

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18S, R60W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
COVER SHEET

## FINAL DEVELOPMENT PLAN SHEET C1 OF 12

LAND USE	ACREAGE	PERCENTAGE
<b>Zoning</b>		
Rock Creek Buffer Area (Public)		
Planned Development (R-M)		
Public Road (Public)		
<b>Multi-Family (URSDA 9-77)</b>		
Lot area:	6.67	33.9%
Open space:		
Lot Open Space:	1.86 (ESTIMATED)	
Common open space:	3.34	16.9% useable
Public open space: (Tract F, G & P)	5.58	28.3% 10.7%
Parking and private streets:	1.80	9.2%
Public rights of way:	2.31	11.7%
<b>TOTAL:</b>	<b>16.70</b>	<b>100%</b>
<b>Rock Creek Buffer Area (Tract K)</b>		
Public/Common/Useable open Space	<b>3.80</b>	<b>100%</b>

ESTIMATED USAGE	GALLONS PER DAY
POTABLE WATER	75 EQR's
Common open space:	20,250 gpd
SANITARY SEWER	20,250 gpd

RESIDENTIAL DEVELOPMENT CRITERIA	Multi-Family Residential units, drainage facilities, public and private recreation amenities.
Permitted Uses:	
Density:	.75 units/18.50 acres = 4.05 units/acre
Maximum number of dwelling units:	75
Maximum building height:	3'

**RESIDENTIAL:** Building heights in the residential area are limited to 35' including walkouts and garden levels. Heights shall be measured from the established average base grade of the structure to the top or highest point of the structure or accessory appearance. Excepted accessory appearances are chimneys, utility ventilation pipes and lightning rods.

**Building setbacks:**  
Front yard setback: 25' min.  
From Coaltion Road: 25' min.  
From local streets: 25' min.  
Front setback from private drive: 20' min.  
Side yard (principal and accessory uses abutting public street): From any property line: 10' min.

**Other setbacks:**  
From adjacent single family residences: 300' min.  
Buildings may encroach as shown on sheet C2 & C3 of 12.  
Minimum separation between buildings: 20'  
See Note a on this sheet under General Notes, 1. Setbacks along drainageway: 80'  
Building setbacks to other property lines 0' as shown.  
(Landscape buffering will be provided adjacent to any building which encroaches into the 25-foot building setback.)

**Parking and Drives:**  
Multi-Family Parking Ratios: .2/unit for 2 bdrm units  
3.5/unit for 3 bdrm units  
3.5/unit for 4 bdrm units  
Note 1: Tandem driveway spaces may be used to meet parking requirements.  
Note 2: Each residential unit must have a minimum 2-car garage.  
Notes parking requirement: 0.25 spaces per unit-19 spaces  
Parking aisles and private drives: .24' typical

**Public Right of Way:** 60' min.  
**Open Spaces:** .68.8% total useable open space

**RESIDENTIAL:**  
a. Public open space is as called out in table on Sheets C2 and C3.  
b. Common open space is that area which is owned and/or maintained by a homeowner association including but not limited to private recreational amenities and landscaping.

**DEVELOPER**  
ROCK CREEK HOMES, LLC  
9540 E. JEWELL AVENUE, SUITE A  
DENVER, CO 80231  
CONTACT: MARK LOCKWOOD  
PHONE: (303) 671-7151  
FAX: (303) 671-0281

**LANDSCAPE ARCHITECT**  
NUSZER KOPATZ URBAN DESIGN ASSOC.  
1129 CHEROKEE STREET  
DENVER, CO 80204  
CONTACT: ALIBON WALCZAK  
PHONE: (303) 534-3881  
FAX: (303) 534-3884

**ARCHITECT**  
KEPHART ARCHITECTS  
770 SHERMAN STREET  
DENVER, CO 80203  
CONTACT: DOUGLAS J. VAN LERBERGHE  
PHONE: (303) 832-4474  
FAX: (303) 832-4476

**PLANNER**  
THOMASCH & ASSOCIATES  
696 S. COLORADO BLVD., SUITE 480  
DENVER, CO 80246  
CONTACT: MOLLY B. THOMASCH  
PHONE: (303) 777-2332  
FAX: (303) 722-7281

**CIVIL ENGINEER/SURVEYOR**  
ROCKY MOUNTAIN CONSULTANTS, INC.  
8301 E. PRENTICE AVE.  
SUITE 101  
GREENWOOD VILLAGE, CO 80111  
CONTACT: PHILLIP BOWMAN  
PHONE: (303) 741-8000  
FAX: (303) 741-8106

**LEGAL DESCRIPTION**  
A parcel of land located in the Northwest One-Quarter of the Northwest One-Quarter of Section 31, Township 1 South, Range 60 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado being more particularly described as follows:  
Commencing at the Northeast corner of the Northwest One-Quarter of the Northwest One-Quarter of Section 31; Thence South 02°04'40" East along the East line of said Northwest One-Quarter of the Northwest One-Quarter of a distance of 320.01 feet to the Southeast corner of that tract of land as described in deed recorded as Reception Number 1711260, of the records of Boulder County, Colorado, and the True Point of Beginning;  
Thence South 00°14'40" East along said East line of said Northwest One-Quarter of the Northwest One-Quarter, a distance of 102.17 feet to the Southeast corner of said Northwest One-Quarter of the Northwest One-Quarter; Thence South 89°16'23" West along the South line of said Northwest One-Quarter of the Northwest One-Quarter, a distance of 124.50 feet to a point on the Eastern Right-of-Way line of McCoin Boulevard described as Film 507 as Reception Number 769091 of Boulder County, Colorado, said point being on a north-south bearing 88 18 09" which the radius point bears North 80°46'26" East; Thence along said eastern Right-of-Way line and the arc of said curve 43.39 feet, having a central angle of 0°04'02"; a radius of 374.00 feet (chord of said curve bears North 03°59'31" West a distance of 43.37 feet); Thence along the Northeastly Right-of-Way of proposed Coaltion Road the following table (12) Courses:  
1) North 85°02'54" East a distance of 65.82 feet to a point of curvature;  
2) Thence along the arc of a curve to the left, concave to the north, having a central angle of 0°59'23" and a radius of 454.00 feet a distance of 46.40 feet (chord of said curve bears North 82°44'52" East a distance of 46.36 feet);  
3) Thence North 39°49'11" East a distance of 92.75 feet to a point of curvature;  
4) Thence along the arc of a curve to the left, concave northwesterly, having a central angle of 58°39'08" and a radius of 203.00 feet a distance of 122.84 feet (chord of said curve bears North 02°59'37" East a distance of 117.50 feet) to a point of reverse curvature;  
5) Thence along the arc of a curve to the right, concave southwesterly, having a central angle of 24°22'43" and a radius of 430.00 feet a distance of 182.86 feet (chord of said curve bears North 33°27'24" East a distance of 181.58 feet);  
6) Thence North 45°32'46" East a distance of 34.77 feet to a point of curvature;  
7) Thence along the arc of a curve to the left, concave northwesterly, having a central angle of 31°23'03" and a radius of 320.00 feet a distance of 175.28 feet (chord of said curve bears North 29°25'10" East a distance of 173.10 feet);  
8) Thence North 14°59'43" East a distance of 229.29 feet to a point of curvature;  
9) Thence along the arc of a curve to the right, concave southwesterly, having a central angle of 45°24'38" and a radius of 430.00 feet a distance of 340.80 feet (chord of said curve bears North 36°52'02" East a distance of 331.95 feet);  
10) Thence North 59°24'21" East a distance of 21.00 feet to a point of curvature;  
11) Thence along the arc of a curve to the left, concave northwesterly, having a central angle of 60°40'58" and a radius of 130.00 feet a distance of 121.09 feet (chord of said curve bears North 29°25'22" East a distance of 121.24 feet);  
12) Thence North 01°06'37" West a distance of 182.51 feet to a point on the southerly line of that tract of land as described and recorded on Film 2164 as Reception Number 01851319, of the records of said Boulder County, Colorado, Thence along said southerly line the following three (3) Courses:  
1) North 87°28'48" East a distance of 80.25 feet;  
2) Thence North 82°02'28" East a distance of 137.28 feet;  
3) Thence North 73°29'22" East a distance of 112.85 feet to a point on the southerly line of that tract of land as described and recorded on Reception Number 01843011, of the records of said Boulder County, Colorado;  
Thence North 88°51'59" East along said southerly Right-of-Way line a distance of 23.64 feet to the northeast corner of that tract of land as described in said deed recorded as Reception Number 1711260; Thence South 02°59'01" West along the west line of said tract of land a distance of 99.73 feet; Thence North 89°38'20" East along the southerly line of said tract of land a distance of 102.10 feet to the southeast corner of said tract of land and the True Point of Beginning.  
Said Parcel of land contains 89,971 square feet or 19.986 acres, more or less.

**TRACT K**  
A tract of land being a part of the Northwest Quarter of the Northwest Quarter of Section 31, Township 1 South, Range 60 West of the Sixth Principal Meridian, Town of Superior, County of Boulder, State of Colorado and being described as follows:  
Commencing at the Northwest Corner of the Northwest Quarter of the Northwest Quarter of said Section 31 and considering the North line of said Northwest Quarter to bear North 88 51'59" East, with all bearings contained herein relative thereto; Thence South 31 57'56" East, a distance of 87.33 feet to a point at the intersection of the easterly right-of-way line of McCoin Boulevard as described in deed recorded as Reception Number 769091 in the records of the Office of the Boulder County Clerk and Recorder; and the southerly Right-of-Way line of Coaltion Road, as described in that deed recorded on Film 2164, of Reception Number 01851319, said Boulder County Records, said point being the "Point of Beginning"; Thence along said southerly Right-of-Way line of Coaltion Road the following table (5) Courses:  
1) South 87 02'08" East, a distance of 140.65 feet;  
2) South 00 00'00" West, a distance of 46.17 feet;  
3) North 88 51'59" East, a distance of 25.28 feet;  
4) South 33 05'18" East, a distance of 43.08 feet;  
Thence departing said southerly Right-of-Way line, South 58 55'08" West, a distance of 72.89 feet; Thence South 47 44'14" West, a distance of 68.12 feet; Thence South 56 47'33" West, a distance of 129.19 feet; Thence North 88 44'29" West, a distance of 69.27 feet; Thence North 84 23'44" West, a distance of 63.12 feet; Thence South 82 52'40" West, a distance of 93.99 feet; Thence South 57 02'28" West, a distance of 32.29 feet; Thence South 75 43'17" West, a distance of 38.99 feet; Thence South 84 22'53" West, a distance of 83.45 feet; Thence North 86 15'19" West, a distance of 59.83 feet; Thence South 05 02'54" West, a distance of 17.75 feet; Thence South 22 12'47" West, a distance of 80.25 feet; Thence South 04 52'00" West, a distance of 80.43 feet; Thence South 09 36'57" West, a distance of 49.17 feet; Thence South 29 02'08" West, a distance of 48.45 feet; Thence South 63 04'09" West, a distance of 20.88 feet to a point on the easterly Right-of-Way line of said McCoin Boulevard; Thence North 00 16'01" East, along said easterly Right-of-Way line, a distance of 561.86 feet to the "Point of Beginning", containing 3,801 acres or 165,376 square feet, more or less.

**GENERAL NOTES:**  
1. **SETBACKS:**  
a. Exterior design elements of buildings such as eaves, dormers, bay windows, and patios may encroach 30".  
b. The 150' separation requirement between multi-family and commercial buildings is waived between a multi-family building and a one story building with a maximum bldg. height of 25' and architectural roof elements not to exceed a height of 32' for the following uses: professional and business offices, dental and medical clinics, public and governmental facilities, community centers, banks, savings and loan with drive-up window, parks and recreation areas, veterinary clinics, child care centers, family care homes, large total care, and temporary uses.

**2. OPEN SPACE:**  
Means a parcel of land, an area of water, or a combination of land and water within this project designed and intended primarily for the use or enjoyment of residents, or the general public exclusive of buildings, and rights-of-way for streets.

**a. COMMON OPEN SPACE** means an area designed and intended primarily for the use of lawful owners, residents and occupants of the project but not necessarily the general public which is owned and maintained by a homeowners' association.

**b. PUBLIC OPEN SPACE** means an area designed for use by both the owners within the development and the general public. Public open space may be publicly or privately owned.

**c. USEABLE OPEN SPACE** is the combination of common open space, public open space, and lot open space.

**d. LOT OPEN SPACE** is that lot area outside of the building envelope that is for the use of lawful owners, residents and occupants of the project but not necessarily the general public which is maintained by the homeowners' association.

**3. VIEW CORRIDORS:**  
a. View corridor requirements have been satisfied. See sheet L3 of 4 of the PDP.

**4. USE AND/OR DEVELOPMENT STANDARDS:**  
a. Any uses and/or development standard not specifically addressed herein shall be subject to and determined by the most current provisions of the Town of Superior's Land Use Code.

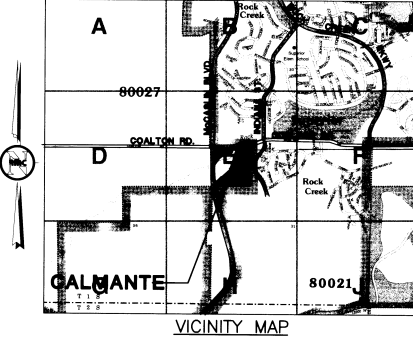
**5. UNIT COUNT:**  
a. The minimum number of dwelling units allowed on the Final Development Plan will not be less than seventy-five (75).

**6. RECREATIONAL AMENITIES:**  
a. The Developer will provide:  
1. a minimum of a 1000 square foot children's play lot  
2. pedestrian trails as shown on the plans  
3. croquet / badminton field  
4. horseshot court  
5. bench with a shade structure  
6. bicycle racks  
7. chess / checkers board  
8. picnic facilities

**7. 300 FOOT BUFFER ENCROACHMENT:**  
a. Each final building encroachment into the 300 foot buffer represented on the Site Plan (Sheet C2 and C3 of 12) may be exceeded by up to fifteen feet as reasonably permitted by staff.

**8.** To the extent possible plant materials from the Town of Superior suggested plant list are incorporated into the landscape plan, see sheet L4.

**9. VESTED RIGHTS:**  
This plan constitutes a site specific development plan as defined in 24-68-101, et seq., C.R.S. and Section 18-571 of the Town of Superior land use code. The terms and conditions of such plan approval are contained in Resolution No. 1 adopted by the Town Board of Trustees on 10/18/02, and available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado, 80027.



VICINITY MAP  
SCALE: 1" = 200'

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SHEET 01 OF 01	CONSTRUCTION PHASING PLAN

**HOLDER OF DEED OF TRUST**  
I CERTIFY THAT FIRST AMERICA BANK, SSB IS THE HOLDER OF A DEED OF TRUST FOR THE PROPERTY AND CONSENTS TO THE ABOVE FINAL DEVELOPMENT PLAN. IN WITNESS WHEREOF I HERETO SET MY HAND THIS 4 DAY OF December, 2002

BY: *[Signature]*  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF Dec, 2002.  
BY: *[Signature]*  
AS HOLDER OF DEED OF TRUST FOR ROCK CREEK HOMES, LLC.  
MY COMMISSION EXPIRES 12/16/04

**TOWN CLERK'S CERTIFICATE**  
STATE OF COLORADO, TOWN OF SUPERIOR SS  
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 10:00 A.M. O'CLOCK, December 9, A.D. 2002, AND IS DULY RECORDED.

BY: *[Signature]*  
**TOWN CLERK**

**CERTIFICATE OF OWNERSHIP**  
WE CERTIFY THAT ROCK CREEK HOMES, LLC, IS THE OWNER OF THE PROPERTY, AND WE CONSENT TO THE ABOVE FINAL DEVELOPMENT PLAN

IN WITNESS WHEREOF I HERETO SET MY HAND THIS 6 DAY OF DEC, 2002  
BY: *[Signature]* MANAGER.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6 DAY OF DEC, A.D. 2002, BY *[Signature]* AS MANAGER OF ROCK CREEK HOMES, LLC, A COLORADO LIMITED LIABILITY COMPANY  
MY COMMISSION EXPIRES OCT 22, 2006

BY: *[Signature]*  
**TOWN CLERK**

**PLANNING COMMISSION RECOMMENDATION**  
RECOMMENDED THIS 20th DAY OF August, A.D. 2002

BY: *[Signature]*  
**TOWN BOARD OF TRUSTEES' CERTIFICATE**

APPROVED THIS 9th DAY OF September, A.D., 2002  
BY THE BOARD OF TRUSTEES, SUPERIOR, COLORADO. THIS APPROVAL IS WITH THE UNDERSTANDING THAT ALL EXPENSES INVOLVING NECESSARY IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, LANDSCAPING CURBS, GUTTER, STREET LIGHTS, STREET SIGNS, AND SIDEWALKS, SHALL BE FINANCED BY OTHERS AND NOT THE TOWN OF SUPERIOR.

BY: *[Signature]*  
**TOWN CLERK**

**SUPERIOR METROPOLITAN DISTRICT NO. 3 CERTIFICATE**  
APPROVED THIS 9th DAY OF January, A.D., 2003, SUPERIOR METROPOLITAN DISTRICT NO. 3, SUPERIOR, COLORADO.

BY: *[Signature]*  
**PRESIDENT**

Memo of Record  
Recorded on June 25, 2003  
at Boulder County Clerk's Office  
And Recorder's Office  
Recording # 2461357



NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	8/24/02	PHB
2	PER TOWN COMMENTS	7/10/02	PHB
3	PER TOWN COMMENTS	6/23/02	PHB
4	PER TOWN COMMENTS	10/4/02	PHB
5	PER TOWN COMMENTS	11/18/02	PHB
6	FINAL MYLAR	12/2/02	PHB

ROCKY MOUNTAIN CONSULTANTS, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERING - PLANNING  
8301 E. PRENTICE AVE. SUITE 101  
GREENWOOD VILLAGE, CO 80111  
PHONE: (303) 741-8000  
FAX: (303) 741-8106  
Date: MARCH 2002 Job No. 22-3891.003.00



COVER SHEET  
SHEET C1 OF 12  
Page 1 of 25



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
SITE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C2 OF 12

TRACT	ACREAGES	OWNERSHIP/MAINTENANCE	USAGE	USAGE TYPE
CALMANTE				
BLOCK 3, LOTS 1-10	0.87	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 4, LOTS 1-29	2.22	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 5, LOTS 1-15	1.29	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 6, LOTS 1-15	1.37	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 7, LOTS 1-10	0.93	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
TRACT "A"	0.47	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "B"	0.20	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "C"	0.08	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY
TRACT "D"	0.05	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY
TRACT "E"	0.07	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY
TRACT "F"	0.67	SUPERIOR METROPOLITAN DISTRICT #1	PUBLIC O.S.	DRAINAGE
TRACT "G"	4.05	SUPERIOR METROPOLITAN DISTRICT #1	PUBLIC O.S.	DRAINAGE
TRACT "H"	0.35	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "I"	0.45	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY
TRACT "J"	0.30	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY
TRACT "K"	3.80	SUPERIOR METROPOLITAN DISTRICT #1	PUBLIC O.S.	DRAINAGE
TRACT "L"	0.18	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY
TRACT "M"	0.25	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY
TRACT "N"	0.26	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "O"	0.44	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "P"	0.86	SUPERIOR METROPOLITAN DISTRICT #3	PUBLIC O.S.	OPEN SPACE/UTILITY
TRACT "Q"	0.25	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TIERRA RIDGE CT (TRACT T)	0.86	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CASALON CR (TRACT U)	0.65	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CALMANTE CR (TRACT S)	0.14	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CALMANTE PL. (TRACT R)	0.16	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CALMANTE AVENUE	2.31	SUPERIOR METROPOLITAN DISTRICT #3	PUBLIC	PUBLIC ROADWAY

PRIVATE STREET SECTION

NTS

R.O.W.

6" MOUNTABLE CURB & GUTTER

2% 2%

6" VERTICAL CURB & GUTTER W/ 8" DETACHED WALK

LOCAL STREET SECTION

NTS

R.O.W.

7" 18" 60" R.O.W. 18" 4" 8" WALK

2% 2%

LEGEND:

- STREET CENTER LINE
- CREEK CENTER LINE
- RESIDENTIAL LOT LINES
- 100 YR FLOOD PLAIN BOUNDARY
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- ③ PROPOSED SIGN TYPE, SEE SHEET C11
- R.O.W./LOT LINE
- EASEMENT LINE
- EXISTING FENCE
- 100 YR WATER SURFACE
- SPLIT RAIL FENCE

NOTES:

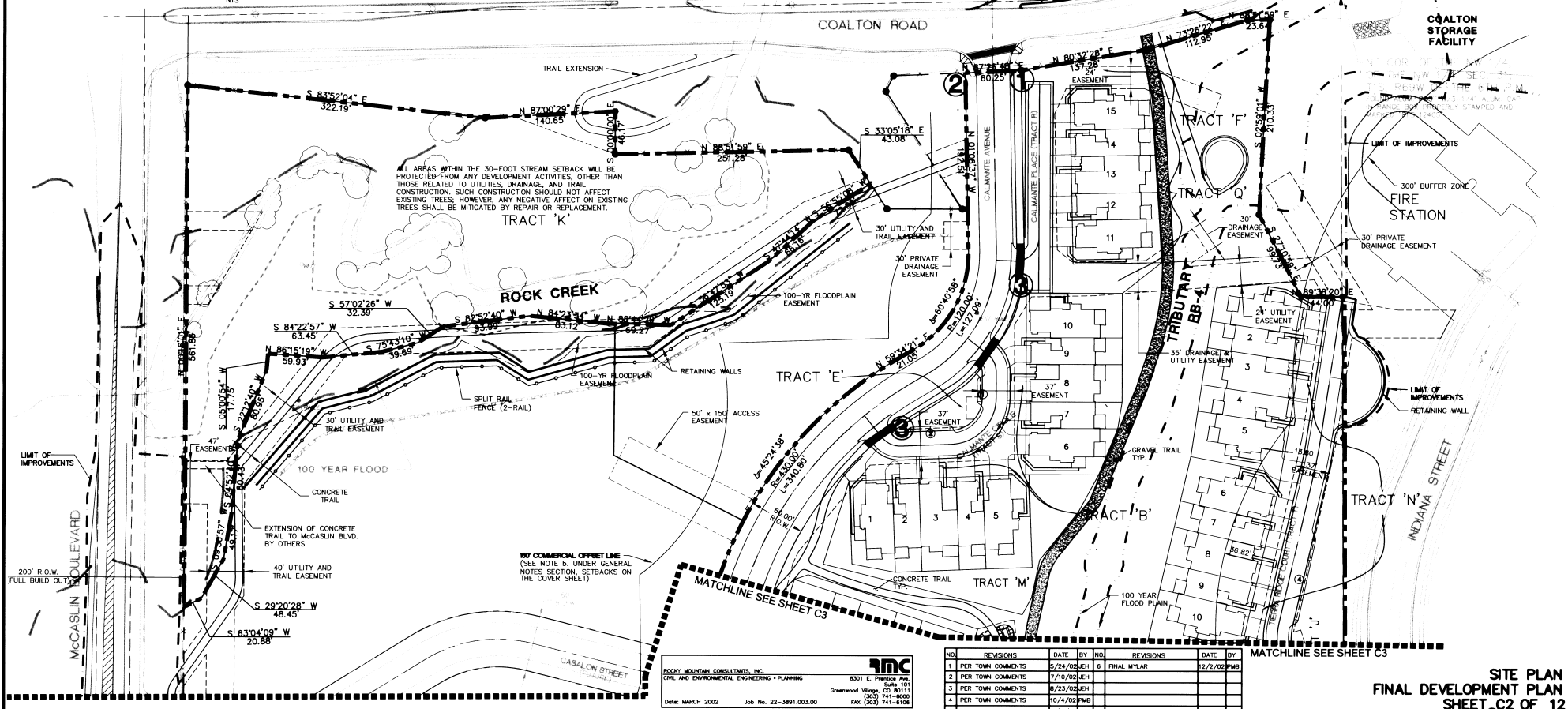
- THE LAYOUT SHOWN FOR McCASLIN IS FOR GRAPHIC PURPOSES. THE ULTIMATE SECTION FOR McCASLIN IS NOT YET DESIGNED. TO BE BUILT BY OTHERS.
- FINAL DESIGN AND FINAL GRADING FOR ROCK CREEK, TRIBUTARY BB-4, AND COALTON STORAGE FACILITY WILL BE PROVIDED BY SUPERIOR METROPOLITAN DISTRICT #1

PROJECT BENCHMARK

NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH P.M. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOOK ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49. NGVD 29 ELEVATION 5527.75'



SCALE: 1" = 50'



