAN - MAJOR 11 - CONCEPT 1
1/16" = 1'0"

NOTE: RAISED COLORED CONCRETE CROSSWALK PROTECTED BY PRECAST BOLLARDS. PROVIDE SIGNAGE STATING "CAUTION TRUCK TRAFFIC."

ELEVATION KEY NOTES

◆ SPLIT FACE CMU	COLOR - ROSE
◆ EIFS ACCENT	COLOR - WHITE
◆ EIFS WALL COVERING	COLOR - SEE KEY
◆ CAST STONE WALL	ASHLAR PATTERN, COLOR - "SUPERIOR BLEND"
◆ CAST STONE ACCENT	COLOR - "SUPERIOR BLEND"
◆ LIGHT FIXTURE 'C'	COLOR - GREEN
◆ FLAGSTONE ACCENT	(4) 12" TILES
◆ 3/4" REVEAL	
◆ FLAT FLAGSTONE	2' X 2' TILES
◆ STOREFRONT GLAZING	CLEAR ANODIZED
◆ CAST STONE COLUMN	
◆ EIFS CORNICE WITH METAL COPING	COLOR - SEE KEY
◆ ORNAMENTAL METAL	COLOR - SEE KEY
◆ FABRIC AWNING	COLOR - SEE KEY
◆ DESIGNATED SIGN AREA	
◆ LIGHT FIXTURE 'D'	COLOR - GREEN

GENERAL NOTES

- BLANK SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
- NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL
- TREES LOCATIONS ARE TO BE DETERMINED FROM THE SIDEWALK PLAN. TREES ON THE ELEVATIONS ARE SHOWN FOR EFFECT ONLY.

COLOR KEY

NUMBERS INDICATE 'DRYVIT' COLORS
SW = SHERWIN-WILLIAMS PAINT COLOR

A	DARK TAN - #339 'CARIBOU'
B	MEDIUM TAN - #381 'PANCAKE'
C	LIGHT TAN - #455A 'PEARL'
D	GREEN - (SW 'OLYMPIC RANGE')
E	- NOT USED -
F	- NOT USED -
G	- NOT USED -
H	WHITE - #02 'BRITTE WHITE'
J	ROSE - #325 'CARRANT' (TO MATCH TARGET)

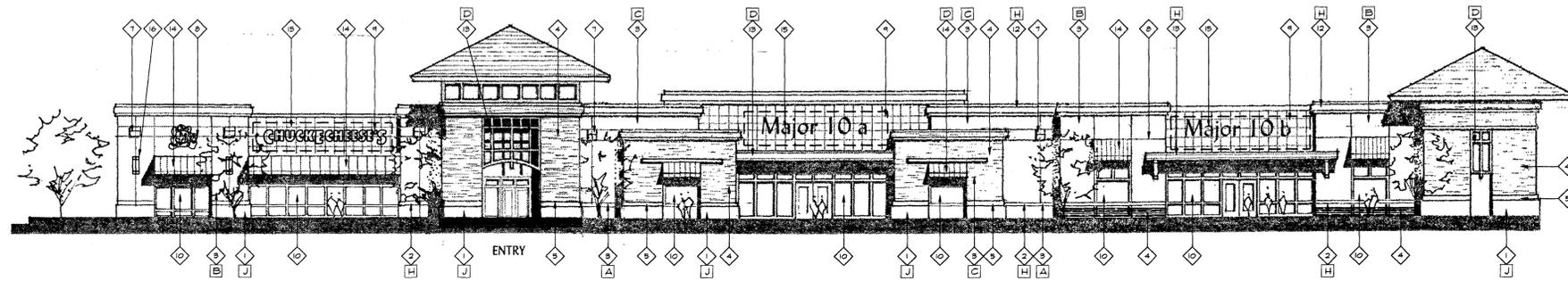
LEGEND

4' x 4' TREE GRATE	TRASH CAN	TREE
BIKE RACK	6' BENCH	
COLORED CONCRETE	POLE MOUNTED TRAFFIC SIGN	
	ORNAMENTAL LIGHT	

DATE: 11/11/02
DATE: 10/07/02
DATE: 09/17/02
DATE: 06/27/02
DATE: 04/30/02
SUPERIOR MARKETPLACE
PHASE V FDP
ARCHITECTURAL SHEET
5
OF 14

SUPERIOR MARKETPLACE

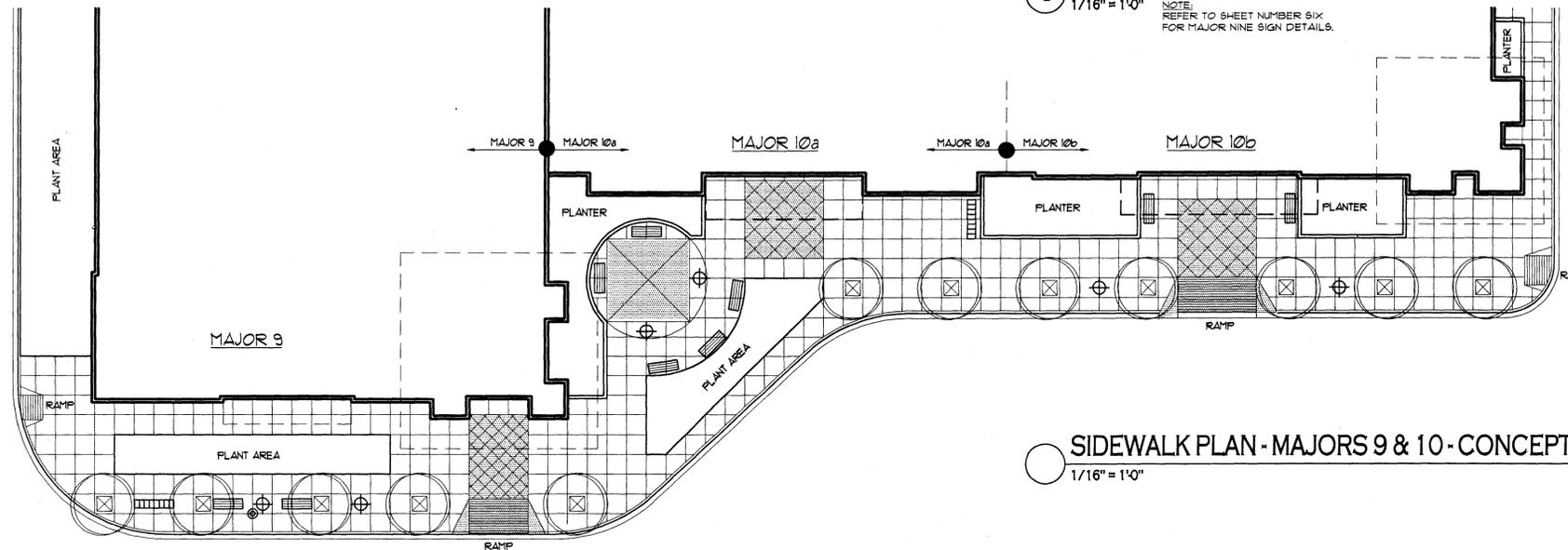
PHASE V FINAL DEVELOPMENT PLAN - ELEVATIONS
NEW PLAN EXCEL REALTY TRUST, INC.



3 WEST ELEVATION - MAJORS 9 & 10 - CONCEPT 2

1/16" = 1'0"

NOTE: REFER TO SHEET NUMBER SIX FOR MAJOR NINE SIGN DETAILS.



3 SIDEWALK PLAN - MAJORS 9 & 10 - CONCEPT 2

1/16" = 1'0"

ELEVATION KEY NOTES

- ◇ SPLIT FACE CMU COLOR - ROSE
- ◇ EIFS ACCENT COLOR - WHITE
- ◇ EIFS WALL COVERING COLOR - SEE KEY
- ◇ CAST STONE WALL ASHLAR PATTERN, COLOR - "SUPERIOR BLEND"
- ◇ CAST STONE ACCENT COLOR - "SUPERIOR BLEND"
- ◇ LIGHT FIXTURE 'C' COLOR - GREEN
- ◇ FLAGSTONE ACCENT (4) 12" TILES
- ◇ 3/4" REVEAL
- ◇ FLAT FLAGSTONE 2' X 2' TILES
- ◇ STOREFRONT GLAZING CLEAR ANODIZED
- ◇ CAST STONE COLUMN
- ◇ EIFS CORNICE WITH METAL COPING COLOR - SEE KEY
- ◇ ORNAMENTAL METAL COLOR - SEE KEY
- ◇ FABRIC AWNING COLOR - SEE KEY
- ◇ DESIGNATED SIGN AREA
- ◇ LIGHT FIXTURE 'D' COLOR - GREEN

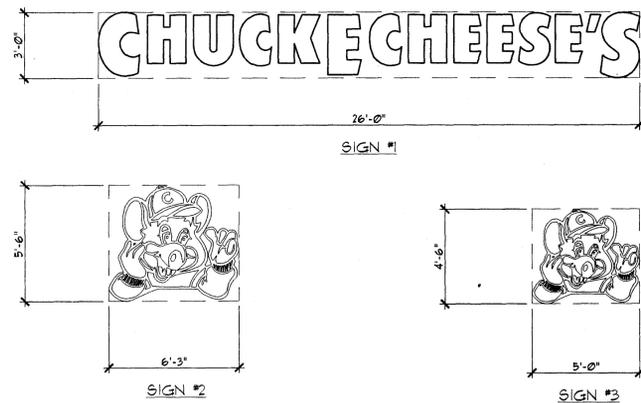
GENERAL NOTES

1. BLANK SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
2. NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL.
3. TREES LOCATIONS ARE TO BE DETERMINED FROM THE SIDEWALK PLAN. TREES ON THE ELEVATIONS ARE SHOWN FOR EFFECT ONLY.

COLOR KEY

- NUMBERS INDICATE DRYVIT COLORS
SU = SHERWIN-WILLIAMS PAINT COLOR
- A DARK TAN - #339 'CARIBOU'
 - B MEDIUM TAN - #381 'PANCAKE'
 - C LIGHT TAN - #455A 'PEARL'
 - D GREEN - (SU) 'OLYMPIC RANGE'
 - E - NOT USED -
 - F - NOT USED -
 - G - NOT USED -
 - H WHITE - #102 'BRITE WHITE'
 - J ROSE - #329 'CARRANT' (TO MATCH TARGET)

4 NOT USED



MAJOR 9 SIGNAGE DETAILS

PROPOSED SIGN TYPES (MAJOR 9)

NO. SIGN	AREA (SF.)	LOCATION	COLOR
1 'CHUCKE CHEESE'S'	18	WEST, NORTH & EAST ELEV.	COLOR - RED TO YELLOW
2 LARGE MOUSE	34.4	WEST ELEV.	COLOR - GREY MOUSE WITH RED CAP, AND YELLOW JACKET
3 SMALL MOUSE	22.5	NORTH & EAST ELEV.	COLOR - GREY MOUSE WITH RED CAP, AND YELLOW JACKET

MAX. LETTER HEIGHT = 3'-0"

MAX. ALLOWED = 3'-0"

MAX. LOGO HEIGHT = WEST ELEV. 5'-6"

MAX. ALLOWED = WEST ELEV. 4'-6"

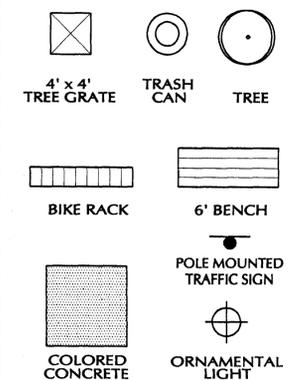
MAX. LOGO HEIGHT = NORTH & EAST ELEV. 4'-6"

MAX. ALLOWED = NORTH & EAST ELEV. 4'-6"

SIGN AREA CALCULATION (MAJOR 9)

SIDE	ALLOWABLE SIGN AREA	SIGNAGE TYPE PROVIDED (*)	COMBINED AREA OF SIGNAGE
WEST ELEVATION	133.5 SF.	1 & 2	112.4 SF.
NORTH ELEVATION	173 SF.	1 & 3	100.5 SF.
EAST ELEVATION	133.5 SF.	1 & 3	100.5 SF.
SOUTH ELEVATION	NOT USED	NO SIGNAGE	N/A

LEGEND



DATE: 11/11/02
DATE: 10/07/02
DATE: 09/17/02
DATE: 06/28/02
DATE: 04/30/02

SUPERIOR MARKETPLACE
PHASE V FDP

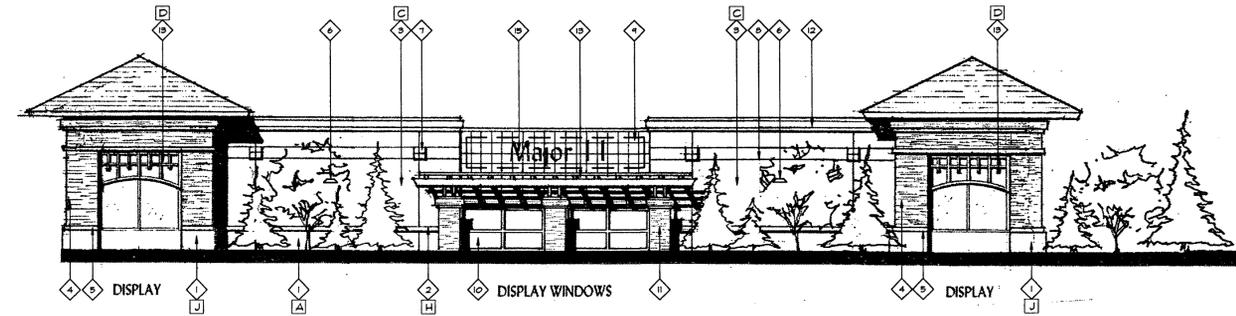
ARCHITECTURAL SHEET

6

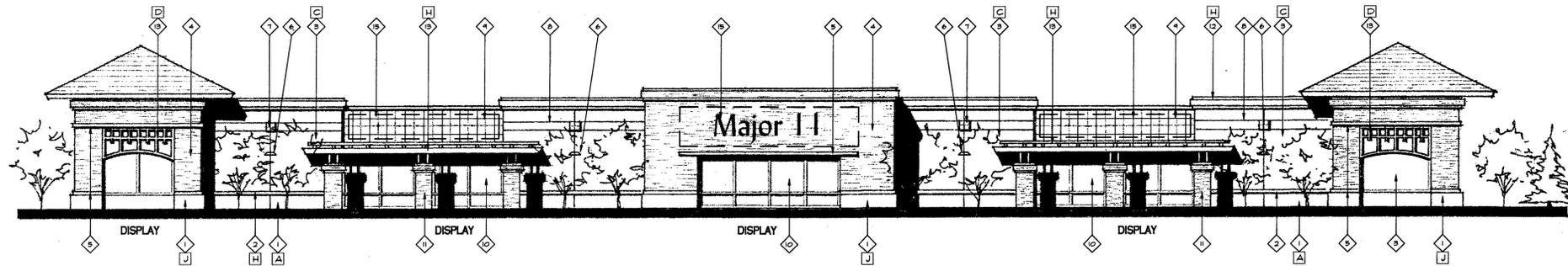
OF 14

SUPERIOR MARKETPLACE

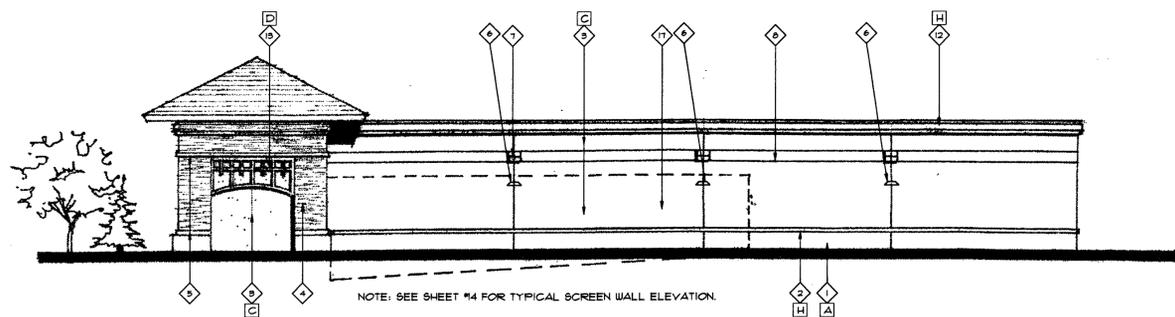
PHASE V FINAL DEVELOPMENT PLAN - ELEVATIONS
 NEW PLAN EXCEL REALTY TRUST, INC.



5 SOUTH ELEVATION - MAJOR 11
 1/16" = 1'0"



6 EAST ELEVATION - MAJOR 11
 1/16" = 1'0"



7 NORTH ELEVATION - MAJOR 11
 1/16" = 1'0"

ELEVATION KEY NOTES

◆ SPLIT FACE CMU	COLOR - ROSE
◆ EIFS ACCENT	COLOR - WHITE
◆ EIFS WALL COVERING	COLOR - SEE KEY
◆ CAST STONE WALL	ASHLAR PATTERN, COLOR - 'SUPERIOR BLEND'
◆ CAST STONE ACCENT	COLOR - 'SUPERIOR BLEND'
◆ LIGHT FIXTURE 'C'	COLOR - GREEN
◆ FLAGSTONE ACCENT	(4) 12" TILES
◆ 3/4" REVEAL	
◆ FLAT FLAGSTONE	2' X 2' TILES
◆ STOREFRONT GLAZING	CLEAR ANODIZED
◆ CAST STONE COLUMN	
◆ EIFS CORNICE WITH METAL COPING	COLOR - SEE KEY
◆ ORNAMENTAL METAL	COLOR - SEE KEY
◆ FABRIC AWNING	COLOR - SEE KEY
◆ DESIGNATED SIGN AREA	
◆ LIGHT FIXTURE 'D'	COLOR - GREEN
◆ CMU SCREEN WALL	

- GENERAL NOTES**
- SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
 - NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL
 - TREES LOCATIONS ARE TO BE MADE PER THE SIDEWALK PLAN. TREES ON THE ELEVATIONS ARE SHOWN FOR EFFECT ONLY.

COLOR KEY

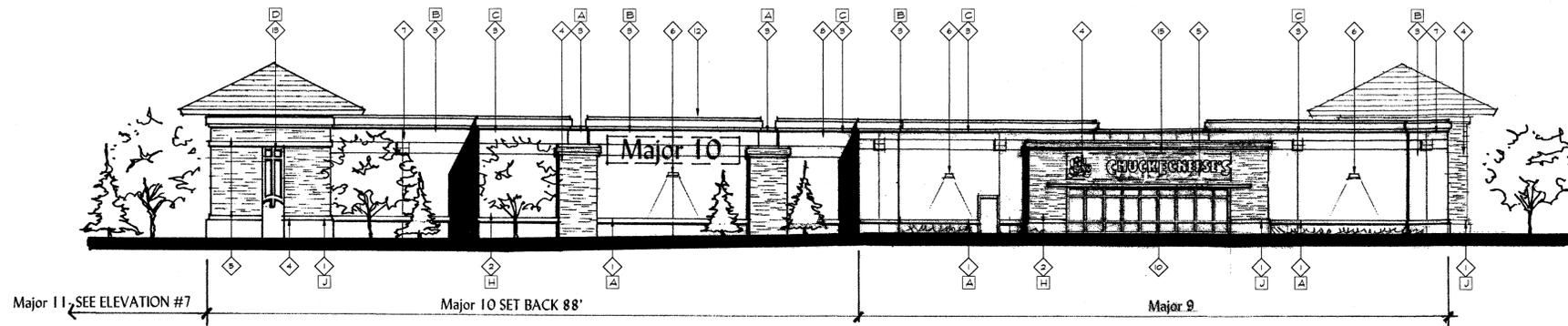
NUMBERS INDICATE DRYVIT COLORS
 SW = SHERWIN-WILLIAMS PAINT COLOR

A	DARK TAN - #338 'CARIBOU'
B	MEDIUM TAN - #381 'PANCAKE'
C	LIGHT TAN - #455A 'PEARL'
D	GREEN - (SU OLYMPIC RANGE)
E	- NOT USED -
F	- NOT USED -
G	- NOT USED -
H	WHITE - #02 'BRITE WHITE'
J	ROSE - #229 'CARRANT' (TO MATCH TARGET)

DATE: 11/11/02
 DATE: 10/07/02
 DATE: 09/17/02
 DATE: 06/28/02
 DATE: 04/30/02

SUPERIOR MARKETPLACE

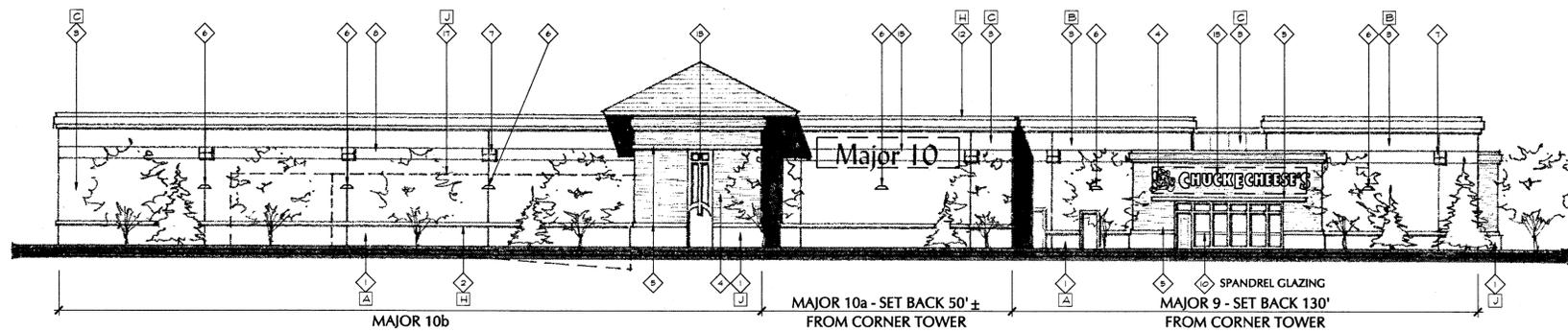
PHASE V FINAL DEVELOPMENT PLAN - ELEVATIONS
 NEW PLAN EXCEL REALTY TRUST, INC.



8 NORTH ELEVATION - MAJORS 9 & 10

1/16" = 1'-0"

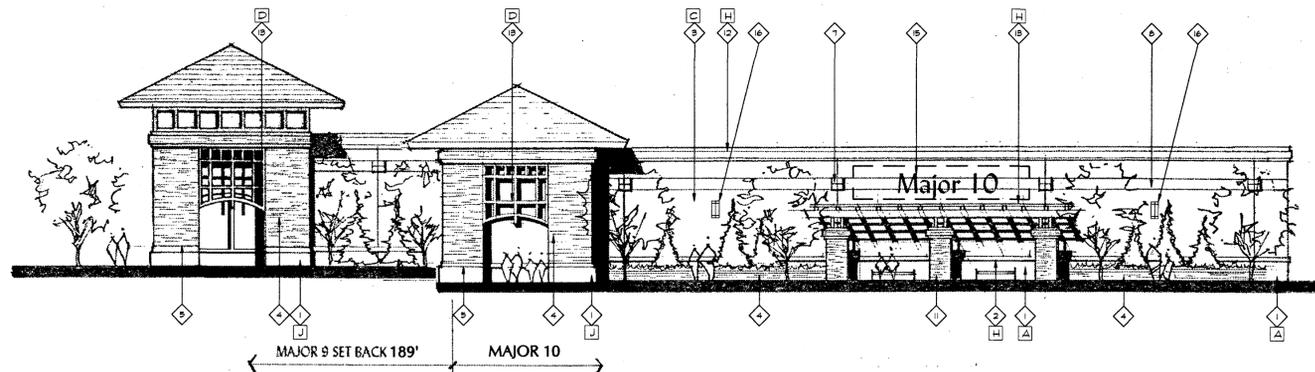
NOTE:
 REFER TO SHEET NUMBER SIX
 FOR MAJOR NINE SIGN DETAILS.



9 EAST ELEVATION - MAJORS 9 & 10

1/16" = 1'-0"

NOTE:
 REFER TO SHEET NUMBER SIX
 FOR MAJOR NINE SIGN DETAILS.



10 SOUTH ELEVATION - MAJORS 9 & 10

1/16" = 1'-0"

ELEVATION KEY NOTES

- 1 SPLIT FACE GCMU COLOR - ROSE
- 2 EIFS ACCENT COLOR - WHITE
- 3 EIFS WALL COVERING COLOR - SEE KEY
- 4 CAST STONE WALL ASHLAR PATTERN, COLOR - "SUPERIOR BLEND"
- 5 CAST STONE ACCENT COLOR - "SUPERIOR BLEND"
- 6 LIGHT FIXTURE 'C' COLOR - GREEN
- 7 FLAGSTONE ACCENT (4) 12" TILES
- 8 3/4" REVEAL
- 9 FLAT FLAGSTONE
- 10 STOREFRONT GLAZING CLEAR ANODIZED
- 11 CAST STONE COLUMN
- 12 EIFS CORNICE WITH METAL COPING COLOR - SEE KEY
- 13 ORNAMENTAL METAL COLOR - SEE KEY
- 14 FABRIC AWNING COLOR - SEE KEY
- 15 DESIGNATED SIGN AREA
- 16 LIGHT FIXTURE 'D' COLOR - GREEN
- 17 GCMU SCREEN WALL

GENERAL NOTES

1. BLANK SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
2. NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL
3. TREES LOCATIONS ARE TO BE DETERMINED FROM THE SIDEWALK PLAN. TREES ON THE ELEVATIONS ARE SHOWN FOR EFFECT ONLY.

