

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS

LAND USE TABLE

Development Area - Parcel I :	12.20 Acres	69.1 %
Proposed Open Space - Parcel II :	5.46 Acres	30.9 %
Gross Project Area :	17.66 Acres	100 %

Building Program : Approx. 120,000 s.f. office space at build-out

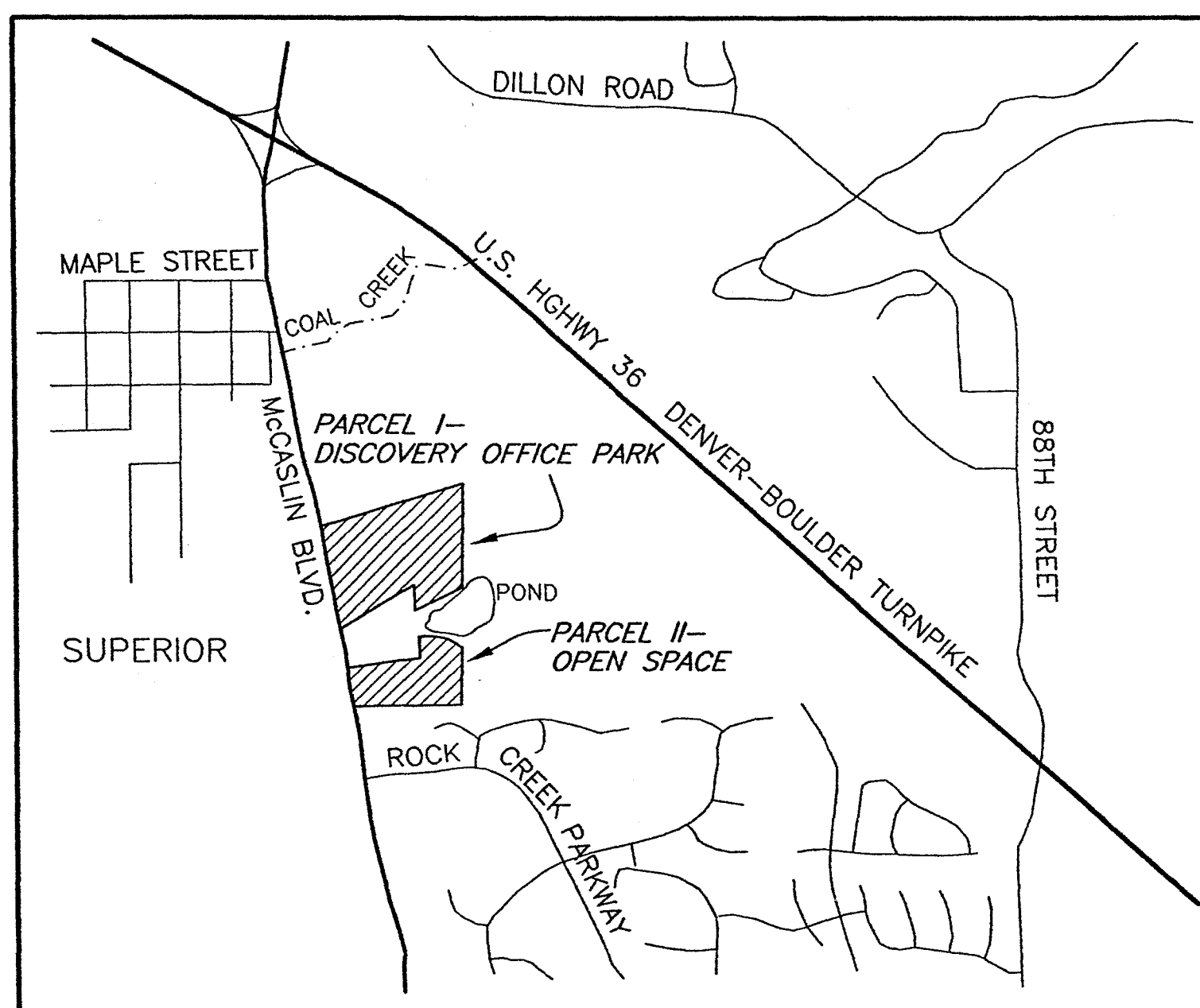
Breakdown of Parcel I :

Proposed Building Coverage :	1.23 Acres	10.1 %
Proposed Open Space :	7.53 Acres	61.7 %
Includes landscaped areas, walkways, islands, plazas, etc.		
Paved Area :		
Discovery Parkway :	0.74 Acres	6.1 %
Parking lots and access drives :	2.70 Acres	22.1 %
Total :	12.20 Acres	100 %

Parking Data :

Total Proposed # of spaces :	Approx. 480 Spaces
Estimated Water Usage :	0.012 MGD*
	0.036 MGD Peak Day*
	0.120 MGD Peak Hour*
Estimated Sewer Usage :	0.012 MGD*
	0.060 MGD Peak*