**RMC**  
ROCKY MOUNTAIN CONSULTANTS, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING  
5301 E. Prairie Ave.  
Suite 111  
Greenwood Village, CO 80111  
(303) 751-8000  
Fax (303) 741-8106  
Date: MARCH 2002 Job No. 22-3891.003.00

NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	JCH	6	FINAL MYLAR	12/27/02	PHB
2	PER TOWN COMMENTS	7/10/02	JCH				
3	PER TOWN COMMENTS	8/23/02	JCH				
4	PER TOWN COMMENTS	10/4/02	PHB				
5	PER TOWN COMMENTS	11/18/02	PHB				

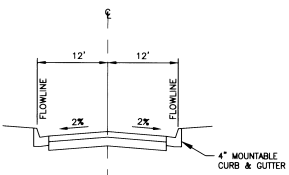
SITE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C2 OF 12

# CALMANTE PLANNED DEVELOPMENT

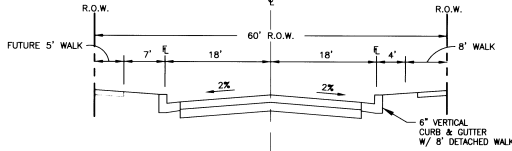
A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R30W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
**FINAL DEVELOPMENT PLAN**  
SHEET C3 OF 12

**PROJECT BENCHMARK**  
NORTHWEST CORNER OF SECTION 31, T18, R30W 6TH. P.M. A FOUND MONUMENT WITH A  
3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF  
McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49  
NVD: 28 ELEVATION 5527.75'

TRACT	ACRES	OWNER/MAINTENANCE	USAGE	USAGE TYPE
CALMANTE				
BLOCK 3, LOTS 1-10	0.87	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 4, LOTS 1-25	2.22	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 5, LOTS 1-15	1.29	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 6, LOTS 1-15	1.37	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
BLOCK 7, LOTS 1-10	0.93	PRIVATE/ROCK CREEK HOMES, LLC	PRIVATE	RESIDENTIAL
TRACT "A"	0.47	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "B"	0.20	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "C"	0.08	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "D"	0.05	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "E"	0.07	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "F"	0.67	SUPERIOR METROPOLITAN DISTRICT #1	PUBLIC O.S.	DRAINAGE
TRACT "G"	4.05	SUPERIOR METROPOLITAN DISTRICT #1	PUBLIC O.S.	DRAINAGE
TRACT "H"	0.35	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "I"	0.45	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "J"	0.30	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "K"	3.80	SUPERIOR METROPOLITAN DISTRICT #1	PUBLIC O.S.	DRAINAGE
TRACT "L"	0.18	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "M"	0.25	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "N"	0.28	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "O"	0.44	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "P"	0.86	SUPERIOR METROPOLITAN DISTRICT #3	PUBLIC O.S.	OPEN SPACE/UTILITY/ACCESS
TRACT "Q"	0.25	ROCK CREEK HOMES, LLC	PRIVATE O.S.	OPEN SPACE/UTILITY/ACCESS
TERRA RIDGE CT (TRACT 1)	0.86	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CASALON DR (TRACT U)	0.85	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CALMANTE DR (TRACT S)	0.14	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CALMANTE PL. (TRACT R)	0.16	ROCK CREEK HOMES, LLC	PRIVATE	ROADWAY
CALMANTE AVENUE	2.31	SUPERIOR METROPOLITAN DISTRICT #3	PUBLIC	PUBLIC ROADWAY



PRIVATE STREET SECTION

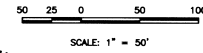


LOCAL STREET SECTION

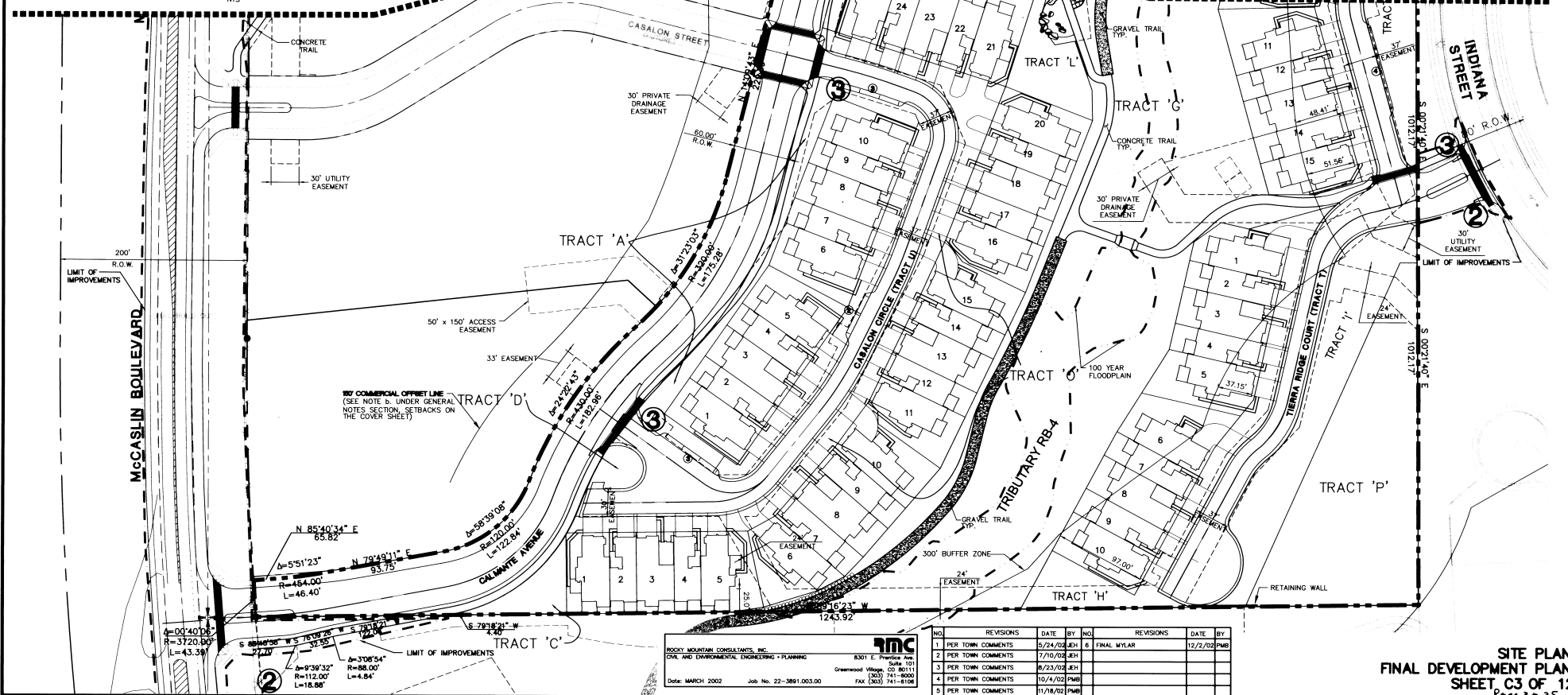
- LEGEND:**
- STREET CENTER LINE
  - CREEK CENTER LINE
  - - - RESIDENTIAL LOT LINES
  - - - 100' R.F. BOUNDARY
  - - - FLOOD PLAN BOUNDARY
  - - - SCORED CONCRETE CROSSWALK
  - ③ PROPOSED SIGN TYPE, SEE SHEET C11
  - - - R.O.W./LOT LINE
  - - - EASEMENT LINE
  - - - EXISTING FENCE
  - - - 100' R.F. WATER SURFACE
  - - - SPLIT RAIL FENCE

**NOTES:**

- THE LAYOUT SHOWN FOR McCASLIN IS FOR GRAPHIC PURPOSES. THE ULTIMATE SECTION FOR McCASLIN IS NOT YET DESIGNED. TO BE BUILT BY OTHERS.
- FINAL DESIGN AND FINAL GRADING FOR ROCK CREEK, TRIBUTARY RB-4, AND COALTON STORAGE FACILITY WILL BE PROVIDED BY SUPERIOR METROPOLITAN DISTRICT #1



MATCHLINE SEE SHEET C2



**Rock Mountain Consultants, Inc.**  
CIVIL AND ENVIRONMENTAL ENGINEERING - PLANNING  
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Greenwood Village, CO 80111  
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FAX (303) 741-8108  
Date: MARCH 2002 Job No. 22-3881.003.00

NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	JEH	6	FINAL MYLAR	12/2/02	PMB
2	PER TOWN COMMENTS	7/10/02	JEH				
3	PER TOWN COMMENTS	8/23/02	JEH				
4	PER TOWN COMMENTS	10/4/02	PMB				
5	PER TOWN COMMENTS	11/18/02	PMB				

**SITE PLAN**  
**FINAL DEVELOPMENT PLAN**  
**SHEET C3 OF 12**  
Page 19 of 25



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
**FINAL GRADING PLAN**

## FINAL DEVELOPMENT PLAN SHEET C4 OF 12

50 25 0 50 100

SCALE: 1" = 50'

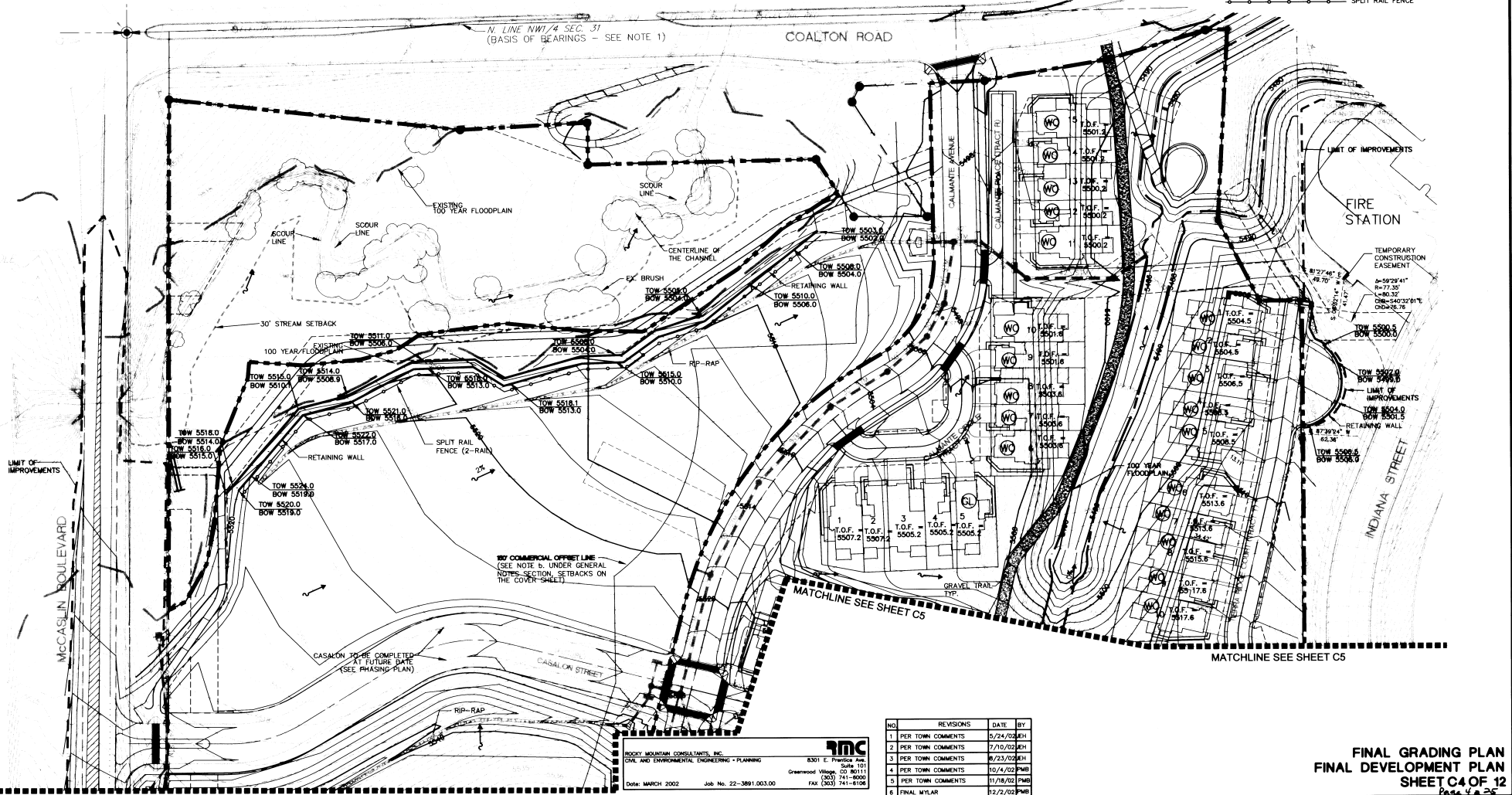
**PROJECT BENCHMARK**

NORTHWEST CORNER OF SECTION 31, T18, R69W 6TH PM, A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD, FIELD BOOK 262 PAGE 49 NGVD 29 ELEVATION 5527.75'

**NOTES:**

1. T.O.W. = APPROXIMATE TOP OF WALL ELEVATION
2. B.O.W. = APPROXIMATE BOTTOM OF WALL ELEVATION

LEGEND	
	TRACT BOUNDARY LINE
	SECTION LINE
	BOUNDARY LINE
	PROPERTY LINE
	RIGHT-OF-WAY
	CENTER LINE
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	STORM SEWER PIPE
	LIMITS OF NATURAL LANDSCAPING
	300' BUFFER LINE
	STORM SEWER INLET
	WALK OUT UNIT
	GARDEN LEVEL UNIT
	FLOW ARROW
	BOUNDARY OF FINAL DEVELOPMENT PLAN
	SCORED CONCRETE CROSSWALK
	100 YR. FLOOD PLAIN BOUNDARY
	SPLIT RAIL FENCE



NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	2/24/02	ESH
2	PER TOWN COMMENTS	7/10/02	ESH
3	PER TOWN COMMENTS	8/23/02	ESH
4	PER TOWN COMMENTS	10/4/02	PMH
5	PER TOWN COMMENTS	1/18/03	PMH
6	FINAL MYLAR	12/2/02	PMH

**ROCKY MOUNTAIN CONSULTANTS, INC.**  
CIVIL AND ENVIRONMENTAL ENGINEERING - PLANNING  
8301 E. Frontview Ave. Suite 101  
Greenwood Village, CO 80111  
(303) 741-6000  
FAX (303) 741-6106  
Date: MARCH 2002 Job No. 22-3891.003.00

**FINAL GRADING PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C4 OF 12  
Page 4 of 26**

50 25 0 50 100

SCALE: 1" = 50'

**PROJECT BENCHMARK**

NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH, PM, A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD, FIELD BOOK 262 PAGE 49 NGVD 29 ELEVATION 5527.75'

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6TH P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
FINAL GRADING PLAN

## FINAL DEVELOPMENT PLAN SHEET C5 OF 12

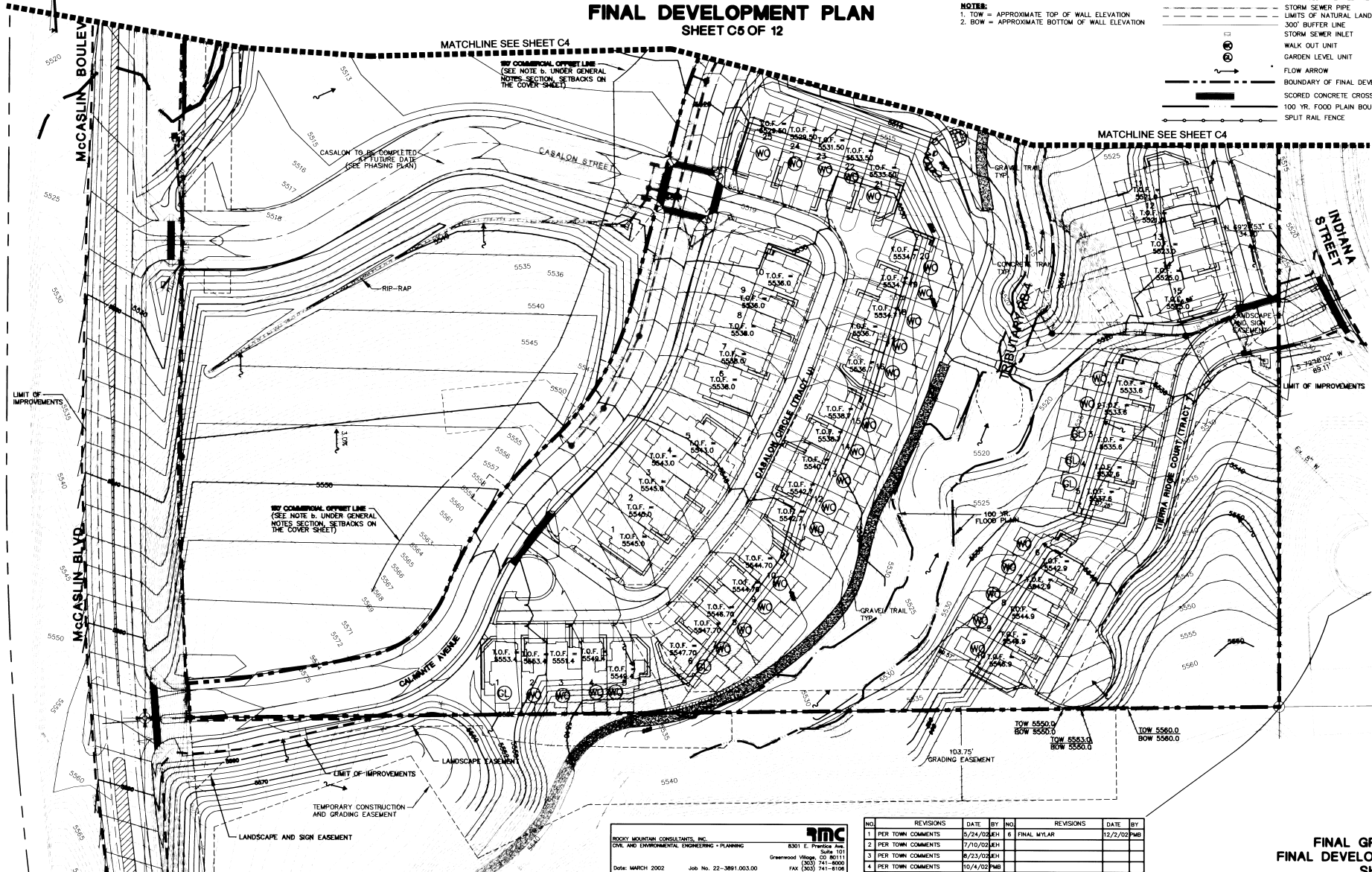
**NOTES:**  
1. T.O.W. = APPROXIMATE TOP OF WALL ELEVATION  
2. B.O.W. = APPROXIMATE BOTTOM OF WALL ELEVATION

**LEGEND**

- TRACT BOUNDARY LINE
- SECTION LINE
- BOUNDARY LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- CENTER LINE
- EXISTING INDEX CONTOURS
- EXISTING INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- PROPOSED INTERMEDIATE CONTOURS
- STORM SEWER PIPE
- LIMITS OF NATURAL LANDSCAPING
- 300' BUFFER LINE
- STORM SEWER INLET
- WALK OUT UNIT
- GARDEN LEVEL UNIT
- FLOW ARROW
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- 100 YR. FLOOD PLAIN BOUNDARY
- SPLIT RAIL FENCE

MATCHLINE SEE SHEET C4

MATCHLINE SEE SHEET C4



ROCKY MOUNTAIN CONSULTANTS, INC. **rmc**  
 CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING 8301 E. Prentiss Ave. Suite 101  
 Greenwood Village, CO 80111  
 (303) 741-8000  
 Date: MARCH 2002 Job No. 22-3891.003.00 FAX (303) 741-8108

NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	EH	6	FINAL M.Y.L.R.	12/2/02	PMB
2	PER TOWN COMMENTS	7/10/02	EH				
3	PER TOWN COMMENTS	8/23/02	EH				
4	PER TOWN COMMENTS	10/4/02	PMB				
5	PER TOWN COMMENTS	11/18/02	PMB				

**FINAL GRADING PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C5 OF 12**

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C6 OF 12

- NOTES:**
- 1) ALL BUILDING UNITS WILL HAVE INDIVIDUAL SERVICE LINES FOR THE WATER AND THE SANITARY.
  - 2) IF SOILS REPORT INDICATES SHALLOW WEATHERED CLAYSTONE THE USE OF 6000 PVC PIPE FOR THE SANITARY SEWER WILL BE REQUIRED IN AREAS WITH HIGH SWELL POTENTIAL.
  - 3) ALL PUBLIC UTILITIES TO BE CONSTRUCTED IN PHASE I DEVELOPMENT.

**PROJECT BENCHMARK**  
NORTHWEST CORNER OF SECTION 31, T18, R69W 6TH. PM. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF MCCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49 NOV-D 29 ELEVATION 5527.75'

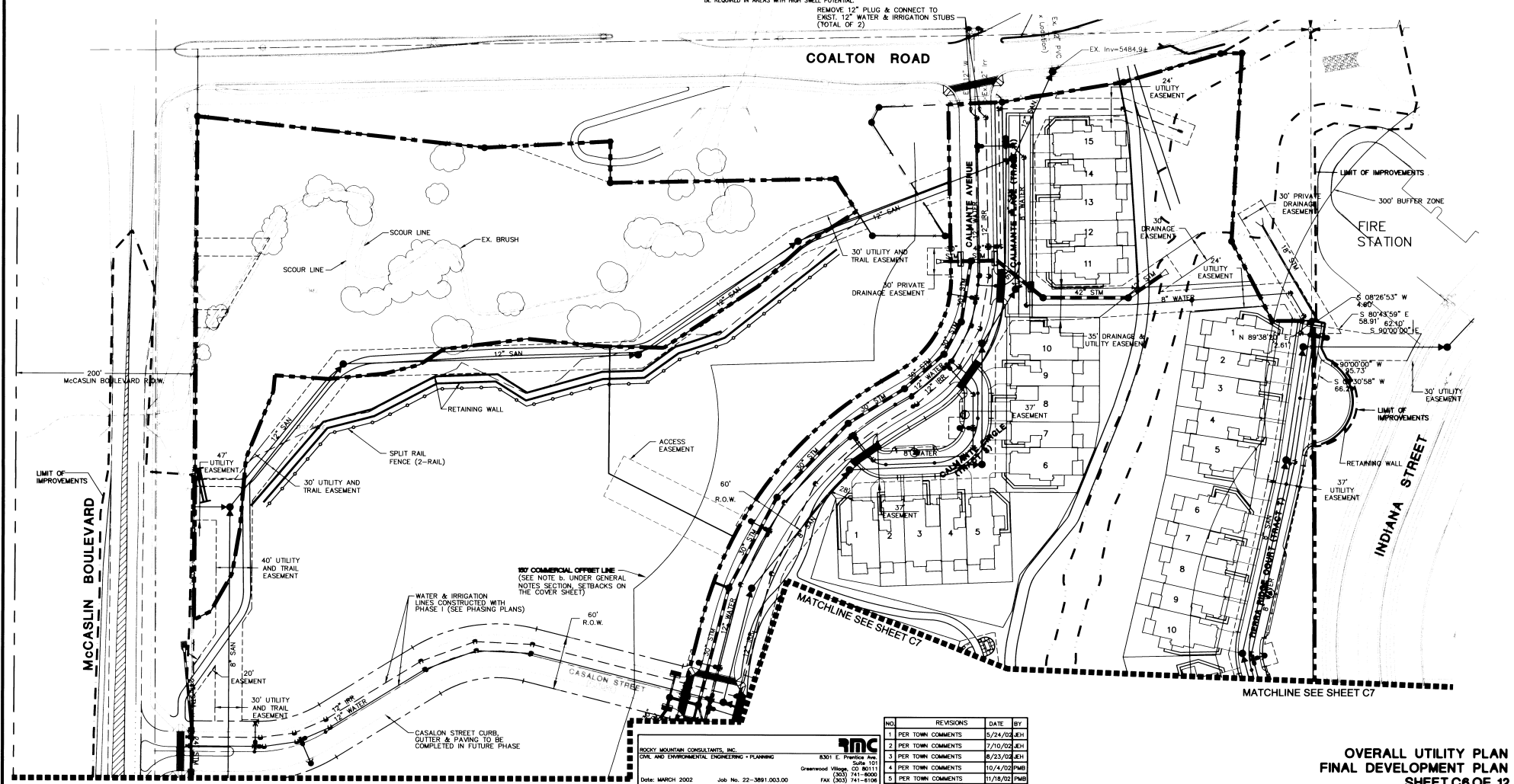
- NOTES:**
- 1) ALL BUILDING UNITS WILL HAVE INDIVIDUAL SERVICE LINES FOR THE WATER AND THE SANITARY.
  - 2) IF SOILS REPORT INDICATES SHALLOW WEATHERED CLAYSTONE THE USE OF 6000 PVC PIPE FOR THE SANITARY SEWER WILL BE REQUIRED IN AREAS WITH HIGH SWELL POTENTIAL.