COLOR KEY

NUMBERS INDICATE DRYVIT COLORS
 SW = SHERWIN-WILLIAMS PAINT COLOR

- A DARK TAN - #338 'CARIBOU'
- B MEDIUM TAN - #381 'PANCAKE'
- C LIGHT TAN - #554 'PEARL'
- D GREEN - (SW 'OLYMPIC RANGE')
- E - NOT USED -
- F - NOT USED -
- G - NOT USED -
- H WHITE - #102 'BRITISH WHITE'
- J ROSE - #329 'CURRENT' (TO MATCH TARGET)

DATE: 11/11/02
 DATE: 10/07/02
 DATE: 09/17/02
 DATE: 06/28/02
 DATE: 04/30/02

SUPERIOR MARKETPLACE
 PHASE V FDP

ARCHITECTURAL SHEET

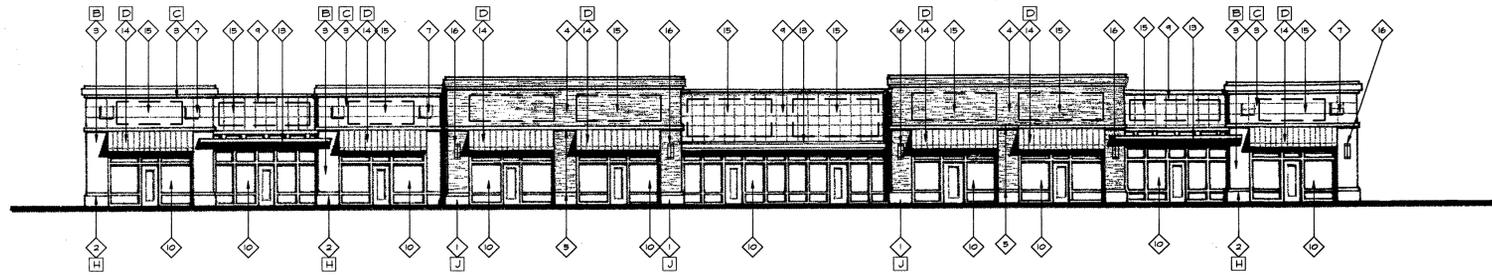
8

OF 14

Page 8 of 31

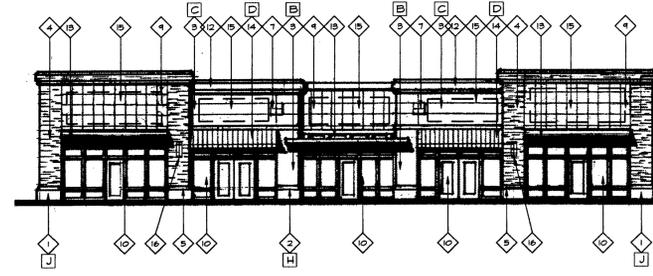
SUPERIOR MARKETPLACE

PHASE V FINAL DEVELOPMENT PLAN - ELEVATIONS
 NEW PLAN EXCEL REALTY TRUST, INC.



11 NORTH ELEVATION - SHOPS 'B1'
 1/16" = 1'-0"

NOTE:
 BUILDING ELEVATION MAY STEP
 WITH FINAL GRADE - TYPICAL



15 NORTH ELEVATION - SHOPS 'B2'
 1/16" = 1'-0"

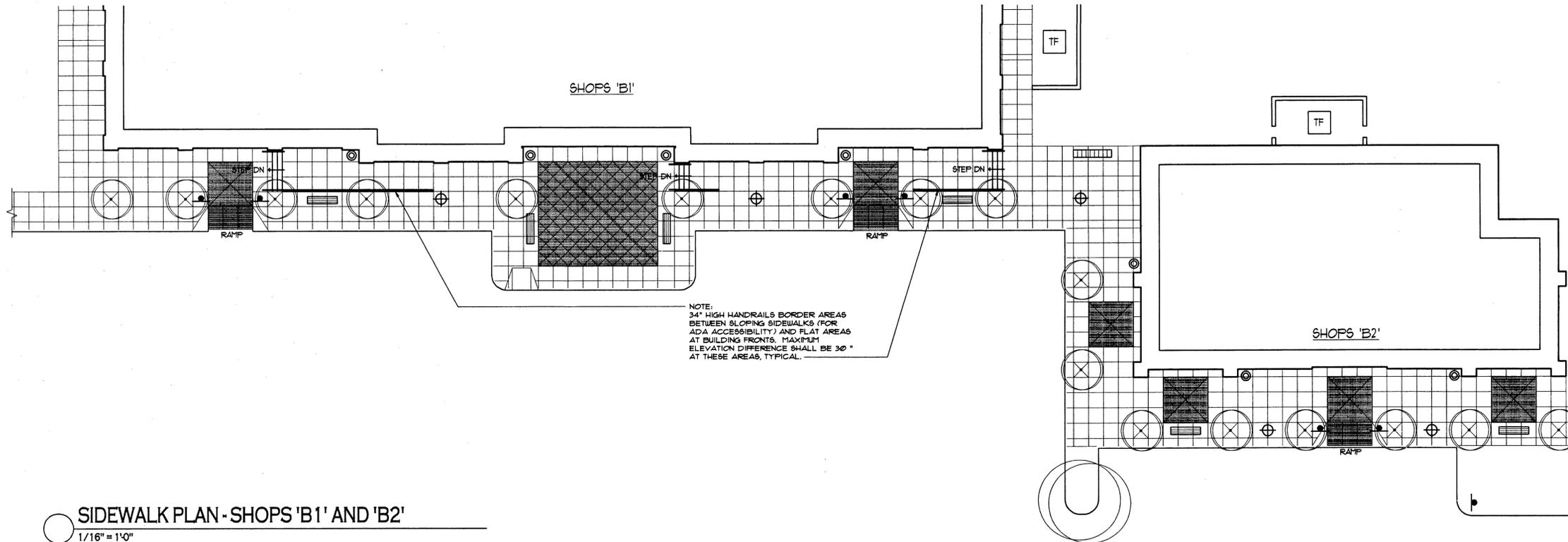
ELEVATION KEY NOTES	
1	SPLIT FACE CMU COLOR - ROSE
2	EJFS ACCENT COLOR - WHITE
3	EJFS WALL COVERING COLOR - SEE KEY
4	CAST STONE WALL ASHLAR PATTERN, COLOR - "SUPERIOR BLEND"
5	CAST STONE ACCENT COLOR - "SUPERIOR BLEND"
6	LIGHT FIXTURE 'C' COLOR - GREEN
7	FLAGSTONE ACCENT (4) 12" TILES
8	3/4" REVEAL
9	FLAT FLAGSTONE 2' X 2' TILES
10	STOREFRONT GLAZING CLEAR ANODIZED
11	CAST STONE COLUMN
12	EJFS CORNICE WITH METAL COPING COLOR - SEE KEY
13	ORNAMENTAL METAL COLOR - SEE KEY
14	FABRIC AWNING COLOR - SEE KEY
15	DESIGNATED SIGN AREA
16	LIGHT FIXTURE 'D' COLOR - GREEN

- GENERAL NOTES**
- SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
 - NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL.
 - TREES LOCATIONS ARE TO BE DETERMINED FROM THE SIDEWALK PLAN. TREES ON THE ELEVATIONS ARE SHOWN FOR EFFECT ONLY.

COLOR KEY

NUMBERS INDICATE DRYVIT COLORS. SW = SHERWIN-WILLIAMS PAINT COLOR

A	DARK TAN - #339 'CARIBOU'
B	MEDIUM TAN - #381 'PANCAKE'
C	LIGHT TAN - #455A 'PEARL'
D	GREEN - (SW 'OLYMPIC RANGE')
E	- NOT USED -
F	- NOT USED -
G	- NOT USED -
H	WHITE - #02 'BRITISH WHITE'
J	ROSE - #329 'CARRANT' (TO MATCH TARGET)



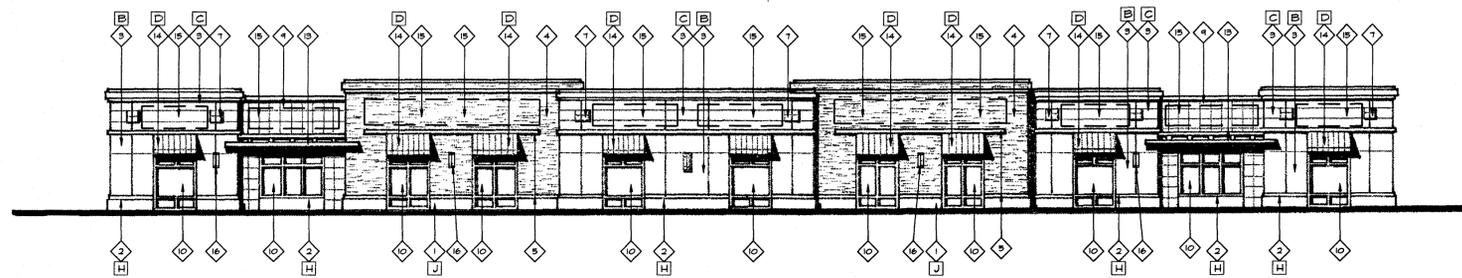
LEGEND

4' x 4' TREE GRATE	TRASH CAN	TREE
BIKE RACK	6' BENCH	
COLORED CONCRETE	POLE MOUNTED TRAFFIC SIGN	
	ORNAMENTAL LIGHT	

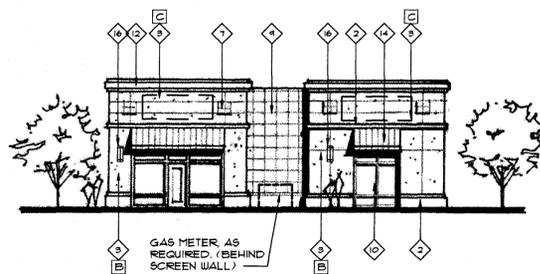
12 SIDEWALK PLAN - SHOPS 'B1' AND 'B2'
 1/16" = 1'-0"

SUPERIOR MARKETPLACE

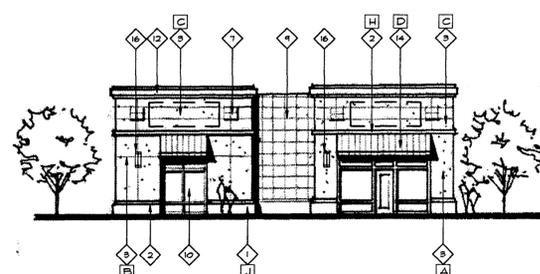
PHASE V FINAL DEVELOPMENT PLAN - ELEVATIONS
 NEW PLAN EXCEL REALTY TRUST, INC.



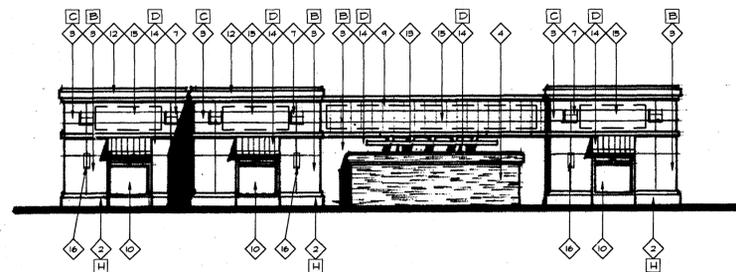
12 SOUTH ELEVATION - SHOPS 'B1'
 1/16" = 1'-0"



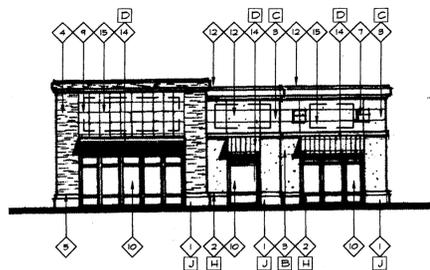
13 WEST ELEVATION - SHOPS 'B1'
 1/16" = 1'-0"



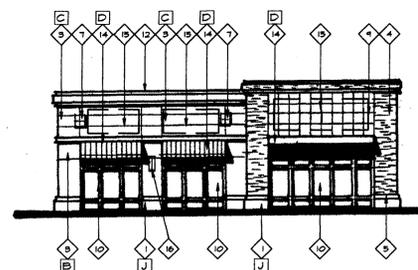
14 EAST ELEVATION - SHOPS 'B1'
 1/16" = 1'-0"



16 SOUTH ELEVATION - SHOPS 'B2'
 1/16" = 1'-0"



17 WEST ELEVATION - SHOPS 'B2'
 1/16" = 1'-0"



18 EAST ELEVATION - SHOPS 'B2'
 1/16" = 1'-0"

ELEVATION KEY NOTES

- 1 SPLIT FACE CMU COLOR - ROSE
- 2 EIFS ACCENT COLOR - WHITE
- 3 EIFS WALL COVERING COLOR - SEE KEY
- 4 CAST STONE WALL ASHLAR PATTERN, COLOR - "SUPERIOR BLEND"
- 5 CAST STONE ACCENT COLOR - "SUPERIOR BLEND"
- 6 LIGHT FIXTURE 'C' COLOR - GREEN
- 7 FLAGSTONE ACCENT (4) 12" TILES
- 8 3/4" REVEAL
- 9 FLAT FLAGSTONE
- 10 STOREFRONT GLAZING CLEAR ANODIZED
- 11 CAST STONE COLUMN
- 12 EIFS CORNICE WITH METAL COPING COLOR - SEE KEY
- 13 ORNAMENTAL METAL COLOR - SEE KEY
- 14 FABRIC AWNING COLOR - SEE KEY
- 15 DESIGNATED SIGN AREA
- 16 LIGHT FIXTURE 'D' COLOR - GREEN

GENERAL NOTES

1. SIGN AREAS INDICATED REPRESENT AREAS FOR PLACEMENT ONLY. SIGNAGE APPROVALS TO BE SOUGHT BY INDIVIDUAL TENANTS, AS TENANTS ARE UNKNOWN AT THE TIME OF THIS SUBMITTAL.
2. NO ROOFTOP UNITS SHALL EXTEND ABOVE PARAPET - TYPICAL
3. TREES LOCATIONS ARE TO BE DETERMINED FROM THE SIDEWALK PLAN. TREES ON THE ELEVATIONS ARE SHOWN FOR EFFECT ONLY.

COLOR KEY

- NUMBERS INDICATE DRYVIT COLORS
 SW = SHERWIN-WILLIAMS PAINT COLOR
- A DARK TAN - #335 'CARIBOU'
 - B MEDIUM TAN - #381 'PANCAKE'
 - C LIGHT TAN - #455A 'PEARL'
 - D GREEN - (SW OLYMPIC RANGE)
 - E - NOT USED -
 - F - NOT USED -
 - G - NOT USED -
 - H WHITE - #102 'BRITISH WHITE'
 - J ROSE - #325 'CARRANT' (TO MATCH TARGET)

DATE: 11/11/02
 DATE: 10/07/02
 DATE: 09/17/02
 DATE: 06/28/02
 DATE: 04/30/02

SUPERIOR MARKETPLACE
 PHASE V FDP

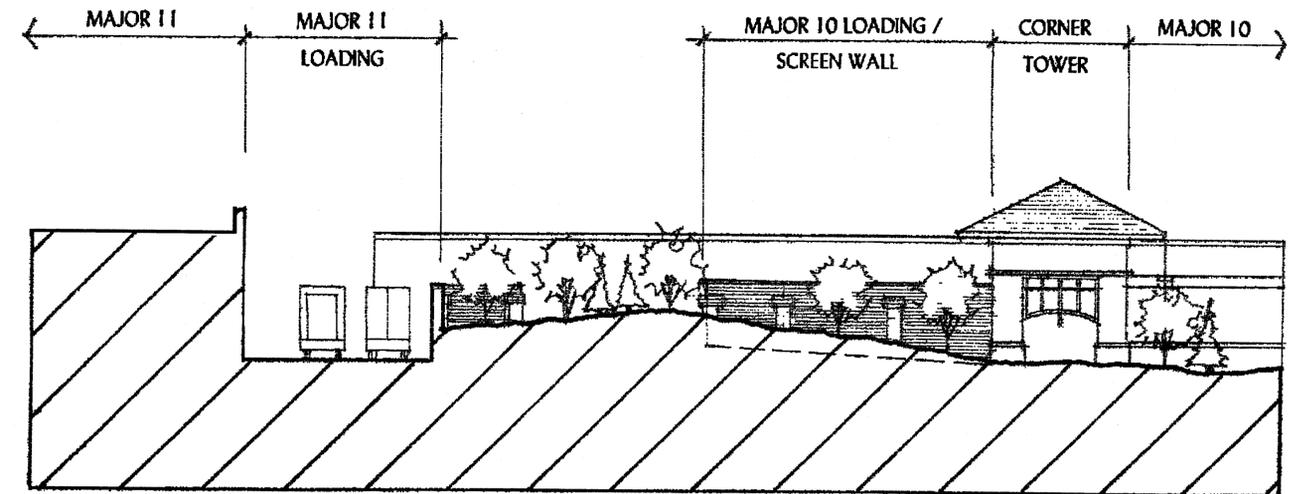
ARCHITECTURAL SHEET

10

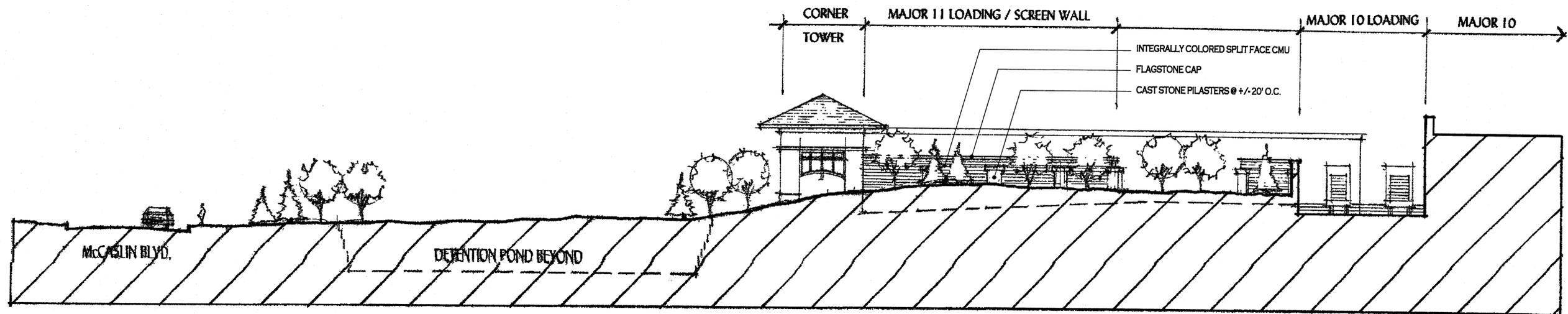
OF 14

SUPERIOR MARKETPLACE

PHASE V FINAL DEVELOPMENT PLAN - SITE SECTIONS
 NEW PLAN EXCEL REALTY TRUST, INC.



1 NORTH/SOUTH CROSS SECTION - LOOKING WEST
 1/4" = 1'-0"



2 EAST/WEST CROSS SECTION - LOOKING SOUTH
 1/4" = 1'-0"

DATE: 11/11/02
 DATE: 10/07/02
 DATE: 09/17/02
 DATE: 06/28/02
 DATE: 04/30/02

SUPERIOR MARKETPLACE
 PHASE V FDP

ARCHITECTURAL SHEET

11
 OF 14

Page 11 of 31

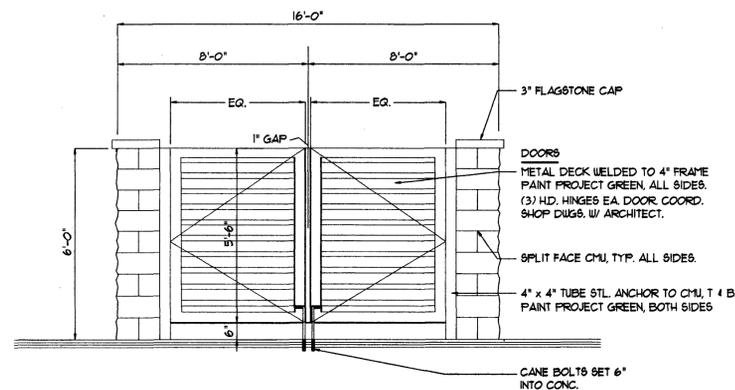
SUPERIOR MARKETPLACE

PHASE V FINAL DEVELOPMENT PLAN - ELEVATIONS
NEW PLAN EXCEL REALTY TRUST, INC.

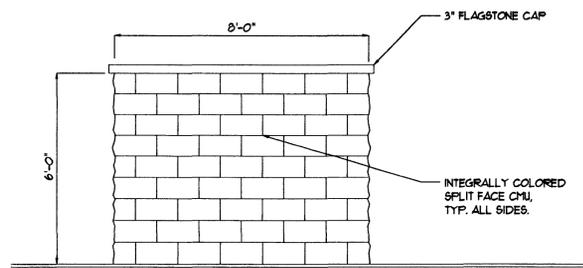
MATERIAL CALCULATIONS - ALL BUILDINGS (ACTUAL AREA OR LENGTH IN PARENTHESIS)																
BUILDING ELEVATION (FRONT, SIDE, REAR)	WALL AREA S.F. TOTAL	WALL LENGTH L.F. TOTAL	CMU % PROVIDED	CMU % ALLOWED (MAXIMUM)	STUCCO /EFIS % PROVIDED	STUCCO /EFIS % ALLOWED (MAXIMUM)	CAST STONE % PROVIDED	CAST STONE % REQUIRED	GLAZING % OF L.F. PROVIDED	GLAZING % OF L.F. REQUIRED	ORN. IRON % OF L.F. PROVIDED	ORN. IRON % OF L.F. REQUIRED	SLOPED ROOF % OF L.F. PROVIDED	SLOPED ROOF % OF L.F. REQUIRED	ENTRY ELEMENT % OF O.IRON/ % OF CAST STONE PROVIDED	ENTRY ELEMENT % OF O.IRON/ % OF CAST STONE REQUIRED
1. WEST ELEVATION - MAJORS 9 & 10 (FRONT, CONCEPT 1)	7,328 S.F.	300 L.F.	7.6% (560 S.F.)	25%	36.6% (2,684 S.F.)	75%	22.6% (1,668 S.F.)	30%	30%-(90 L.F.)	25%	18.6% (86 L.F.)	5%	26%-(78 L.F.)	30%	28% / 54.3% **	5% / 50%
2. WEST ELEVATION - MAJOR 11 (FRONT, CONCEPT 1)	5,768 S.F.	226 L.F.	2.8% (160 S.F.)	25%	49.7% (2,448 S.F.)	75%	30.0% (1,734 S.F.)	30%	52%-(118 L.F.)	25%	56.0% (168 L.F.)	5%	58%-(132 L.F.)	30%	8.6% / 58.1%	5% / 50%
3. WEST ELEVATION - MAJORS 9 & 10 (FRONT, CONCEPT 2)	7,328 S.F.	300 L.F.	6.5% (480 S.F.)	25%	28.8% (2,112 S.F.)	75%	31.5% (2,312 S.F.)	30%	48%-(144 L.F.)	25%	29.3% (88 L.F.)	5%	26%-(78 L.F.)	30%		
4. NOT USED																
5. SOUTH ELEVATION - MAJOR 11 (SIDE)	4,425 S.F.	177 L.F.	13.6% (600 S.F.)	25%	43.2% (1,916 S.F.)	75%	26.9% (1,120 S.F.)	15%	37%-(64 L.F.)	0%	48.5% (84 L.F.)	0%	46%-(80 L.F.)	30%		
6. EAST ELEVATION - MAJOR 11 (REAR)	6,821 S.F.	250 L.F.	11.3% (840 S.F.)	25%	43.5% (3,248 S.F.)	75%	25.6% (1,912 S.F.)	15%	44%-(112 L.F.)	0%	54.4% (136 L.F.)	0%	32%-(80 L.F.)	30%		
7. NORTH ELEVATION - MAJOR 11 (SIDE)*	4,152 S.F.	173 L.F.	12.2% (488 S.F.)	25%	53% (2,201 S.F.)	75%	8.7% (80 S.F.)	15%	0%-(0 L.F.)	0%	9.2% (16 L.F.)	0%	23%-(40 L.F.)	30%		
8. NORTH ELEVATION - MAJORS 9 & 10 (SIDE)	6,240 S.F.	260 L.F.	13.9% (872 S.F.)	25%	53.1% (3,216 S.F.)	75%	29.0% (1,512 S.F.)	15%	10.7%-(28 L.F.)	0%	1.5% (80 L.F.)	0%	27%-(72 L.F.)	30%		
9. EAST ELEVATION - MAJORS 9 & 10 (REAR)*	6,720 S.F.	280 L.F.	10.2% (690 S.F.)	25%	66.9% (4,488 S.F.)	75%	18.6% (1,252 S.F.)	15%	0%-(0 L.F.)	0%	1.4% (56 L.F.)	0%	13%-(36 L.F.)	30%		
10. SOUTH ELEVATION - MAJORS 9 & 10 (SIDE)	5,472 S.F.	228 L.F.	12.6% (690 S.F.)	25%	61.6% (3,962 S.F.)	75%	20.7% (1,132 S.F.)	15%	0%-(0 L.F.)	0%	33.3% (76 L.F.)	0%	35%-(80 L.F.)	30%		
11. NORTH ELEVATION - SHOPS 'B1' (FRONT)	5,726 S.F.	242 L.F.	1.3% (78 S.F.)	25%	17.4% (2,224 S.F.)	75%	20.3% (1,161 S.F.)	30%	79%-(192 L.F.)	25%	42% (84 L.F.)	5%	0%-(0 L.F.)	0%		
12. SOUTH ELEVATION - SHOPS 'B1' (REAR)	5,726 S.F.	242 L.F.	3.4% (185 S.F.)	25%	38.8% (2,224 S.F.)	75%	25.4% (1,488 S.F.)	15%	40%-(96 L.F.)	25%	36% (72 L.F.)	0%	0%-(0 L.F.)	0%		
13. EAST ELEVATION - SHOPS 'B1' (SIDE)	1,368 S.F.	60 L.F.	3.9% (172 S.F.)	25%	15.8% (686 S.F.)	75%	22.6% (810 S.F.)	15%	19.2%-(22 L.F.)	0%	6.1% (84 L.F.)	5%	0%-(0 L.F.)	0%		
14. WEST ELEVATION - SHOPS 'B1' (SIDE)	1,368 S.F.	60 L.F.	3.9% (172 S.F.)	25%	15.8% (686 S.F.)	75%	22.6% (810 S.F.)	15%	19.2%-(22 L.F.)	0%	36% (72 L.F.)	0%	0%-(0 L.F.)	0%		
15. NORTH ELEVATION - SHOPS 'B2' (FRONT)	2,704 S.F.	116 L.F.	1.7% (48 S.F.)	25%	13.6% (488 S.F.)	75%	28.7% (776 S.F.)	30%	79%-(92 L.F.)	25%	53% (82 L.F.)	5%	0%-(0 L.F.)	0%		
16. SOUTH ELEVATION - SHOPS 'B2' (REAR)	2,580 S.F.	116 L.F.	5.5% (1,444 S.F.)	25%	55.9% (6,644 S.F.)	75%	23.5% (636 S.F.)	15%	20.7%-(24 L.F.)	25%	21% (24 L.F.)	0%	0%-(0 L.F.)	0%		
17. EAST ELEVATION - SHOPS 'B2' (SIDE)	1,472 S.F.	64 L.F.	2.7% (40 S.F.)	25%	33.4% (462 S.F.)	75%	21.4% (316 S.F.)	15%	62.5%-(40 L.F.)	0%	31% (20 L.F.)	5%	0%-(0 L.F.)	0%		
18. WEST ELEVATION - SHOPS 'B2' (SIDE)	1,472 S.F.	64 L.F.	3.2% (48 S.F.)	25%	35.0% (516 S.F.)	75%	20.9% (308 S.F.)	15%	68.7%-(44 L.F.)	0%	31% (20 L.F.)	0%	0%-(0 L.F.)	0%		