*Assumes 25 GPDP x 480 persons



LEGAL DESCRIPTION

PARCEL I
A TRACT OF LAND LOCATED IN THE NW1/4 OF THE SW1/4 AND IN THE SW1/4 OF THE NW1/4 OF SECTION 19, T1S, R69W OF THE 6TH P.M., COUNTY OF BOULDER, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE W1/4 CORNER OF SAID SECTION 19, THENCE N89°07'00"E, 356.80 FEET ALONG THE NORTH LINE OF THE NW1/4 OF SAID SECTION 19 TO THE EASTERLY RIGHT-OF-WAY LINE OF MCCASLIN BOULEVARD AS DESCRIBED IN WARRANTY DEED RECORDED ON FILM 533 AS RECEPTION NO. 782878 OF THE RECORDS OF BOULDER COUNTY, COLORADO; THENCE S09°33'39"E, 152.26 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID MCCASLIN BOULEVARD TO THE MOST SOUTHERLY CORNER OF PARCEL IIB AS DESCRIBED IN ORDER, JUDGMENT AND DECREE RECORDED ON FILM 1806 AS RECEPTION NO. 01274872 OF THE RECORDS OF BOULDER COUNTY, COLORADO, AND THE TRUE POINT OF BEGINNING.

THENCE N7°04'44"E, 580.09 FEET ALONG THE NORTHWESTERLY LINE OF SAID PARCEL IIB TO THE NORTH LINE OF THE NW1/4 OF THE SW1/4 OF SAID SECTION 19;

THENCE S89°07'00"W, 1.16 FEET ALONG THE NORTH LINE OF THE NW1/4 OF THE SW1/4 OF SAID SECTION 19 TO THE MOST WESTERLY CORNER OF THAT TRACT OF LAND CONVEYED TO WARREN L. BARCUS AND EDITH BARCUS AS DESCRIBED IN OUR CLAIM DEED RECORDED ON FILM 1249 AS RECEPTION NO. 545559 OF THE RECORDS OF BOULDER COUNTY, COLORADO;

THENCE N72°28'39"E, 351.99 FEET ALONG THE SOUTHEASTERLY LINE OF THAT TRACT OF LAND AS DESCRIBED ON SAID FILM 1249 AS RECEPTION NO. 545559 TO THE EAST LINE OF THE SW1/4 OF THE NW1/4 OF SAID SECTION 19;

THENCE S00°05'57"W, 101.00 FEET ALONG THE EAST LINE OF THE SW1/4 OF THE NW1/4 OF SECTION 19 TO THE NORTHEAST CORNER OF THE NW1/4 OF SAID SECTION 19;

THENCE S00°27'13"W, 541.03 FEET ALONG THE EAST LINE OF THE NW1/4 OF THE SW1/4 OF SAID SECTION 19 TO THE NORTHERLY LINE OF THAT TRACT OF LAND CONVEYED TO WILLIAM A. SPICER AS DESCRIBED IN QUIT CLAIM DEED RECORDED ON BOOK 32 AT PAGE 238 OF THE RECORDS OF BOULDER COUNTY, COLORADO;

THENCE S43°59'38"W, 54.67 FEET ALONG THE NORTHERLY LINE OF THAT TRACT OF LAND AS DESCRIBED IN SAID BOOK 323 AT PAGE 276;

THENCE S63°49'38"W, 278.52 FEET ALONG THE NORTHERLY LINE OF THAT TRACT OF LAND AS DESCRIBED IN SAID BOOK 323 AT PAGE 276 TO THE EAST LINE OF THE JOHN TOVADO RESERVOIR NO. 1 AS RESERVED IN WARRANTY DEED RECORDED ON BOOK 32 AT PAGE 238 OF THE RECORDS OF BOULDER COUNTY, COLORADO;

THENCE N05°00'39"W, 164.01 FEET ALONG THE EAST LINE OF SAID JOHN TOVADO RESERVOIR NO. 1 TO THE NORTHEAST CORNER THEREOF;

THENCE S58°57'21"W, 526.25 FEET ALONG THE NORTHWESTERLY LINE OF SAID JOHN TOVADO RESERVOIR NO. 1 TO THE EASTERLY RIGHT-OF-WAY LINE OF SAID MCCASLIN BOULEVARD;

THENCE N09°33'39"W, 253.00 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID MCCASLIN BOULEVARD;

THENCE N23°35'39"W, 104.50 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID MCCASLIN BOULEVARD;

THENCE N09°33'39"W, 305.93 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID MCCASLIN BOULEVARD TO THE TRUE POINT OF BEGINNING.