REMOVE 12" PLUG & CONNECT TO EXIST. 12" WATER & IRRIGATION STUBS (TOTAL OF 2)

**LEGEND**

- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING IRRIGATION LINE
- PROPOSED WATERLINE AND FIRE HYDRANT
- PROPOSED IRRIGATION LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- UTILITY EASEMENT
- EXISTING STREET LIGHTS
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- SPLIT RAIL FENCE

50 25 0 50 100  
SCALE: 1" = 50'



NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	EH
2	PER TOWN COMMENTS	7/10/02	EH
3	PER TOWN COMMENTS	8/23/02	EH
4	PER TOWN COMMENTS	10/4/02	PMB
5	PER TOWN COMMENTS	11/18/02	PMB
6	FINAL MTLAR	12/2/02	PMB

ROCKY MOUNTAIN CONSULTANTS, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING  
8301 E. Preston Ave. Suite 101  
Greenwood Village, CO 80111  
(303) 741-6000  
FAX (303) 741-6108  
Date: MARCH 2002 Job No. 22-3891.003.00

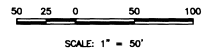
OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C6 OF 12  
Page 6 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C7 OF 12

## LEGEND

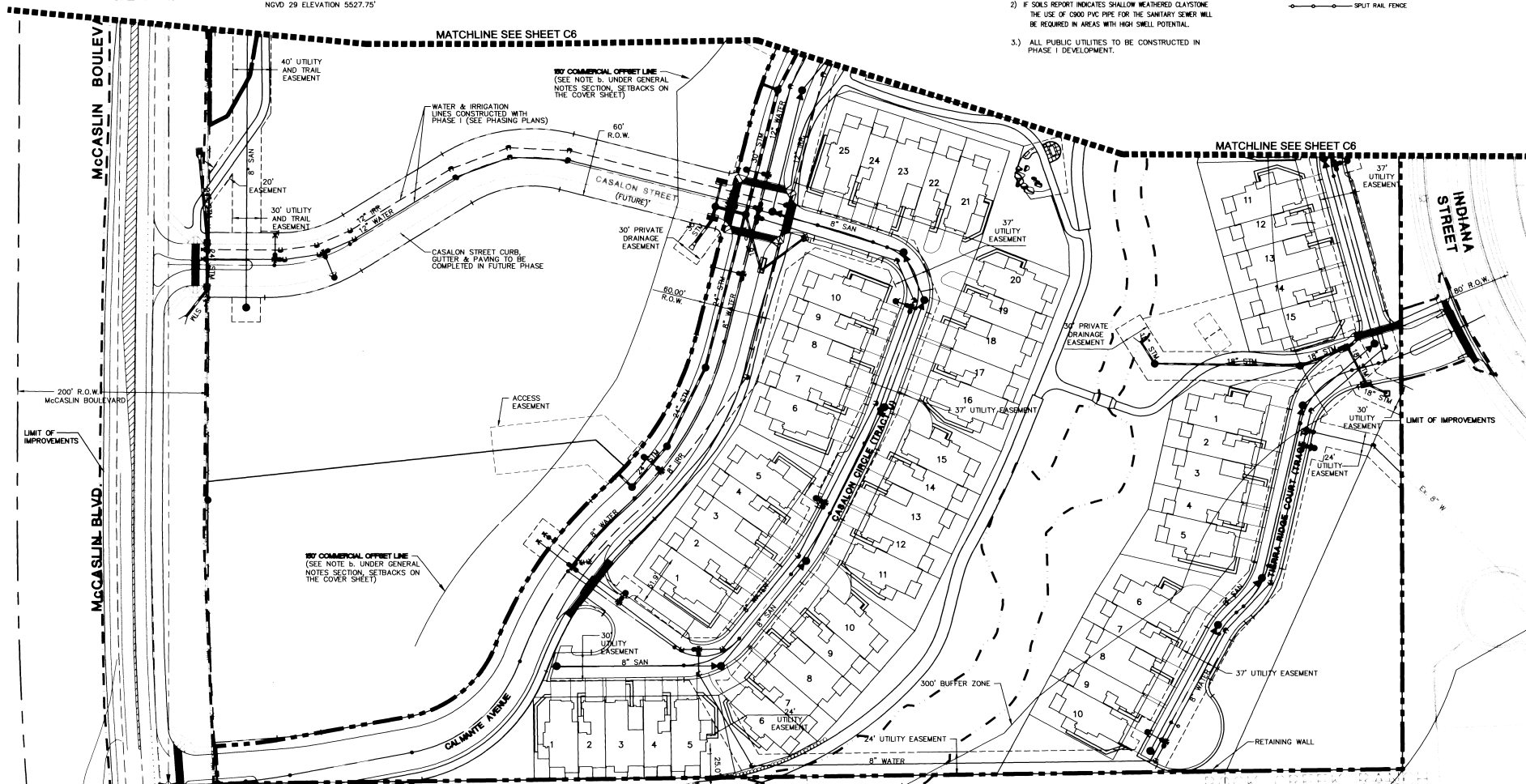
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING IRRIGATION LINE
- 12" WATER
- 12" SAN
- 24" SAN
- UTILITY EASEMENT
- EXISTING STREET LIGHTS
- BOUNDARY OF FINAL DEVELOPMENT PLAN
- SCORED CONCRETE CROSSWALK
- SPLIT RAIL FENCE



**PROJECT BENCHMARK**  
NORTHWEST CORNER OF SECTION 31, T1S, R69W 6TH P.M. A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49 NGVD 29 ELEVATION 5527.75'

### NOTES:

- 1) ALL BUILDING UNITS WILL HAVE INDIVIDUAL SERVICE LINES FOR THE WATER AND THE SANITARY.
- 2) IF SOILS REPORT INDICATES SHALLOW WEATHERED CLAYSTONE THE USE OF 6000 PVC PIPE FOR THE SANITARY SEWER WILL BE REQUIRED IN AREAS WITH HIGH SWELL POTENTIAL.
- 3) ALL PUBLIC UTILITIES TO BE CONSTRUCTED IN PHASE I DEVELOPMENT.



**ROCKY MOUNTAIN CONSULTANTS, INC.**  
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING  
Date: MARCH 2002 Job No. 22-3891.003.00

**RMC**  
8301 E. Prentice Ave. Suite 101  
Greenwood Village, CO 80111  
(303) 741-8000  
Fax (303) 741-8198

NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	JH
2	PER TOWN COMMENTS	7/10/02	JH
3	PER TOWN COMMENTS	8/23/02	JH
4	PER TOWN COMMENTS	10/4/02	PMB
5	PER TOWN COMMENTS	11/8/02	PMB
6	FINAL MYLAR	12/2/02	PMB

**OVERALL UTILITY PLAN  
FINAL DEVELOPMENT PLAN  
SHEET C7 OF 12**  
Page 2 of 25

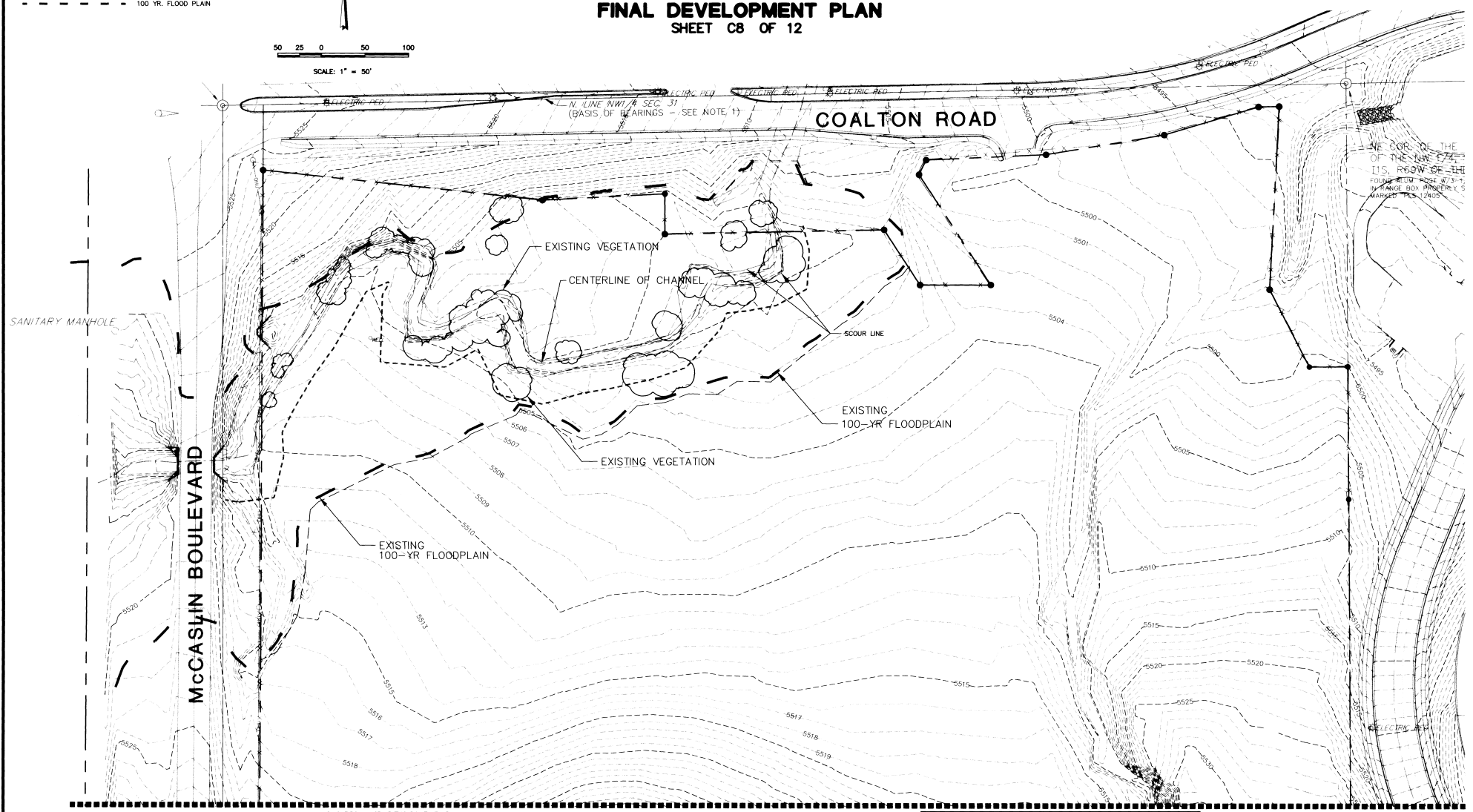
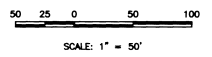
# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R66W OF THE 6TH P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
EXISTING CONDITIONS MAP

FINAL DEVELOPMENT PLAN  
SHEET C8 OF 12

**LEGEND**

- TRACT BOUNDARY LINE
- SECTION LINE
- BOUNDARY LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- CENTER LINE
- EXISTING INDEX CONTOURS
- 100-YEAR FLOODPLAIN
- CHANNEL CENTER LINE
- 35' CHANNEL SETBACK
- 100 YR. FLOOD PLAIN



**PROJECT BENCHMARK**  
NORTHWEST CORNER OF SECTION 31, T18, R66W 6TH P.M. A FOUND MONUMENT WITH A  
3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF  
MCCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49  
NGVD 28 ELEVATION: 5527.75'

MATCHLINE SEE SHEET C9

**RMC**  
ROCKY MOUNTAIN CONSULTANTS, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING  
8301 E. Prentice Ave. Suite 1011  
Greenwood Village, CO 80111  
(303) 741-8000  
Date: MARCH 2002 Job No. 22-3891.003.00 Fax (303) 741-8108

NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	JEH	6	FINAL MYLAR	12/2/02	PMB
2	PER TOWN COMMENTS	7/10/02	JEH				
3	PER TOWN COMMENTS	8/23/02	JEH				
4	PER TOWN COMMENTS	10/4/02	PMB				
5	PER TOWN COMMENTS	11/18/02	PMB				

MATCHLINE SEE SHEET C9

EXISTING CONDITIONS MAP  
FINAL DEVELOPMENT PLAN  
SHEET C8 OF 12  
Page 1 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18, R60W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
EXISTING CONDITIONS MAP  
FINAL DEVELOPMENT PLAN  
SHEET C9 OF 12

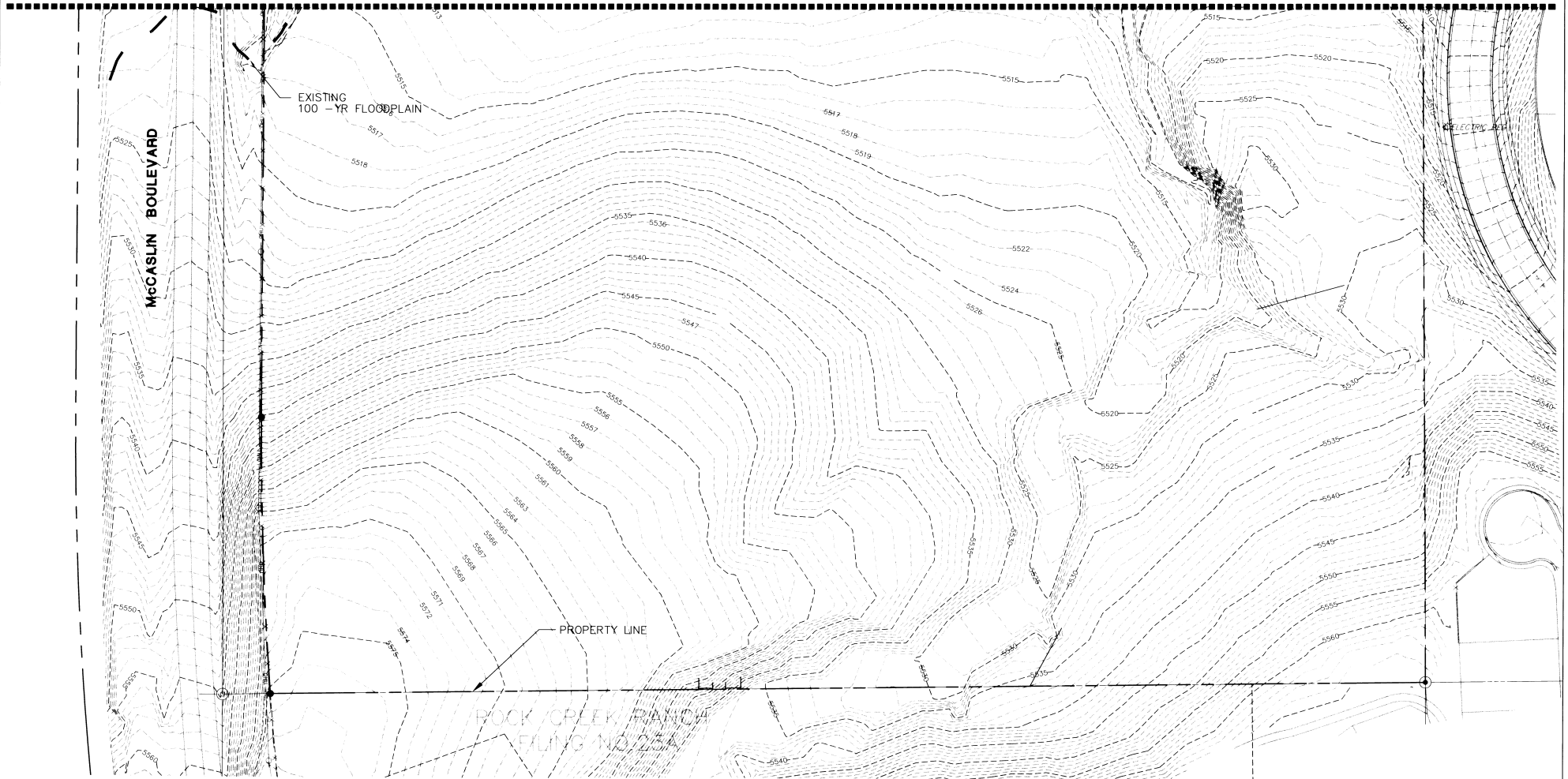
LEGEND	
	TRACT BOUNDARY LINE
	SECTION LINE
	BOUNDARY LINE
	PROPERTY LINE
	RIGHT-OF-WAY
	CENTER LINE
	EXISTING INDEX CONTOURS
	100-YEAR FLOODPLAIN
	CHANNEL CENTER LINE
	35' CHANNEL SETBACK
	100 YR. FLOOD PLAN

50 25 0 50 100

SCALE: 1" = 50'

MATCHLINE SEE SHEET C8

MATCHLINE SEE SHEET C8



**PROJECT BENCHMARK**

NORTHWEST CORNER OF SECTION 31, T18, R60W 6TH P.M., A FOUND MONUMENT WITH A 3 1/4" ALUMINUM CAP IN RANGEBOX ON THE EAST SIDE OF THE INTERSECTION OF McCASLIN BLVD. AND COALTON ROAD. FIELD BOOK 262 PAGE 49. NGVD 29 ELEVATION 5527.75'

		<b>RMC</b> ROCKY MOUNTAIN CONSULTANTS, INC. CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING		5301 E. Prairie Ave. Suite 101 Greenwood Village, CO 80111 (303) 741-8000 Fax (303) 741-8108	
Date: MARCH 2002		Job No. 22-3891.003.00			

NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	JEN	6	FINAL MYLAR	12/2/02	PHB
2	PER TOWN COMMENTS	7/10/02	JEN				
3	PER TOWN COMMENTS	8/23/02	JEN				
4	PER TOWN COMMENTS	10/4/02	PHB				
5	PER TOWN COMMENTS	11/18/02	PHB				

EXISTING CONDITIONS MAP  
FINAL DEVELOPMENT PLAN  
SHEET C9 OF 12  
Page 9 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND LOCATED IN THE NW¼ OF THE NW ¼ OF SECTION 31,  
T18, R89W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
PROJECT GUIDELINES AND NARRATIVE  
FINAL DEVELOPMENT PLAN  
SHEET C10 OF 12

## A. NARRATIVE

THE FINAL DEVELOPMENT PLAN IS FOR THE RESIDENTIAL PORTION OF THE CALMANTE DEVELOPMENT, AN 23.518-ACRE PARCEL LOCATED ON THE EASTERN PORTION OF THE PROPERTY SOUTH OF COALTON ROAD AND WEST OF INDIANA STREET. THE PROPERTY WAS ANNEXED INTO THE TOWN OF SUPERIOR ON AUGUST 14, 2000, AND ZONED R-M WITH A PLANNED DEVELOPMENT OVERLAY NOVEMBER 26, 2001. THE 75 FIVE-PLUS TOWN HOMES ARE COMPATIBLE WITH EXISTING AND PROPOSED RESIDENTIAL DEVELOPMENTS YET PROVIDE A UNIQUE PRODUCT THAT DOES NOT CURRENTLY EXIST IN SUPERIOR. THE OVERALL GROSS DENSITY OF THE RESIDENTIAL COMPONENT OF THE SITE IS 4.05 UNITS/ACRE.

THE 3.8-ACRE ROCK CREEK BUFFER AREA LOCATED AT THE SOUTHEAST CORNER OF COALTON ROAD AND MCCASLIN BOULEVARD IS ALSO INCLUDED IN THIS FINAL DEVELOPMENT PLAN. IT WILL BE LEFT IN A NATURAL STATE EXCEPT FOR TRAILS AND DRAINAGE IMPROVEMENTS, AND DEDICATED TO SUPERIOR METROPOLITAN DISTRICT #3.

## PROJECT CIRCULATION

### VEHICULAR CIRCULATION

MCCASLIN BOULEVARD, CURRENTLY A TWO-LANE ROADWAY, BORDERS THE SITE ON THE WEST. COALTON ROAD BORDERS THE PROPERTY ON THE NORTH AND HAS RECENTLY BEEN IMPROVED TO A FOUR-LANE CROSS SECTION. ACCESS TO MCCASLIN BOULEVARD WILL BE FROM A FULL TURN AT THE SOUTHWEST CORNER OF THE SITE. ACCESS TO COALTON ROAD WILL BE LIMITED TO A 3/4 MOVEMENT. THE INTERSECTION OF MCCASLIN BOULEVARD AND COALTON ROAD IS SIGNALIZED, AND THE MCCASLIN BOULEVARD ACCESS WILL BE SIGNALIZED WHEN WARRANTED. VEHICULAR ACCESS TO THE DEVELOPMENT WILL ALSO BE PROVIDED FROM A FULL MOVEMENT AT INDIANA STREET. THE INTERIOR ROADWAY NETWORK HAS BEEN DESIGNED TO ALLOW EASE OF ACCESS TO MCCASLIN BOULEVARD AND S. COALTON ROAD. CALMANTE AVENUE, WHICH BISECTS THE PROPERTY, AND THE 3/4 MOVEMENT AT COALTON ROAD WILL BE CONSTRUCTED WITH THIS DEVELOPMENT. ALL OF CALMANTE AVENUE WILL BE BUILT WITH THIS DEVELOPMENT.

INDIVIDUAL UNITS WILL BE SERVED BY A PRIVATE ROAD SYSTEM.

### PEDESTRIAN CIRCULATION

PEDESTRIAN WALKWAYS AND BIKE TRAILS THROUGHOUT THE DEVELOPMENT WILL PROVIDE ACCESS BETWEEN THE RESIDENTIAL PARCELS AS WELL AS THE ROCK CREEK OPEN SPACE IN THE NORTHWEST CORNER OF THE SITE. A BICYCLE TRAIL FROM EAST TO WEST THROUGH THE RESIDENTIAL PARCEL CONNECTS TO THE SUBREGIONAL TRAIL SYSTEM. A CRUSHER FINE MAINTENANCE TRAIL ADJACENT TO THE DRAINAGEWAY RB-4 WILL BE PARTIALLY PAVED AND AVAILABLE FOR BICYCLE AND PEDESTRIAN USE.

## B. SUMMARY

TOTAL NUMBER OF RESIDENTIAL UNITS: 75

ESTIMATED NUMBER OF GALLONS OF POTABLE WATER PER DAY REQUIRED: 20,250 GALLONS

ESTIMATED NUMBER OF GALLONS OF SANITARY SEWER TO BE TREATED: 20,250 GALLONS

INFISSION WATER DEMAND WILL BE PROVIDED BY A REPAIRABLE SYSTEM.

ESTIMATED COST OF PUBLIC INFRASTRUCTURE: \$2,000,000

THE OWNER/DEVELOPER HAS INCLUDED THE PROPERTY IN SUPERIOR METROPOLITAN DISTRICT #3 AND WILL PROVIDE A LETTER OF CREDIT OR OTHER FORM OF GUARANTEE AS REQUIRED BY THE SUPERIOR METROPOLITAN DISTRICT No. 3 AT THE TIME OF ISSUANCE OF PERMIT.

**PROJECT PURPOSE AND RATIONALE:** TO PROVIDE A UNIQUE RESIDENTIAL OPPORTUNITY FOR THE RESIDENTS OF BOULDER COUNTY.

**PHASING:** PHASING OF IMPROVEMENTS SHALL BE PERMITTED SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBDIVISION IMPROVEMENT AGREEMENT AND THIS FINAL DEVELOPMENT PLAN. THE TRAILS SHALL BE CONSTRUCTED TO THE STANDARDS OF THE TOWN, AND COMPLETED PRIOR TO ISSUING CERTIFICATES OF OCCUPANCY FOR MORE THAN FIFTY PERCENT (50%) OF THE RESIDENTIAL BUILDINGS ON THE PROPERTY.

PHASE 1: MCCASLIN BOULEVARD IMPROVEMENTS, COALTON ROAD IMPROVEMENTS, CALMANTE AVENUE, ROCK CREEK DRAINAGE AND THE ROCK CREEK MAINTENANCE TRAIL, TRIBUTARY RB-4 AND THE TRIBUTARY RB-4 MAINTENANCE TRAIL, (INCLUDING THE LOW WATER CROSSING CONNECTING THE EAST AND WEST SIDES OF TRIBUTARY RB-4)  
LOTS 1-15, BLOCK 5, ALL PUBLIC UTILITIES AND OTHER NECESSARY IMPROVEMENTS.

PHASE 2: LOTS 1-10, BLOCK 3, LOTS 1-25, BLOCK 4, AMENITY AREA ON THE WEST SIDE OF RB-4, THE TRAIL CONNECTING CALMANTE AVE. TO THE RB-4 TRAIL OTHER NECESSARY IMPROVEMENTS.