* ELEVATION SHOWN SUBSTANTIALLY BEHIND MASONRY SCREEN WALL

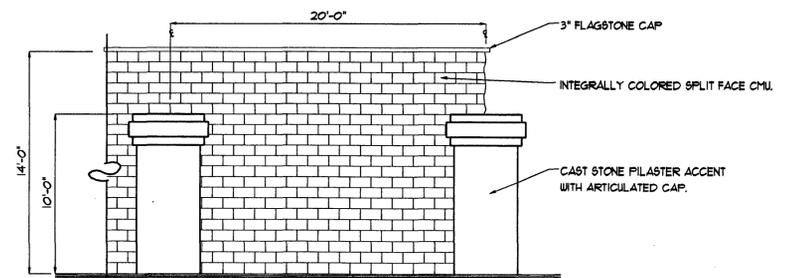
** MAJOR 9 ONLY. MAJOR 10 = 3.5% / 59.1%



1
TYPICAL
TRASH ENCLOSURE
FRONT ELEVATION
3/16" = 1'-0"



2
TYPICAL
TRASH ENCLOSURE
SIDE ELEVATION
3/16" = 1'-0"



3
PARTIAL TYPICAL SCREEN WALL
SIDE ELEVATION
(MAJORS 10 & 11)
3/16" = 1'-0"

DATE: 11/11/02
DATE: 10/07/02
DATE: 09/17/02
DATE: 06/28/02
DATE: 04/30/02

SUPERIOR MARKETPLACE
PHASE V FDP

ARCHITECTURAL SHEET

14

OF 14

Page 12 of 31

SUPERIOR MARKETPLACE

FINAL DEVELOPMENT PLAN PHASE 5 LANDSCAPE PLANS SUPERIOR, COLORADO

NORRIS DULLEA
Planning
Landscape Architecture
710 West Colfax Avenue
Denver, Colorado 80204
Fax: 303.892.1186
Phone: 303.892.1166
www.norrisdullea.com

PREPARED BY:

PREPARED FOR:

PHASE 5 LOCATION

DATE OF PREPARATION:

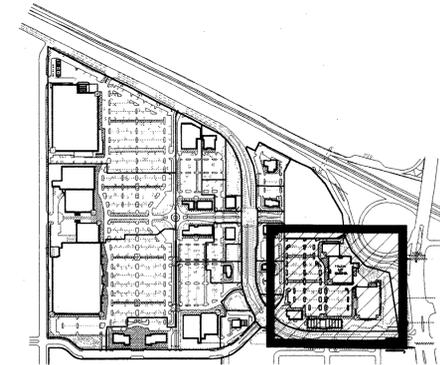
PLANTING LEGEND



Planning
Landscape Architecture
710 West Colfax Avenue
Denver, Colorado 80204
Fax: 303.892.1186
Phone: 303.892.1166
www.norrisdullea.com



1730 BLAKE STREET SUITE 425
DENVER, COLORADO 80202
303-297-5334 FAX 303-292-2601



4/19/02 - 50% FINAL DEVELOPMENT PLANS

4/26/02 - CLIENT REVIEW

07/05/02 - FINAL DEVELOPMENT PLANS

09/27/02 - REVISED FINAL DEVELOPMENT PLANS

10/16/02 - REVISED FINAL DEVELOPMENT PLANS

SYM.	QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
DECIDUOUS TREES					
12	GSL		GREEN SPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2-1/2' - 3' CAL., AS NOTED B&B, SPECIMEN
24	APA		AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2-1/2' - 3' CAL., AS NOTED B&B, SPECIMEN
24	PA		PATMORE ASH	FRAXINUS PENN. 'PATMORE'	2-1/2' - 3' CAL., AS NOTED B&B, SPECIMEN
18	DNM		DEBORAH NORWAY MAPLE	ACER PLATANOIDES 'DEBORAH'	2-1/2' - 3' CAL., AS NOTED B&B, SPECIMEN
3	NLC		NARROWLEAF COTTONWOOD	POPULUS ANGUSTIFOLIA 'GRAFT'	2-1/2' - 3' CAL., AS NOTED B&B, SPECIMEN
8	RO		RED OAK	QUERCUS RUBRA	2-1/2' - 3' CAL., AS NOTED B&B, SPECIMEN

EVERGREEN TREES					
36	AP		AUSTRIAN PINE	PINUS NIGRA	6'-10' HT., B&B SPECIMEN
24	CBS		COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	6'-10' HT., B&B SPECIMEN
13	CS		COLORADO SPRUCE	PICEA PUNGENS	6'-10' HT., B&B SPECIMEN HGT. AS NOTED ON PLAN

ORNAMENTAL TREES					
6	SSC		SPRING SNOW CRAB	MALUS 'SPRING SNOW'	2" CAL., B&B, SPECIMEN
44	CHP		CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	2" CAL., B&B, SPECIMEN
9	CRC		CANADA RED CHERRY	PRUNUS VIRGINIANA 'SHUBERT'	2" CAL., B&B, SPECIMEN
4	RC		RADIANT CRAB	MALUS 'RADIANT'	2" CAL., B&B, SPECIMEN
48	AM		AMUR MAPLE	ACER GINNALA 'FLAME'	2" CAL., B&B, SPECIMEN

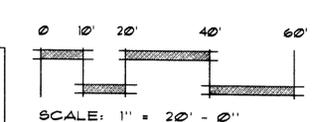
EVERGREEN SHRUBS					
523	BCJ		BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL. 30" SP. MIN.
81	BSJ		BLUE STAR JUNIPER	JUNIPERUS SQUMAMATA 'BLUE STAR'	5 GAL. 30" SP. MIN.
59	OGJ		OLD GOLD JUNIPER	JUNIPERUS X MEDIA 'OLD GOLD'	5 GAL. 30" SP. MIN.
511	HJ		HUGHES JUNIPER	JUNIPERUS SABINA 'HUGHES'	5 GAL. 30" SP. MIN.
47	MS		MONTGOMERY SPRUCE	PICEA PUNGENS 'R.H. MONTGOMERY'	10 GAL.
51	MP		MUGO PINE	PINUS MUGO 'TANNENBAUM'	6 GAL.

DECIDUOUS SHRUBS					
84	CP		CISTENA PLUM	PRUNUS CISTENA	5 GAL.
37	BFB		BUTTERFLY BUSH	BUDLEIA DAVIDII 'BLACK KNIGHT'	5 GAL.
37	BB		DWARF BURNING BUSH	EUONYMUS ALATA COMPACTUM	5 GAL.
94	RLB		REDLEAF BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL.
4	AV		ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	5 GAL.
53	ACR		AUSTRIAN COPPER ROSE	ROSA FETIDA 'BICOLOR'	5 GAL.
7	AW		ANTHONY WATERER SPIREA	SPIREA BUMALDA 'ANTHONY WATERER'	5 GAL.
11	RB		RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	5 GAL.
97	GFS		GOLD FLAME SPIREA	SPIREA JAPONICA 'GOLD FLAME'	5 GAL.
5	ARH		ARNOLD'S RED HONEYSUCKLE	LONICERA TATARICA 'ARNOLD RED'	5 GAL.
41	CC		COMPACT CRANBERRY	VIBURNUM TRILOBUM 'COMPACT SPRING RED'	5 GAL.
46	RS		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.
35	ID		ISANTI DOGWOOD	CORNUS STOLONIFERA 'ISANTI'	5 GAL.
0	GVP		GOLDEN VICARY PRIVET	LIGUSTRUM VICARYI	5 GAL.
35	PC		PEKING COTONEASTER	COTONEASTER LUCIDUS	5 GAL.
20	WSC		WESTERN SAND CHERRY	PRUNUS BESSEYI	5 GAL.
0	BSW		BLUE STEM WILLOW	SALIX IRRORATA	5 GAL.

PERENNIALS & GROUND COVERS & VINES					
38	DBS		DRAGON'S BLOOD SEDUM	SEDUM SPURIMUM	1 GAL.
40	MNS		MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	1 GAL.
26	VHP		VIOLET HARDY PANSIES	VIOLA CORSICA	1 GAL.
48	MY		MOONSHINE YARROW	ACHILLEA FILIPENDULINA 'MOONSHINE'	1 GAL.
23	ASD		ALASKA SHASTA DAISY	LEUCANTHEMUM SUPERBUM 'ALASKA'	1 GAL.
75	SIS		SNOW IN SUMMER	CERASTIUM TOMENTOSUM	1 GAL.
31	RMP		ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS	1 GAL.
12	PLP		PIKE LEAF PENSTEMON	PENSTEMON PINIFOLIUS 'COMPACTUM'	1 GAL.
23	VCA		VIOLET CARPET ASTER	ASTER VIMINEUS 'VIOLET CARPET'	1 GAL.
40	CB		CORAL BELLS	HEUCHERA SANGUINEA 'FIREFLY'	1 GAL.
28	CM		CATMINT	NEPETA FAASSENII	1 GAL.
189	AJS		AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	1 GAL.
37	DBM		DOUBLE BUBBLE MINT	AGASTACHE CANA	1 GAL.
168	CCH		COLORADO CREEPING HOLLY	MAHONIA REPENS	1 GAL.
64	RV		RED VALERIAN	CENTRANTHUS RUBER	1 GAL.
7	SRC		SUNRAY COREOPSIS	COREOPSIS GRANDIFLORA 'SUNRAY'	1 GAL.
20	MFP		MEXICAN EVENING PRIMROSE	OENOTHERA BERLANDIERI 'SISKIYOU'	1 GAL.
30	CCT		CORAL CANYON TWINSPUR	DIASCIA INTEGRERRIMA 'CORAL CANYON'	1 GAL.

ORNAMENTAL GRASSES					
297	BAG		BLUE AVENA GRASS	HELIOTRICHON SEMPERVIRENS	1 GAL.
44	DFG		DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELIN'	1 GAL.
444	PLG		PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.
439	FRG		FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'DARL FOERSTER'	1 GAL.
43	IG		INDIAN GRASS	SORGHASTRUM NUTANS 'INDIAN STEEL'	1 GAL.
44	BF		BLUE FESCUE	FESTUCA OVINA 'GLAUCO ELIJAH BLUE'	1 GAL.
78	LB		LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	1 GAL.

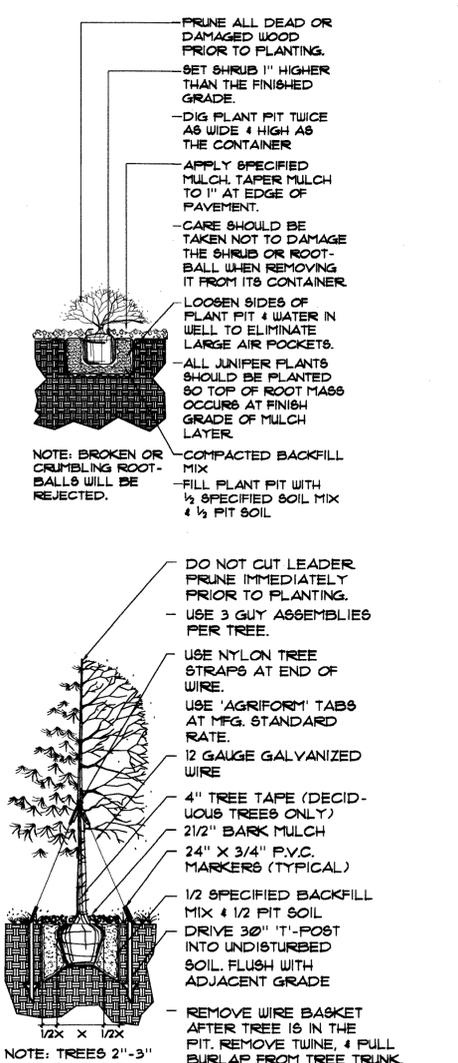
100% BLUEGRASS SOD FRESH CUT SOD



NOTE: BASE INFORMATION PROVIDED BY V3 COLORADO ENGINEERS

BEFORE YOU DIG
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, BRACE OR EXCAVATE FOR THE HAZARDS OF UNDERGROUND UTILITIES

PLANTING DETAILS



PLANTING CHART

TOTAL BED AREA IS 40,655 SF.
TOTAL LANDSCAPE AREA IS 80,728 SF.

	REQUIRED		PROPOSED	
	TREES	SHRUBS	TREES	SHRUBS
CONIFEROUS	41	908	73	1,252
DECIDUOUS	25	447	200	806
TOTALS	66	1,355	273	1,858

CONIFEROUS TREE SIZES:

	REQUIRED	PROPOSED
GREATER THAN 8'	5	22
6' TO 8'	27	43
4' TO 6'	9	2
TOTAL	41	79

NOTE:
QUANTITIES SHOWN MEET AND EXCEED ALL REQUIREMENTS OF SPECIAL PLANTING AREA DENSITIES AS SHOWN ABOVE.
PLAN REFLECTS TREE QUANTITIES @ 1/1400 SF. FOR SPECIAL PLANTING AREA E AND SHRUB QUANTITIES @ 1/30 S.F.
PLAN REFLECTS TREE QUANTITIES @ 1/2500 SF. FOR PARKING ISLANDS AND SHRUB QUANTITIES @ 1/30 S.F.
TREE RATIOS ARE FOR THE TOTAL AREA AND SHRUB RATIOS ARE FOR THE BED AREA ONLY.
THE TOTAL TREE QUANTITIES ARE REQUIRED TO BE 33% DECIDUOUS AND 67% EVERGREEN.
THE TOTAL SHRUB QUANTITIES ARE REQUIRED TO BE 33% DECIDUOUS AND 67% EVERGREEN.

LANDSCAPE NOTES

- ALL TREES ARE TO BE SECURELY GUYED FOR ONE YEAR PER DETAILS. TIGHTEN GUY WIRES AS NECESSARY.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH CRUSHED GRANITE STONE TO MATCH EXISTING ON SITE MULCH OVER GEO-TEXTILE WEED CONTROL FABRIC.
- ALL ANNUAL, PERENNIAL AND ORNAMENTAL GRASSES ARE TO BE MULCHED WITH 2" DEPTH, SHREDDED CEDAR MULCH WITHOUT WEED CONTROL FABRIC.
- ALL PLANTING BEDS ARE TO BE CONTAINED BY RYERSON 4"x14 GAUGE GALVANIZED EDGER. EDGER IS NOT REQUIRED WHEN BED IS ADJACENT TO CURBS, WALLS, WALKS, OR CONC. PANS. EDGER SHALL BE KINK FREE AND SMOOTH FLOWING IN CURVED AREAS.
- ALL TREE PITS IN SODDED AREAS ARE TO RECEIVE A 2 1/2" DIA., 2 1/2" DEPTH SHREDDED CEDAR MULCH RING. NO EDGER OR WEED CONTROL FABRIC IS REQUIRED.
- ALL IRRIGATION DEVELOPMENT IS TO BE UNDERGROUND, AUTOMATIC, AND PROVIDE 100% COVERAGE TO ALL AREAS.
- IRRIGATION TO BE PROVIDED FROM SUPERIOR METROPOLITAN DISTRICT WATER REUSE LINE.
- ALL TREES TO BE PLACED A MINIMUM OF 10 FEET FROM THE OUTSIDE EDGE OF ALL UTILITY PIPES (WATER, SEWER, IRRIGATION, AND STORM SEWER). ALL PLANTER WALLS, TREE GRATES, SIDEWALKS, SCORING AND CROSSWALKS REFER TO ARCHITECTURAL AND CIVIL PLANS AND SPECIFICATIONS.
- DESIGN BUILD IRRIGATION PLANS ARE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

SUPERIOR MARKETPLACE
PHASE V - FINAL DEVELOPMENT PLAN
TOWN OF SUPERIOR, COLORADO

Owner:
NEW PLAN EXCEL

Issue Date
4/10/02 - CLIENT REVIEW
4/19/02 - 50% F.D.P. SUBMITTAL
4/26/02 CLIENT REVIEW
07/05/02 - F.D.P. RESUBMITTAL
09/27/02 - F.D.P. RESUBMITTAL
10/16/02 - F.D.P. RESUBMITTAL

Revision Date

Sheet Title
COVER SHEET

Sheet Number
L-0

DRAIN BY: JTB
FILENAME: CD-1
X-REF: X-BASE-10

SUPERIOR MARKETPLACE
 PHASE V - FINAL DEVELOPMENT PLAN
 TOWN OF SUPERIOR, COLORADO

Owner:
NEW PLAN EXCEL

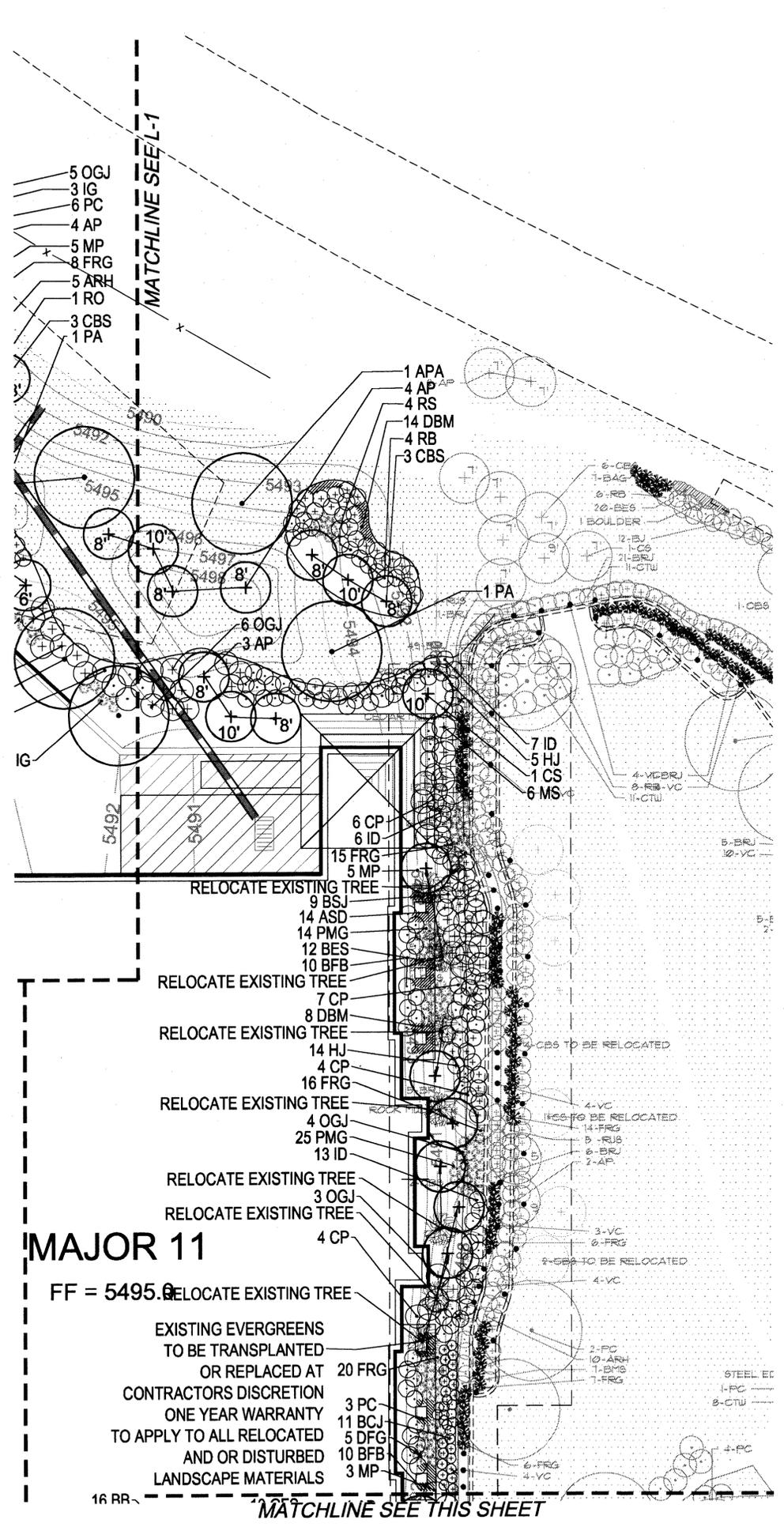
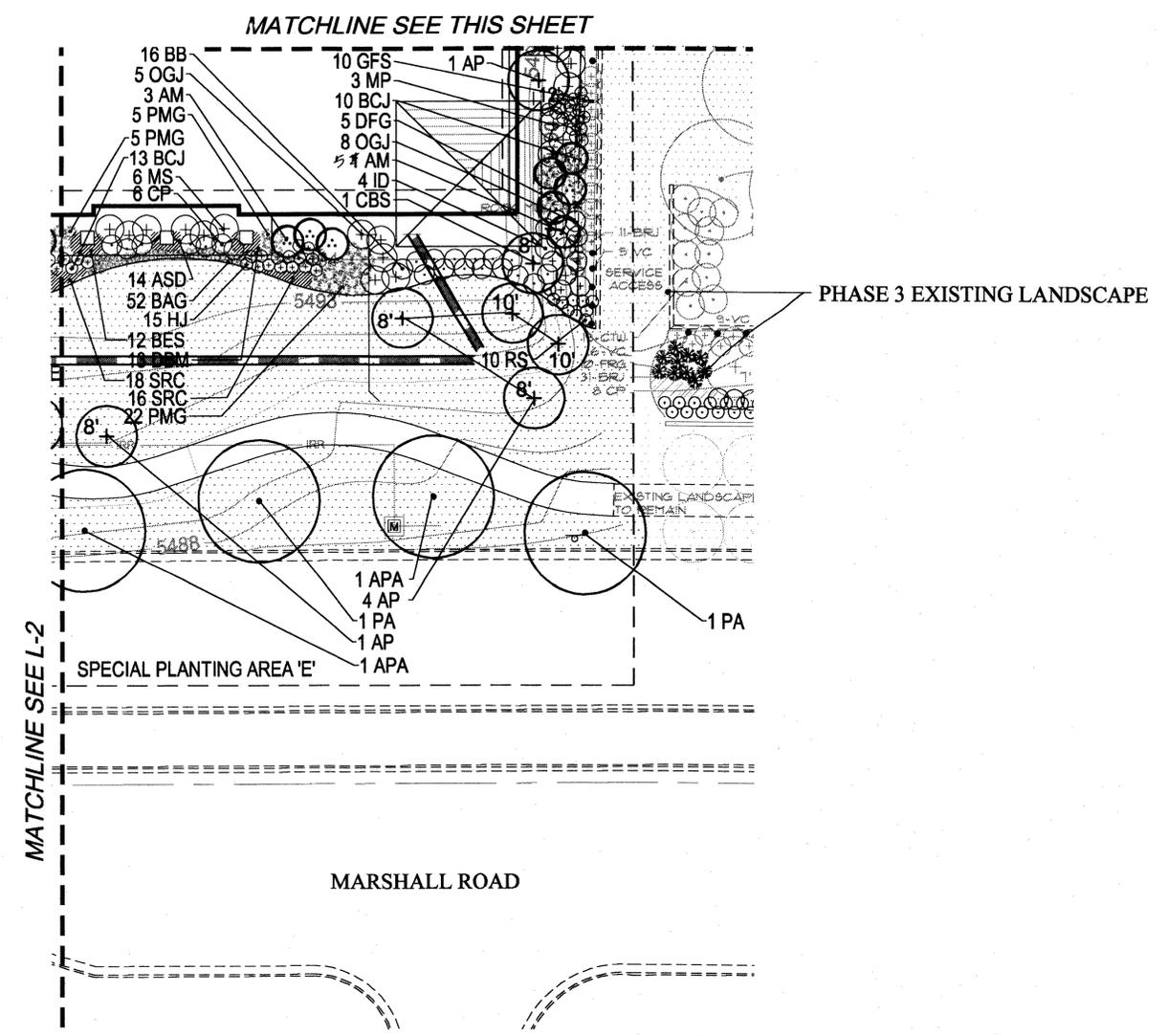
Issue Date