PHASE 3: LOTS 1-15, BLOCK 6, THE CONNECTION TO INDIANA STREET, AND OTHER NECESSARY IMPROVEMENTS.

PHASE 4: LOTS 1-10, BLOCK 7, THE TRAIL CONNECTING THE EAST SIDE OF RB-4 TO LOW WATER CROSSING, THE AMENITY AREA EAST OF RB-4, AND OTHER NECESSARY IMPROVEMENTS.

**SNOW REMOVAL:** THE HOA WILL PROVIDE SNOW REMOVAL USING PRIVATE SUBCONTRACT SERVICES FOR PRIVATE ROADS.

### MAINTENANCE OF COMMONLY OWNED PRIVATE FACILITIES:

A HOMEOWNER MANAGEMENT COMPANY, OR OTHER PRIVATE ENTITY WILL PROVIDE MAINTENANCE OF THE DEVELOPMENT, INCLUDING PRIVATE ROADS, PAVED AREAS, LANDSCAPED AREAS, STREET LIGHTS, AND OTHER PRIVATE UTILITIES. THE TOWN OF SUPERIOR WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ANY PRIVATE ROADS IN THIS DEVELOPMENT.

## C. ARCHITECTURAL THEME/ DESIGN GUIDELINES

THEME: THE PROPOSED ARCHITECTURAL THEME FOR THE CALMANTE RESIDENTIAL IS BEST DESCRIBED AS A "COLORADO MOUNTAIN PARKS STYLE" WITH TRADITIONAL CRAFTSMAN DETAILING. THE "CRAFTSMAN" DETAILS OF GABLE BRACES, LADDER FRIEZES, ATTIC WINDOWS AND TRELLISES WILL BE INCORPORATED TO ESTABLISH THE DETAIL THEME OF THE ARCHITECTURE AND TO ENSURE THEMATIC CONSISTENCY BETWEEN THE RESIDENTIAL AND COMMERCIAL USES.

### RESIDENTIAL: MULTI-FAMILY

#### 1. BUILDING MASS:

A. MULTI-FAMILY BUILDINGS ARE DESIGNED WITH MULTIPLE PLANE FACADES THAT CREATE VISUALLY INTERESTING ELEMENTS AND AVOID CONCENTRATIONS OF REPETITIVE BUILDING TYPES AND MONOTONOUS BOX LIKE STRUCTURES.

B. MINOR VARIATIONS OF BUILDING HEIGHTS AND ROOF RIDGE LINES WILL ADD VISUAL INTEREST TO THE BUILDING MASS AND HELP REDUCE THE OVERALL VISUAL IMPACT. THIS VARIATION AND STEPPING DOWN THE ENDS OF BUILDINGS MAY ALSO BE ACHIEVED BY PROVIDING ONE LESS FLOOR. BUILDINGS THAT STEP DOWN A SLOPE GIVE THE APPEARANCE THAT THE STRUCTURE GROWS OUT OF THE SITE BY ENCLOSED HIGH UNUSABLE AREAS UNDER BUILDINGS.

#### 2. EXTERIOR DESIGN ELEMENTS

EXTERIOR BUILDING DETAILS, SUCH AS BUILDING ENTRIES, STAIRWAYS, ALL UPPER DECKS AND BALCONIES, CUTTERS AND DOWNSPOUTS WILL BE INTEGRATED INTO THE ARCHITECTURAL DESIGN TO UNIFY THE OVERALL BUILDING FORM. STRUCTURES USED FOR RECREATION PURPOSES SHALL ALSO CONSIST OF SIMILAR FORM, TEXTURE, COLOR AND MATERIALS AS SURROUNDING STRUCTURES TO PROVIDE UNITY THROUGHOUT THE DEVELOPMENT. BUILDING DETAILS WHERE FEASIBLE SHOULD BE REPEATED ON ALL SIDES OF THE BUILDING AND SHOULD APPEAR REAL AND FUNCTIONAL.

#### 3. EXTERIOR MATERIALS AND COLORS:

A. MATERIAL SELECTION IS AN IMPORTANT ASPECT IN DEVELOPING A CREATIVE ARCHITECTURAL CHARACTER AND DEFINING A STRONG SENSE OF PLACE AND PERSONAL IDENTITY. THE MATERIAL PALETTE SHALL CONSIST OF A BALANCE OF STONE AND STUCCO, AND ACCENT MATERIALS SUCH AS WOOD TRIM AND IRON DETAILING.

B. EXTERIOR MATERIALS SHALL ACCENTUATE AND COMPLEMENT THE HEIGHT AND MASS OF A STRUCTURE. A MATERIALS BOARD HAS BEEN MADE PART OF THIS FINAL DEVELOPMENT PLAN APPROVAL.


#### 4. ROOF TREATMENT

A. ROOF MATERIALS ARE THREE TAB DIMENSIONAL ASPHALT SHINGLES.

B. ROOF FORMS UTILIZE THE GABLE CONFIGURATION WITH COMPLEMENTING SHEDS AND DORMERS. ROOF SLOPES ARE 6 FEET IN 12 FEET.

### LIGHTING

STREET LIGHTING FIXTURES SHALL BE SIMILAR AS SHOWN ON SHEET C11 OR APPROVED EQUAL. COLOR SHALL BE BLACK AND SHALL NOT EXCEED CITY OF SUPERIOR STANDARDS FOR HEIGHT. NO MORE THAN 0.1 FOOT CANDLE AT ANY EXTERNAL BOUNDARY PROPERTY LINE. PARKING LOT LIGHT FIXTURES SHALL BE THE SAME AS SHOWN ON SHEET C11 OR AN APPROVED EQUAL. COLOR SHALL BE BLACK AND SHALL NOT EXCEED CITY OF SUPERIOR STANDARDS FOR HEIGHT. NO MORE THAN 2.0 AVERAGE FOOT CANDLE. (SEE SHEET C11 FOR IMAGES).

ROCK MOUNTAIN CONSULTANTS, INC.   
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING 8301 E. Prentice Ave. Suite 101  
Greenwood Village, CO 80111 (303) 741-8000  
Date: MARCH 2002 Job No. 22-3891.003.00 FAX (303) 741-8108

NO.	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	5/24/02	JEH
2	PER TOWN COMMENTS	7/10/02	JEH
3	PER TOWN COMMENTS	8/23/02	JEH
4	PER TOWN COMMENTS	10/4/02	PHB
5	PER TOWN COMMENTS	11/18/02	PHB
6	FINAL WYLAIR	12/2/02	PHB

PROJECT GUIDELINES AND NARRATIVE  
FINAL DEVELOPMENT PLAN  
SHEET C10 OF 12  
*Page 10 of 25*



# CALMANTE PLANNED DEVELOPMENT

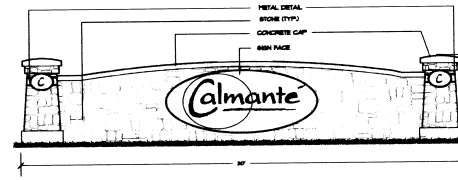
A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
DESIGN GUIDELINES / DETAILS

## FINAL DEVELOPMENT PLAN

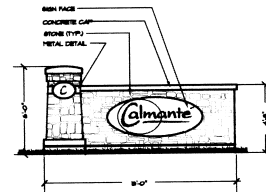
SHEET C11 OF 12

### DESIGN GUIDELINES

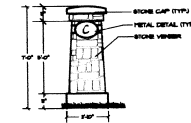
1. **300 FOOT MINIMUM BUFFER ADJACENT TO SINGLE FAMILY RESIDENCE**  
THE 300 FOOT BUFFER SHALL BE SEEDED AS SHOWN ON PLAN. SHEET L1 OF 10 AND L2 OF 10.
2. **STANDARD STREETScape FEATURES**  
STREET TREES SHALL BE CENTERED WITHIN A TREE LANE AND SPACED 40' ON CENTERS WHENEVER POSSIBLE, OR THE EQUIVALENT OF 40' ON CENTERS IF A GROVE EFFECT IS DESIRED. SPECIES TO CONSIST OF LARGE DECIDUOUS SPECIES MEETING MINIMUM SIZE REQUIREMENTS. PLANT A MIXTURE OF SHRUBS, ORNAMENTAL TREES, FLOWERS, AND/OR GROUND COVER AROUND SIGN BASES, AND AT CURB RETURNS NEAR SITE ENTRANCES. SUCH PLANTINGS SHALL BE PLANTED IN PLANT BEDS CONSISTING OF EDGING AND MULCH. PROVIDE A DISTINCTIVE LANDSCAPE AREA AT THE INTERSECTION OF BUFFER STRIPS FRONTING ON PUBLIC AND PRIVATE STREETS. LANDSCAPING IN THESE AREAS SHALL CONSIST OF PLANT SPECIES HAVING A HIGH DEGREE OF VISUAL INTEREST DURING ALL SEASONS. STREET AREAS NOT PLANTED WITH SHRUBS, FLOWERS AND GROUND COVER SHALL BE SOODED OR SEEDS AS REQUIRED.
3. **LANDSCAPE BERMS**  
WHERE LANDSCAPE BERMS ARE PROVIDED, THEIR SLOPES SHALL NOT EXCEED A RATIO OF ONE FOOT OF RISE FOR EVERY THREE FEET OF RUN (3:1). LANDSCAPING SHALL BE INTEGRATED TO CREATE A NATURAL CHARACTER TO THE BERM.
4. **MULTI-FAMILY LANDSCAPING**  
THE PERIMETER SURROUNDING EACH BUILDING (INCLUDE GARAGES AND CLUBHOUSES) SHALL BE LANDSCAPED WITH SHRUBS. SHRUBS WILL BE PLANTED IN A TRIANGULAR PATTERN. TREES OR TALL CROOKING SHRUB SPECIES WILL BE LOCATED WITHIN SHRUB BEDS TO SCREEN BLANK WALLS, ACCENT ENTRIES AND SOFTEN BUILDING EDGES. ALL DEVELOPMENT WILL BE LANDSCAPED WITH A NUMBER OF DECIDUOUS AND EVERGREEN TREES EQUAL TO 1 TREE PER 800 SQ. FT. & 1 TREE PER 30 SQ. FT. OF LANDSCAPED AREA. CALCULATIONS BASED ON 75 PERCENT OF LANDSCAPED AREA. TO THE EXTENT POSSIBLE, THE PLANT MATERIAL FROM THE TOWN OF SUPERIOR SUGGESTED PLANT LIST IS INCORPORATED INTO THE LANDSCAPE PLAN. SEE PLANT SCHEDULE, SHEET L4 OF 10.
5. **IRRIGATION**  
AN AUTOMATIC IRRIGATION SYSTEM IS REQUIRED AND SHALL BE INSTALLED FOR ALL DEVELOPMENTS, INCLUDING ALL SOI AREAS, SHRUB BED AREAS, PARKING ISLANDS, STREET RIGHTS-OF-WAY.  
TWO SEPARATE IRRIGATION SYSTEMS WILL BE DEVELOPED TO SEPARATE ROCK CREEK HOMES PRIVATE IRRIGATION MAINTENANCE AND SMD #1 AND SMD #2 (PUBLIC IRRIGATION MAINTENANCE).  
ROCK CREEK HOMES IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE IRRIGATION BETWEEN TRACTS & COALTON ROAD, CALMANTE AVENUE, INDIANA STREET & McCABIN BLVD. R.O.W.S.
6. **NON-LIVING MATERIALS**  
NOT GREATER THAN FIFTY (50%) PERCENT OF THE REQUIRED OPEN SPACE SHALL BE COVERED WITH ROCK OR OTHER APPROVED NON-LIVING MATERIALS. IN ADDITION, A MINIMUM OF FIFTY (50) PERCENT OF THE SURFACE OF THESE AREAS IS REQUIRED TO BE COVERED BY LIVING PLANT MATERIALS. GROUND COVER, PERENNIALS, SHRUBS, DECIDUOUS TREES AND EVERGREEN TREES SHALL BE UTILIZED FOR THIS CALCULATION. AT MATURITY, SEVENTY-FIVE (75) PERCENT OF THE REQUIRED OPEN SPACE SHALL BE COVERED BY LIVING PLANT MATERIAL.
7. **COURTYARD FENCES**  
MASONRY WALLS 4-5 FEET IN HEIGHT, FACED WITH INTERNALLY COLORED STUCCO OR STONE TO MATCH OR BLEND WITH THE MATERIALS USED ON OTHER SITE BUILDINGS.
8. **DETENTION, RETENTION AND WATER QUALITY PONDS**  
DETENTION, RETENTION AND WATER QUALITY PONDS SHALL BE INTEGRATED PHYSICALLY, FUNCTIONALLY AND AESTHETICALLY INTO THE TOTAL LANDSCAPE DESIGN. POND GRADING SHOULD BE SEASONED TO ACCOMMODATE ACCESS FOR MAINTENANCE. UNCOVERED OR SHADY SLOPES EXCEPT WHEN NECESSARY FOR EROSION CONTROL ARE DISCOURAGED. GENERALLY, VEGATED SLOPES SHALL NOT EXCEED 3:1 AND ALL POND TURE AREAS SHALL BE PROPERLY DRAINED. STANDING WATER, EXCEPT IN VEGATED WETLAND AREAS, IS DISCOURAGED OTHER THAN IN RECIRCULATING WATER FEATURES. WATER QUALITY IMPROVEMENT AREAS WITHIN THE BOTTOM OF THE POND SHALL BE PLANTED WITH VEGETATION THAT IS CONSISTENT WITH THE PRESENCE OF SATURATED SOILS, SUCH AS CATTAILS OR OTHER APPROPRIATE VEGETATION. ANY MOORED SLOPE THAT IS WITHIN THE PUBLIC RIGHT-OF-WAY OR PROPOSED AS PART OF A PUBLIC MAINTAINED FACILITY SHALL BE NO STEEPER THAN 3:1.
9. **RETAINING WALLS**  
WHERE RETAINING WALLS ARE REQUIRED TO MEET VOLUME REQUIREMENTS AND/OR TO RETAIN GRADE, RETAINING WALLS OR HEAD WALLS VISIBLE TO THE PUBLIC VIEW SHALL BE DESIGNED TO INCORPORATE ARCHITECTURAL MATERIALS COMPLEMENTARY TO THE BUILDING AND ARCHITECTURAL DESIGN AND SHALL BE CONSTRUCTED OF NATIVE OR NATURAL MATERIALS WITH A MINIMAL AMOUNT OF COULTING AND MAXIMIZING THE USE OF NATURAL STONE OR BouldERS IN THE DESIGN. ALL RETAINING WALLS OVER 3 FEET IN HEIGHT AS REQUIRED BY LAW, SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER.
10. **PHASING**  
ALL DEVELOPMENT PHASES WITHIN THE SITE SHALL BE SEEDS TO PREVENT WIND AND WATER EROSION FOR THE TIME THE SITE REMAINS WITHOUT DEVELOPMENT. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH AN EROSION CONTROL PLAN.
11. **LIGHTING**  
STREET LIGHTING FIXTURES SHALL BE SIMILAR AS SHOWN ON SHEET C12 OF 12 OR APPROVED EQUAL. COLOR SHALL BE BLACK AND SHALL NOT EXCEED CITY OF SUPERIOR FOR HEIGHT. NO MORE THAN 0.1 FOOT CANDLE AT ANY EXTERNAL BOUNDARY PROPERTY LINE IMMEDIATELY ADJACENT TO SINGLE FAMILY DETACHED. NO MORE THAN 2.0 FOOT AVERAGE CANDLE.
12. **SIGNAGE**  
MONUMENT SIGNAGE SHALL NOT EXCEED 90 SQUARE FEET OF SURFACE AREA PER SIGN FACE/HEIGHT SHALL NOT EXCEED 8 FEET. MONUMENT SIGNAGE SHALL BE LANDSCAPED WITH SHRUBS AND GROUND COVERS. MONUMENT MATERIAL AND COLORS SHALL BE RELATED TO THE ARCHITECTURE OF THE RESIDENTIAL AND COMMERCIAL BUILDINGS THROUGH THE USE OF STONE AND EARTH TONE COLORS. SEE SHEET C-2, C-3, L-1 AND L-2 FOR LOCATIONS.  
LIGHTING FOR ALL TYPES OF MONUMENTS MAY BE ILLUMINATED BY CONCEALED FLOODLIGHTS FROM GROUND LEVEL OR BACKLIGHT.  
A LOWER LEVEL OF MONUMENT SIGNAGE MAY BE SUBSTITUTED FOR A HIGHER LEVEL AT ANY LOCATION.



1 PRIMARY PROJECT SIGNAGE  
SCALE: 1/4" = 1'-0"



2 SECONDARY PROJECT SIGNAGE  
SCALE: 1/4" = 1'-0"



3 COLUMN PROJECT SIGNAGE  
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.02	ALW
2	FDP SUBMITTAL	05.31.02	ALW
3	revision	06.14.02	ALW
4	revision	07.10.02	ALW
6	revision	10.04.02	ALW

DESIGN GUIDELINES / DETAILS  
FDP ZONE PLAN  
SHEET C11OF 12  
Page 11 of 27



1120 CHERRY STREET  
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nuskop@nuskopatz.com

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31  
T1S R69W OF THE 6 P.M.  
TOWN OF SUPERIOR STATE OF COLORADO  
SITE FURNITURE / DETAILS

## FINAL DEVELOPMENT PLAN SHEET C12 OF 12



\* 5 GAME BOARD TABLE  
TIMBERFORM GAMEBOARD, MODEL #2943-3636;  
CHAIRS- 2941-20 OR APPROVED EQUAL, COLOR:  
EVERGREEN



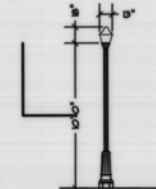
\* 6 METAL BENCH  
TIMBERFORM RESTORATION OR APPROVED EQUAL  
METAL FRAME COLOR: EVERGREEN



\* 7 PICNIC TABLE  
TIMBER FORM "GREENWAY", OR APPROVED EQUAL  
BASE COLOR: EVERGREEN



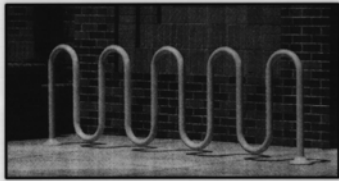
11 PUBLIC SERVICE LIGHT  
Scale: 1/4" = 1'-0"



12 PEDESTRIAN LIGHT  
Scale: 1/4" = 1'-0"



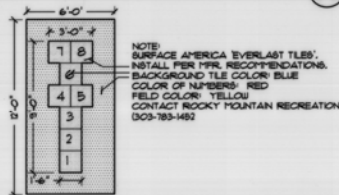
13 WALL MOUNTED COMPACT  
Scale: NTS



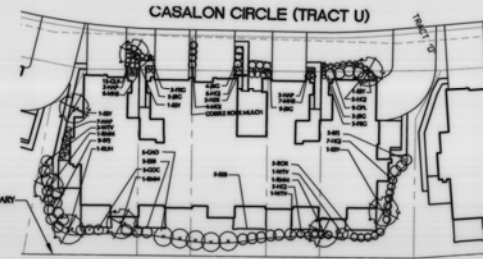
\* 8 BICYCLE RACK  
TIMBERFORM ORIGINAL CYCLOOPS 2170-5 OR  
APPROVED EQUAL, COLOR: EVERGREEN



\* 9 TRASH RECEPTACLE  
TIMBERFORM 2811-FT OR APPROVED EQUAL  
COLOR: EVERGREEN

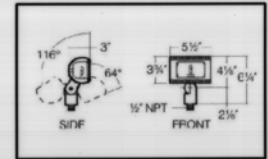


\* 10 HOPSCOTCH PLAY SURFACE  
Scale: 1/4" = 1'-0"

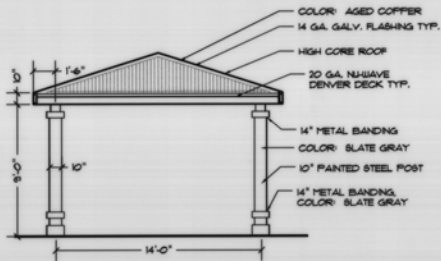


TYPICAL BOUNDARY  
AREA OF  
LANDSCAPE  
PLANTING

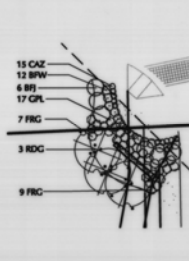
15 BUILDING TYPICAL LANDSCAPE FOUNDATION PLANTING  
Scale: 1" = 30'



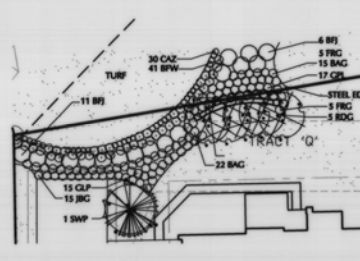
14 UPLIGHT FOR MONUMENT  
SIGNAGE  
Scale: NTS



\* 16 SHADE STRUCTURE  
Scale: 1/4" = 1'-0"  
SKYLARK SHELTER SYSTEMS, RENAISSANCE SHELTER



\* 17 SECONDARY MONUMENT PLANTING  
TYPICAL  
Scale: NTS



\* 18 PRIMARY MONUMENT PLANTING TYPICAL  
Scale: NTS

\* NOTE: DETAILS WITH ASTERISK TO BE MAINTAINED BY  
SMD3. HOA HAS THE RIGHT BUT NOT THE OBLIGATION  
TO PROVIDE ADDITIONAL MAINTENANCE.

BUILDING TYPICAL PLANT SCHEDULE			RB-4 PLANT SCHEDULE			
QTY.	SYM.	COMMON NAME	QTY.	SYM.	COMMON NAME	SCIENTIFIC NAME
		ORNAMENTAL TREES	12	CAC	AM. COMPACT CRANBERRY	Viburnum trilobum 'Compact'
2	RHM	ROCKY MOUNTAIN MAPLE	12	GAO	GAMBLE OAK	Quercus gambellii
1	RUH	RUSSIAN HAWTHORNE	8	PLC	PLAINS COTTONWOOD	Populus deltoides
4	SBY	SHADBLow SERVICEBERRY	21	RTD	RED TWIG DOGWOOD	Cornus stolonifera
7		TOTAL TREE COUNT PER BUILDING	2	WTV	WAYFARING TREE	Viburnum lentana
103		TOTAL TREES / 15 BUILDINGS	55		TOTAL SHRUBS	

DECIDUOUS SHRUBS			
3	BCR	BOULDER CRANBERRY	Rubus Delicatiss
3	CAO	GAMBLE OAK	Quercus gambellii
3	COO	GOLDEN CURRANT	Sibea westerm
34	CPL	GREAT PLAINS LEADPLANT	Ampelopsis canadensis
11	NAP	NATIVE POTENTILLA	Potentilla fruticosa
5	NR	WILD ROSE	Rosa woodii
8	SBR	SASKATOON SERVICEBERRY	Amenanchier albobata
4	WTV	WAYFARING TREE	Viburnum lentana
EVERGREEN SHRUBS			
12	BJF	BUFFALO JUNIPER	Juniperus sabina 'truffel'
23	HGJ	HUGHES JUNIPER	Juniperus horizontalis 'heger'
4	MDJ	MEDICINA JUNIPER	Juniperus scopulorum 'Medora'
104		TOTAL SHRUB COUNT PER BUILDING	
PERENNIAL SCRUBSSES			
23	FRICQ	ORNAMENTAL GRASSES	Calamagrostis x acutifolia
13	MNS	MEDNIGHT SALVA	Impatiens cylindrica 'vubes'
36		TOTAL PERENNIALGRASS COUNT PER BUILDING	
140		TOTAL SHRUBS/PERENNIALGRASS	
2,100		TOTAL SHRUBS/PERENNIALGRASS (15 BUILDINGS)	
1,206		AMENITY, TRAIL LANDSCAPE AREAS	
3,606		TOTAL AMENITY AREA & COMMON LANDSCAPE AREAS	

### LANDSCAPE GUIDELINES - TOWN OF SUPERIOR

Various Areas of Landscaping	Design Guideline Requirement	Units	Total Units	Quantity Provided
Street R.O.W. Calamitos Avenue (East Side)	1 Tree / 40 L.F. / or Crowe Effect	L.F.	1,533	38
Private Drives	1 Tree / 40 L.F.	L.F.	4,176	104
Open Space Landscaping Area	1 Tree / 825 Sq. Ft.	S.F.	103,237	125
75% of Landscaped Area	1 Shrub / 30 Sq. Ft. of Landscaping Area	S.F.	103,237	3,441
Required Shrub Shall Be:	Min. Cal. of Deciduous Trees	Min. # of Deciduous Trees	Deciduous & Coniferous Shrubs	
10% Large	3" Caliper	Greater than 8"	5 Cal.	
70% Medium	2 1/4" or 2 3/4" Caliper	8" to 8"	5 Cal.	
20% Small	1 1/2" to 2" Caliper	4" to 6"	5 Cal.	