4/10/02	CLIENT REVIEW
4/19/02	50% F.D.P. SUBMITTAL
4/26/02	CLIENT REVIEW
07/05/02	F.D.P. RESUBMITTAL
09/27/02	F.D.P. RESUBMITTAL
10/16/02	F.D.P. RESUBMITTAL

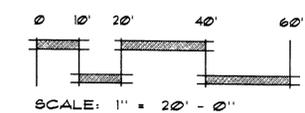
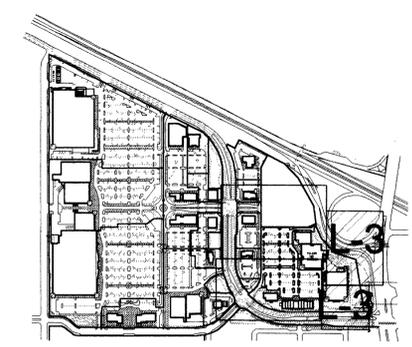
Revision Date

Sheet Title
 LANDSCAPE PLAN

Sheet Number
 L-3



SHEET KEY:



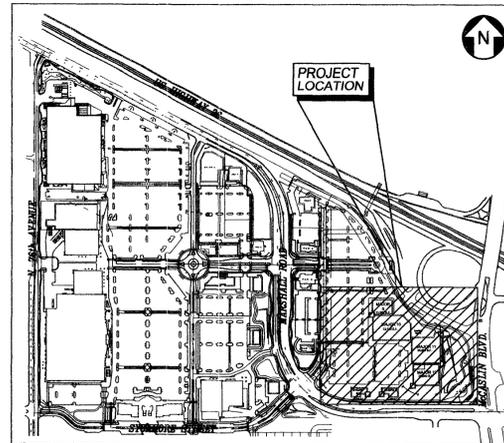
NOTE: BASE INFORMATION PROVIDED BY V3 COLORADO ENGINEERS

DRAWN BY: JMS
 FILENAME: CD-1
 X-REFS: X-BASE-10

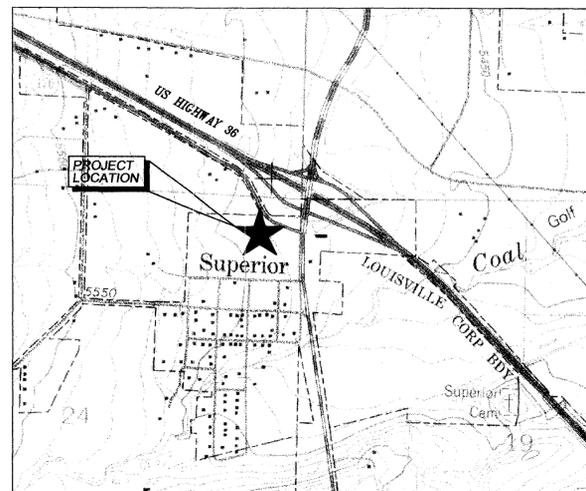
FINAL ENGINEERING PLANS FOR **SUPERIOR MARKETPLACE** PHASE 5 SUPERIOR, COLORADO

INDEX OF DRAWING

- COVER SHEET
- C1.1 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
- C2.1 SITE DEMOLITION PLAN
- C3.1 SITE LAYOUT PLAN
- C4.1 SITE GRADING PLAN
- C5.1 SITE UTILITY PLAN
- C6.1 SITE EROSION CONTROL PLAN
- C7.1 STORM SEWER PLAN AND PROFILE
- C7.2 STORM SEWER PLAN AND PROFILE
- C7.3 STORM SEWER PLAN AND PROFILE
- C7.4 SANITARY SEWER PLAN AND PROFILE
- C8.1 CONSTRUCTION DETAILS
- C8.2 CONSTRUCTION DETAILS
- C8.3 CONSTRUCTION DETAILS



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

PROJECT TEAM

DEVELOPER

New Plan Excel Realty Trust, Inc.
8310 S. Valley Highway, Suite 3173
Englewood, Colorado 80112

ENGINEER

V3 Consultants
200 Union Boulevard, Suite 200
Lakewood, Colorado 80228
303.989.8588 voice
303.989.9932 fax
Project Manager: Mark D. Cevaal, P.E.

ARCHITECT

The Mulhern Group
1730 Blake Street, Suite 435
Denver, Colorado 80202



CONSULTANTS

**Engineers
Scientists
Surveyors**
200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9932 fax
v3consultants.com



**CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG**
1-800-922-1987

303-534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO

REVISIONS		
NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWNS COMMENTS
2	27 Sep 2002	REVISED PER CLIENT
3	16 Oct 2002	REVISED PER TOWNS COMMENTS
4	31 Oct 2002	REVISED PER TOWNS COMMENTS
5		
6		
7		
8		
9		
10		
11		
12		

ORIGINAL ISSUE DATE: APRIL 19, 2002

BM #1:

BENCHMARK NGS T413, LOCATED ON THE CENTRAL PIER OF THE BRIDGE AT THE INTERSECTION OF McCASLIN BOULEVARD AND U.S. HIGHWAY 36, ELEVATION 5488.44'

BENCHMARKS

PROFESSIONAL ENGINEER'S CERTIFICATION

I, MARK D. CEVAAL, A LICENSED PROFESSIONAL ENGINEER OF COLORADO, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF NEW PLAN EXCEL REALTY TRUST, INC. BY V3 CONSULTANTS, UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

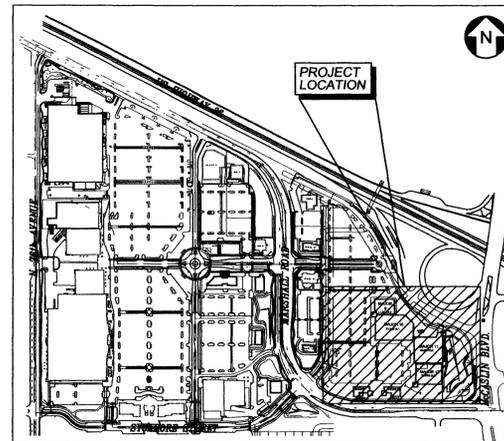
COLORADO LICENSED PROFESSIONAL ENGINEER

MY LICENSE EXPIRES ON OCTOBER 31, 2004

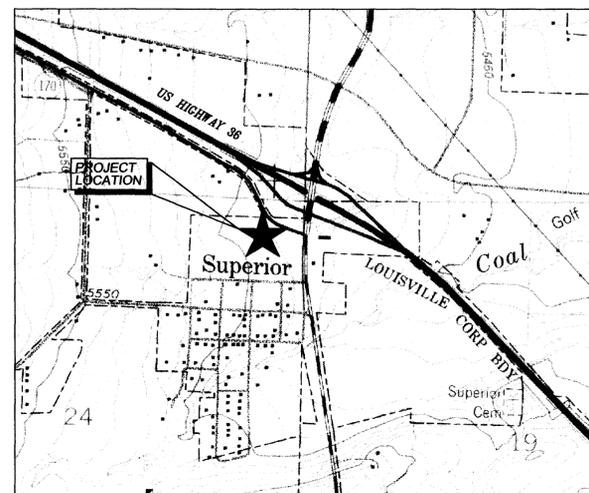
FINAL ENGINEERING PLANS FOR **SUPERIOR MARKETPLACE** PHASE 5 SUPERIOR, COLORADO

INDEX OF DRAWING

- COVER SHEET
- C1.1 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
- C2.1 SITE DEMOLITION PLAN
- C3.1 SITE LAYOUT PLAN
- C4.1 SITE GRADING PLAN
- C5.1 SITE UTILITY PLAN
- C6.1 SITE EROSION CONTROL PLAN
- C7.1 STORM SEWER PLAN AND PROFILE
- C7.2 STORM SEWER PLAN AND PROFILE
- C7.3 STORM SEWER PLAN AND PROFILE
- C7.4 SANITARY SEWER PLAN AND PROFILE
- C8.1 CONSTRUCTION DETAILS
- C8.2 CONSTRUCTION DETAILS
- C8.3 CONSTRUCTION DETAILS



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

PROJECT TEAM

DEVELOPER

New Plan Excel Realty Trust, Inc.
8310 S. Valley Highway, Suite 3173
Englewood, Colorado 80112

ENGINEER

V3 Consultants
200 Union Boulevard, Suite 200
Lakewood, Colorado 80228
303.989.8588 voice
303.989.9932 fax
Project Manager: Mark D. Cevaal, P.E.

ARCHITECT

The Mulhern Group
1730 Blake Street, Suite 435
Denver, Colorado 80202



**Engineers
Scientists
Surveyors**

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9932 fax
v3consultants.com



**CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG**
1-800-922-1987

303-534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO

REVISIONS

NO.	DATE	DESCRIPTION	SHEETS REVISED
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS	ALL
2	27 Sep 2002	REVISED PER CLIENT	ALL
3	16 Oct 2002	REVISED PER TOWN'S COMMENTS	ALL
4	31 Oct 2002	REVISED PER TOWN'S COMMENTS	C1.1, C2.1, C5.1, C8.1, C7.4
5	12 Nov 2002	REVISED PER CLIENT	C3.1, C4.1, C5.1
6			
7			
8			
9			
10			
11			
12			

ORIGINAL ISSUE DATE: APRIL 19, 2002

BENCHMARKS

BM #1:
BENCHMARK NGS T413, LOCATED ON THE CENTRAL PIER OF THE BRIDGE AT THE INTERSECTION OF McCASLIN BOULEVARD AND U.S. HIGHWAY 36, ELEVATION 5488.44'

PROFESSIONAL ENGINEER'S CERTIFICATION

I, MARK D. CEVAAL, A LICENSED PROFESSIONAL ENGINEER OF COLORADO, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF NEW PLAN EXCEL REALTY TRUST, INC. BY V3 CONSULTANTS, UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

COLORADO LICENSED PROFESSIONAL ENGINEER

MY LICENSE EXPIRES ON OCTOBER 31, 2004

GENERAL NOTES

- WHERE NEW WORK MEETS EXISTING FEATURES TO REMAIN, FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES IN WRITING.
- STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED TO MEET COOT AND TOWN SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- NEW ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF NEW PAVING (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS SHOWN. SEE THE APPROVED GEOTECHNICAL REPORT FOR THE NEW PAVEMENT THICKNESS.
- ALL BUTT JOINTS AS SHOWN ON THE PLANS (IF APPLICABLE) AND AS DIRECTED BY THE ENGINEER SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- ALL PIPE CONNECTIONS INSIDE DRAINAGE STRUCTURES SHALL PROJECT OUTSIDE SUFFICIENTLY FOR PROPER CONNECTION.
- FINAL ADJUSTMENT OF FIRE HYDRANTS AND VALVE VAULTS ARE INCIDENTAL TO THEIR COST.
- ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY". FOR INFORMATION CONTACT COLORADO DEPT. OF HEALTH, WATER QUALITY CONTROL DIVISION AT (303) 892-3590.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEM BY THE USE OF SILT FENCE, STRAW BALES OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM SEWERS, DRAINAGE STRUCTURES AND DRAINAGE DITCHES. BEFORE LAND IS CLEARED, GRADED, TRANSPORTED OR OTHERWISE DISTURBED BY THE MOVEMENT OF EARTH FOR CONSTRUCTION, ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED WEEKLY AND AFTER EACH RAIN. ANY SOIL EROSION CONTROL MEASURES IN ADDITION TO THOSE OUTLINED IN THESE PLANS AND WHICH ARE DEEMED NECESSARY BY THE TOWN ENGINEERING DEPARTMENT INSPECTOR, SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR. SEE THE SITE EROSION CONTROL PLAN, C6.1, FOR MORE INFORMATION.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATERS OF THE UNITED STATES.
- ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
- ANY AREA WITHIN THE TOWN R.O.W. OR OUTSIDE THE PROPERTY LINE USED BY THE GENERAL OR SUBCONTRACTORS SHALL BE RETURNED TO THE STATE IT WAS FOUND PRIOR TO NEW CONSTRUCTION, EXCEPT WHERE NEW WORK IS SHOWN. ALL PUBLIC R.O.W. AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 6" OF TOPSOIL AND SOD. SEEDING WILL NOT BE PERMITTED IN THESE AREAS.
- WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO THE SEWER INSTALLATION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. DRAINAGE MUST BE MAINTAINED DURING CONSTRUCTION.
- FOR REGULATED UTILITY LOCATIONS THE CONTRACTOR SHALL CONTACT UNCC AT 1-800-922-1987. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NON-REGULATED UTILITY LOCATIONS. THE TOWN OF SUPERIOR PUBLIC WORKS DEPARTMENT (303-499-1054) MUST BE NOTIFIED FOR LOCATION OF THE STREET LIGHT CABLE, STORM SEWER, WATER MAIN AND SANITARY SEWER. PLEASE CALL FOR LOCATES 48 HOURS IN ADVANCE OF CONSTRUCTION.
- ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
- PROVIDE TRENCH BACKFILL (CLASS 1, COMPACTED TO 95% OF MAXIMUM DRY DENSITY (AASHTO T 180) FOR ALL UNDERGROUND UTILITIES AND SLEEVES WITHIN 2 FEET OF NEW PAVEMENT. SUBMIT COMPACTION TEST RESULTS TO THE ENGINEER AND TOWN OF SUPERIOR PRIOR TO FINAL ACCEPTANCE.
- SIX (6") INCHES OF TOPSOIL SHALL BE PLACED ON ALL NON-PAVED AREAS WHERE NEW GRADING IS SHOWN ON PLANS.
- STORM SEWER SHALL BE REINFORCED TYPE II CONCRETE PIPE CLASS III, CONFORMING TO ASTM C-76 UNLESS OTHERWISE NOTED. JOINTS FOR RCP STORM SEWER SHALL BE RUBBER GASKET CONFORMING TO ASTM C443.
- ALL PVC SANITARY SEWER AND STORM SEWER SHALL BE THICK WALLED PIPE CONFORMING TO ASTM D-3034, SDR-35, WITH PUSH TYPE JOINTS IN CONFORMANCE TO ASTM D-3212.
- WATER MAIN SHALL BE DUCTILE IRON, CLASS 52 IN CONFORMANCE WITH ANSI A21.51 OR AWWA C151 WITH JOINTS IN CONFORMANCE WITH ANSI A21.11. GASKETS AND CAST IRON FITTINGS SHALL CONFORM TO ANSI A21.10 OR AWWA C111. WATER MAIN SHALL BE CEMENT LINED IN CONFORMANCE WITH ANSI A21.4 OR AWWA C104 AND BITUMINOUS EXTERIOR COATED. WATER MAINS SHALL BE BURIED AT A DEPTH OF 4'-6" FROM THE TOP OF PIPE BELOW FINISHED GRADE UNLESS NOTED OTHERWISE. ALL WATER MAIN SERVICE LINES SHALL BE TYPE K COPPER, UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE ENCASED IN 8 MIL POLYETHYLENE SHEATHING TO CONFORM WITH ANSI A21.5 AND AWWA C105.
- CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL UNDERGROUND UTILITY CONSTRUCTION AND SUBMIT "RECORD" INFORMATION TO THE TOWN ENGINEER WITHIN 10 DAYS AFTER CONSTRUCTION. RECORD INFORMATION SHALL INCLUDE RIM ELEVATIONS, INVERT ELEVATIONS, AND SIZES FOR ALL UTILITIES. SLOPES FOR SANITARY AND STORM SEWER SHALL ALSO BE INCLUDED.
- NO PAVEMENT WORK IS ALLOWED ADJACENT TO CURB AND GUTTER FOR A MINIMUM OF 7 DAYS AFTER CURB PLACEMENT.
- BACKFILLING OF CURB IS PROHIBITED UNTIL THREE DAYS AFTER CURB PLACEMENT.

GENERAL NOTES, CONTINUED

- ASPHALT JOINTS FOR DIFFERENT ASPHALT COURSES ARE TO BE STAGGERED.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE, THE SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH THE SUPERIOR METROPOLITAN DISTRICT 1 SYSTEM STANDARDS.
- SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE SUPERIOR METROPOLITAN DISTRICT 1 SYSTEM STANDARDS.
- BAND-SEAL CONNECTORS SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
- ALL MANHOLES SHALL HAVE "TOWN OF SUPERIOR" AND "WATER", "STORM" OR "SANITARY" CAST INTO LID.
- ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PERAINEDM THE REQUIREMENTS OF THE SUPERIOR METROPOLITAN DISTRICT 1 SYSTEM STANDARDS.
- THE SIGNATURE OF THE DISTRICT ENGINEER AFFIXED TO THIS DOCUMENT INDICATES GENERAL CONFORMANCE WITH THE SUPERIOR METROPOLITAN DISTRICT CRITERIA. THE DISTRICT ENGINEER, THROUGH APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT IT IS THE POLICY AND PRACTICE OF THE SUPERIOR METROPOLITAN DISTRICT AND ITS ENGINEER NOT TO ACCEPT THE LIABILITY FOR FACILITIES DESIGNED BY OTHERS. THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
- ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE SUPERIOR METROPOLITAN DISTRICT ROADWAY DESIGN CRITERIA. THE DISTRICT ENGINEER WILL HAVE THE FINAL INTERPRETATION OF THE CRITERIA. ANYTHING NOT COVERED IN THE CRITERIA SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE STANDARDS AND SPECIFICATIONS APPROVED BY THE DISTRICT ENGINEER AND/OR IN COMPLIANCE WITH OTHER AGENCIES HAVING JURISDICTION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE SUPERIOR METROPOLITAN DISTRICT. THE DISTRICT AND THE TOWN ENGINEER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND THE TOWN ENGINEER A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL PROTECT, AT HIS OWN EXPENSE, ALL EXISTING UTILITIES AND BE RESPONSIBLE FOR THEIR REPAIR IF THEY ARE DAMAGED DURING CONSTRUCTION.

ALL KNOWN EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ON THE PLANS. THE ACTUAL LOCATION MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS, HE SHALL CONTACT THE ENGINEER IMMEDIATELY.

- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY THE DISTRICT AND THE TOWN OF SUPERIOR) AND ONE (1) COPY OF THE ROADWAY DESIGN CRITERIA AT THE JOB SITE AT ALL TIMES.
- STANDARD SUPERIOR METROPOLITAN DISTRICT HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
- EXCEPT WHERE OTHERWISE PROVIDED FOR IN THESE PLANS AND SPECIFICATIONS, THE COLORADO DEPARTMENT OF HIGHWAYS STANDARDS SPECIFICATIONS LATEST EDITION SHALL GOVERN.
- EXISTING TOPOGRAPHY IS BASED ON A SURVEY PREPARED BY V3 CONSULTANTS.

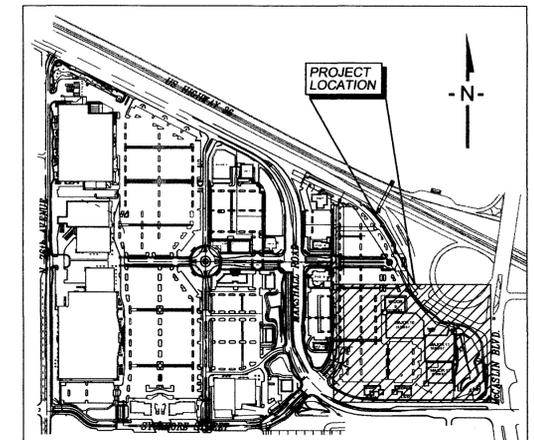
- BASIS OF BEARINGS REFERENCED FROM THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 70 WEST, OF THE 6TH PRINCIPAL MERIDIAN, WHICH BEARS S 89° 08' 48" W (ASSUMED), AND IS MONUMENTED AS BY THE NORTH QUARTER CORNER OF SECTION 24 (FND. 2 1/2" ALUMINUM CAP, N=99,980.20, E=-97,357.59) AND THE NORTHEAST CORNER OF SECTION 24 (FND. 3 1/2" ALUMINUM CAP, N=100,000.00, E=10,000.00).
- SEPARATION - WATERMANS AND SEWERS**
- VERTICAL SEPARATION: A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS BOTTOM OF PIPE IS A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER OR IRRIGATION WATER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS, SEWER SERVICE CONNECTIONS OR IRRIGATION WATER. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER, DRAIN OR IRRIGATION CROSSED.
 - HORIZONTAL SEPARATION: IN ALL CASES MAINTAIN A MINIMUM OF 10 FEET BETWEEN WATER AND SEWER LINES (WALL TO WALL OUTSIDE OF PIPE).
 - SPECIAL CONSTRUCTION WILL BE REQUIRED IN ACCORDANCE WITH THE SEWER CROSSING WATER LINE DETAIL WHEN:
 - IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
 - THE WATER MAIN PASSES UNDER A SEWER OR DRAIN FOR A DISTANCE OF TEN (10) FEET ON EITHER SIDE OF THE WATER MAIN.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	PROPERTY CORNER
---	---	CONTOUR
---	---	CURB
---	---	DEPRESSED CURB
---	---	SPILL CURB
---	---	SPOT ELEVATION
---	---	UTILITY STUB
---	---	SANITARY SEWER
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	IRRIGATION MAIN
---	---	GAS MAIN
---	---	UNDERGROUND TELEPHONE AND ELECTRIC DUCT BANK
---	---	BURIED CABLE-ELECTRIC
---	---	BURIED CABLE-TELEPHONE
---	---	BURIED CABLE-TELEVISION AND CABLE TELEVISION
---	---	BURIED CABLE-FIBER OPTIC
---	---	UTILITY STRUCTURE WITH CLOSED LID
---	---	CURB INLET
---	---	DRAINAGE STRUCTURE WITH OPEN LID
---	---	TYPE "R" INLET
---	---	FIRE HYDRANT
---	---	GATE VALVE IN VALVE BOX
---	---	WATER METER
---	---	FIRE DEPARTMENT CONNECTION
---	---	CLEANOUT
---	---	POST INDICATOR VALVE
---	---	THRUST BLOCK
---	---	TREE
---	---	TREE LINE
---	---	CONCRETE HEADWALL
---	---	SUBMERGED HEADWALL
---	---	FLARED END SECTION (F.E.S.)
---	---	GUY WIRES
---	---	FLOOD LIGHT
---	---	UTILITY POLE
---	---	LIGHT STANDARD
---	---	TRAFFIC SIGNAL POLE
---	---	HAND HOLE
---	---	SOIL BORING
---	---	IRRIGATION HEADS
---	---	SIGN
---	---	TELEPHONE MANHOLE
---	---	TELEPHONE PEDESTAL
---	---	TRANSFORMER PAD
---	---	UTILITY TO BE ABANDONED
---	---	FEATURE TO BE REMOVED
---	---	STORMWATER FLOW DIRECTION
---	---	STORMWATER OVERFLOW ROUTE
---	---	STRAWBALE DITCH CHECK
---	---	STRAW BALE SEDIMENTATION TRAP
---	---	SILT FENCE
---	---	WATER MAIN PROTECTION
---	---	REVISION CLOUD
---	---	GUARDRAIL
---	---	RAILROAD TRACKS

ABBREVIATIONS

B-B	BACK TO BACK OF CURB
TBC	TOP BACK OF CURB
BLDG	BUILDING
BM	BENCHMARK
BP	BEND POINT
C & G	CURB AND GUTTER
CB	CATCH BASIN
CL	CENTERLINE
CR	CROWN ELEVATION
CL	CLOSED LID
CLR	CLEARANCE
CO	CLEANOUT
D	DELTA
DIP	DUCTILE IRON PIPE
DIA.	DIAMETER
DIWM	DUCTILE IRON WATER MAIN
DWG.	DRAWING
E	EAST OR ELECTRIC
EGL	ENERGY GRADE LINE
EJ	EXPANSION JOINT
ELEV.	ELEVATION
EOP	EDGE OF PAVEMENT
EX.	EXISTING
F & G	FRAME & GRATE
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
F-F	FACE TO FACE OF CURB
F.F.	FINISHED FLOOR
F/G	FINISHED GRADE
FL	FIRE HYDRANT
FL	FIRE LINE
FOC	FACE OF CURB
G	GAS LINE
HDCP	HANDICAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HDW	HEADWALL
HGL	HYDRAULIC GRADE LINE
HOR.	HORIZONTAL
HP	HIGH POINT
HWL	HIGH WATER LEVEL
IE	INVERT ELEVATION
IN	INLET
IRR	IRRIGATION
L	LENGTH
LF	LINEAL FEET
LP	LOW POINT OR LIGHT POLE
LT	LEFT
MH	MANHOLE
N	NORTH
N.I.C.	NOT IN CONTRACT
NWL	NORMAL WATER LEVEL
O.C.	ON CENTER
OHE	OVERHEAD ELECTRIC
OL	OPEN LID
PC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE
PCL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
P.U.E.	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R.O.W.	RIGHT OF WAY
RT	RIGHT
S	SLOPE OR SOUTH
SF	SILTATION FENCE
SFM	SANITARY FORCE MAIN
SHT	SHEET
SHW	SUBMERGED HEADWALL
SMH	SANITARY MANHOLE
SS	SANITARY SEWER
STA.	STATION
ST	STORM STRUCTURE OR STORM SEWER
STMH	STORM MANHOLE
T	TANGENT LENGTH OR TELEPHONE
TAN	TANGENT
T/C	TOP OF CURB
TOW	TOP OF WALL
TY	TOP OF PIPE
TY	TYPE
TYP	TYPICAL
UP	UTILITY POLE
VB	VALVE BOX
VC	VERTICAL CURVE
VV	VALVE VAULT
VERT.	VERTICAL
W	WEST OR WATER
WM	WATER MAIN



VICINITY MAP
NO SCALE

**CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987**

303-534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO

THESE DESIGNS, PLANS, AND CONTRACT DOCUMENTS ARE REVIEWED FOR CONCEPT AND GENERAL CONFORMANCE TO THE DISTRICT'S MINIMUM STANDARDS ONLY, AND THE PRIMARY RESPONSIBILITY FOR DESIGN ADEQUACY IS TO REMAIN WITH THE ENGINEER OF RECORD. THIS REVIEW DOES NOT IMPLY RESPONSIBILITY BY EITHER THE TOWN OF SUPERIOR, THE SUPERIOR METROPOLITAN DISTRICT NOS. 1, 2, OR 3, THE TOWN ENGINEER OR THE DISTRICT ENGINEER FOR COMPLETENESS, ACCURACY OR CORRECTNESS OF CALCULATIONS. THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS INDICATED ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE TOWN OR DISTRICT FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

APPROVED FOR CONSTRUCTION WITHIN ONE YEAR OF THE EARLIEST OF THESE DATES:

BY _____	DISTRICT NO. 1 ENGINEER	DATE _____
BY _____	TOWN OF SUPERIOR	DATE _____
BY _____	CHERRYVALE FIRE PROTECTION DISTRICT	DATE _____
BY _____	DISTRICT NO. 1	DATE _____
BY _____	DISTRICT NO. 2	DATE _____

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS FOR SUPERIOR MARKETPLACE PHASE 5 WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROADWAY DESIGN CRITERIA AND DRAINAGE CRITERIA FOR THE SUPERIOR METROPOLITAN DISTRICT AND THE TOWN OF SUPERIOR.

MARK D. CEVAAL, P.E. COLORADO LICENSE NO. 33123



**Engineers
Scientists
Surveyors**

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9932 fax
v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			
2	31 Oct 2002	REVISED PER TOWN'S COMMENTS			

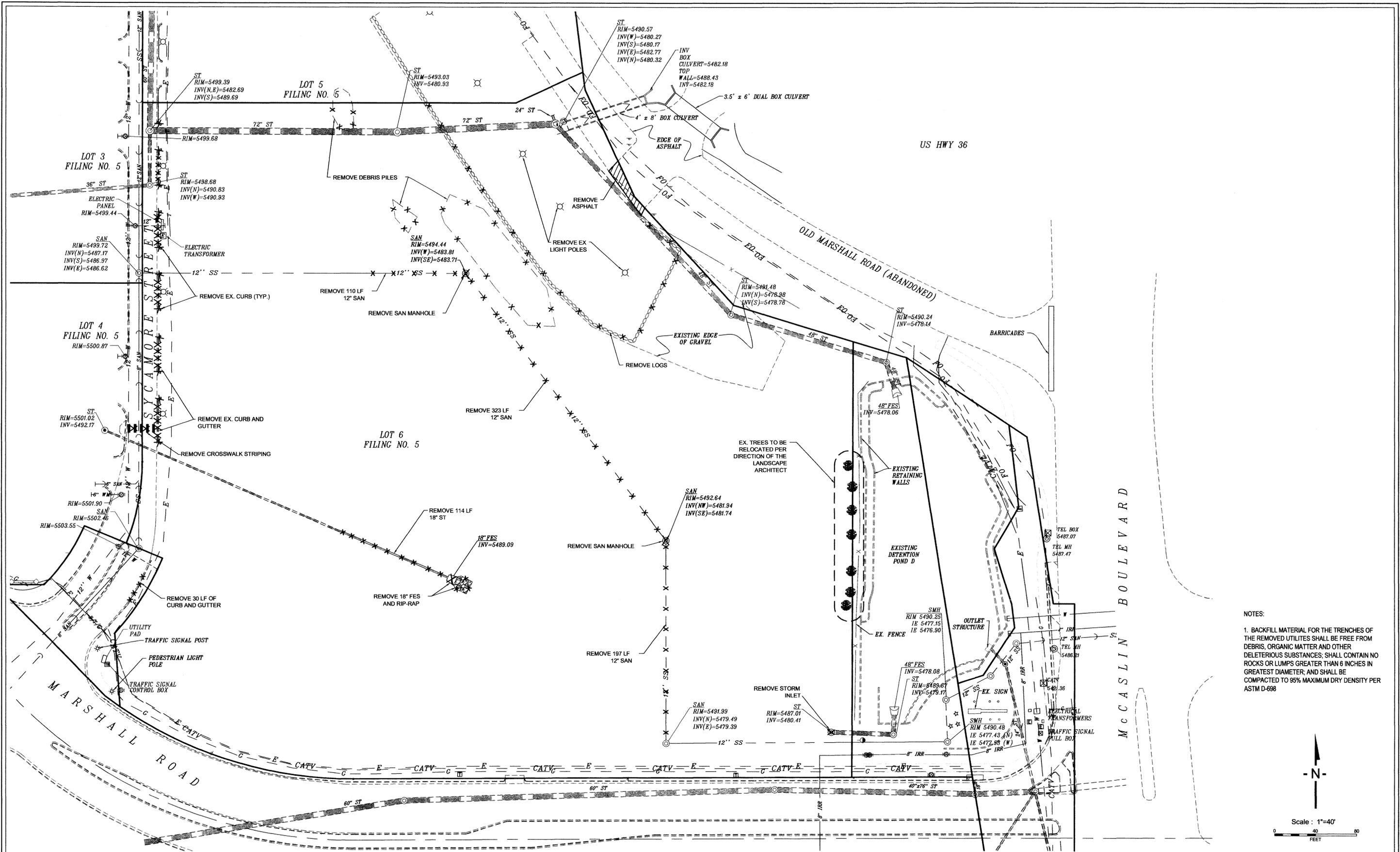
PROJ. NO.: 02009	DESIGNED BY: PM
FILE NAME: C1.1-Notes	DRAWN BY: DH
DATE: 19 Apr 2002	CHECKED BY: MDC
SCALE: NTS	PROJ. MANAGER: MDC

SUPERIOR MARKETPLACE
PHASE 5
SUPERIOR COLORADO

GENERAL NOTES, LEGEND AND ABBREVIATIONS

DRAWING NO. **C1.1**

"THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS."



NOTES:
 1. BACKFILL MATERIAL FOR THE TRENCHES OF THE REMOVED UTILITES SHALL BE FREE FROM DEBRIS, ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES; SHALL CONTAIN NO ROCKS OR LUMPS GREATER THAN 6 INCHES IN GREATEST DIAMETER, AND SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D-698

V3 Engineers
 Scientists
 Surveyors
 CONSULTANTS

200 Union Boulevard, Suite 200
 Lakewood, CO 80228
 303.989.8588 voice
 303.989.9932 fax
 v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			
2	16 Oct 2002	REVISED PER TOWN'S COMMENTS			
3	31 Oct 2002	REVISED PER TOWN'S COMMENTS			

SEAL:

PROJ. NO.: 02009
 FILE NAME: C2.1-Demolition
 DATE: 19 Apr 2002
 SCALE: 1"=40'

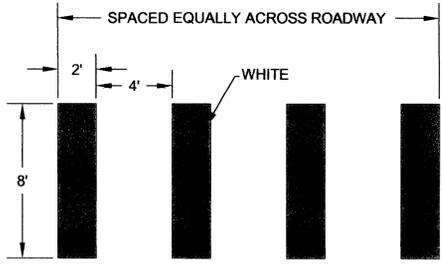
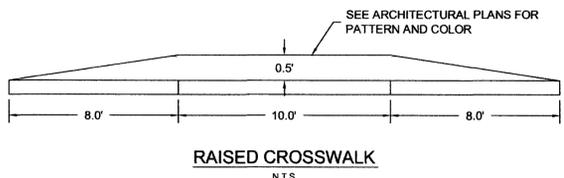
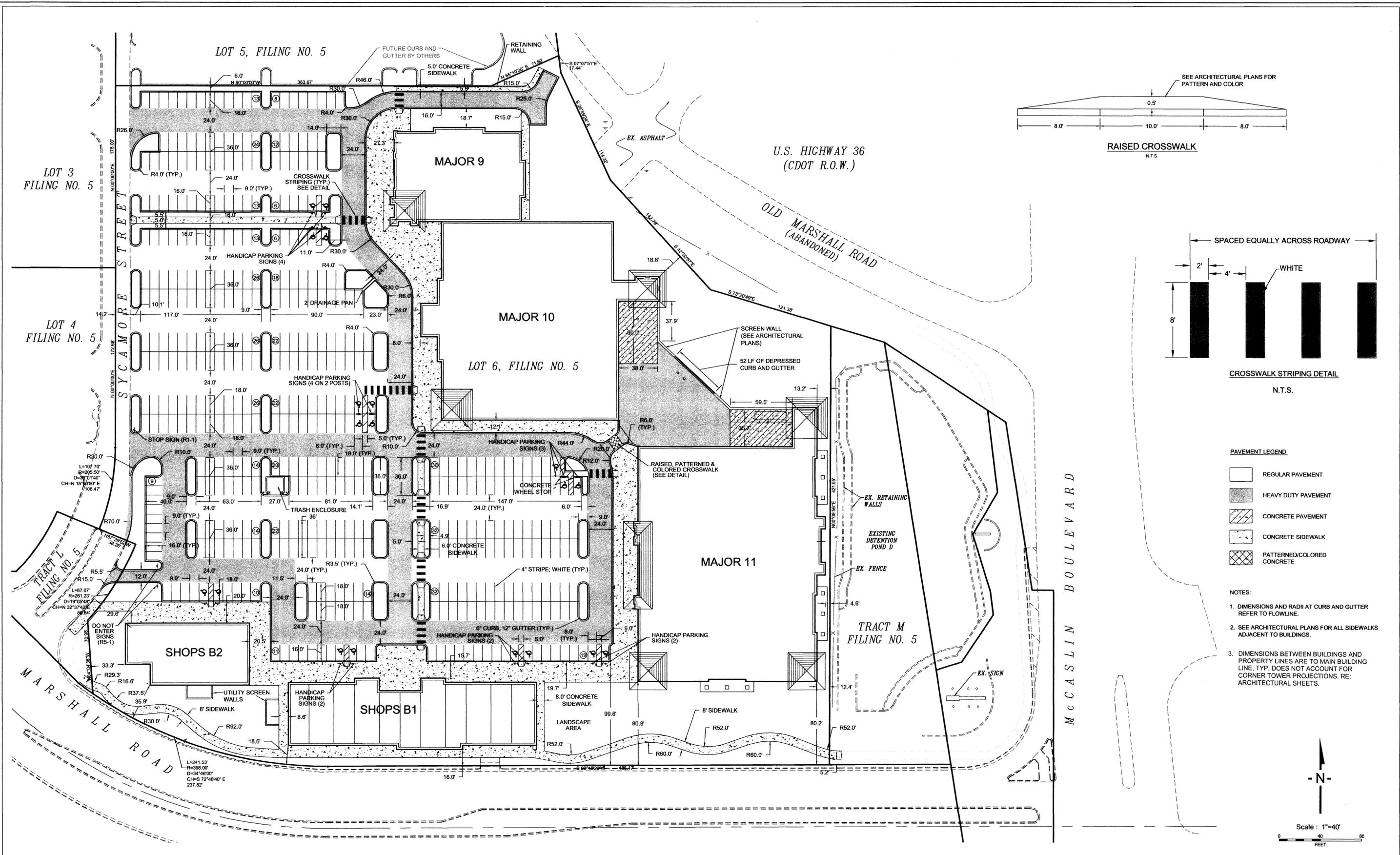
DESIGNED BY: PM
 DRAWN BY: DH
 CHECKED BY: MDC
 PROJ. MANAGER: MDC

SUPERIOR MARKETPLACE
 PHASE 5
 COLORADO

SITE DEMOLITON PLAN
C2.1

DRAWING NO.

"THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS."

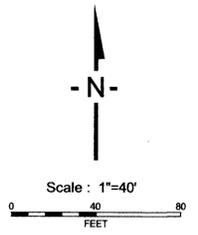


CROSSWALK STRIPING DETAIL
N.T.S.

PAVEMENT LEGEND

	REGULAR PAVEMENT
	HEAVY DUTY PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PATTERNED/COLORED CONCRETE

- NOTES:
- DIMENSIONS AND RADIAT AT CURB AND GUTTER REFER TO FLOWLINE.
 - SEE ARCHITECTURAL PLANS FOR ALL SIDEWALKS ADJACENT TO BUILDINGS.
 - DIMENSIONS BETWEEN BUILDINGS AND PROPERTY LINES ARE TO MAIN BUILDING LINE, TYP. DOES NOT ACCOUNT FOR CORNER TOWER PROJECTIONS. RE: ARCHITECTURAL SHEETS.



V3 Engineers
Scientists
Surveyors
CONSULTANTS

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9932 fax
v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWNS COMMENTS			
2	27 Sept 2002	REVISED PER CLIENT			
3	16 Oct 2002	REVISED PER TOWNS COMMENTS			
4	12 Nov 2002	REVISED PER CLIENT			

SEAL:

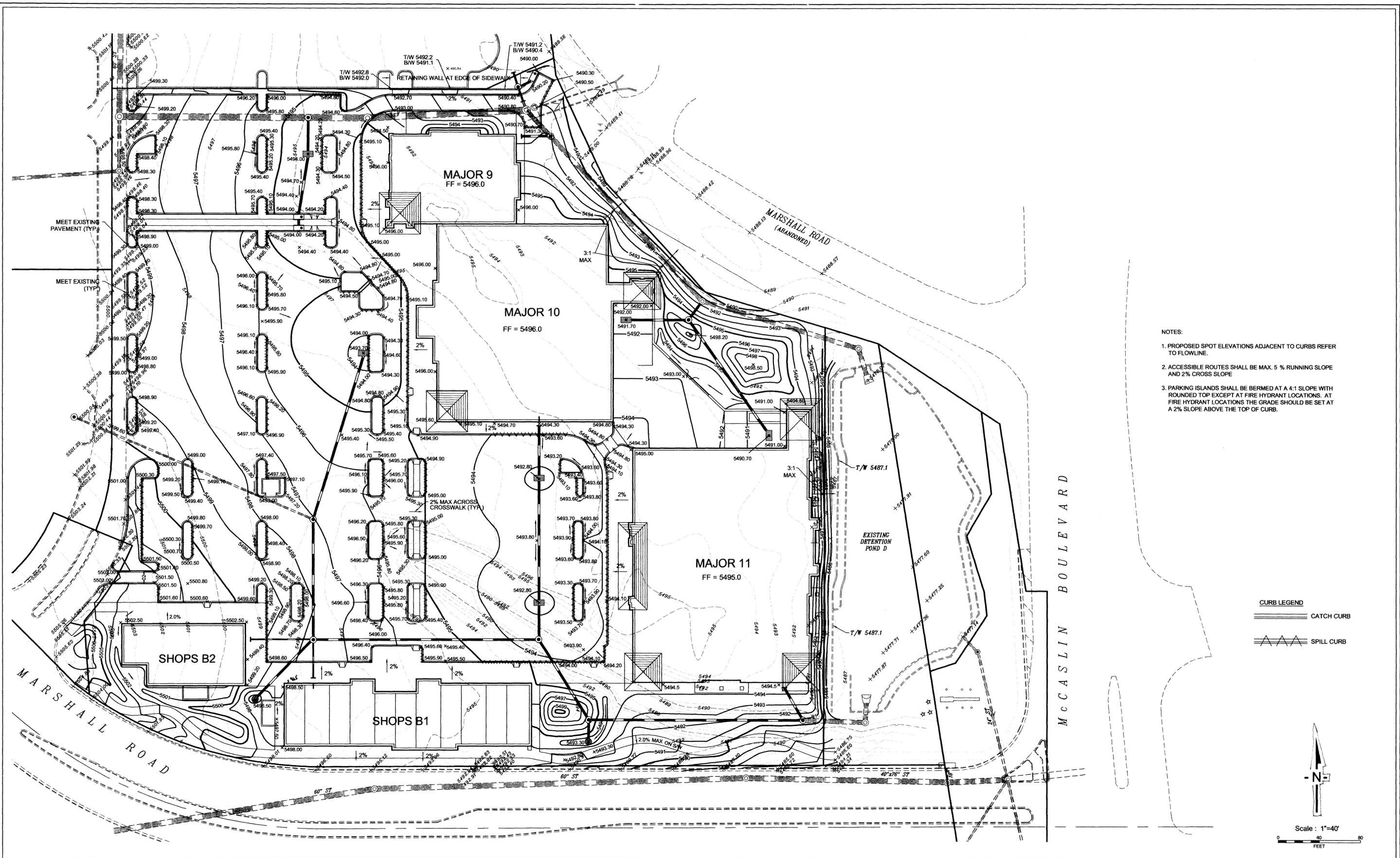
PROJ. NO.: 02009
FILE NAME: C3.1-Layout
DATE: 19 Apr 2002
SCALE: 1"=40'

DESIGNED BY: PM
DRAWN BY: DH
CHECKED BY:
PROJ. MANAGER: MC

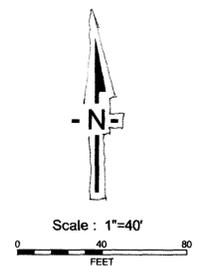
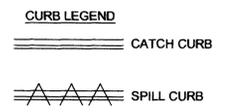
SUPERIOR MARKETPLACE
PHASE 5
SUPERIOR COLORADO

SITE LAYOUT PLAN
DRAWING NO. **C3.1**

THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.



- NOTES:
1. PROPOSED SPOT ELEVATIONS ADJACENT TO CURBS REFER TO FLOWLINE.
 2. ACCESSIBLE ROUTES SHALL BE MAX. 5% RUNNING SLOPE AND 2% CROSS SLOPE.
 3. PARKING ISLANDS SHALL BE BERMED AT A 4:1 SLOPE WITH ROUNDED TOP EXCEPT AT FIRE HYDRANT LOCATIONS. AT FIRE HYDRANT LOCATIONS THE GRADE SHOULD BE SET AT A 2% SLOPE ABOVE THE TOP OF CURB.



REVISIONS			
NO.	DATE	DESCRIPTION	
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS	
2	27 Sept 2002	REVISED PER CLIENT	
3	16 Oct 2002	REVISED PER TOWN'S COMMENTS	
4	12 Nov 2002	REVISED PER CLIENT	

SEAL:

PROJ. NO. 02009
 FILE NAME: C4.1-Grading
 DATE: 19 Apr 2002
 SCALE: 1" = 40'

DESIGNED BY: PM
 DRAWN BY: DH
 CHECKED BY:
 PROJ. MANAGER: MC
SUPERIOR
 COLORADO

SUPERIOR MARKETPLACE

PHASE 5

SITE GRADING PLAN

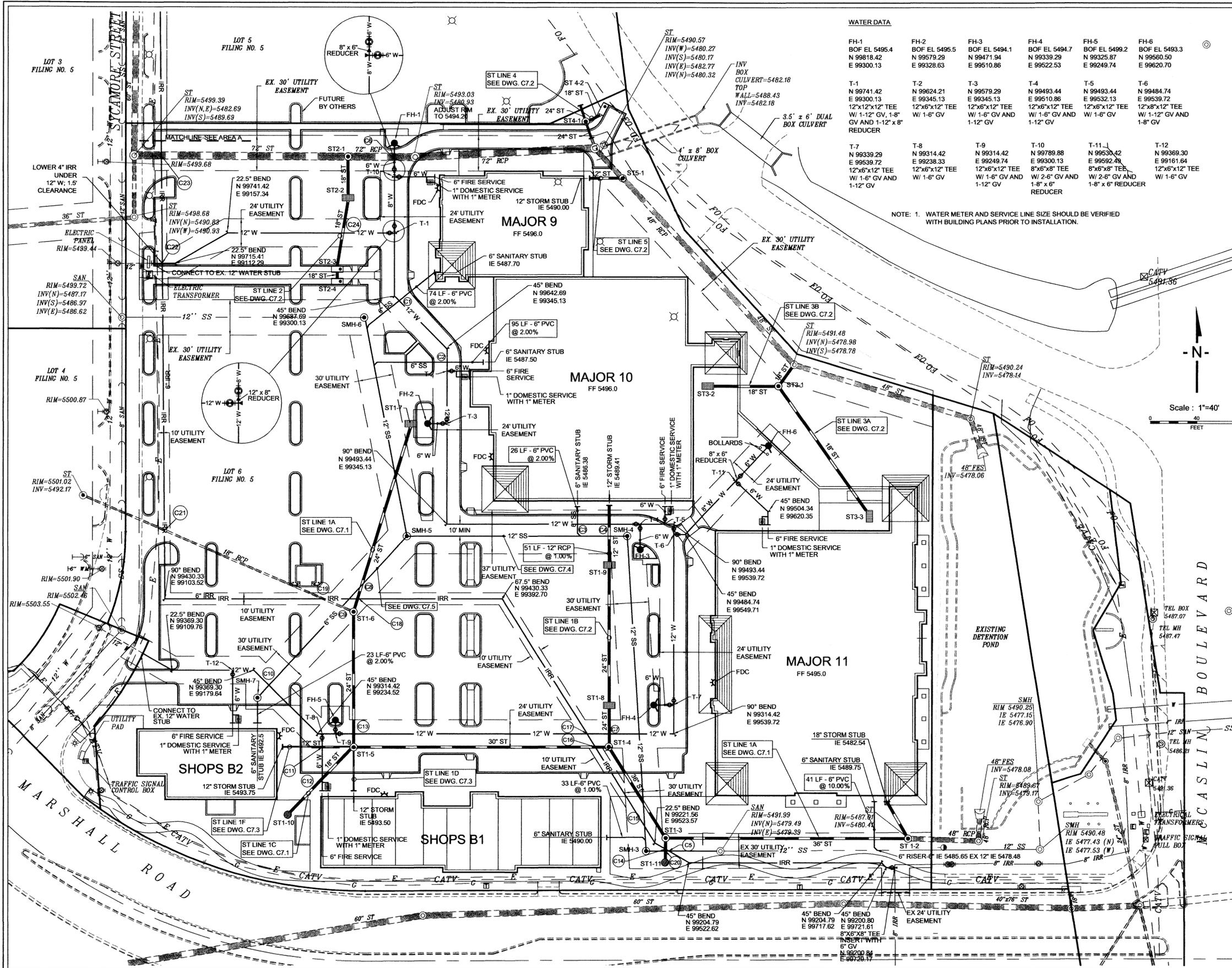
DRAWING NO.

C4.1

V3 Consultants
 Engineers
 Scientists
 Surveyors

200 Union Boulevard, Suite 200
 Lakewood, CO 80228
 303.989.8588 voice
 303.989.9932 fax
 v3consultants.com

THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.



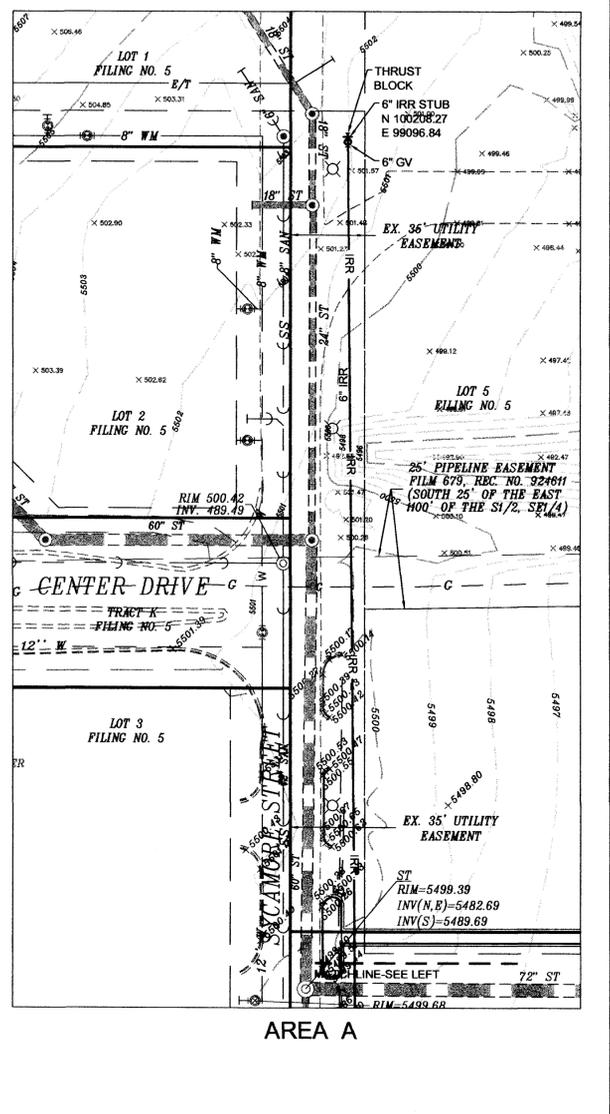
WATER DATA

FH-1 BOF EL 5495.4 N 99818.42 E 99300.13	FH-2 BOF EL 5495.5 N 99579.29 E 99328.63	FH-3 BOF EL 5494.1 N 99471.86 E 99510.94	FH-4 BOF EL 5494.7 N 99339.29 E 99522.53	FH-5 BOF EL 5499.2 N 99325.87 E 99249.74	FH-6 BOF EL 5493.3 N 99560.50 E 99620.70
T-1 N 99741.42 E 99300.13	T-2 N 99624.21 E 99345.13	T-3 N 99579.29 E 99345.13	T-4 N 99493.44 E 99510.86	T-5 N 99493.44 E 99532.13	T-6 N 99484.74 E 99539.72
T-7 N 99339.29 E 99539.72	T-8 N 99314.42 E 99238.33	T-9 N 99314.42 E 99249.74	T-10 N 99789.88 E 99300.13	T-11 N 99530.42 E 99592.48	T-12 N 99369.30 E 99161.64

NOTE: 1. WATER METER AND SERVICE LINE SIZE SHOULD BE VERIFIED WITH BUILDING PLANS PRIOR TO INSTALLATION.