NO.	REVISIONS	DATE	BY
1	FOR SUBMITTAL	03.18.02	ALW
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5	revision	08.06.02	ALW
6	revision	09.26.02	SS



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SITE FURNITURE /  
DETAILS  
FDP ZONE PLAN  
SHEET C12 OF 12  
Replacement May 12, 2005



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO

## SITE FURNITURE / DETAILS FINAL DEVELOPMENT PLAN SHEET C12 OF 12



**\* 5 GAME BOARD TABLE**  
TIMBERFORM GAMEBOARD, MODEL #2943-3636;  
CHAIRS- 2941-20 OR APPROVED EQUAL, COLOR:  
EVERGREEN



**\* 6 METAL BENCH**  
TIMBERFORM RESTORATION OR APPROVED EQUAL  
METAL FRAME COLOR: EVERGREEN



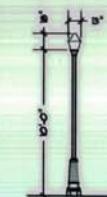
**\* 7 PICNIC TABLE**  
TIMBER FORM "GREENWAY", OR APPROVED EQUAL  
BASE COLOR: EVERGREEN



**11 PUBLIC SERVICE LIGHT**  
A' Scale: 1/4" = 1'-0"



**12 PUBLIC SERVICE LIGHT**  
C' Scale: 1/4" = 1'-0"



**13 PEDESTRIAN LIGHT**  
D' Scale: 1/4" = 1'-0"



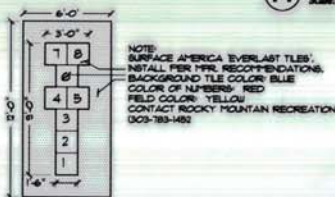
**14 WALL MOUNTED COMPACT**  
B' Scale: NTS



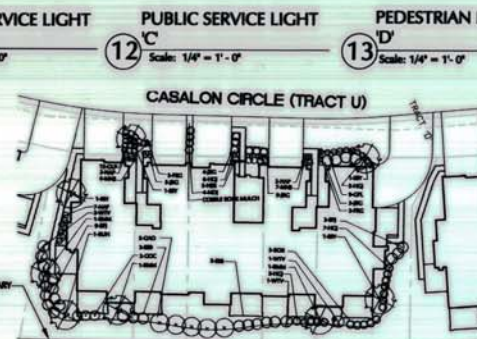
**\* 8 BICYCLE RACK**  
TIMBERFORM ORIGINAL CYCLOOPS 2170-S OR  
APPROVED EQUAL, COLOR: EVERGREEN



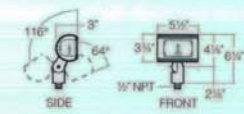
**\* 9 TRASH RECEPTACLE**  
TIMBERFORM 2811-FT OR APPROVED EQUAL  
COLOR: EVERGREEN



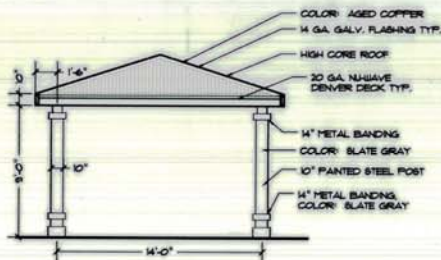
**\* 10 HOPSCOTCH PLAY SURFACE**  
Scale: 1/4" = 1'-0"



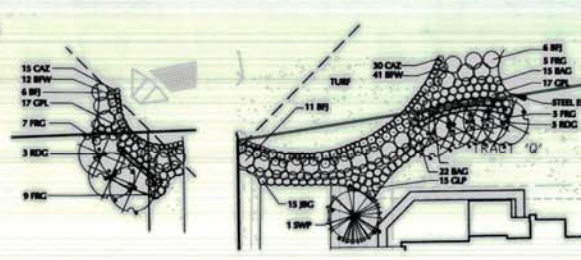
TYPICAL BOUNDARY  
AREA OF  
LANDSCAPE  
PLANTING



**15 UPLIGHT FOR MONUMENT  
SIGNAGE**  
Scale: NTS



**\* 17 SHADE STRUCTURE**  
Scale: 1/4" = 1'-0"  
SKYLARK SHELTER SYSTEMS, RENAISSANCE SHELTER



**\* 18 SECONDARY MONUMENT  
PLANTING  
TYPICAL**  
Scale: NTS

**\* 19 PRIMARY MONUMENT  
PLANTING TYPICAL**  
Scale: NTS

### 16 BUILDING TYPICAL LANDSCAPE FOUNDATION PLANTING PLANT DENSITY CHART

BUILDING TYPICAL PLANT SCHEDULE				RB-4 PLANT SCHEDULE			
QTY.	SYMB.	COMMON NAME	SCIENTIFIC NAME	QTY.	SYMB.	COMMON NAME	SCIENTIFIC NAME
<b>ORNAMENTAL TREES</b>							
2	RMM	ROCKY MOUNTAIN MAPLE	<i>Acer glabrum</i>	13	CAC	AMA COMPACT CRANBERRY	<i>Viburnum trilobum 'Compact'</i>
4	RLH	RUBIAN HAWTHORNE	<i>Crataegus arbutifolia</i>	13	GAO	GAMBLE OAK	<i>Quercus gambelii</i>
4	SBY	SHYBLOW SERVICEBERRY	<i>Amelanchier canadensis</i>	8	PLC	PLAINS COTTONWOOD	<i>Populus deltoides</i>
7	TOTAL TREE COUNT PER BUILDING			21	RTD	RED TWIG DOGWOOD	<i>Cornus stolonifera</i>
2	WTV	WAYFARING TREE	<i>Viburnum lentago</i>	2	WTV	WAYFARING TREE	<i>Viburnum lentago</i>
108	TOTAL TREE COUNT PER BUILDING			55	TOTAL SHRUBS		

DECIDUOUS SHRUBS			
5	BCR	BOULDER BURNING	<i>Rubus Delicatiss</i>
5	GAC	GAMBLE OAK	<i>Quercus gambelii</i>
3	GOC	GOLDEN CURRIANT	<i>Ribes aureum</i>
24	CPL	GREAT PLAINS LEADPLANT	<i>Astragalus canadensis</i>
11	NAP	NATIVE POTENTILLA	<i>Potentilla fruticosa</i>
5	NRB	WILD ROSE	<i>Rosa woodii</i>
8	SBY	SHYBLOW SERVICEBERRY	<i>Amelanchier canadensis</i>
4	WTV	WAYFARING TREE	<i>Viburnum lentago</i>
EVERGREEN SHRUBS			
12	B1L	BURFORD JUNIPER	<i>Juniperus sibirica 'bulgar'</i>
23	H2C	HOLDSRUB JUNIPER	<i>Juniperus horizontalis 'bulgar'</i>
4	MEI	MEDICINA PLANTER	<i>Juniperus scopulorum 'Medlar'</i>
104	TOTAL SHRUB COUNT PER BUILDING		

Various Areas of Landscaping	Design Callouts Requirement	Unit	Total Units	Quantity Required	Quantity Provided
Street E.O.W. Caliente Avenue (East Side)	1 Tree / 40 L.F. or Cross Street	L.F.	1,525	38	40
Private Drives	1 Tree / 40 L.F.	L.F.	4,176	104	104
Open Space Landscaping Area 3.16 AC. 75% of Landscaping Area	1 Tree / 825 Sq. Ft. of Landscaping Area	S.F.	103,237	125	125
Required Area	Min. Cal. of Deciduous Trees	Min. 16. of Coniferous Trees	Deciduous & Coniferous Shrubs		
10K Large	2" Caliper	Greater than 8"	3 Cal.		
70K Medium	2 1/4" or 2 3/4" Caliper	8" to 8"	3 Cal.		
20K Small	1 1/2" to 2" Caliper	4" to 4"	3 Cal.		

NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.00	ALM
2	FDP SUBMITTAL	05.31.00	ALM
3	revision	06.14.00	ALM
4	revision	07.10.00	ALM
5	revision	08.06.00	ALM

\* NOTE: DETAILS WITH ASTERISK TO BE MAINTAINED BY SMD3. HOA HAS THE RIGHT BUT NOT THE OBLIGATION TO PROVIDE ADDITIONAL MAINTENANCE.



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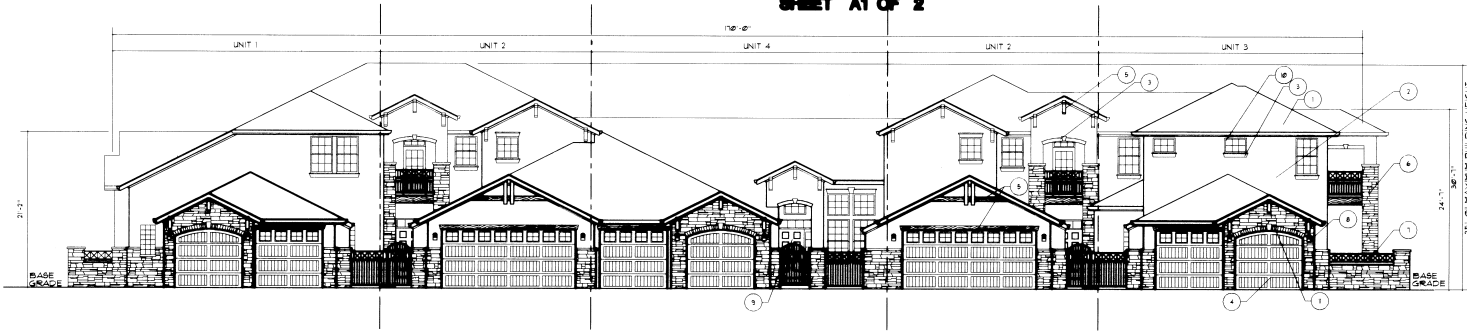
SITE FURNITURE/  
DETAILS  
FDP ZONE PLAN  
SHEET C12 OF 12



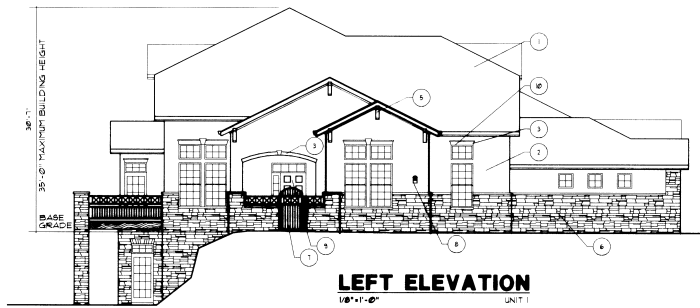
# CALMANTE

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T19S, R69W OF THE 6th P.M.,  
COUNTY OF BOULDER, STATE OF COLORADO  
6-FLEX ELEVATIONS

## FINAL DEVELOPMENT PLAN SHEET A1 OF 2



**FRONT ELEVATION**  
1/8"=1'-0"



**LEFT ELEVATION**  
1/8"=1'-0"



**RIGHT ELEVATION**  
1/8"=1'-0"



**REAR ELEVATION**  
1/8"=1'-0"

On August 4 2021 Town staff administratively approved a change in the roof color for Calmante I. Because the entire development is being re-roofed as part of a larger construction update project and because the former roofing color is no longer available, the Calmante HOA requested to replace the grey roof tile originally approved with a Boral class IV high impact (hail and wind) tile in Black Saxony Slate. This color will also complement one of the three roofing colors used within Calmante II.

\*If products as specified become unavailable Rock Creek Homes LLC has the right to substitute products and manufacturers of equal color and quality to match material board provided and Exterior Material and Color Chart.

NO.	MATERIAL	SPECIFICATION
1	Dimensional Asphalt Shingles 30-year Architectural Grade	Tango Mountain Slate Blend or Painted Desert
2	Hardcoat Stucco - Primary	Painted or Integral color - (Cream or Taupe)
3	Hardcoat Stucco - Trim/Accent	Painted or Integral color - (Warm Gray)
4	Garage Doors	Semi-transparent stain - (Light Cedar)
5	Exposed Wood Trim Beams Bridges	Semi-transparent stain - (Light Cedar)
6	Synthetic Stone Veneer	Ledge stone - Blacked w/ Rubble Mountain or Rustic Blend
7	Wrought Iron Rolling Gate	Painted - Hemlock Green or Black
8	Building Lighting	Craftsman style - Varnish Solid Brass
9	Front Door: Patio Door	Semi-transparent stain - (Light Cedar)
10	Window	Vinyl frames-White or Taupe
11	Synthetic Stone Arch/Keystone	Ledge stone - Mountain or Rustic Blend

### Notes:

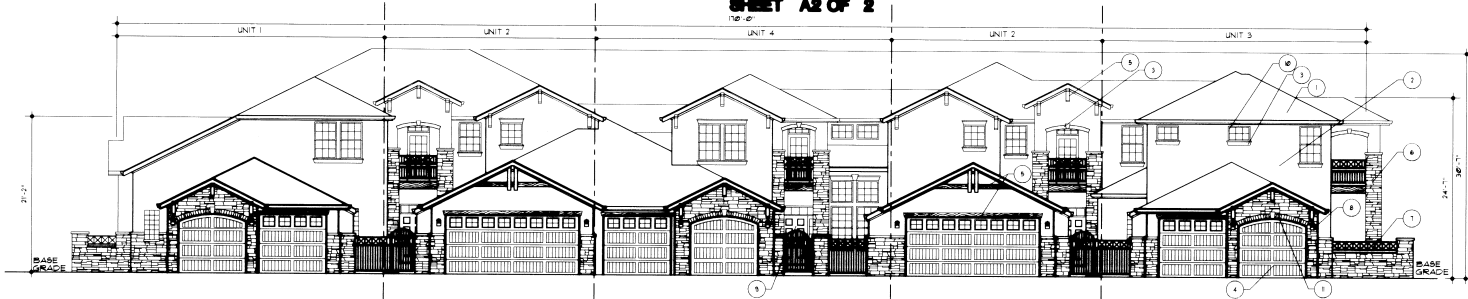
#### MAXIMUM BUILDING HEIGHT

BUILDING HEIGHTS IN THE RESIDENTIAL AREAS ARE LIMITED TO 39'-0" EXCLUSIVE OF BALCONIES AND GARDEN LEVELS. HEIGHTS SHALL BE MEASURED FROM THE ESTABLISHED AVERAGE BASE OF THE STRUCTURE TO THE TOP OR HIGHEST POINT OF THE STRUCTURE OR ACCESSORY APPLIANCE EXCEPTED. ACCESSORY APPLIANCES ARE CHIMNEYS, UTILITY VENTILATION PIPES AND LIGHTNING RODS.

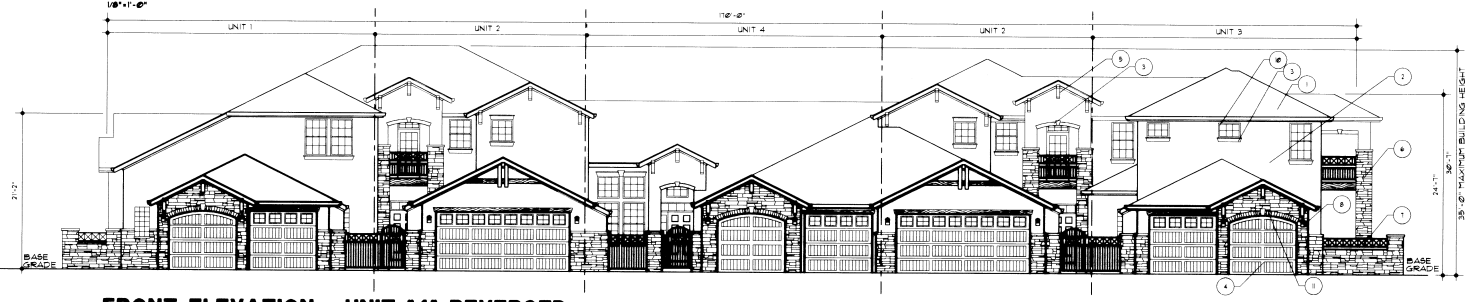
**6-FLEX ELEVATIONS  
FINAL DEVELOPMENT PLAN  
SHEET A1 OF 2**

# CALMANTE

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T18R, R69W OF THE 6th P.M.,  
COUNTY OF BOULDER, STATE OF COLORADO  
6-FLEX ELEVATIONS  
FINAL DEVELOPMENT PLAN  
SHEET A2 OF 2

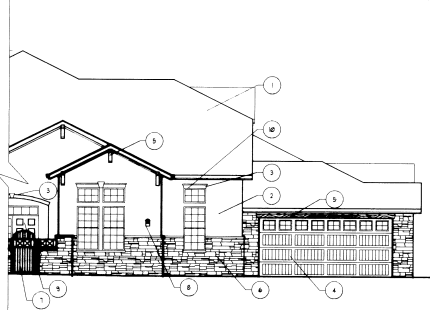


**FRONT ELEVATION- POPTOP UNIT '4'**  
1/8"=1'-0"

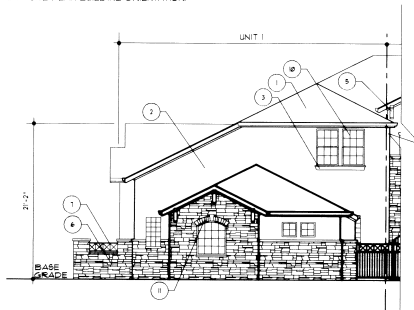


**FRONT ELEVATION- UNIT '4' REVERSED**  
1/8"=1'-0"

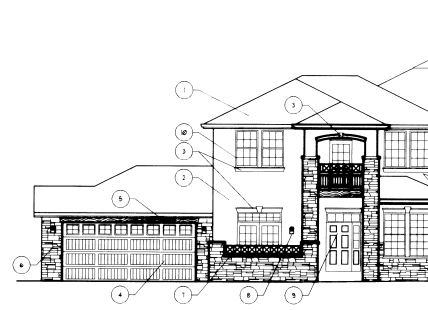
**SITE PLAN NOTE**  
BUILDING ELEVATIONS MAY BE REVERSED PER SITE PLAN,  
VERIFY WITH SITE PLAN BUILDING ORIENTATION.



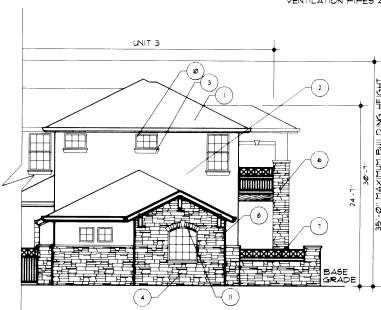
**LEFT ELEVATION- UNIT '1'**  
1/8"=1'-0" SIDE LOAD GARAGE



**FRONT ELEVATION- UNIT '1'**  
1/8"=1'-0" SIDE LOAD GARAGE



**RIGHT ELEVATION- UNIT '3'**  
1/8"=1'-0" SIDE LOAD GARAGE



**FRONT ELEVATION- UNIT '3'**  
1/8"=1'-0" SIDE LOAD GARAGE

On August 4 2021 Town staff administratively approved a change in the roof color for Calmanite I. Because the entire development is being re-roofed as part of a larger construction update project and because the former roofing color is no longer available, the Calmanite HOA requested to replace the grey roof tile originally approved with a Borral class IV high impact (hail and wind) tile in Black Saxony Slate. This color will also compliment one of the three roofing colors used within Calmanite II.

"If products as specified become unavailable, Rock Creek Homes LLC has the right to substitute products and manufacturers of equal color and quality to match material colors provided and Exterior Material and color chart."

NO.	MATERIAL	SPECIFICATION
1	Dimensional Asphalt Shingles 30-year Architectural Grade	Tango-Mountain Slate Blend or Painted Desert
2	Hardcoat Stucco - Primary	Painted or Integral color - /Clare / Taupe
3	Hardcoat Stucco - Trim/Accent	Painted or Integral color - /Lam Grey
4	Garage Doors	Semi-transparent stain - Light cedar
5	Exposed Wood Trim/Beams, Brackets	Semi-transparent stain - Light cedar
6	Synthetic Stone Veneer	Ledge stone - Stacked /Rubble /Mountain or Rustic Blend
7	Wrought Iron Railing/Gate	Painted - Hamlock Green or Black
8	Building Lighting	Craftsman style - Varnish Solid Brass
9	Front Door, Patio Door	Semi-transparent stain - Light cedar
10	Windows	Wing frame white or Taupe
11	Synthetic Stone Veneer	Ledge stone - /Mountain or Rustic Blend

**MAXIMUM BUILDING HEIGHT**  
BUILDING HEIGHTS IN THE RESIDENTIAL AREA ARE  
LIMITED TO 35'-0" EXCLUSIVE OF BALCONIES AND  
GARDEN LEVELS. HEIGHTS SHALL BE MEASURED FROM  
THE ESTABLISHED AVERAGE BASE GRADE OF THE  
STRUCTURE TO THE TOP OR HIGHEST POINT OF THE  
STRUCTURE OR ACCESSORY APPURTENANCE EXCEPTED  
ACCESSORY APPURTENANCES ARE CHIMNEYS, UTILITY  
VENTILATION PIPES AND LIGHTNING RODS.

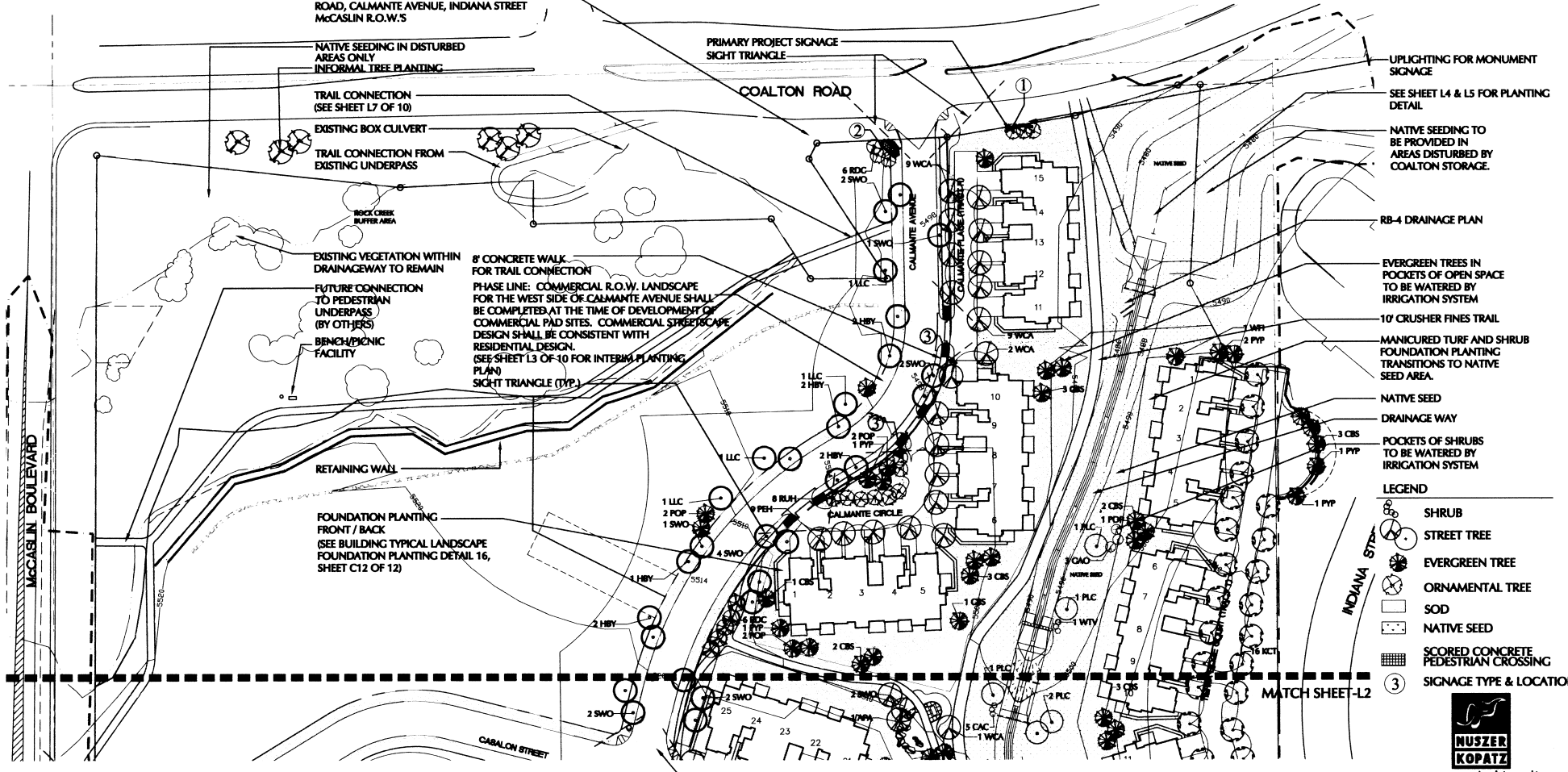


# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN

## FINAL DEVELOPMENT PLAN SHEET L1 OF 10

ROCK CREEK HOMES IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE IRRIGATION BETWEEN TRACTS & COALTON ROAD, CALMANTE AVENUE, INDIANA STREET McCASLIN R.O.W.'S



NATIVE SEEDING IN DISTURBED AREAS ONLY  
INFORMAL TREE PLANTING

TRAIL CONNECTION (SEE SHEET L7 OF 10)

EXISTING BOX CULVERT

TRAIL CONNECTION FROM EXISTING UNDERPASS

ROCK CREEK FLUTTER AREA

EXISTING VEGETATION WITHIN DRAINAGEWAY TO REMAIN

FUTURE CONNECTION TO PEDESTRIAN UNDERPASS (BY OTHERS)

BENCH/PICNIC FACILITY

RETAINING WALL

FOUNDATION PLANTING FRONT / BACK (SEE BUILDING TYPICAL LANDSCAPE FOUNDATION PLANTING DETAIL 16, SHEET C12 OF 12)

8' CONCRETE WALK FOR TRAIL CONNECTION  
PHASE LINE: COMMERCIAL R.O.W. LANDSCAPE FOR THE WEST SIDE OF CALMANITE AVENUE SHALL BE COMPLETED AT THE TIME OF DEVELOPMENT OF COMMERCIAL PAD SITES. COMMERCIAL STREETSCAPE DESIGN SHALL BE CONSISTENT WITH RESIDENTIAL DESIGN. (SEE SHEET L3 OF 10 FOR INTERIM PLANTING PLAN)  
SIGHT TRIANGLE (TYP.)