UTILITY CROSSINGS

C1 6" SS IE 5486.94 12" W T/P 5490.30	C2 6" SS IE 5486.90 12" W T/P 5490.40	C3 6" SS IE 5486.05 12" W T/P 5489.30	C4 12" ST IE 5488.90 12" W T/P 5487.23 (LOWER WATER MAIN AND PROVIDE LOW POINT BLOWOFF)	C5 12" SS IE 5480.00 6" IRR T/P 5489.50	C6 6" W B/P 5489.50 EX. 72" ST T/P 5487.63± (1.5' MIN. CLEARANCE)	C7 12" W T/P 5484.21 (LOWER WATER MAIN AND PROVIDE LOW POINT BLOWOFF) 24" ST B/P 5485.71	C8 6" SAN IE 5486.19 24" ST IE 5488.69	C9 6" SAN IE 5487.34 18" ST IE 5490.16	C10 12" W T/P 5495.80 6" SAN IE 5491.25	C11 6" W T/P 5494.00 12" ST IE 5489.77	C12 6" W T/P 5493.50 18" ST IE 5488.77	C13 12" W T/P 5493.10 24" ST IE 5487.78	C14 18" ST IE 5485.23 6" IRR T/P 5490.50	C15 12" SS IE 5480.54 6" IRR T/P 5493.50	C16 30" ST IE 5486.34 6" IRR T/P 5484.30	C17 12" W T/P 5489.20 6" IRR T/P 5486.20	C18 24" ST IE 5488.55 6" IRR T/P 5492.20	C19 6" IRR T/P 5488.20 EX. 18" ST IE 5490.15	C20 12" SS IE 5480.01 18" ST IE 5485.23	C21 6" IRR IE 5494.80 EX. 18" ST T/P 5493.20	C22 12" W IE 5492.80 6" IRR T/P 5491.30	C23 6" IRR IE 5494.00 EX. 72" ST T/P 5489.11	C24 12" W B/P 5489.20 18" ST T/P 5486.73
---	---	---	---	---	---	--	--	--	---	--	--	---	--	--	--	--	--	--	---	--	---	--	--



V3 Engineers
Scientists
Surveyors
CONSULTANTS

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.988.8588 voice
303.988.9932 fax
v3consultants.com

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			
2	27 Sept 2002	REVISED PER CLIENT			
3	16 Oct 2002	REVISED PER TOWN'S COMMENTS			
4	31 Oct 2002	REVISED PER TOWN'S COMMENTS			
5	12 Nov 2002	REVISED PER CLIENT			

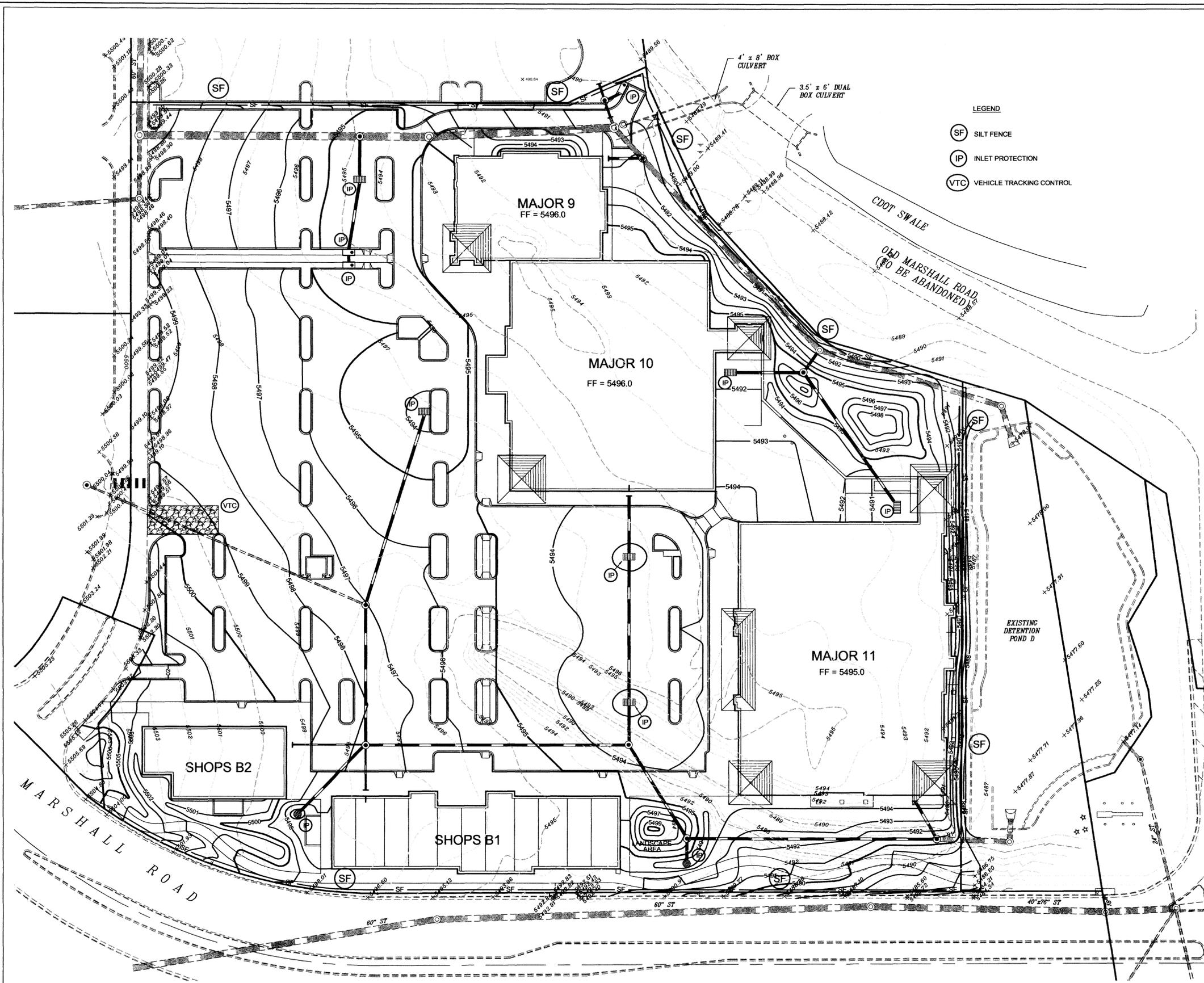
PROJ. NO.: 02009
FILE NAME: C5.1-Utility
DATE: 19 Apr 2002
SCALE: 1" = 40'

DESIGNED BY: PM
DRAWN BY: DH
CHECKED BY:
PROJ. MANAGER: MC

SUPERIOR MARKETPLACE
PHASE 5
COLORADO

SITE UTILITY PLAN
DRAWING NO. **C5.1**

THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.



- Stormwater Management Plan**
1. Construction Activity- Construction of a four Retail Buildings, parking lot, driveways, utilities and a stormwater detention facility.
 2. The sequence of construction will be as follows:
Clearing and grubbing, excavation of building and parking lot, installation of underground utilities, placement of pavement, final grading in non-paved areas, placement of topsoil, placement of sod and seeding.
 3. Total Site = 9.44 Acres
Total area to be disturbed = 9.44 Acres
 4. Runoff Coefficient before construction activities = 0.42
Runoff Coefficient after construction activities = 0.88
30% Hydrologic Soil Type C - Valmont Clay Loam and 70% Soil Type B - Nederland Very Cobbly Sand Loam
 5. Description of existing vegetation:
100% of the site has existing vegetation ground cover.
Vegetation includes grass cover.
 6. Potential Pollution Sources:
None
 7. Receiving water is Coal Creek. Coal Creek is approximately 850 feet downstream of the site. The site discharges to an existing 4' x 6' box culvert under McCaslin Boulevard and a 4' x 8' box culvert under Old Marshall Road which discharges to a CDOT swale.
 8. Control measures to be implemented before and during construction activities.
 - a. Silt fences around perimeter of site to be installed prior to clearing and grubbing and to remain for duration of construction activities.
 - b. Permanent vegetation will be established after topsoil is placed on all non-paved areas.
 9. Final Stabilization - The permanent vegetation will be established to provide final stabilization.
 10. The contractor shall maintain the sediment and erosion control measures identified on the plan until final stabilization is completed. Inspections shall be completed on a weekly basis and within 24-hours of significant rainfall events.

Project Owner / Developer Signature Block

I have reviewed the information contained within the Erosion and Sediment Control Plan and accept responsibility for the requirements set forth.

Project Owner / Developer _____ Date _____

Plan Preparer Signature Block

I acknowledge my responsibility for the preparation of the Erosion and Sediment Control Plan which was prepared by me or under my direct supervision.

Professional Engineer _____ Date _____

- NOTES:**
1. SEE DWG. C6.3 FOR EROSION CONTROL DETAILS.
 2. SEDIMENT FROM THIS DEVELOPMENT SHALL BE REMOVED FROM DETENTION POND D THROUGHOUT CONSTRUCTION AND PRIOR TO THE COMPLETION AND FINAL ACCEPTANCE OF THIS PROJECT BY THE TOWN AND DISTRICT. THE CONTRACTOR SHALL DOCUMENT THE EXISTING CONDITION OF THE POND PRIOR TO COMMENCING CONSTRUCTION.

V3 Engineers
Scientists
Surveyors
CONSULTANTS

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9532 fax
v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			
2	27 Sept 2002	REVISED PER CLIENT			
3	16 Oct 2002	REVISED PER TOWN'S COMMENTS			
4	31 Oct 2002	REVISED PER TOWN'S COMMENTS			

SEAL: _____

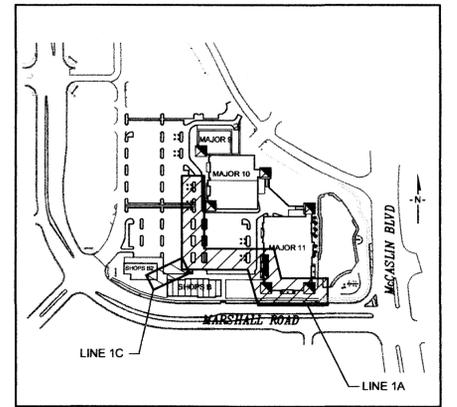
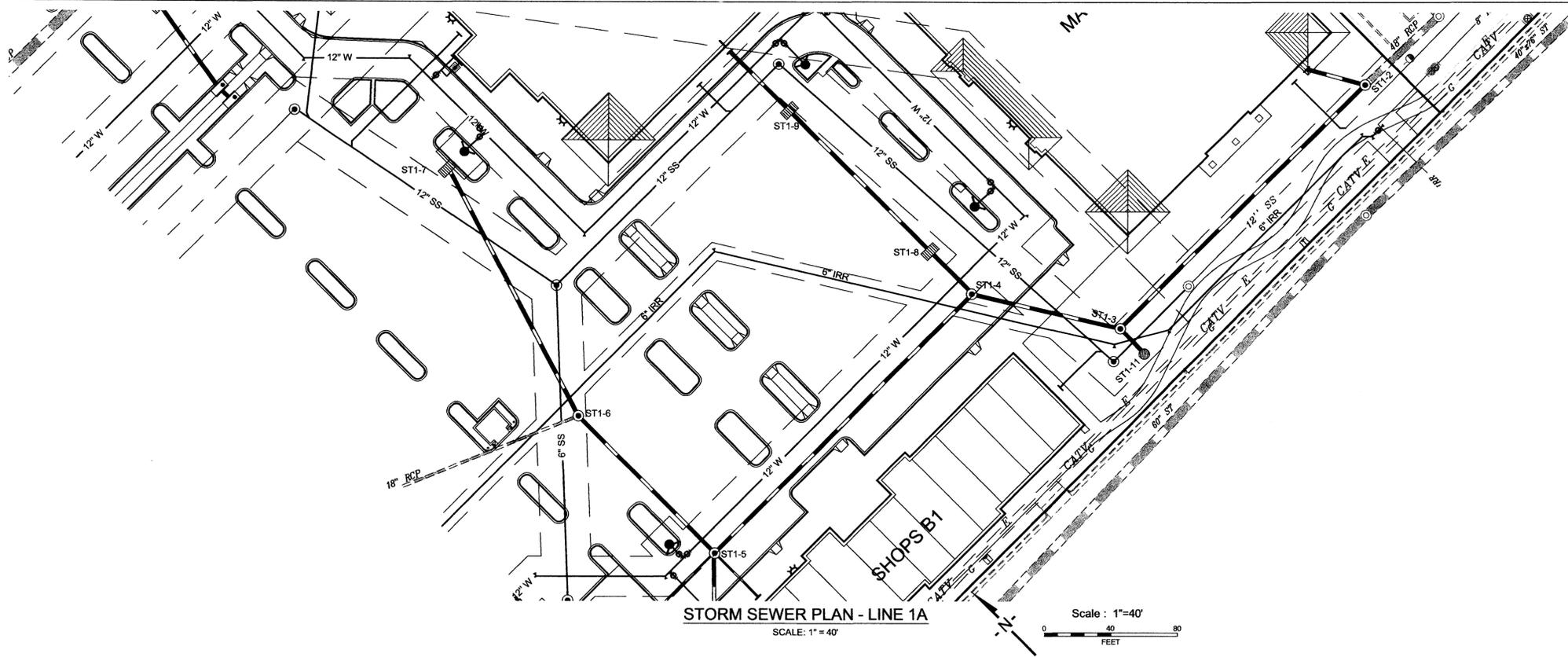
PROJ. NO.: 02009
FILE NAME: C6.1-Erosion-Control
DATE: 19 Apr 2002
SCALE: 1"=40'

DESIGNED BY: PM
DRAWN BY: DH
CHECKED BY: _____
PROJ. MANAGER: MC

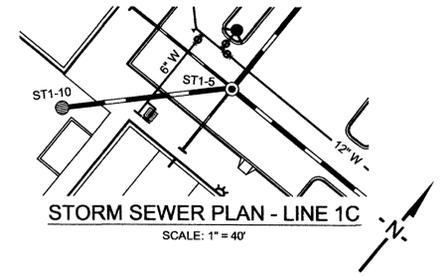
SUPERIOR MARKETPLACE
PHASE 5
SUPERIOR COLORADO

SITE EROSION CONTROL PLAN
DRAWING NO. **C6.1**

"THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS."

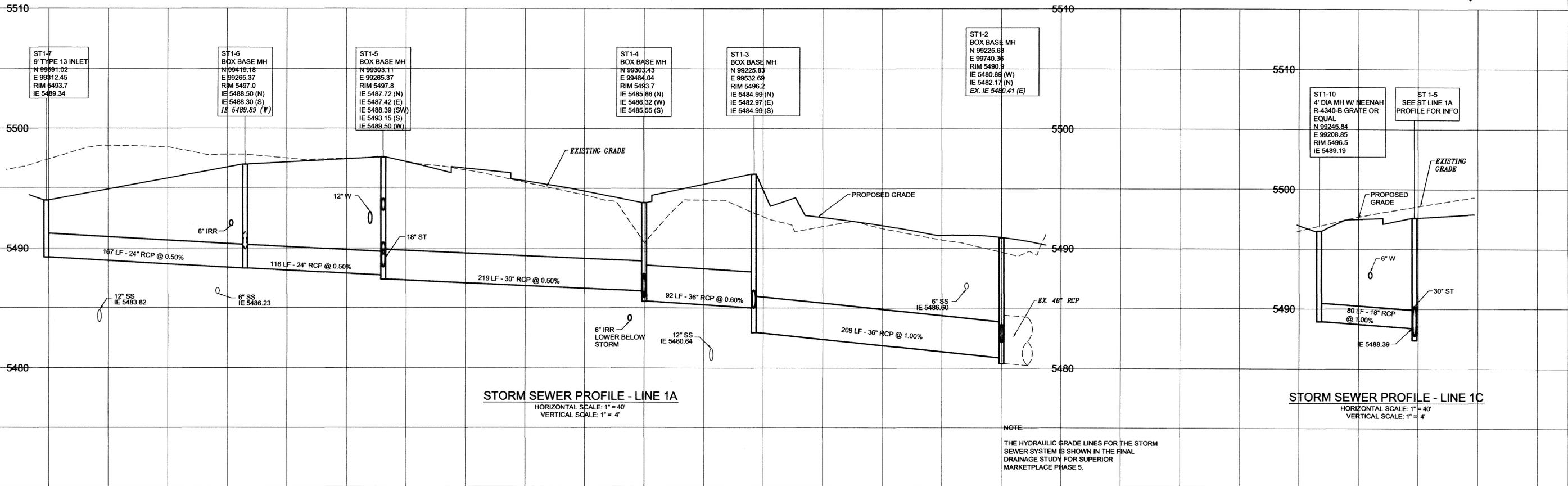


SUPERIOR MARKETPLACE PHASE 5 - KEY MAP



STORM SEWER PLAN - LINE 1C

SCALE: 1" = 40'



STORM SEWER PROFILE - LINE 1A

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

STORM SEWER PROFILE - LINE 1C

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

NOTE:
THE HYDRAULIC GRADE LINES FOR THE STORM SEWER SYSTEM IS SHOWN IN THE FINAL DRAINAGE STUDY FOR SUPERIOR MARKETPLACE PHASE 5.

V3 Engineers
Scientists
Surveyors
CONSULTANTS

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.988.8588 voice
303.988.9932 fax
v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			
2	27 Sept 2002	REVISED PER CLIENT			
3	16 Oct 2002	REVISED PER TOWN'S COMMENTS			

SEAL:

PROJ. NO.: 02009
DESIGNED BY: PM
FILE NAME: C7.1-Sto-P&P
DRAWN BY: DH
DATE: 19 Apr 2002
CHECKED BY:
SCALE: 1" = 40'
PROJ. MANAGER: MC

SUPERIOR MARKETPLACE

PHASE 5

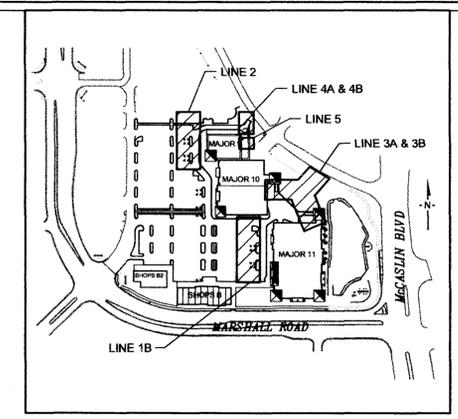
SUPERIOR COLORADO

**STORM SEWER
PLAN AND PROFILE**

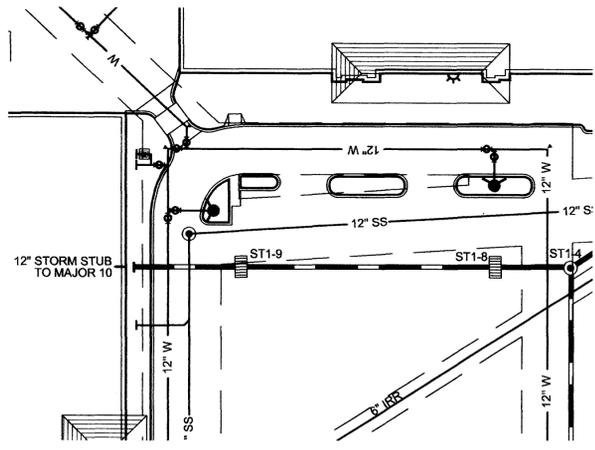
DRAWING NO.

C7.1

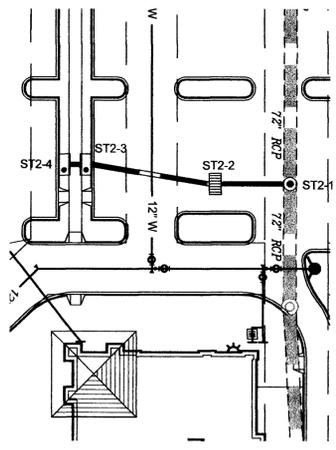
- NOTE:
1. THE HYDRAULIC GRADE LINES FOR THE STORM SEWER SYSTEM IS SHOWN IN THE FINAL DRAINAGE STUDY FOR SUPERIOR MARKETPLACE PHASE 5.
 2. FOR TYPE R INLETS, COORDINATES REFER TO CENTER OF BOX AT BACK OF CURB.



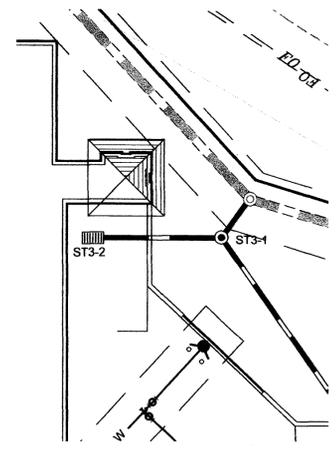
Scale: 1"=40'
0 40 80
FEET



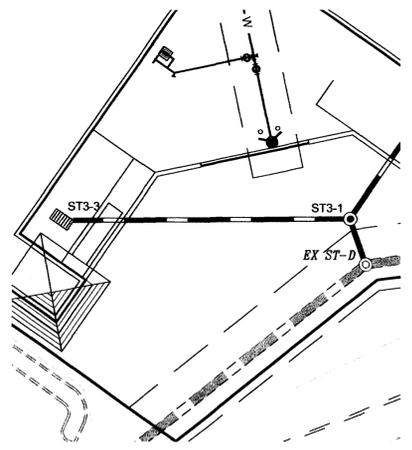
STORM SEWER PLAN - LINE 1B
SCALE: 1"=40'



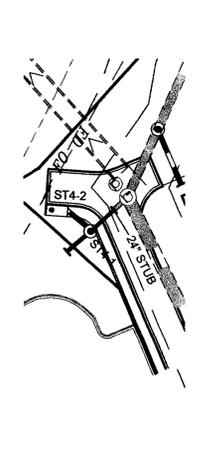
STORM SEWER PLAN - LINE 2
SCALE: 1"=40'



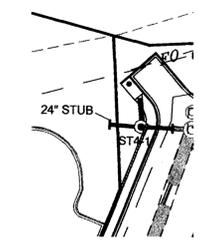
STORM SEWER PLAN - LINE 3A
SCALE: 1"=40'



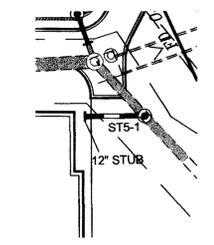
STORM SEWER PLAN - LINE 3B
SCALE: 1"=40'



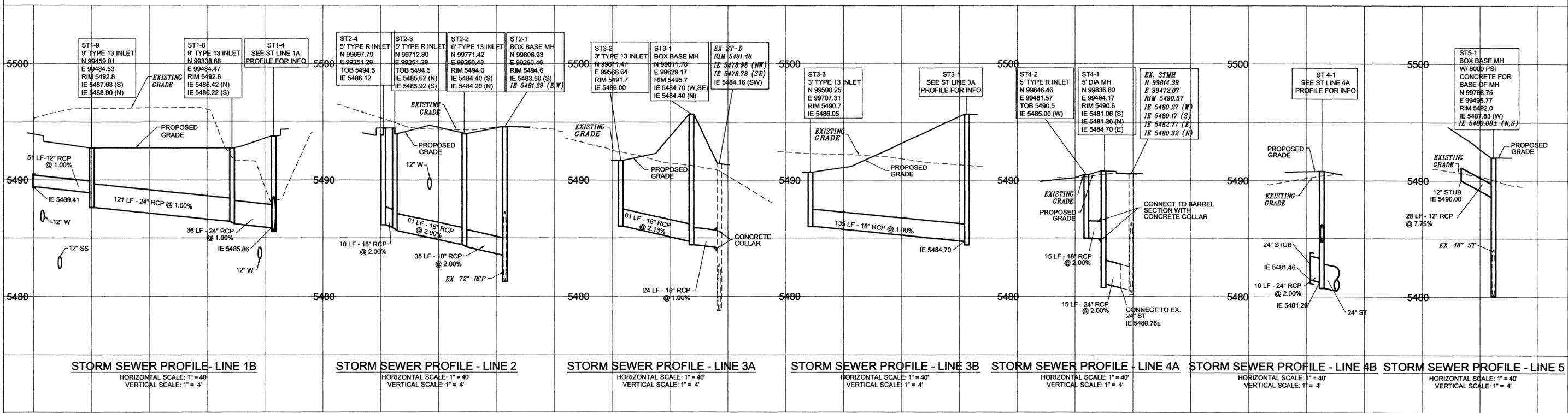
STORM SEWER PLAN - LINE 4A
SCALE: 1"=40'



STORM SEWER PLAN - LINE 4B
SCALE: 1"=40'



STORM SEWER PLAN - LINE 5
SCALE: 1"=40'



V3 CONSULTANTS
Engineers
Scientists
Surveyors
200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9932 fax
v3consultants.com

REVISIONS			
NO.	DATE	DESCRIPTION	
1	28 Jun 2002	REVISED PER TOWNS COMMENTS	
2	16 Oct 2002	REVISED PER TOWNS COMMENTS	

SEAL: _____

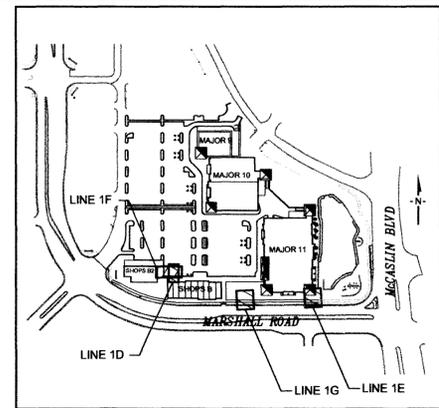
PROJ. NO. 02009
FILE NAME: C7.2-Sto-P&P
DATE: 19 Apr 2002
SCALE: 1"=40'

DESIGNED BY: PM
DRAWN BY: DH
CHECKED BY: _____
PROJ. MANAGER: MC

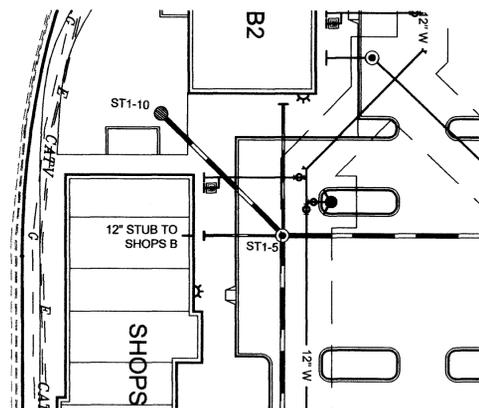
SUPERIOR MARKETPLACE
PHASE 5
COLORADO

STORM SEWER PLAN AND PROFILE
DRAWING NO. C7.2

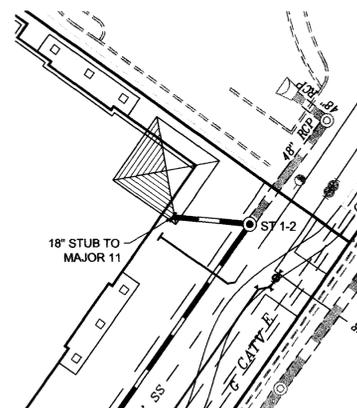
THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.