PRIMARY PROJECT SIGNAGE SIGHT TRIANGLE

COALTON ROAD

CALMANITE AVENUE

CALMANITE CIRCLE

CABALON STREET

UPLIGHTING FOR MONUMENT SIGNAGE

SEE SHEET L4 & L5 FOR PLANTING DETAIL

NATIVE SEEDING TO BE PROVIDED IN AREAS DISTURBED BY COALTON STORAGE.

RB-4 DRAINAGE PLAN

EVERGREEN TREES IN POCKETS OF OPEN SPACE TO BE WATERED BY IRRIGATION SYSTEM

10' CRUSHER FINES TRAIL

MANICURED TURF AND SHRUB FOUNDATION PLANTING TRANSITIONS TO NATIVE SEED AREA.

NATIVE SEED

DRAINAGE WAY

POCKETS OF SHRUBS TO BE WATERED BY IRRIGATION SYSTEM

LEGEND

- SHRUB
- STREET TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SOD
- NATIVE SEED
- SCORED CONCRETE
- PEDESTRIAN CROSSING
- SIGNAGE TYPE & LOCATION



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n.kopatz@nuskopatz.com

### LANDSCAPE CONCEPT

The landscape concept being developed for Calmanite community takes its inspiration from the historic rural ambience of the high plains/foothills transition zone that stretches along the front range foothills of Colorado with informally groved deciduous and evergreen trees that emphasize the plain/foothills transition. The central open space/drainage way will feature a path that meanders through the undulating topography. Native grass is planted along the path which then transitions to a manicured turf zone outside the shrub foundation plantings. Within the multi-family neighborhood deciduous trees and evergreen trees will enhance the pockets of open space. A palette of thematic signature elements such as community monumentation, signage and lighting is being developed to evoke a rural foothills ambience. Used in harmony with the community's site layout, pockets of open space, native planting schemes, and appropriately scaled and detailed architecture, these signature elements complete a design package that will set Calmanite apart as a community uniquely crafted to suit its visual context.

SCORED & COLORED CONCRETE CROSS WALK (TYP.)

NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.02	ALW
2	FDP SUBMITTAL	05.31.02	ALW
3	revision	06.14.02	ALW
4	revision	07.15.02	ALW
5	revision	08.09.02	ALW
6	revision	11.18.02	ALW

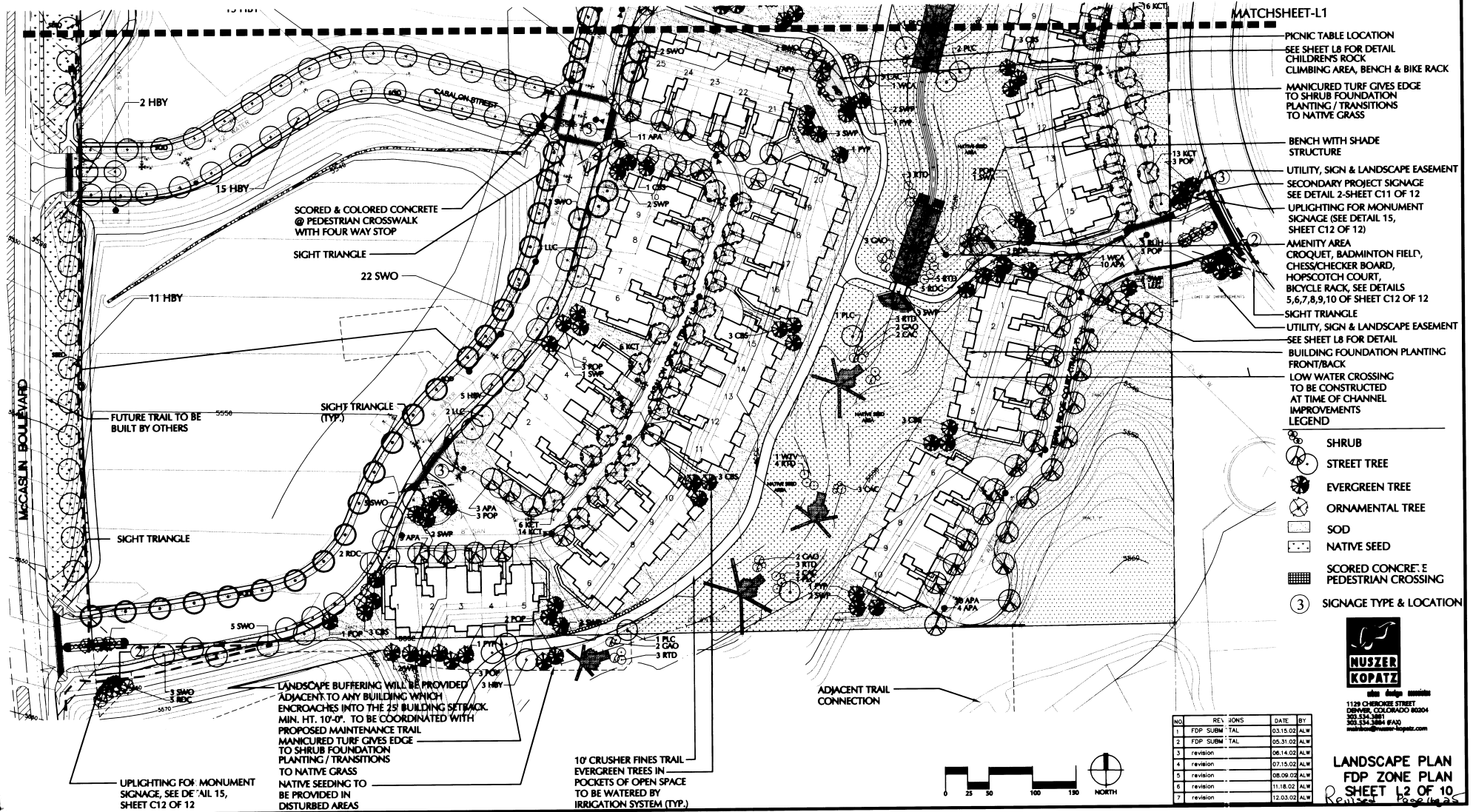


LANDSCAPE PLAN  
FDP ZONE PLAN  
SHEET L1 OF 10  
FDP L1 & L2



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET L2 OF 10



- MATCHSHEET-L1**
- ① PICNIC TABLE LOCATION  
SEE SHEET L8 FOR DETAIL  
CHILDRENS ROCK  
CLIMBING AREA, BENCH & BIKE RACK
  - ② MANICURED TURF GIVES EDGE  
TO SHRUB FOUNDATION  
PLANTING / TRANSITIONS  
TO NATIVE GRASS
  - ③ BENCH WITH SHADE  
STRUCTURE
  - ④ UTILITY, SIGN & LANDSCAPE EASEMENT  
SECONDARY PROJECT SIGNAGE  
SEE DETAIL 2-SHEET C11 OF 12
  - ⑤ UPLIGHTING FOR MONUMENT  
SIGNAGE (SEE DETAIL 15,  
SHEET C12 OF 12)
  - ⑥ AMENITY AREA  
CROQUET, BADMINTON FIELD,  
CHESS/CHECKER BOARD,  
HOPSCOTCH COURT,  
BICYCLE RACK, SEE DETAILS  
5,6,7,8,9,10 OF SHEET C12 OF 12
  - ⑦ SIGHT TRIANGLE  
UTILITY, SIGN & LANDSCAPE EASEMENT  
SEE SHEET L8 FOR DETAIL  
BUILDING FOUNDATION PLANTING  
FRONT/BACK
  - ⑧ LOW WATER CROSSING  
TO BE CONSTRUCTED  
AT TIME OF CHANNEL  
IMPROVEMENTS
- LEGEND**
- ① SHRUB
  - ② STREET TREE
  - ③ EVERGREEN TREE
  - ④ ORNAMENTAL TREE
  - ⑤ SOD
  - ⑥ NATIVE SEED
  - ⑦ SCORED CONCRETE  
PEDESTRIAN CROSSING
  - ⑧ SIGNAGE TYPE & LOCATION



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NO.	REV.	REVISIONS	DATE	BY
1	FDP	SUBM. TAL	03.18.02	ALM
2	FDP	SUBM. TAL	06.31.02	ALM
3	revision		08.14.02	ALM
4	revision		07.15.02	ALM
5	revision		08.09.02	ALM
6	revision		11.18.02	ALM
7	revision		12.03.02	ALM

**LANDSCAPE PLAN  
Landscape Plan  
SHEET L2 OF 10**

SCORED & COLORED CONCRETE  
① PEDESTRIAN CROSSWALK  
WITH FOUR WAY STOP

SIGHT TRIANGLE

SIGHT TRIANGLE  
(TYP.)

FUTURE TRAIL TO BE  
BUILT BY OTHERS

SIGHT TRIANGLE

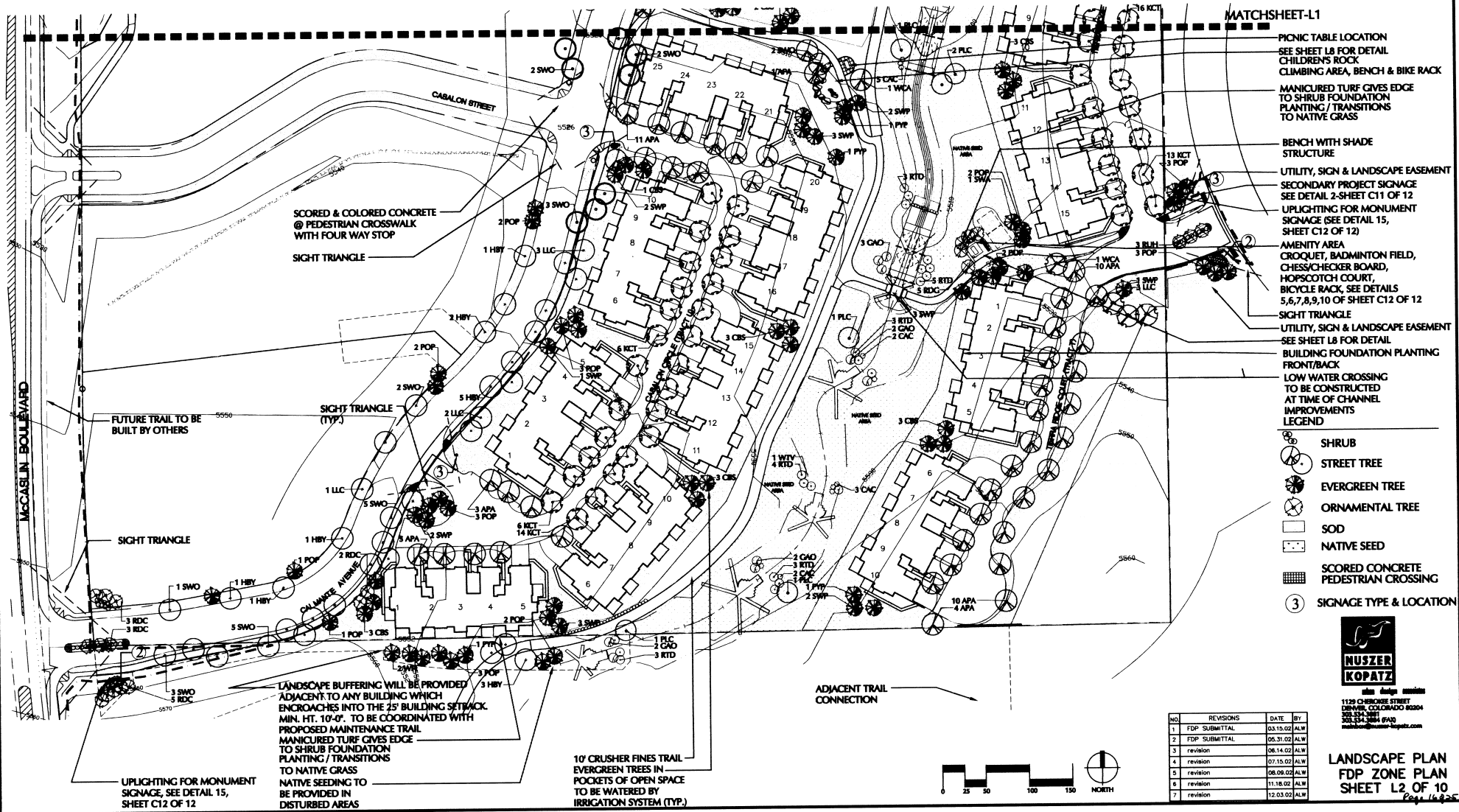
LANDSCAPE BUFFERING WILL BE PROVIDED  
ADJACENT TO ANY BUILDING WHICH  
ENCROACHES INTO THE 25' BUILDING SETBACK.  
MIN. HT. 10'-0" TO BE COORDINATED WITH  
PROPOSED MAINTENANCE TRAIL  
MANICURED TURF GIVES EDGE  
TO SHRUB FOUNDATION  
PLANTING / TRANSITIONS  
TO NATIVE GRASS  
NATIVE SEEDING TO  
BE PROVIDED IN  
DISTURBED AREAS

10' CRUSHER FINES TRAIL  
EVERGREEN TREES IN  
POCKETS OF OPEN SPACE  
TO BE WATERED BY  
IRRIGATION SYSTEM (TYP.)



# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET L2 OF 10



- MATCHSHEET-L1**
- PICNIC TABLE LOCATION
  - SEE SHEET L8 FOR DETAIL
  - CHILDRENS ROCK
  - CLIMBING AREA, BENCH & BIKE RACK
  - MANICURED TURF GIVES EDGE TO SHRUB FOUNDATION PLANTING / TRANSITIONS TO NATIVE GRASS
  - BENCH WITH SHADE STRUCTURE
  - UTILITY, SIGN & LANDSCAPE EASEMENT
  - SECONDARY PROJECT SIGNAGE
  - SEE DETAIL 2-SHEET C11 OF 12
  - UPLIGHTING FOR MONUMENT SIGNAGE (SEE DETAIL 15, SHEET C12 OF 12)
  - AMENITY AREA
  - CROQUET, BADMINTON FIELD, CHESS/CHECKER BOARD, HOPS/COTCH COURT, BICYCLE RACK. SEE DETAILS 5,6,7,8,9,10 OF SHEET C12 OF 12
  - SIGHT TRIANGLE
  - UTILITY, SIGN & LANDSCAPE EASEMENT
  - SEE SHEET L8 FOR DETAIL
  - BUILDING FOUNDATION PLANTING FRONT/BACK
  - LOW WATER CROSSING TO BE CONSTRUCTED AT TIME OF CHANNEL IMPROVEMENTS

- LEGEND**
- SHRUB
  - STREET TREE
  - EVERGREEN TREE
  - ORNAMENTAL TREE
  - SOD
  - NATIVE SEED
  - ▨ SCORED CONCRETE PEDESTRIAN CROSSING
  - ③ SIGNAGE TYPE & LOCATION

**NUSZER KOPATZ**  
*landscape architecture*  
 1129 CHERRY STREET  
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 303.534.3344 (FAX)  
 nsk@nuskopatz.com

NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.02	ALW
2	FDP SUBMITTAL	05.31.02	ALW
3	revision	08.14.02	ALW
4	revision	07.15.03	ALW
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6	revision	11.18.02	ALW
7	revision	12.03.02	ALW

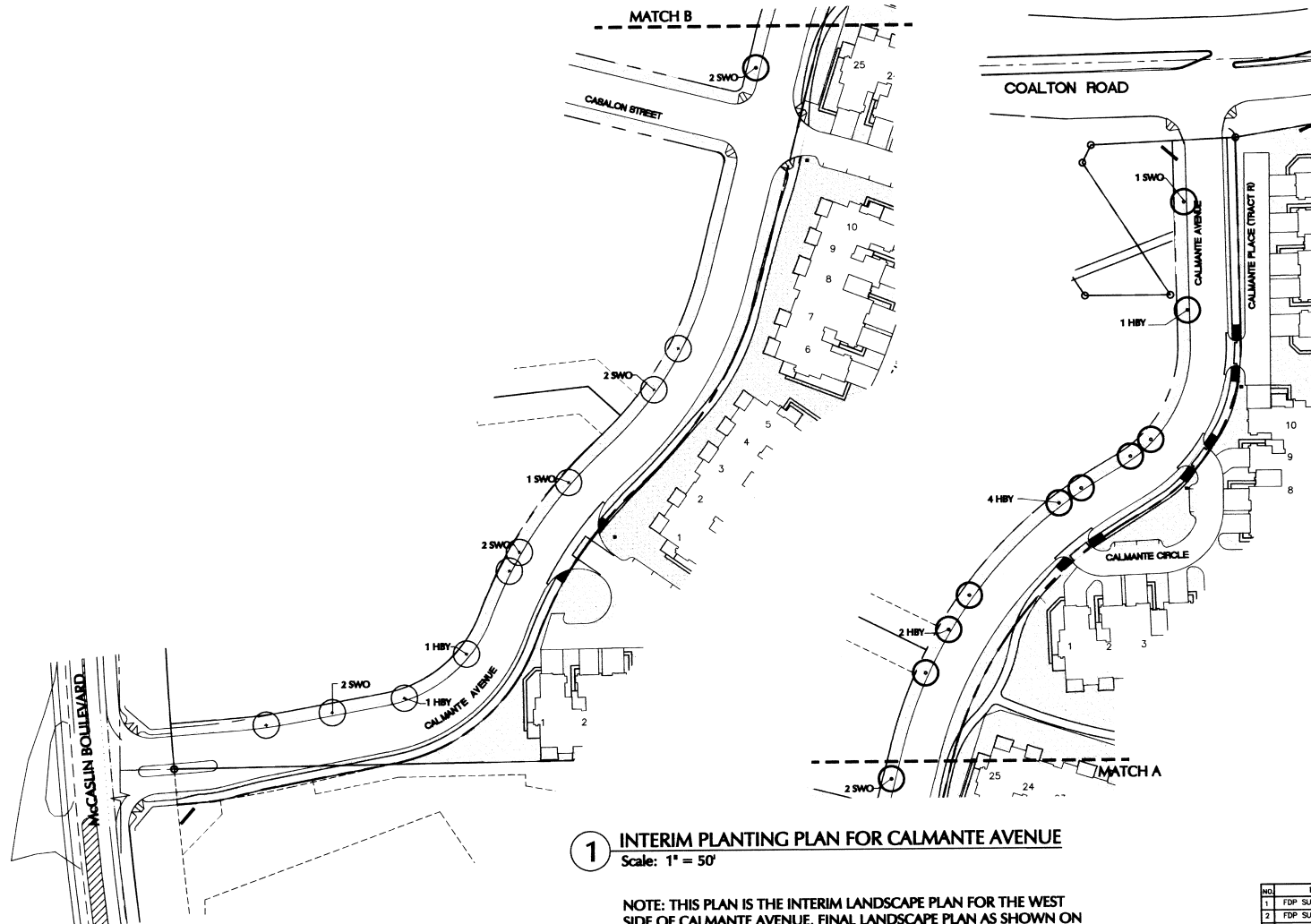
LANDSCAPE PLAN  
 FDP ZONE PLAN  
 SHEET L2 OF 10  
 Page 16 of 25





# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
 T1S, R69W OF THE 6th P.M.,  
 TOWN OF SUPERIOR, STATE OF COLORADO  
 INTERIM LANDSCAPE PLAN  
**FINAL DEVELOPMENT PLAN**  
 SHEET L3 OF 10



**1** INTERIM PLANTING PLAN FOR CALMANITE AVENUE  
 Scale: 1" = 50'

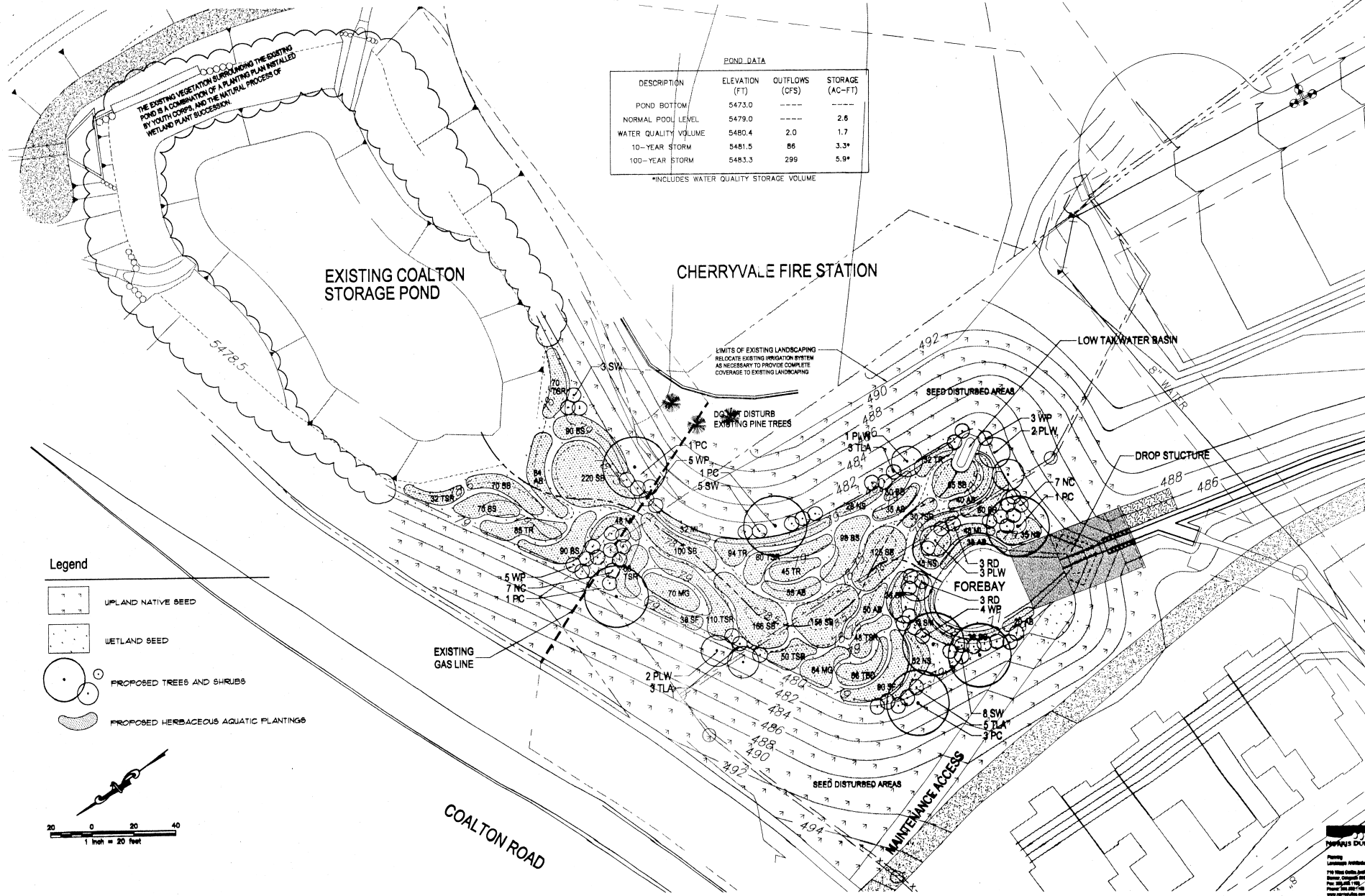
NOTE: THIS PLAN IS THE INTERIM LANDSCAPE PLAN FOR THE WEST SIDE OF CALMANITE AVENUE, FINAL LANDSCAPE PLAN AS SHOWN ON SHEET L1 & L2 OF 10 WILL BE COMPLETED WITH COMMERCIAL FDP.

NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.02	ALW
2	FDP SUBMITTAL	05.31.02	ALW
3	revision	06.14.02	ALW
4	revision	07.10.02	ALW
5	revision	08.08.02	ALW



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 303.733.4300  
 303.734.3884 FAX  
[www.nklandscape.com](http://www.nklandscape.com)

INTERIM LANDSCAPE PLAN  
 FDP ZONE PLAN  
 SHEET L3 OF 10  
 Page 25 of 25



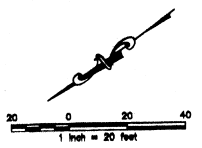
POND DATA

DESCRIPTION	ELEVATION (FT)	OUTFLOWS (CFS)	STORAGE (AC-FT)
POND BOTTOM	5473.0	---	---
NORMAL POOL LEVEL	5479.0	---	2.6
WATER QUALITY VOLUME	5480.4	2.0	1.7
10-YEAR STORM	5481.5	86	3.3*
100-YEAR STORM	5483.3	299	5.9*

\*INCLUDES WATER QUALITY STORAGE VOLUME

**Legend**

- UPLAND NATIVE SEED
- WETLAND SEED
- PROPOSED TREES AND SHRUBS
- PROPOSED HERBACEOUS AQUATIC PLANTINGS



SHAWN HOWES DALLEA CO.  
 1530 West Bayard Avenue, Suite 200  
 Ashland, Oregon 97103  
 Phone: 503.261.7800 Fax: 503.261.9700  
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### Plant Legend - Trees and Shrubs

Sym.	Common Name	Botanic Name	Size/Condition	Planting Instructions
PC	Plains Cottonwood	Populus deltoides	1 1/2" Cal. B+B specimen	1'-2' above water table no water in planting pit
PLW	Peach Leaf Willow	Salix amygdaloides	1 1/2" Cal. B+B specimen	1'-2' above water table no water in planting pit
TLA	Thin-Leaf Alder	Alnus tenuifolia	5 Gal. 24" height min.	3'-15" above water table
NC	Native Chokecherry	Prunus virginiana melanocarpa	5 Gal. 36" height min.	2'-3' above water table no water in planting pit
SW	Sandbar Willow	Salix exigua	5 Gal. 36" height min.	3'-1' above water table no water in planting pit
RD	Redstart Dogwood	Cornus stolonifera Bailey	5 Gal. 36" height min.	3'-1' above water table no water in planting pit
WP	Wild Plum	Prunus americana	5 Gal. 36" height min.	2'-4' above water table no water in planting pit

### Plant Legend - Herbaceous Aquatic Planting

Sym.	Common Name	Botanic Name	Number Plants/flat	Plant Height	Water Depth
MG	Manna grass	Glyceria striata	4 flats	8" min.	saturated to 0'-3"
AB	Aikill bulrush	Scirpus paludosus	10 flats	12" min.	0'-4"
NB	Norwalk sedge	Carex nebrascensis	5 flats	6" min.	saturated to 0'-6"
BR	Baltic rush	Juncus balticus	3 flats	6" min.	saturated to 0'-6"
TR	Torrey rush	Juncus torreyi	8 flats	6" min.	0'-3"
TBR	Three-square rush	Scirpus americanus	15 flats	12" min.	0'-6"
SB	Softstem bulrush	Scirpus validus	28 flats	18" min.	0'-6"
BD	Burreed	Spergularia eurycarpum	3 flats	12" min.	saturated to 0'-3"
SF	Sweet flag	Acorus calamus	4 flats	6" min.	saturated to 0'-3"
DS	Beaked sedge	Carex utriculata	12 flats	12" min.	0'-6"
MI	Missouri iris	Iris missouriensis	4 flats	6" min.	saturated soil
BM	Buam milkweed	Asclepias incarnata	1 flat	6" min.	saturated soil

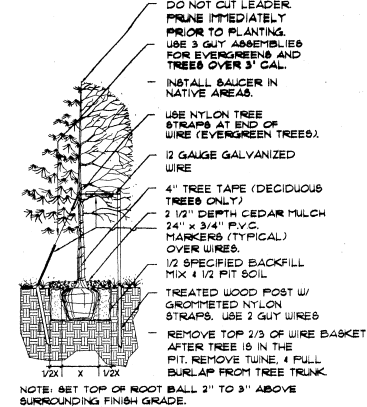
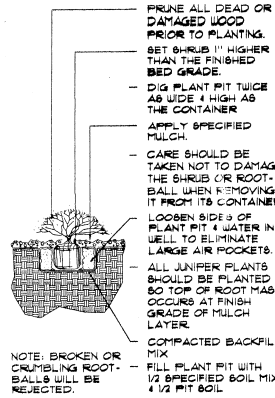
### Construction Notes

- The contractor is responsible for the cost to repair utilities, adjacent landscape, public and private property that is damaged by the contractor or their subcontractor's operation during installation for the specified maintenance period. Call for utility location prior to any excavation.
- The contractor shall report any discrepancies in plan vs. field conditions immediately to the Owner's representative, prior to continuing with the portion of the work.
- Trees and shrubs to be planted per detail. Install plant material in general locations shown on plan. Adjust location relative to moisture conditions for each species. Refer to Plant Legend for optimal moisture conditions for each species.
- Water all non-irrigated trees and shrubs every 2 days for the first 30 days after planting. Reduce watering to every 4 days from 31 days to 90 days after planting. Fully saturate soil within planting saucer with pond water. Minimize disturbance to the pond bank while watering. Suspend watering schedule until area floods. Resume watering after water level reaches normal pool level. If area floods, Prior to commencement of work, verify that all grades are correct and that top soil has been spread over all areas to be seeded and planted.
- Seeded areas are to receive the appropriate seed mix as indicated in the specifications and plans.
- Refer to Wetland Planting Section for typical location and maximum distance from pond edges for Tree, Shrub, and Herbaceous plantings.
- Do not disturb the existing landscaping that exists adjacent to the site.
- Planting Schedule:
  - Proceed with Wetland Seeding operation. After Wetland seeding is complete, the contractor shall fill the pond to the lower edge of the wetland zone. Dryland Seeding can occur concurrently provided seeded areas damaged by planting operation are repaired. Seed designated areas with appropriate seed mixes per specifications.
  - Once Wetland Seeding has been completed, begin filling of pond to the normal pool elevation gradually over a period of 10 days.
  - Once pond water has reached the normal pool elevation, commence with Tree, Shrub, Pot and Tubling installation. Stake planting areas and notify Owner's Representative for approval prior to planting.
  - Notify Owner's representative for approval of work once all work has been completed.

### Wetland Planting Notes

- Grade wetland habitat unevenly with variable water depth with areas 1'-2' above water surface.
- Hand broadcast wetland seed mix along uneven bottom of wetland area (5476.5) to the 5480.4 Post contour. Apply 1000 lbs/acre. Mulch area above normal pool level with weed free straw at 2,000 lbs/acre.
- Plant all herbaceous aquatic planting on 1/4" center. Use plant material that is twice the height of the normal pool level (see plant legend).
- Plant water quality trees and shrubs in saturated soil adjacent to normal pool elevation.

### Planting Details



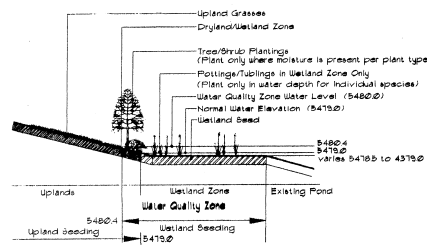
### Wetlands Seed Mix

Common Name	Botanic Name	Variety	PLB seeding rate lbs/acre
Western Wheatgrass	Pascopyrum smithii	Arriba	6.4
Woody sedge	Carex lanuginosa	native	0.2
Blue grama	Bouteloua gracilis	Lovington	1.0
Norwalk sedge	Carex nebrascensis	native	0.2
Suitgrass	Panicum virgatum	Blackwell	5.5
Inland saltgrass	Dactyloctenium aegyptium	native	1.0
Creeping spikerush	Eleocharis palustris	native	0.2
Baltic rush	Juncus balticus	native	0.5
Hardstem bulrush	Scirpus acutus	native	0.5
Prairie cordgrass	Spartina pectinata	native	4.3
Sand dropseed	Sporobolus cryptandrus	native	0.5
TOTAL			21.6 lbs. PLB/acre

### Upland Native Seed Mix

Common Name	Botanic Name	Variety	PLB seeding rate lbs/acre
GRASSES			
Western Wheatgrass	Pascopyrum smithii	native	1
Birds-oats grama	Bouteloua curtipendula	Butte	2
Blue grama	Bouteloua gracilis	native	2
Little bluestem	Horizachyum scoparium	native	1
Suitgrass	Panicum virgatum	Blackwell	3
Big Bluestem	Andropogon gerardii	native	4
Buffalgrass	Budhis dactyloides	native	4
Annual Rye	Lolium Multiflorum	2	2
Indiangrass	Borghastrum nutans	Chayama	2
Needle and thread	Stipa comata	1	1
FORBS			
Yarrow	Achillea lanulosa		1/4
Blanketflower	Gaillardia aristata		1/2
Prairie coneflower	Ratibida columnifera		1/4
TOTAL			23 lbs. PLB/acre

### Wetland Planting Section



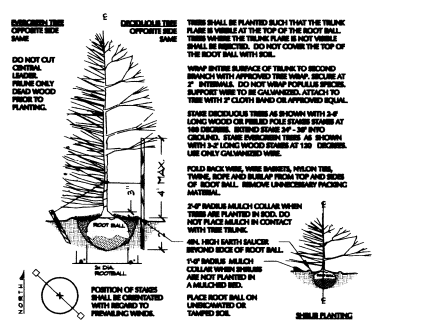
# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R69W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE / DETAILS  
FINAL DEVELOPMENT PLAN  
SHEET L6 OF 10

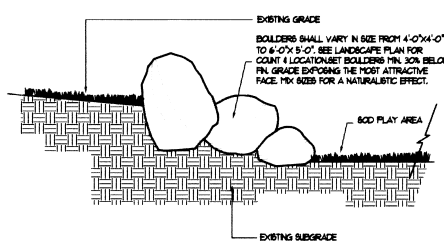
## PLANT SCHEDULE

SYM	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
<b>Deciduous Trees</b>			
APA	Autumn Purple Ash	<i>Fraxinus americana</i>	2 1/2" cal, B & B
HBT	Western Hackberry	<i>Celtis occidentalis</i>	2 1/2" cal, B & B
KCT	Kentucky Coffeetree	<i>Gymnocladia dioica</i>	2 1/2" cal, B & B
LLC	Lanceleaf Cottonwood	<i>Populus alata</i>	2 1/2" cal, B & B
PEH	Pyramidal European Hornbeam	<i>Carpinus betulae</i>	2 1/2" cal, B & B
RDC	Rubus Caneberry	<i>Rubus coccineus</i>	2" cal, B & B
RLH	Rainier Hawthorn	<i>Cornus amomum</i>	2" cal, B & B
TRM	Rocky Mountain Juniper	<i>Juniperus horizontalis</i>	3' clamp
SSV	Shrubble Silverberry	<i>Amelanchier canadensis</i>	6" cal, clamp, B & B
SWO	Sweepy White Oak	<i>Quercus macrocarpa</i>	2 1/2" cal, B & B
WCA	Western Camelia	<i>Quercus speciosa</i>	2 1/2" cal, B & B
<b>Evergreen Trees</b>			
BCP	Blue Colorado Spruce	<i>Picea canadensis</i>	5' B & B
COS	Colorado Spruce	<i>Picea pungens</i>	6'-8", B & B
PCP	Prince of Peace	<i>Picea canadensis</i>	6'-10", B & B
PPP	Prince of Peace	<i>Picea canadensis</i>	6'-10", B & B
SWP	Sweetgum White Pine	<i>Pinus strobus</i>	6'-8", B & B
WPI	White Pine	<i>Pinus strobus</i>	6'-10", B & B
<b>Evergreen Shrubs</b>			
BJT	Blue Juniper	<i>Juniperus horizontalis 'Blue Star'</i>	5 gal. cont., 18" gal
BSJ	Blue Star Juniper	<i>Juniperus horizontalis 'Blue Star'</i>	5 gal. cont., 18" gal
CBM	Compact Blueberry	<i>Juniperus horizontalis 'Compacta'</i>	5 gal. cont., 18" gal
HQJ	High Juniper	<i>Juniperus horizontalis 'High Juniper'</i>	5 gal. cont., 18" gal
MOJ	Moist Juniper	<i>Juniperus horizontalis 'Moist'</i>	5 gal. cont., 18" gal
<b>Deciduous Shrubs</b>			
BOC	Bottlebrush	<i>Rhus typhina</i>	5 gal. cont., 18" gal
CAC	Compact American Ceanothus	<i>Ceanothus americanus</i>	5 gal. cont., 24" gal
CLM	Calluna-leaved Mountain Honeysuckle	<i>Lonicera canadensis</i>	5 gal. cont., 24" gal
DNS	Dwarf Nannybush	<i>Fraxinus pennsylvanica</i>	5 gal. cont., 24" gal
DFH	Dwarf Hawthorn	<i>Crataegus mollis</i>	5 gal. cont., 24" gal
GCT	Garden Ceanothus	<i>Ceanothus americanus</i>	5 gal. cont., 24" gal
GOO	Garden Orange	<i>Quercus macrocarpa</i>	7 gal. cont., 24" gal
QLP	Queen Palm Landplant	<i>Quercus macrocarpa</i>	5 gal. cont., 18" gal
MMG	Mountain Mahogany	<i>Quercus macrocarpa</i>	5 gal. cont., B & B
NMP	Northern Magnolia	<i>Fraxinus americana</i>	5 gal. cont., 18" gal
NER	Northern Red Oak	<i>Quercus macrocarpa</i>	5 gal. cont., 18" gal
PLW	Prickly Pear	<i>Cylindropuntia</i>	5 gal. cont., 18" gal
RTD	Red-Twig Dogwood	<i>Cornus alternifolia</i>	5 gal. cont., 24" gal
RUS	Rainier Juniper	<i>Juniperus horizontalis</i>	5 gal. cont., 24" gal
SSB	Siberian Birch	<i>Betula pendula</i>	5 gal. cont., 24" gal
VLD	Virginia Sycamore	<i>Cornus alternifolia</i>	5 gal. cont., 24" gal
WFT	Witching Tree	<i>Ulmus americana</i>	4 clamp, B & B
<b>Perennials</b>			
BPW	Blue Phlox	<i>Phlox subulata</i>	1 gal. cont.
CAZ	California Zinnia	<i>Zinnia mexicana</i>	1 gal. cont.
HNS	Hardy Night Phlox	<i>Phlox subulata</i>	1 gal. cont.
SH	Shrub Hydrangea	<i>Hydrangea macrophylla</i>	1 gal. cont.
SDD	Shrub Dogwood	<i>Hydrangea macrophylla</i>	1 gal. cont.
SMW	Sweet Woodruff	<i>Galium aparine</i>	1 gal. cont.
<b>Grasses</b>			
AMC	Autumn Meadow Grass	<i>Poa annua</i>	4" pot
MAC	Bluegrass	<i>Poa annua</i>	1 gal. cont.
FBC	Feather Grass	<i>Stipa capensis</i>	1 gal. cont.
JBC	Japanese Blood Grass	<i>Imperata cylindrica</i>	1 gal. cont.
LBS	Lutea Bluegrass	<i>Poa annua</i>	1 gal. cont.
PMC	Purple Meadow Grass	<i>Poa annua</i>	1 gal. cont.

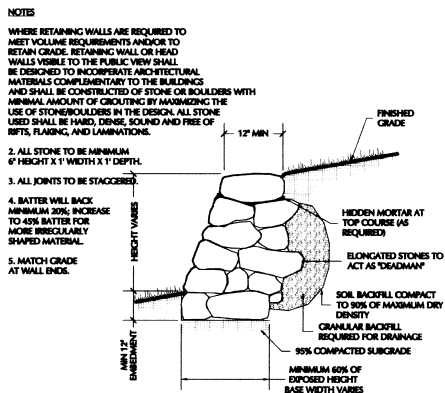
NATIVE SEED MIX COMMON NAME	BOTANICAL NAME	% of TOTAL	PLS / ACRE
Western Yellowgrass	<i>Agropyron spicatum</i> var. <i>spicatum</i>	25.0%	6.2 lbs.
Big Bluestem	<i>Andropogon furcatus</i>	25.0%	6.2 lbs.
Spike-Orchard Grass	<i>Bromus corymbosus</i> var. <i>B. corymbosus</i>	8.3%	2.1 lbs.
Blue Grass	<i>Bromus corymbosus</i> var. <i>B. corymbosus</i>	4.2%	1.1 lbs.
Bluegrass	<i>Poa annua</i> var. <i>annua</i>	8.3%	2.1 lbs.
Bluegrass	<i>Stachytarpheta indica</i> var. <i>Stachytarpheta indica</i>	8.3%	2.1 lbs.
Lutea Bluegrass	<i>Poa annua</i>	7.5%	1.9 lbs.
Annual Ryegrass	<i>Lolium perenne</i>	15%	3.9 lbs.



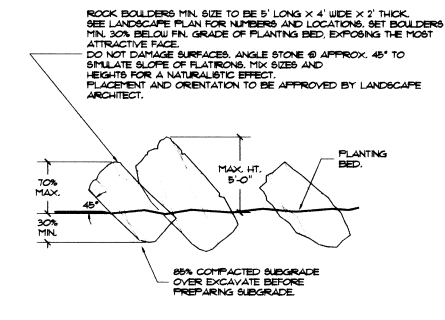
**1 PLANTING DETAIL**  
Scale: N.T.S.



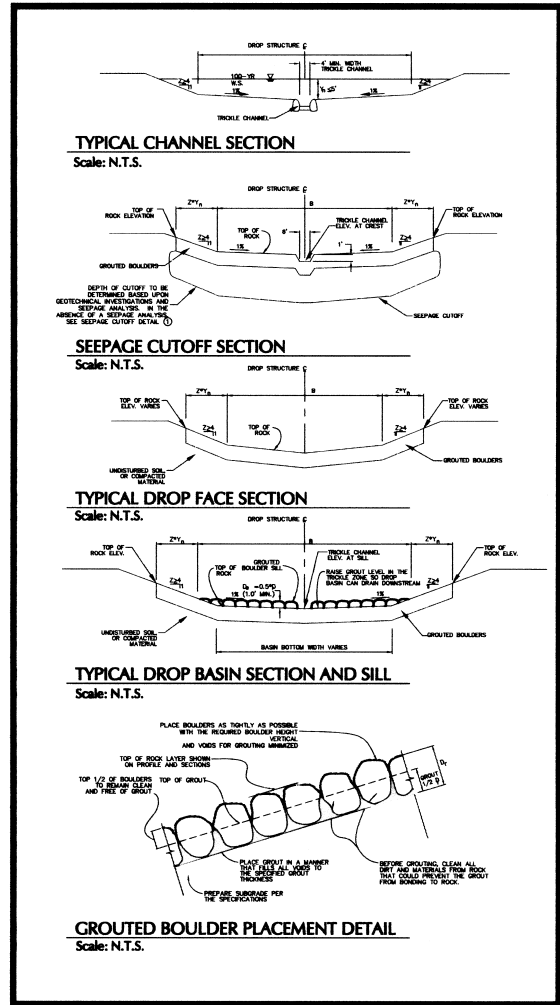
**3 BOULDER CLIMBING WALL / @ CHILDREN'S ROCK CLIMBING AREA**  
Scale: 1/2" = 1'-0"



**2 RETAINING WALL**  
Scale: 1/2" = 1'-0"  
NOTE: RETAINING WALLS OVER 3 FEET MUST BE ENGINEERED BY A REGISTERED COLORADO PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION



**4 BOULDERS @ CHILDREN'S ROCK CLIMBING AREA**  
Scale: 1/2" = 1'-0"



**6 DROP STRUCTURE DETAILS**  
Scale: N.T.S.  
SEE CONSTRUCTION PLANS FOR FINAL DROP STRUCTURE DETAILS. THESE STRUCTURES SHALL BE DESIGNED BY A REGISTERED COLORADO PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION

NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.02	ALW
2	FDP SUBMITTAL	05.31.02	ALW
3	revision	06.14.02	ALW
4	revision	07.10.02	ALW

**LANDSCAPE / DETAILS**  
FDP ZONE PLAN  
SHEET L6 OF 10

**NUSZER KOPATZ**  
also design associates  
1129 CHEROKEE STREET  
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303.733.3344  
www.nuszerkopatz.com

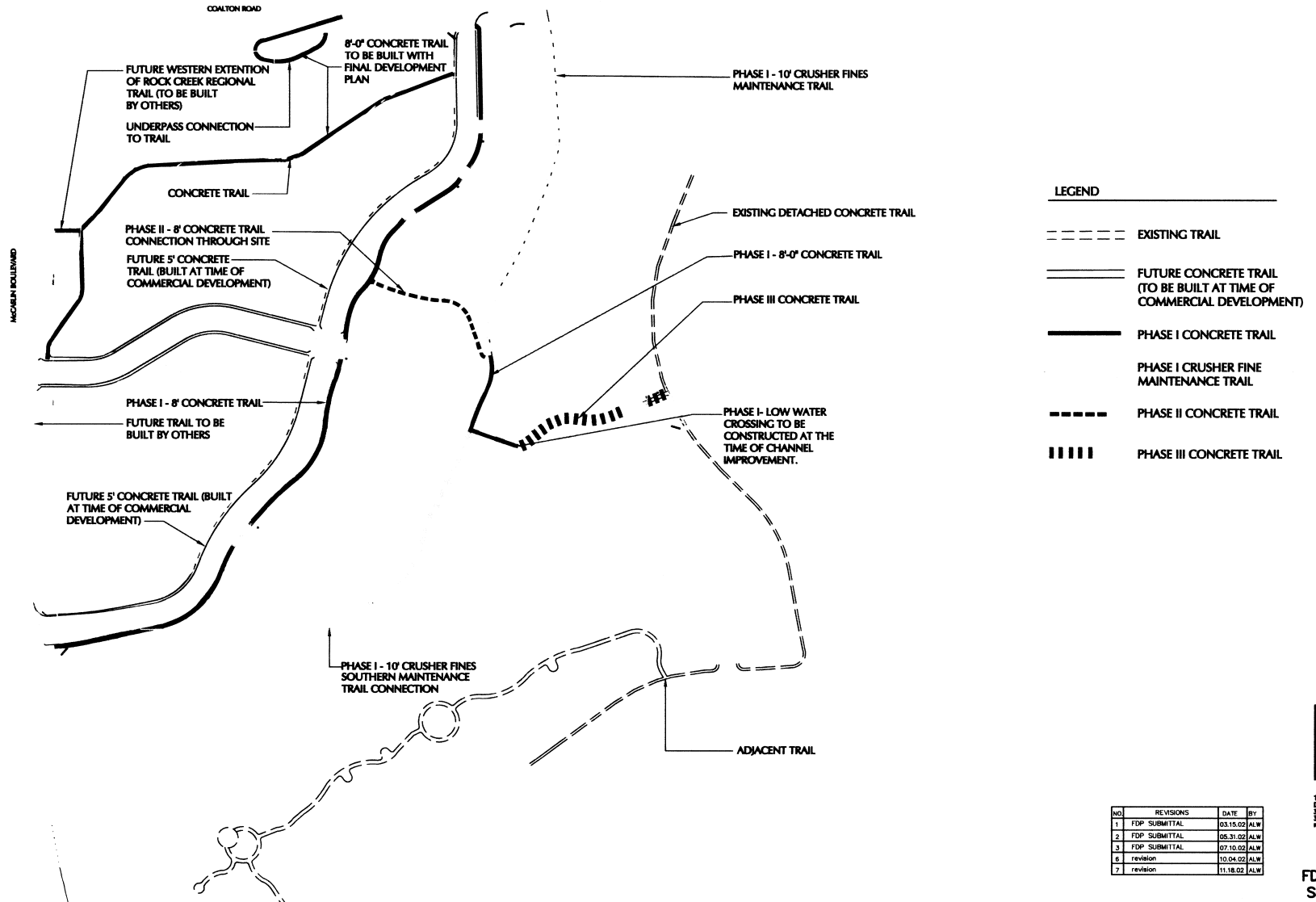


# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T1S, R89W OF THE 6th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO

## TRAILS MAP

FINAL DEVELOPMENT PLAN  
SHEET L7 OF 10



NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.02	ALW
2	FDP SUBMITTAL	05.30.02	ALW
3	FDP SUBMITTAL	07.10.02	ALW
4	revision	10.04.02	ALW
7	revision	11.18.02	ALW

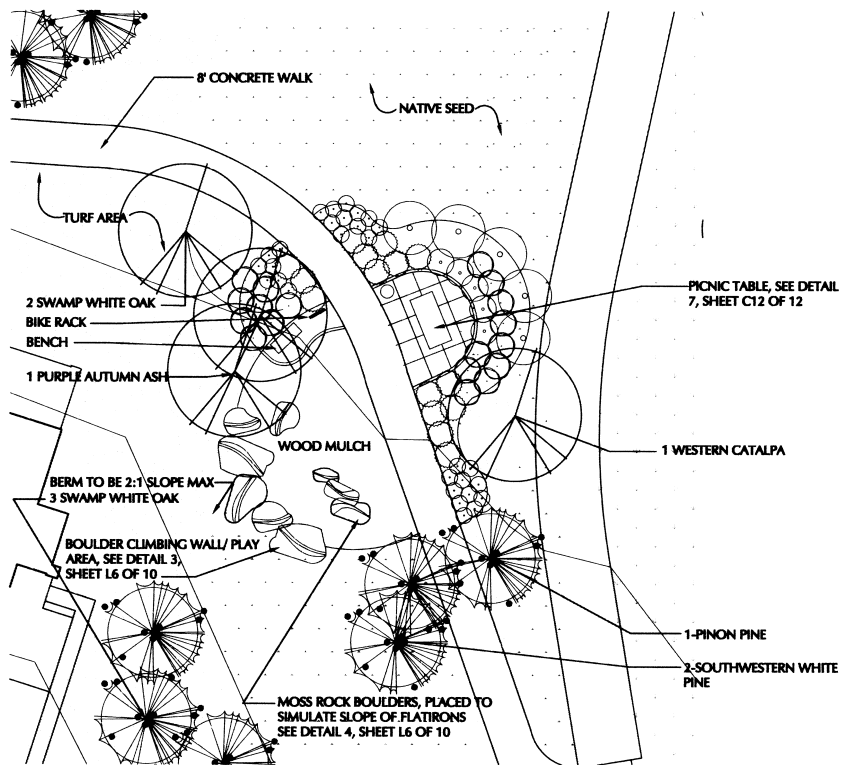


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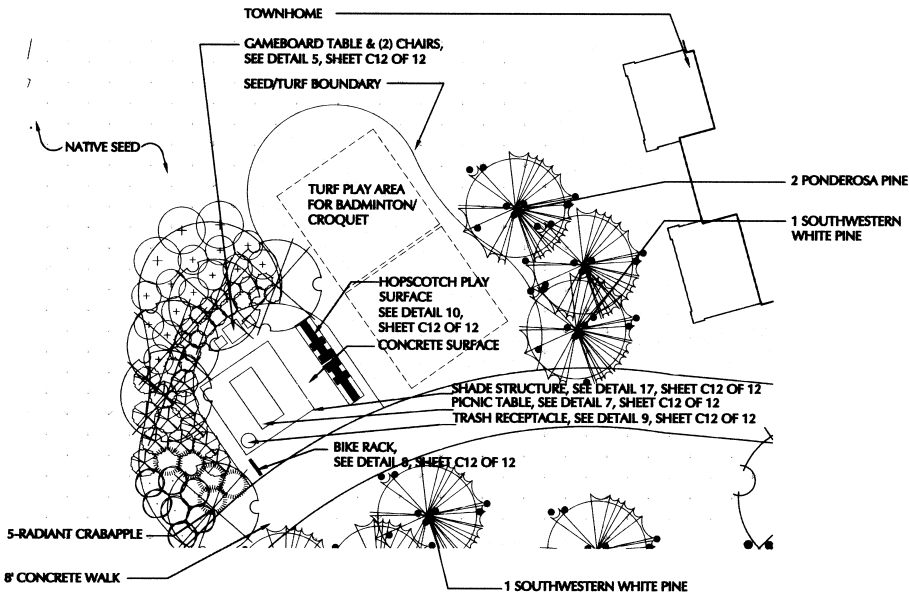
TRAILS MAP  
FDP ZONE PLAN  
SHEET L7 OF 10  
1/27/02

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,  
T19, R89W OF THE 8th P.M.,  
TOWN OF SUPERIOR, STATE OF COLORADO  
LANDSCAPE PLAN  
FINAL DEVELOPMENT PLAN  
SHEET L8 OF 10



**1 CHILDREN'S ROCK CLIMBING AREA**  
Scale: 1" = 10'-0"  
NORTH



**2 AMENITY AREA**  
Scale: 1" = 10'-0"  
NORTH

NO.	REVISIONS	DATE	BY
1	FDP SUBMITTAL	03.15.02	ALW
2	FDP SUBMITTAL	06.31.02	ALW
3	revision	08.14.02	ALW
4	revision	07.10.02	ALW
5	revision	08.08.02	ALW

LANDSCAPE PLAN  
DETAIL  
FPD ZONE PLAN  
SHEET L8 OF 10  
2002.03.25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,

T1S, R69W OF THE 8th P.M.

TOWN OF SUPERIOR, STATE OF COLORADO

PHOTOMETRIC STUDY

## FINAL DEVELOPMENT PLAN

SHEET L9 OF 10

COALTON ROAD

TRACT 'K'

BLOCK 2, LOT 2

2, LOT 1

CASALON STREET

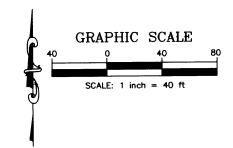
CALMANTE AVENUE

CALMANTE PLACE (TRACT D)

BLOCK 5

INDIANA STREET

PHOTOMETRIC SUMMARY	
STATISTIC ZONE 1: ENTIRE SITE	
Ave. F.C. = 0.3	
Max. F.C. = 18.0	
Min. F.C. = 0.0	
STATISTIC ZONE 2: CALMANTE AVENUE	
Ave. F.C. = 0.6	
Max. F.C. = 6.6	
Min. F.C. = 0.0	
STATISTIC ZONE 3: INTERSECTION OF CALMANTE AVENUE AND CASALON STREET	
Ave. F.C. = 0.8	
Max. F.C. = 3.0	
Min. F.C. = 0.0	
STATISTIC ZONE 4: TIERRA RIDGE COURT	
Ave. F.C. = 0.4	
Max. F.C. = 5.1	
Min. F.C. = 0.0	
STATISTIC ZONE 5: CASALON CIRCLE	
Ave. F.C. = 0.3	
Max. F.C. = 3.8	
Min. F.C. = 0.1	
STATISTIC ZONE 6: CALMANTE CIRCLE	
Ave. F.C. = 0.7	
Max. F.C. = 5.0	
Min. F.C. = 0.1	



RG ENGINEERING CONSULTANTS  
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75 SO. MADISON ST., SUITE 100  
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(303) 355-8509 (fax)

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7	SUBMITTAL	11.18.02	SD

PHOTOMETRIC STUDY  
FDP ZONE PLAN  
SHEET L9 OF 10

Page 21 of 25

# CALMANTE PLANNED DEVELOPMENT

A TRACT OF LAND IN THE NW 1/4 OF THE NW 1/4 OF SECTION 31,

T1S, R89W OF THE 6th P.M.,

TOWN OF SUPERIOR, STATE OF COLORADO

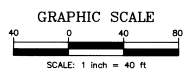
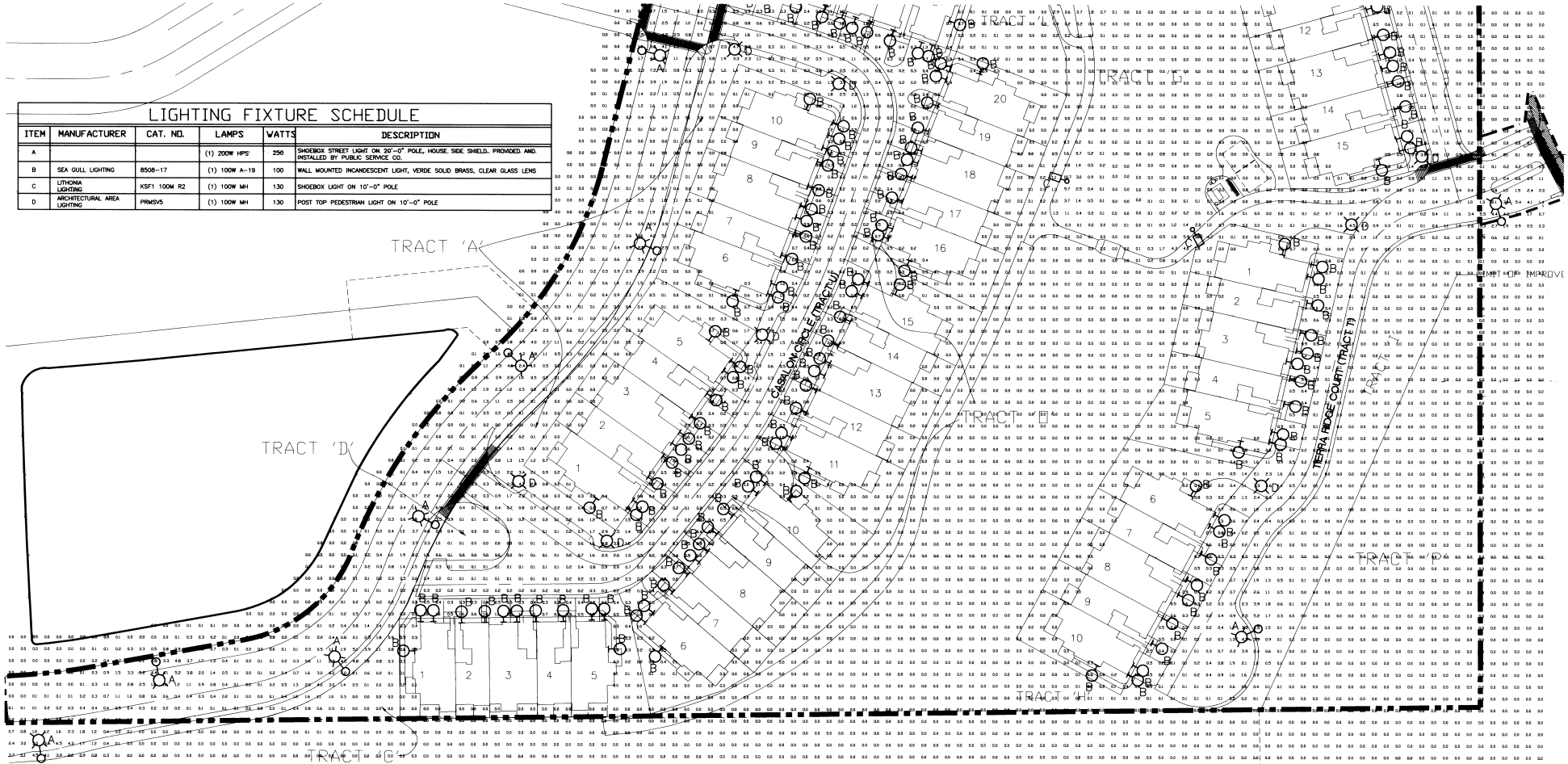
PHOTOMETRIC STUDY

FINAL DEVELOPMENT PLAN

SHEET L10 OF 10

LIGHTING FIXTURE SCHEDULE

ITEM	MANUFACTURER	CAT. NO.	LAMPS	WATTS	DESCRIPTION
A			(1) 200W HPS	250	SHADEBOX STREET LIGHT ON 20'-0" POLE, HOUSE SIDE SHIELD, PROVIDED AND INSTALLED BY PUBLIC SERVICE CO.
B	SEA GULL LIGHTING	8508-17	(1) 100W A-19	100	WALL MOUNTED INCANDESCENT LIGHT, VERDE SOLID BRASS, CLEAR GLASS LENS
C	LITONIA LIGHTING	KSF1 100W R2	(1) 100W MH	130	SHADEBOX LIGHT ON 10'-0" POLE
D	ARCHITECTURAL AREA LIGHTING	PRMSVS	(1) 100W MH	130	POST TOP PEDESTRIAN LIGHT ON 10'-0" POLE



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8	SUBMITTAL	11.18.02	SG

PHOTOMETRIC STUDY  
FDP ZONE PLAN  
SHEET L10 OF 10

NO.	REVISIONS	DATE	BY

**LEGEND**

PHASE 1

PHASE 2

**PROJECT PHASING**

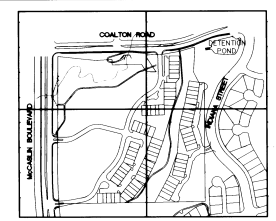
PHASING OF IMPROVEMENTS SHALL BE PERMITTED SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBDIVISION IMPROVEMENT AGREEMENT AND THE FINAL DEVELOPMENT PLAN. THE TRAILS SHALL BE CONSTRUCTED TO THE STANDARDS OF THE TOWN, AND COMPLETED PRIOR TO ISSUING CERTIFICATES OF OCCUPANCY FOR MORE THAN FIFTY PERCENT (50%) RESIDENTIAL BUILDINGS ON THE PROPERTY.

**PHASE 1**

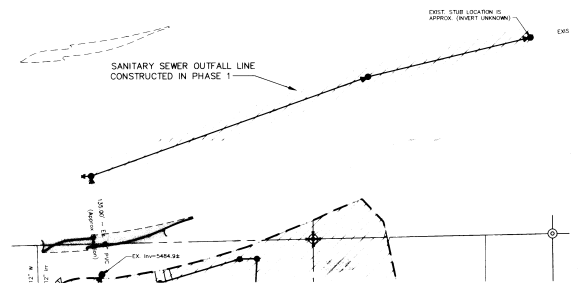
THE ENTIRE SITE WILL BE OVERLOT GRADED IN THIS PHASE OF CONSTRUCTION. THE PHASE 1 SHADED AREA IS FOR UTILITY, PAVEMENT, FINAL LANDSCAPING AND BUILDING CONSTRUCTION ONLY. AFTER SUBSTANTIAL COMPLETION OF THE OVERLOT GRADING ALL UNDERGROUND UTILITIES BETWEEN MCCASLIN BOULEVARD AND THE RB-4 CHANNEL WILL BE COMPLETED IN THIS PHASE. ALL PUBLIC AND PRIVATE STREETS IN THIS AREA WILL BE CONSTRUCTED. ALL TRAILS, DRIVES AND WALKS IN THIS AREA WILL BE CONSTRUCTED IN THIS PHASE. THIS PHASE WILL INCLUDE THE CONSTRUCTION OF ALL MCCASLIN BOULEVARD, RB-4 CHANNEL AND COALTON IMPROVEMENTS. THE PORTION OF SANITARY SEWER IN INDIANNA STREET WILL ALSO BE CONSTRUCTED WITH THIS PHASE.

**PHASE 2**

THE REMAINING AREA EAST OF THE RB-4 CHANNEL WILL BE CONSTRUCTED IN THIS PHASE. THIS WILL INCLUDE ALL UNDERGROUND UTILITIES, PUBLIC AND PRIVATE STREETS, TRAILS, SIDEWALKS, AND BUILDING CONSTRUCTION.



**KEYMAP**



I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF SUPERIOR, SUPERIOR METROPOLITAN DISTRICT NO. 1, AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY. I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

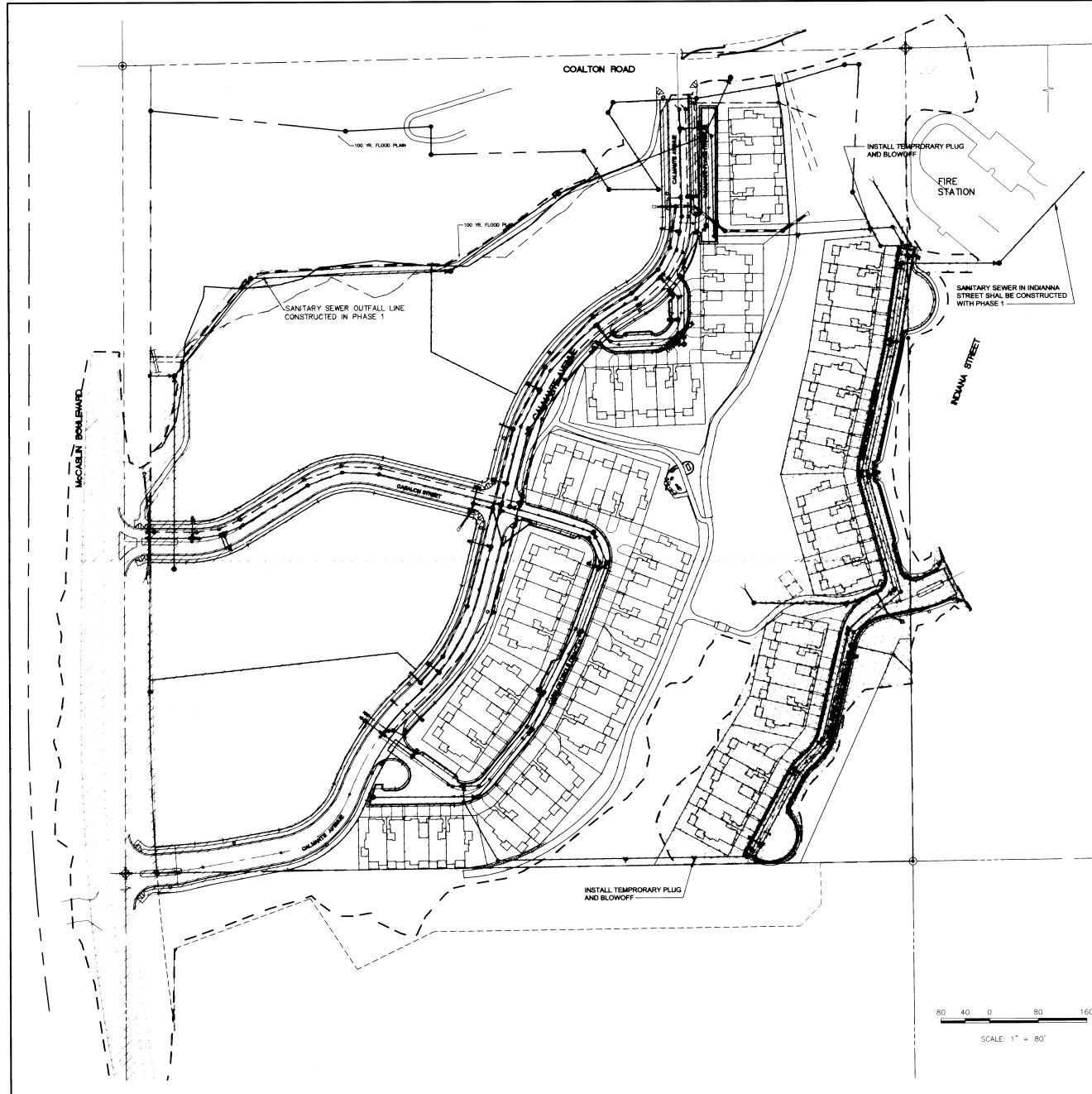
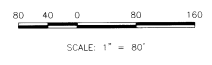
DANIEL L. ALONZO, P.E. #37550      DATE \_\_\_\_\_  
 FOR AND ON BEHALF OF ROCKY MOUNTAIN CONSULTANTS, INC.

These designs, plans, and contract documents are reviewed for concept and general conformance to the District's minimum standards only, and the primary responsibility for design adequacy is to remain with the Engineer of record. This review does not imply responsibility by either the Town of Superior, Superior Metropolitan District No. 1 & No. 3, the Town Engineer or the District Engineer for completeness, accuracy or correctness of calculations. The review does not imply that quantities of items indicated on the Plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the Town or District for additional items and additional quantities of items shown that may be required during the construction phase.

Approved for construction within one year of the earliest of these dates:

By _____	_____	Date _____
By _____	District No. 1 Engineer	_____
By _____	Town of Superior	_____
By _____	Cherryvale Fire Protection District	_____
By _____	District No. 1	_____

DATE: JUNE 2006
DESIGNED BY: B.A.L.
DRAWN BY: B.A.L.
CHECKED BY: B.A.L.
JOB NO. 3891.003.01
SHEET 2 OF 2

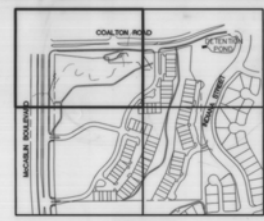


**PHASING** PHASING OF IMPROVEMENTS SHALL BE PERMITTED SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBVISION IMPROVEMENT AGREEMENT AND THE FINAL DEVELOPMENT PLAN. THE TRAILS SHALL BE CONSTRUCTED TO THE STANDARDS OF THE TOWN, AND COMPLETED PRIOR TO ISSUING CERTIFICATES OF OCCUPANCY FOR MORE THAN FIFTY PERCENT (50%) OF THE RESIDENTIAL BUILDINGS ON THE PROPERTY.

- PHASE 1: MCCASLIN BOULEVARD IMPROVEMENTS, COALTON ROAD IMPROVEMENTS, CALAMANTE AVENUE, ROCK CREEK DRAINAGE AND THE ROCK CREEK MAINTENANCE TRAIL, TRIBUTARY RB-4 AND THE TRIBUTARY RB-4 MAINTENANCE TRAIL, (INCLUDING THE LOW WATER CROSSING CONNECTING THE EAST AND WEST SIDES OF TRIBUTARY RB-4)
- PHASE 2: LOTS 1-10, BLOCK 3, LOTS 1-25, BLOCK 4, AMENITY AREA ON THE WEST SIDE OF RB-4, THE TRAIL CONNECTING CALAMANTE AVE. TO THE RB-4 TRAIL, OTHER NECESSARY IMPROVEMENTS.
- PHASE 3: LOTS 1-15, BLOCK 6, THE CONNECTION TO INDIANA STREET, AND OTHER NECESSARY IMPROVEMENTS.
- PHASE 4: LOTS 1-10, BLOCK 7, THE TRAIL CONNECTING THE EAST SIDE OF RB-4 TO LOW WATER CROSSING, THE AMENITY AREA EAST OF RB-4, AND OTHER NECESSARY IMPROVEMENTS.

NW COR. SEC. 31,  
T1S, R65W OF THE 6TH P.M.  
FRONT CORNER POST 430'-14" NAD 83  
IN RANGE 200, PROBABLY EXISTING AND  
MARKED "T-10" 1987

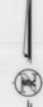
ONE-SIXTEENTH CORNER  
FRONT CORNER POST 430'-14" NAD 83  
IN RANGE 200, PROBABLY EXISTING AND  
MARKED "T-10" 1987



**KEYMAP**

**LEGEND**

- PHASE 1 [Solid Grey Box]
- PHASE 2 [Diagonal Hatching Box]
- PHASE 3 [Horizontal Hatching Box]
- PHASE 4 [Cross-hatching Box]



80 40 0 80 160  
SCALE: 1" = 80'

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF SUPERIOR AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

**NOT FOR CONSTRUCTION**



PHILLIP M. BOWMAN, P.E. #35180 DATE \_\_\_\_\_  
FOR AND ON BEHALF OF ROCKY MOUNTAIN CONSULTANTS, INC.

These designs, plans, and contract documents are reviewed for concept and general conformance to the District's minimum standards only, and the primary responsibility for design adequacy is to remain with the Engineer of record. This review does not imply responsibility by either the Town of Superior, Superior Metropolitan District No. 1 & No. 3, the Town Engineer or the District Engineer for completeness, accuracy or correctness of calculations. The review does not imply that quantities of items indicated on the Plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the Town or District for additional items and additional quantities of items shown that may be required during the construction phase.

Approved for construction within one year of the earliest of these dates:

By _____	District No. 1 Engineer	Date _____
By _____	District No. 3 Engineer	Date _____
By _____	Town of Superior	Date _____
By _____	Cherryvale Fire Protection District	Date _____
By _____	District No. 1	Date _____

**RMCC**  
8301 E. Pavillion Ave.  
Suite 101  
Greenwood Village,  
Colorado 80121  
Phone: (303) 741-6000  
Fax: (303) 741-6100

NO.	REVISIONS	DATE BY	ROCKY MOUNTAIN CONSULTANTS, INC.
1	FOR SET, 2002 CITY COMMENTS	12/28/02	PLM

CALAMANTE  
TOWN OF SUPERIOR  
PHASING PLAN

DATE: AUG 2002  
DESIGNED BY: JLM  
DRAWN BY: BM  
CHECKED BY: PLM  
JOB NO.  
3891.003.01  
SHEET  
61 OF 61