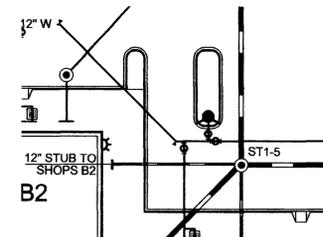
SUPERIOR MARKETPLACE PHASE 5 - KEY MAP



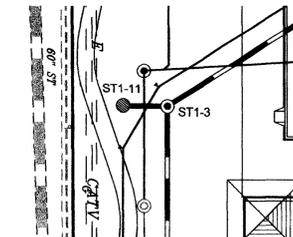
STORM SEWER PLAN - LINE 1D
SCALE: 1" = 40'



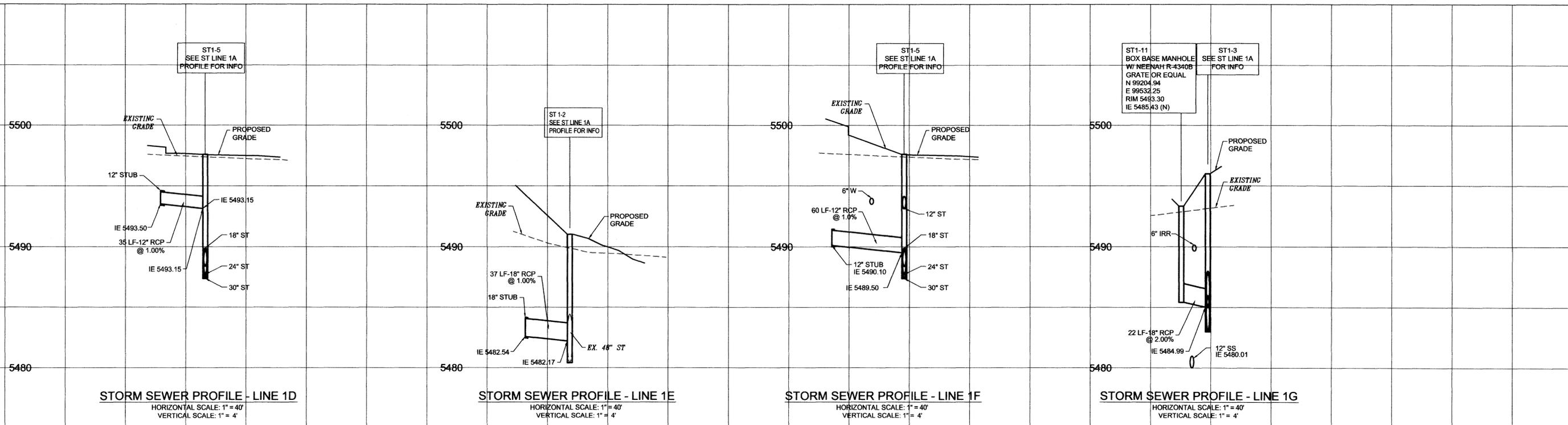
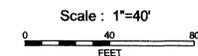
STORM SEWER PLAN - LINE 1E
SCALE: 1" = 40'



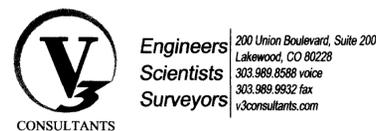
STORM SEWER PLAN - LINE 1F
SCALE: 1" = 40'



STORM SEWER PLAN - LINE 1G
SCALE: 1" = 40'



NOTE:
THE HYDRAULIC GRADE LINES FOR THE STORM SEWER SYSTEM IS SHOWN IN THE FINAL DRAINAGE STUDY FOR SUPERIOR MARKETPLACE PHASE 5.



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWNS COMMENTS			
2	27 Sept 2002	REVISED PER CLIENT			
3	16 Oct 2002	REVISED PER TOWNS COMMENTS			

SEAL: _____

PROJ. NO.: 02009
FILE NAME: C7.3-Sto-P&P
DATE: 25 June 2002
SCALE: 1" = 40'

DESIGNED BY: PM
DRAWN BY: DH
CHECKED BY: _____
PROJ. MANAGER: MC

SUPERIOR MARKETPLACE

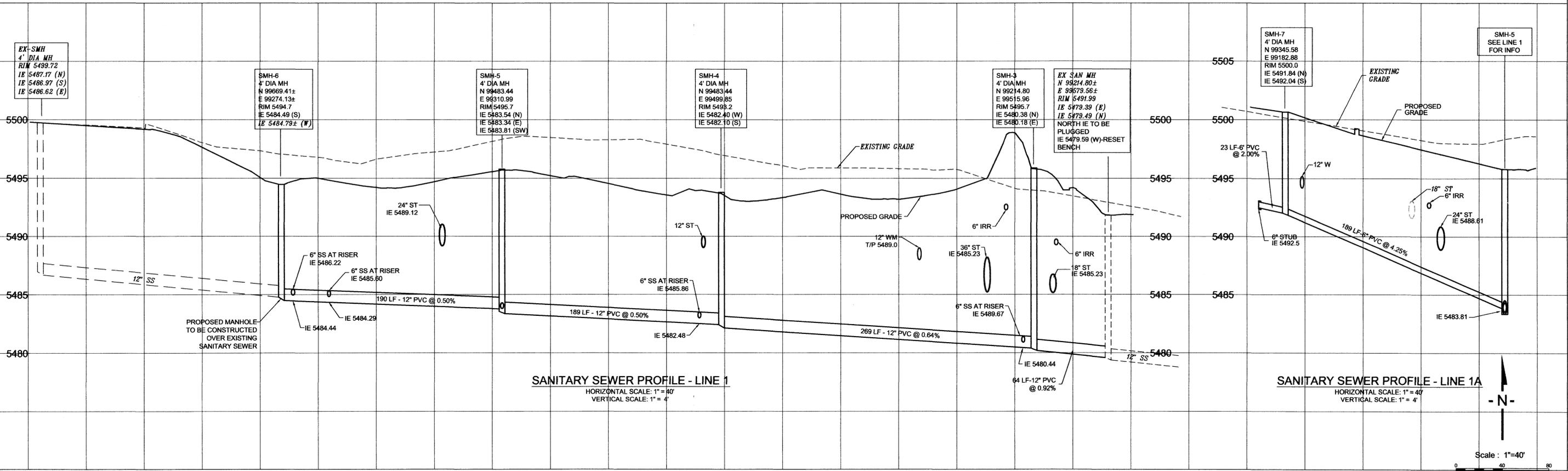
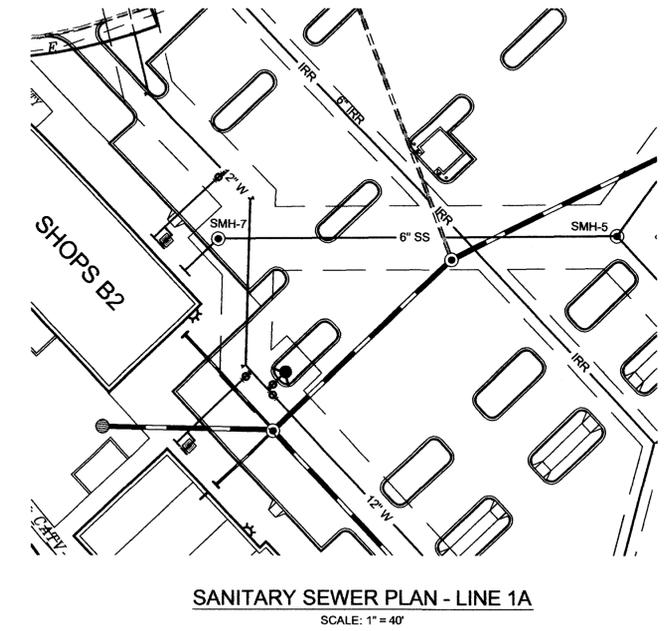
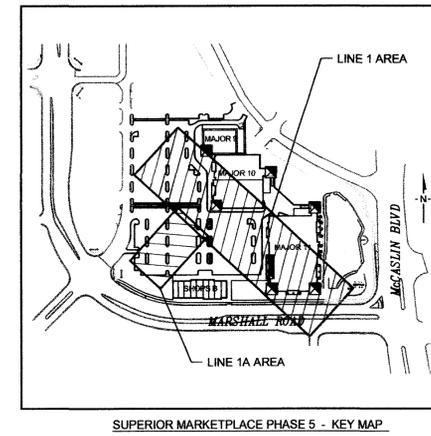
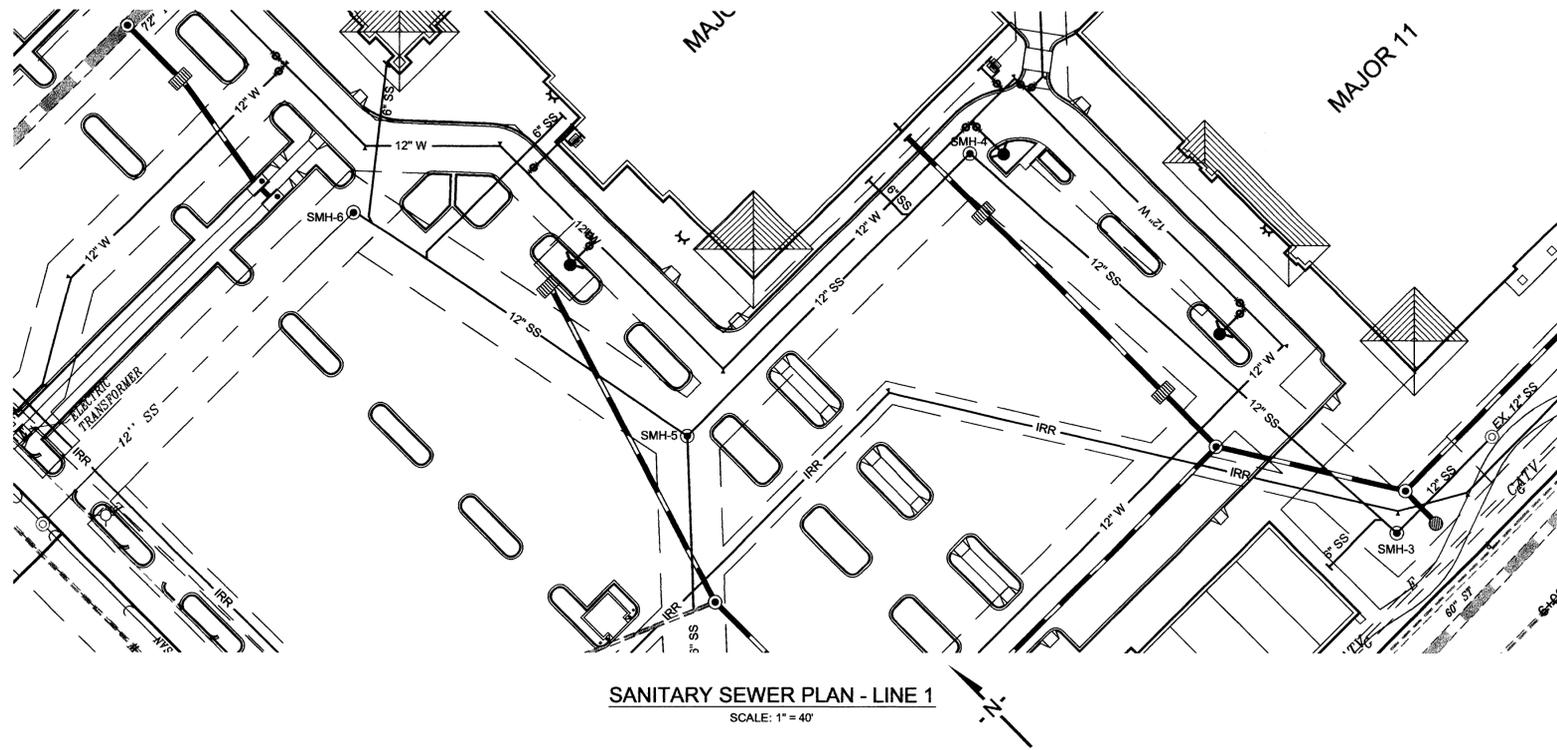
PHASE 5

SUPERIOR COLORADO

STORM SEWER PLAN AND PROFILE

DRAWING NO. **C7.3**

** THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS. **



V3 **Engineers Scientists Surveyors**
 200 Union Boulevard, Suite 200
 Lakewood, CO 80228
 303.989.8538 voice
 303.989.9932 fax
 v3consultants.com

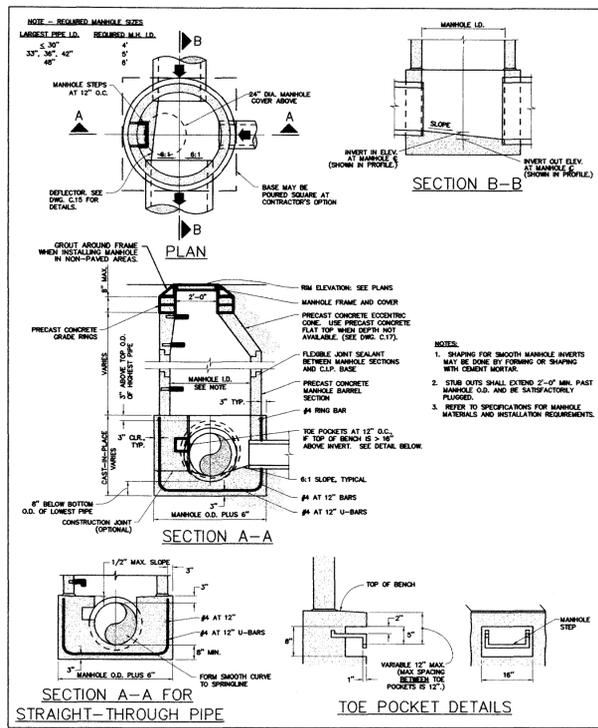
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			
2	27 Sept 2002	REVISED PER CLIENT			
3	15 Oct 2002	REVISED PER TOWN'S COMMENTS			
4	31 Oct 2002	REVISED PER TOWN'S COMMENTS			

SEAL: _____
 PROJ. NO.: 02009
 FILE NAME: C7.4-San-P&P
 DATE: 19 Apr 2002
 SCALE: 1" = 40'

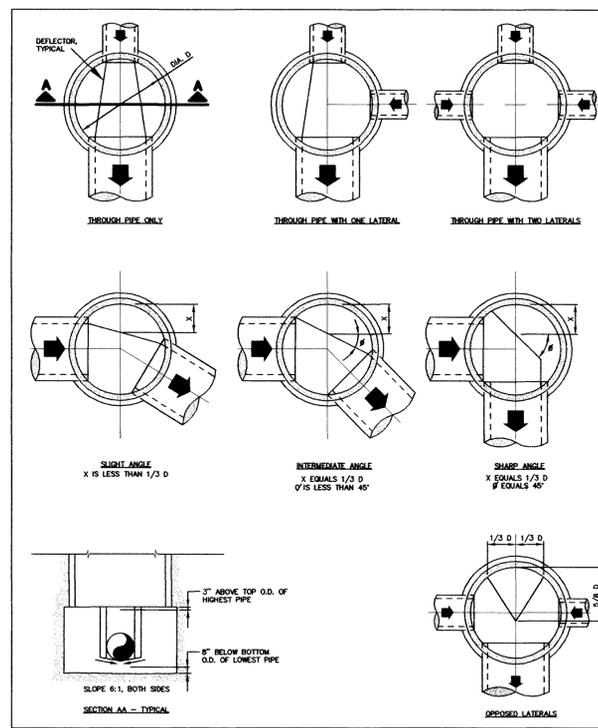
DESIGNED BY: PM
 DRAWN BY: DH
 CHECKED BY: _____
 PROJ. MANAGER: MC
SUPERIOR PHASE 5 COLORADO

SANITARY SEWER PLAN AND PROFILE
 DRAWING NO. **C7.4**

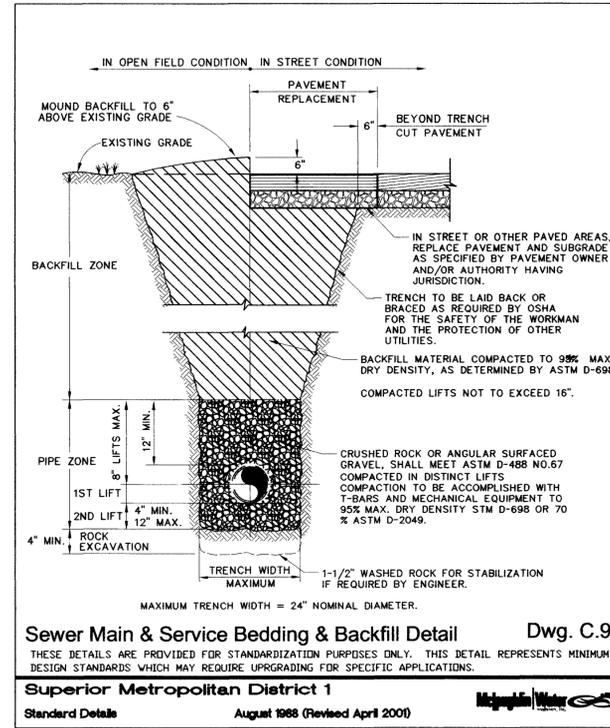
THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.



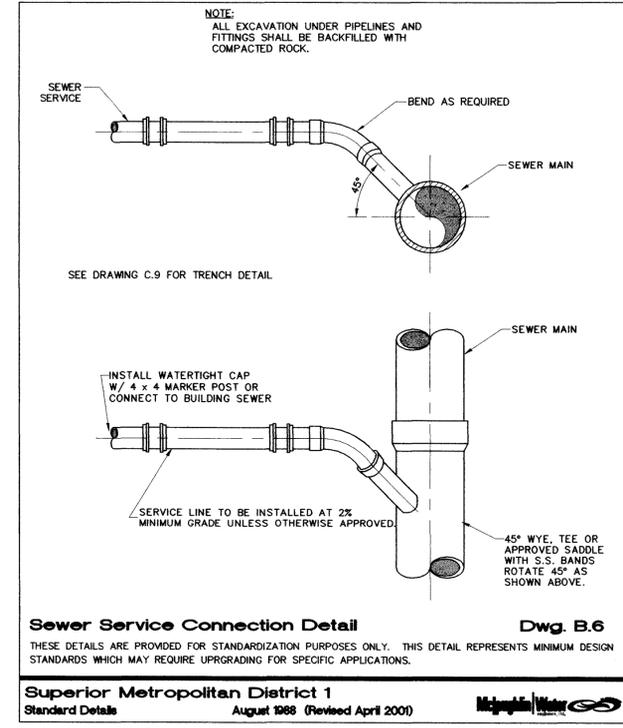
1.1 STORM SEWER MANHOLE DETAILS



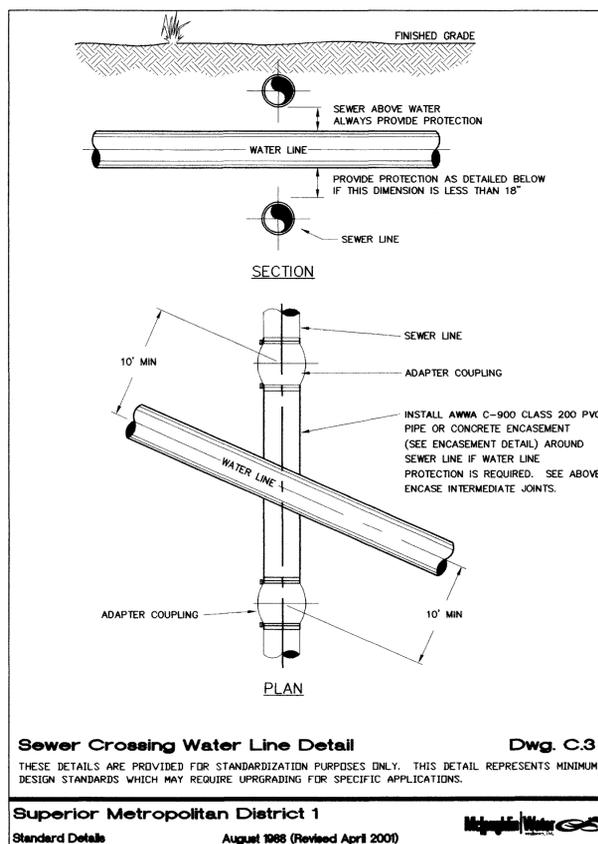
1.2 STORM SEWER DEFLECTOR DETAILS



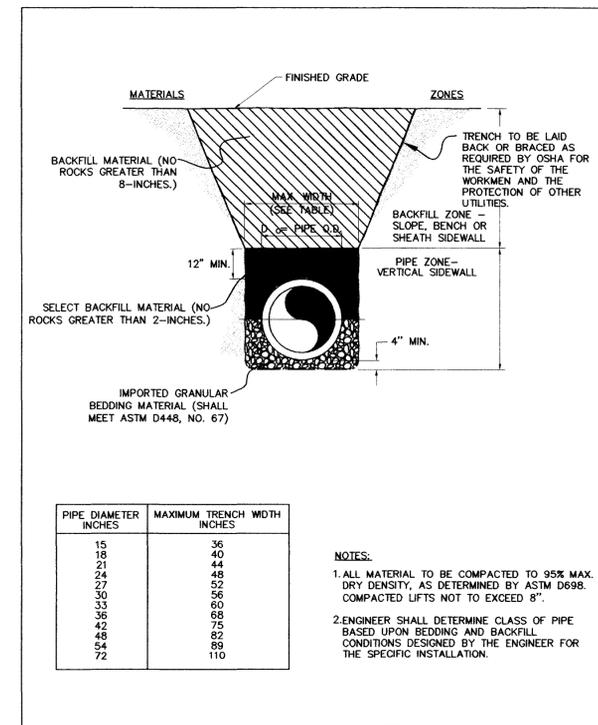
1.3 PVC SEWER AND PVC STORM MAIN BEDDING & BACKFILL DETAIL



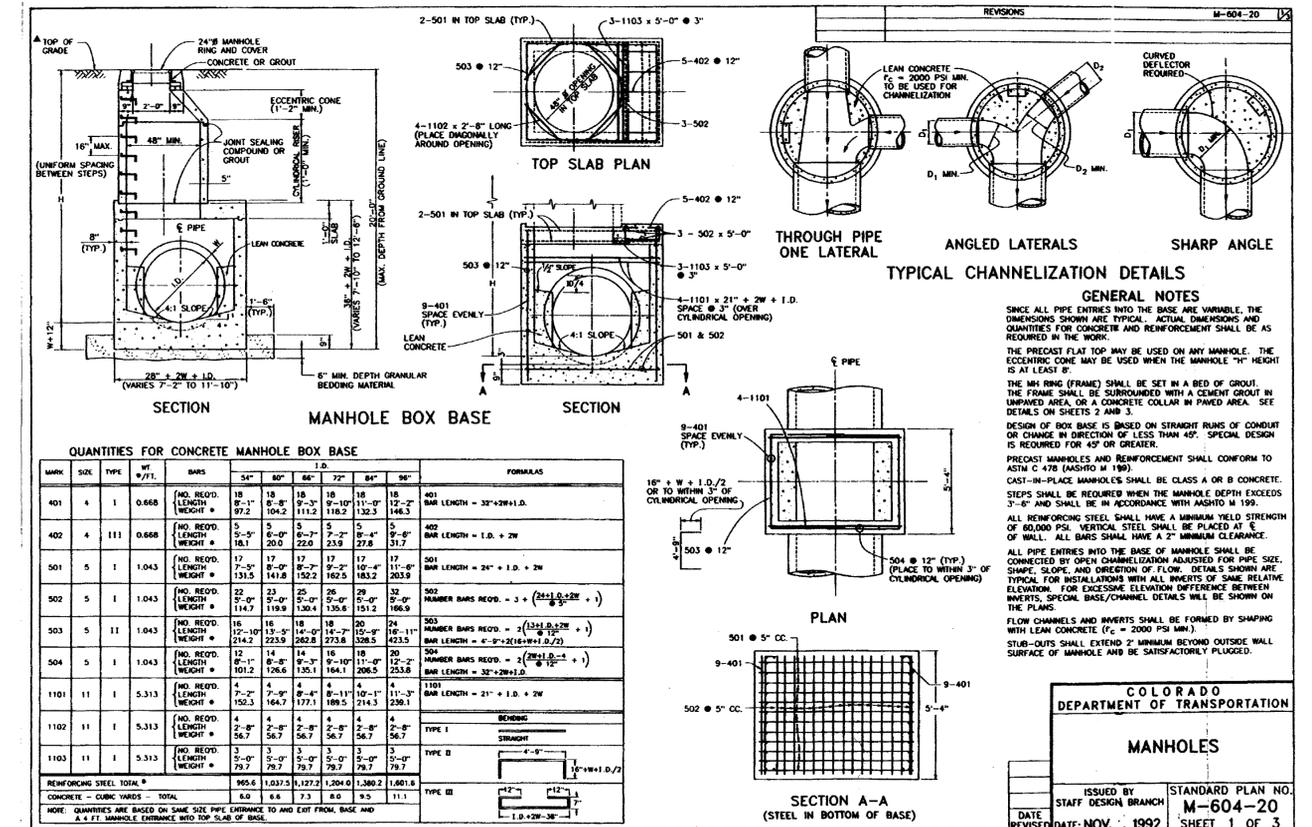
1.4 SEWER SERVICE CONNECTION DETAIL



1.5 SEWER CROSSING WATER LINE DETAIL



1.6 RCP STORM SEWER PIPE TRENCH DETAIL



1.7 BOX BASE MANHOLE DETAIL

V3 **Engineers Scientists Surveyors**

200 Union Boulevard, Suite 200
 Lakewood, CO 80228
 303.989.8588 voice
 303.989.9932 fax
 v3consultants.com

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			

PROJ. NO. 02009

DESIGNED BY: PM

FILE NAME: C8.1-Details

DRAWN BY: DH

DATE: 19 Apr 2002

CHECKED BY:

SCALE: NTS

PROJ. MANAGER: MC

SUPERIOR MARKETPLACE

PHASE 5

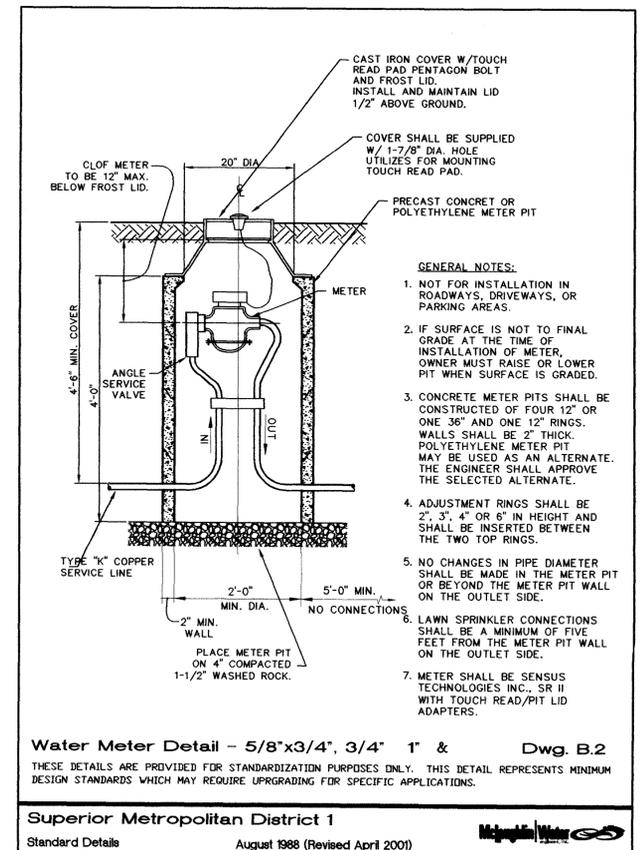
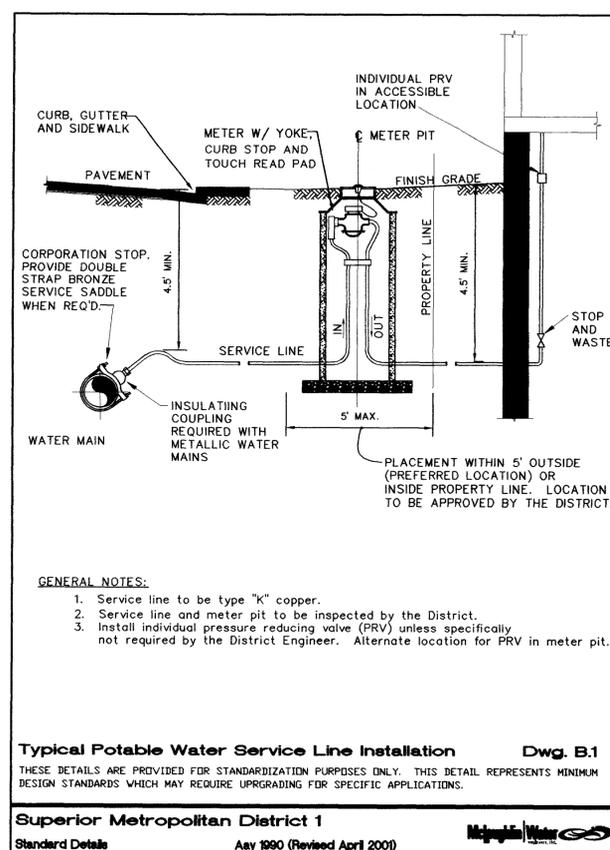
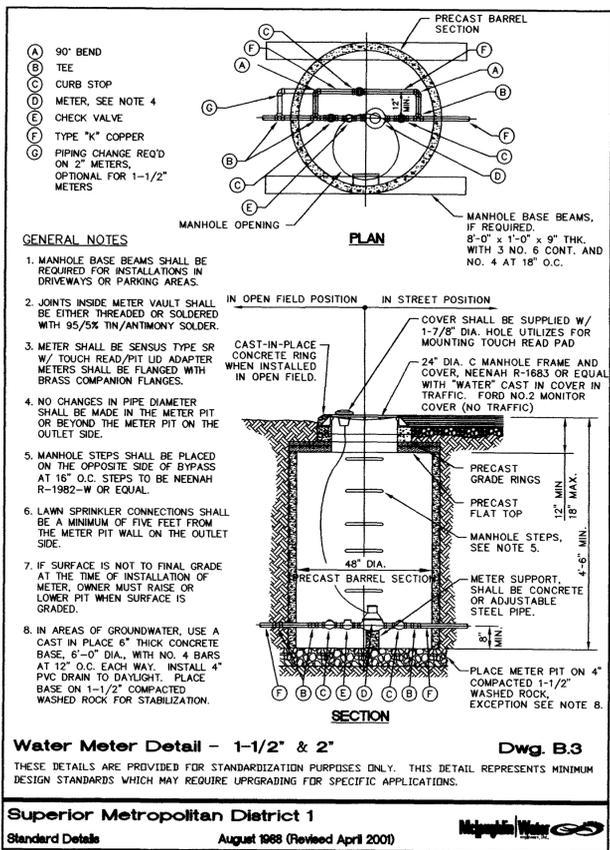
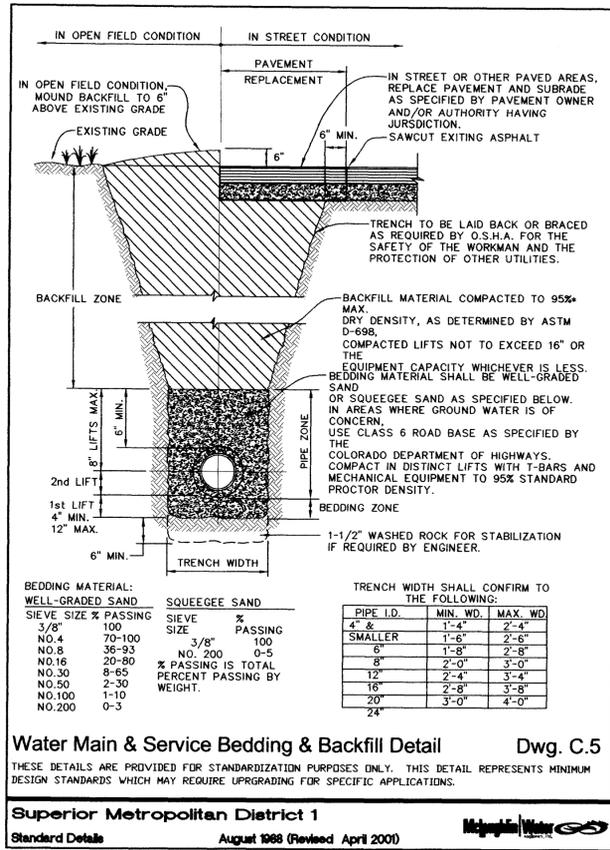
SUPERIOR COLORADO

CONSTRUCTION DETAILS

C8.1

DRAWING NO.

THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.

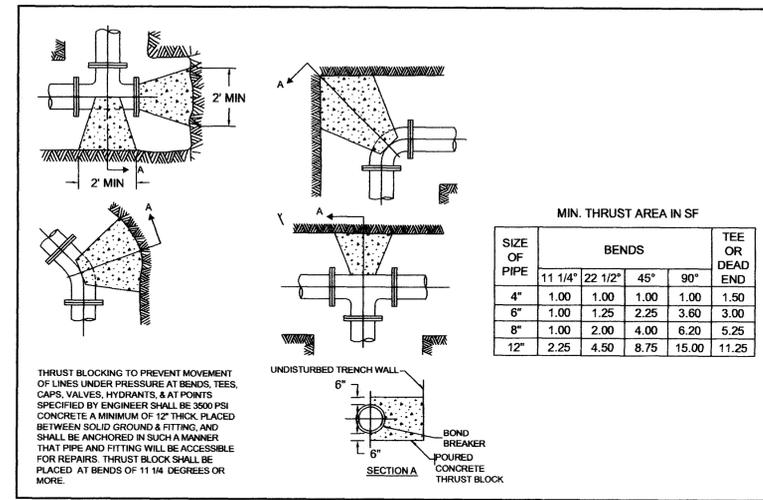


2.1 WATER MAIN & SERVICE BEDDING & BACK FILL DETAIL

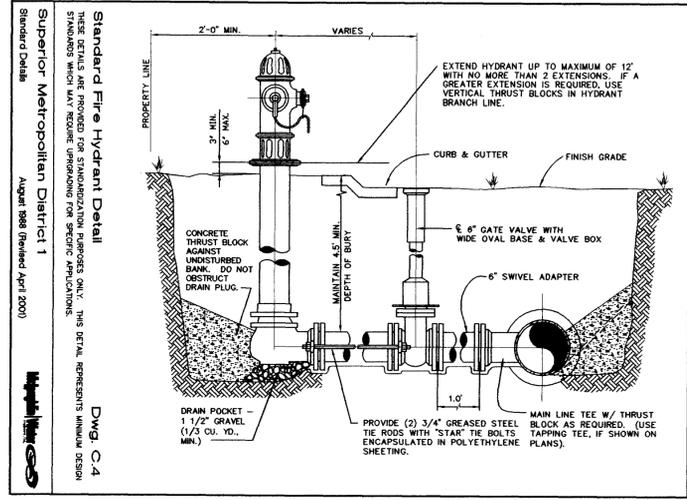
2.2 WATER METER DETAIL 1.5" & 2"

2.3 POTABLE WATER SERVICE LINE INSTALLATION

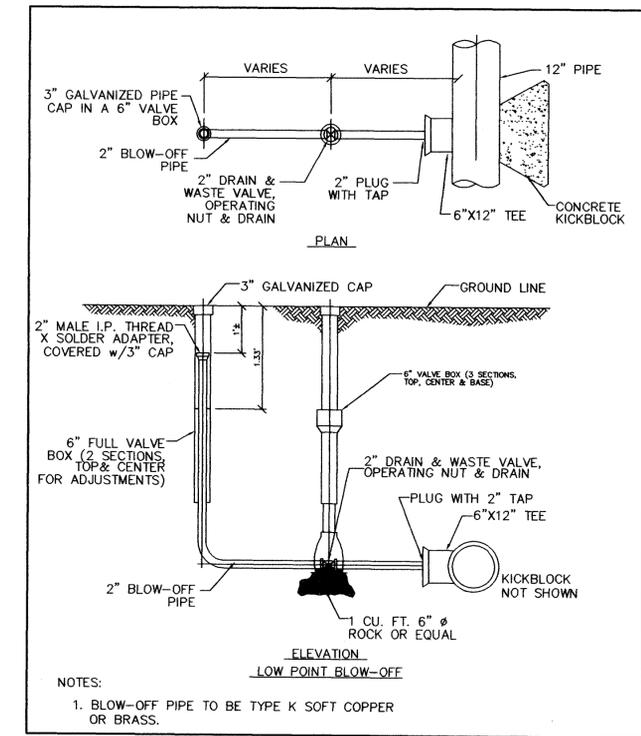
2.4 WATER METER DETAIL 1"



2.5 THRUST BLOCK DETAIL



2.6 FIRE HYDRANT DETAIL



2.7 BLOW-OFF DETAIL

V3 CONSULTANTS
Engineers
Scientists
Surveyors

200 Union Boulevard, Suite 200
Lakewood, CO 80228
303.989.8588 voice
303.989.9832 fax
v3consultants.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS			
2	27 Sept 2002	REVISED PER CLIENT			

PROJ. NO.: 02009
FILE NAME: C8.2-Details
DATE: 19 Apr 2002
SCALE: NTS

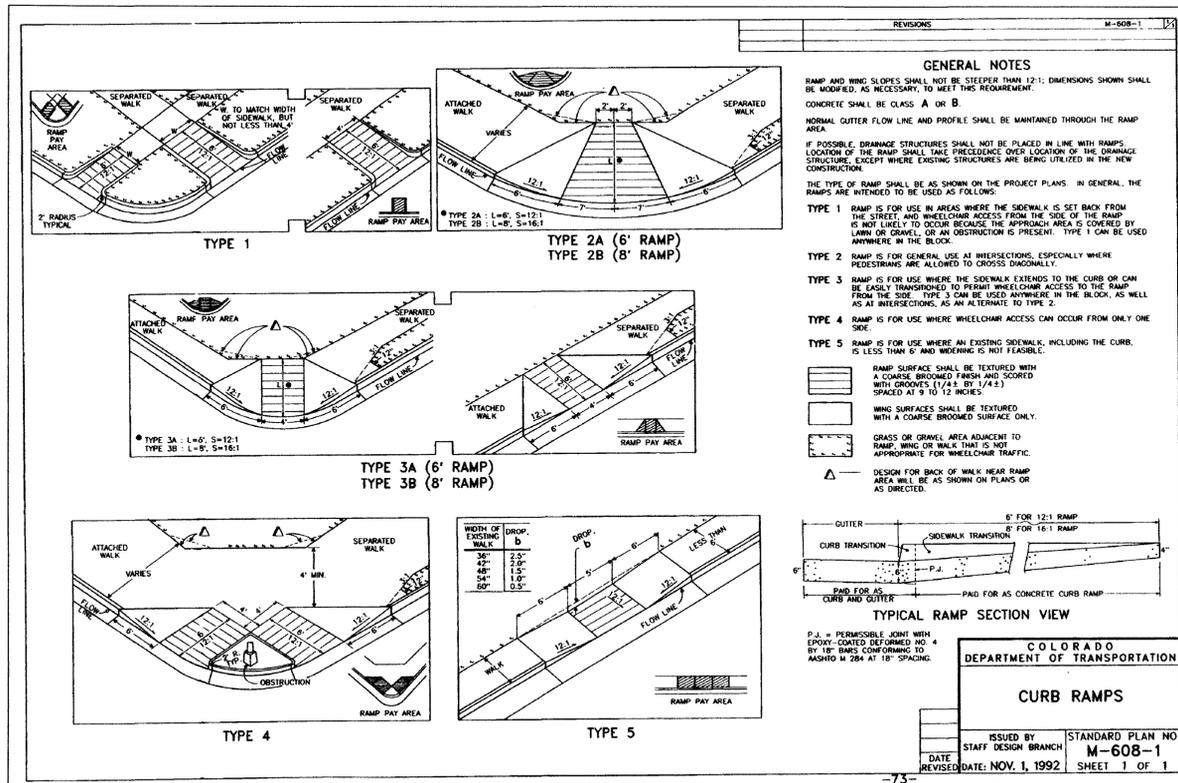
DESIGNED BY: PM
DRAWN BY: DH
CHECKED BY:
PROJ. MANAGER: MC

SUPERIOR MARKETPLACE
PHASE 5
SUPERIOR COLORADO

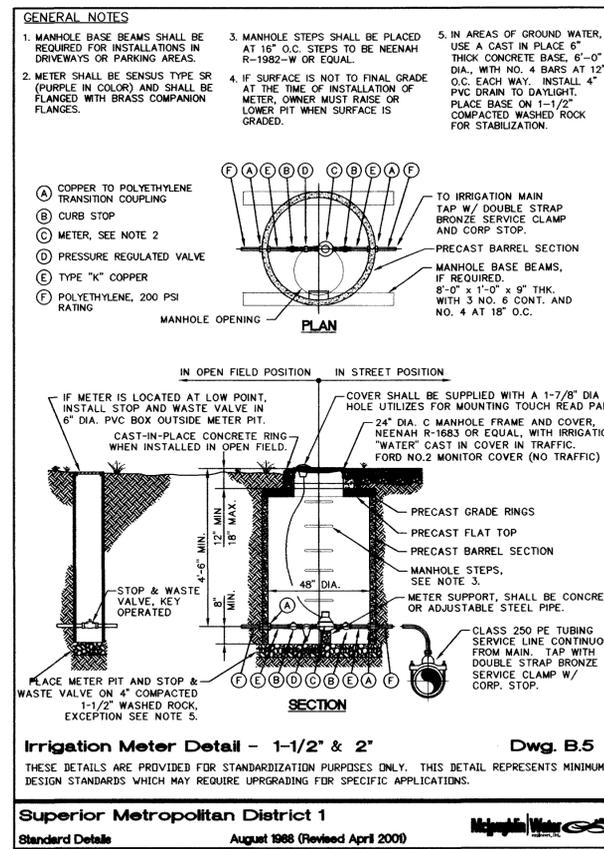
CONSTRUCTION DETAILS

DRAWING NO. **C8.2**

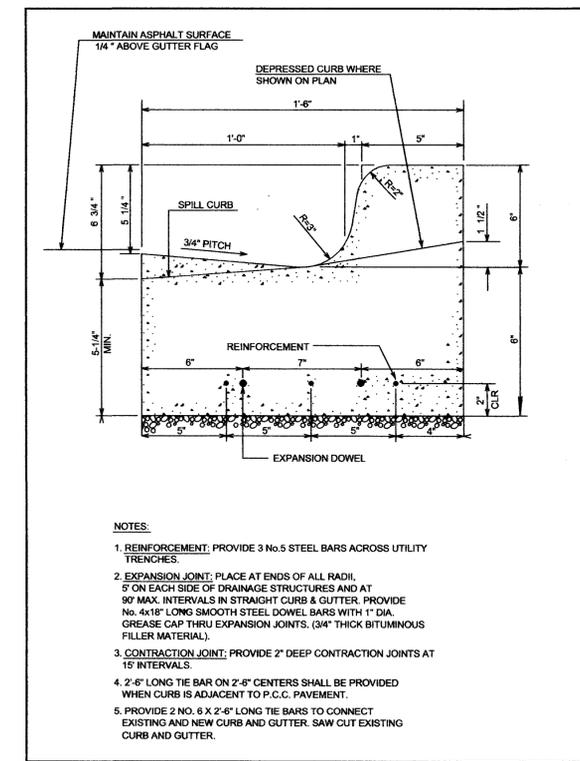
THIS DOCUMENT IS THE PROPERTY OF V3 CONSULTANTS AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 CONSULTANTS.



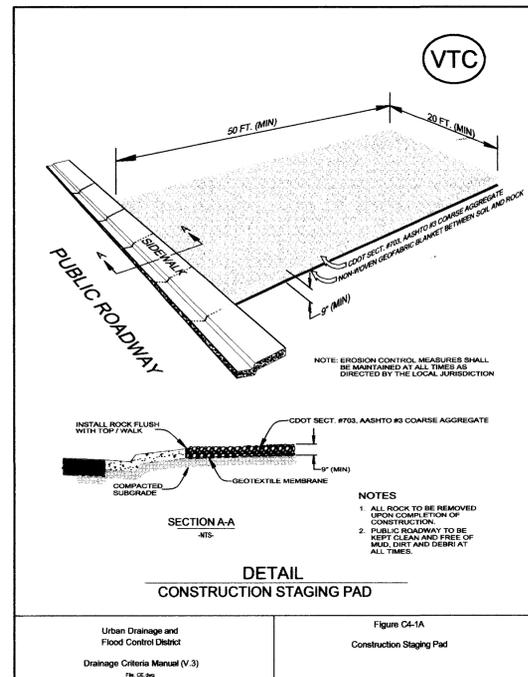
3.1 CURB RAMPS



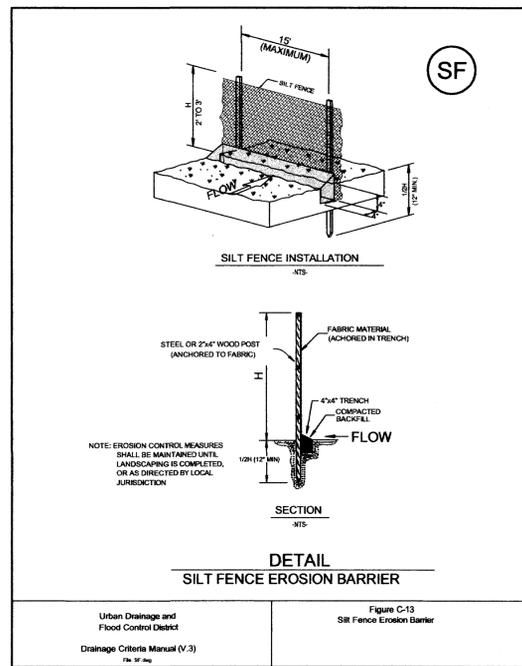
3.2 IRRIGATION METER 1-1/2" & 2"



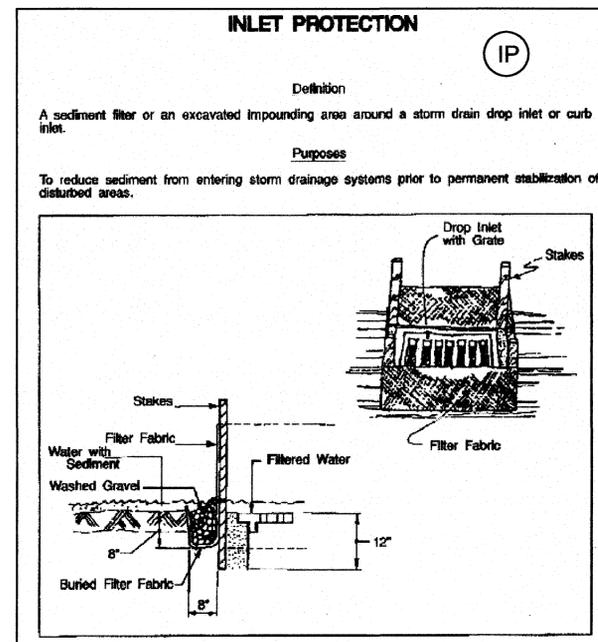
3.3 6" CURB AND 12" GUTTER



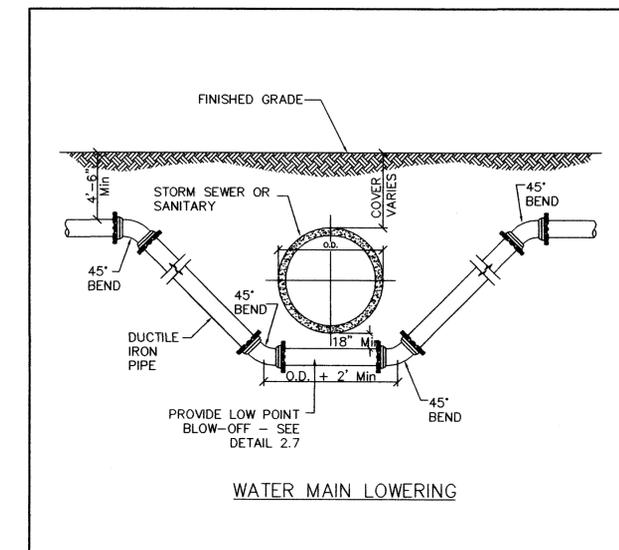
3.4 VEHICLE TRACKING CONTROL



3.5 SILT FENCE



3.6 INLET PROTECTION



3.7 WATER MAIN LOWERING

REVISIONS			
NO.	DATE	DESCRIPTION	
1	28 Jun 2002	REVISED PER TOWN'S COMMENTS	
2	27 Sept 2002	REVISED PER CLIENT	

PROJ. NO.:	02009	DESIGNED BY:	PM
FILE NAME:	C8.3-Details	DRAWN BY:	DH
DATE:	19 Apr 2002	CHECKED BY:	AH
SCALE:	NTS	PROJ. MANAGER:	MC