LEGAL DESCRIPTION PREPARED BY:
KENT S. ALBERS
DREXEL BARRELL & CO.
4840 PEARL EAST CIRCLE #114
BOULDER, COLORADO 80301-2475
(303) 442-4338

CONTAINS 12.202 ACRES, MORE OR LESS

PARCEL II
A TRACT OF LAND LOCATED IN THE NW1/4 OF THE SW1/4 OF SECTION 19, T1S, R69W OF THE 6TH P.M., COUNTY OF BOULDER, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE W1/4 CORNER OF SAID SECTION 19, THENCE N89°07'00"E, 1274.31 FEET ALONG THE NORTH LINE OF THE NW1/4 OF THE SW1/4 TO THE NORTHEAST CORNER THEREOF; THENCE S00°27'13"W, 930.54 FEET ALONG THE EAST LINE OF THE NW1/4 OF THE SW1/4 OF SAID SECTION 19 TO THE SOUTHEAST CORNER OF THAT TRACT OF LAND CONVEYED TO WILLIAM A. SPICER AS DESCRIBED IN QUIT CLAIM DEED RECORDED ON BOOK 323 AT PAGE 276 OF THE RECORDS OF BOULDER COUNTY, COLORADO AND THE TRUE POINT OF BEGINNING;

THENCE CONTINUING S00°27'13"W, 385.19 FEET ALONG EAST LINE OF THE NW1/4 OF THE SW1/4 OF SAID SECTION 19 TO THE SOUTHEAST CORNER THEREOF;

THENCE S88°57'08"W, 672.65 FEET ALONG THE SOUTH LINE OF THE NW1/4 OF THE SW1/4 OF SAID SECTION 19 TO THE EASTERLY RIGHT-OF-WAY LINE OF MCCASLIN BOULEVARD AS DESCRIBED IN WARRANTY DEED RECORDED ON FILM 533 AS RECEPTION NO. 782878 OF THE RECORDS OF BOULDER COUNTY, COLORADO;

THENCE N09°33'39"W, 284.68 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID MCCASLIN BOULEVARD TO THE SOUTHERLY LINE OF THE JOHN TOVADO RESERVOIR NO. 1 AS RESERVED IN WARRANTY DEED RECORDED ON BOOK 324 AT PAGE 238 OF THE RECORDS OF BOULDER COUNTY, COLORADO;

THENCE N83°56'21"E, 464.89 FEET ALONG THE SOUTHERLY LINE OF SAID JOHN TOVADO RESERVOIR NO. 1 TO THE SOUTHEAST CORNER THEREOF;

THENCE N05°00'39"W, 153.69 FEET ALONG THE EASTERLY LINE OF SAID JOHN TOVADO RESERVOIR NO. 1 TO THE SOUTHERLY LINE OF THAT TRACT OF LAND AS DESCRIBED IN SAID BOOK 323 AT PAGE 276;

THENCE S88°15'22"E, 144.71 FEET ALONG THE SOUTHERLY LINE OF THAT TRACT OF LAND AS DESCRIBED IN SAID BOOK 323 AT PAGE 276;

THENCE S76°10'22"E, 48.28 FEET ALONG THE SOUTHERLY LINE OF THAT TRACT OF LAND AS DESCRIBED IN SAID BOOK 323 AT PAGE 276;

THENCE S57°50'22"E, 93.51 FEET ALONG THE SOUTHERLY LINE OF THAT TRACT OF LAND AS DESCRIBED IN SAID BOOK 323 AT PAGE 276 TO THE TRUE POINT OF BEGINNING.

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BOULDER, COLORADO 80301-2475
(303) 442-4338

CONTAINS 5.456 ACRES, MORE OR LESS.

VICINITY MAP

NOT TO SCALE

PROPERTY OWNERS:
Aweida Properties, Inc., a Colorado Corporation
890 W. Cherry Street, Suite 220
Louisville, Colorado 80027
(303) 664-9520
Contact: Ron Craig

ARCHITECT / LAND PLANNER / CIVIL ENGINEER:
Downing, Thorpe & James, Inc.
1881 Ninth Street, Suite 103
Boulder, Colorado 80302
(303) 443-7533
(303) 443-7534 Fax
Contact: Dan Hunter / William P. Reilly

SURVEYOR:
Accurate Consultants Inc.
1008 Depot Hill Road
Broomfield, Colorado
(303) 469-2202
Contact: Tom Cave

SHEET INDEX

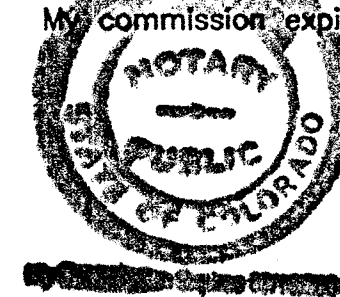
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- 22 PRELIMINARY LANDSCAPE PLAN - MAIN ENTRY

CERTIFICATE OF OWNERSHIP

We certify that Aweida Properties, Inc., a Colorado Corporation, is the owner of the property, and we consent to the above P.D.
In witness whereof I hereunto set my hand this 7th day of August 2001, by Ron Craig Manager.
August 2001 by John A. ... President.

State of Colorado
County of Boulder

The foregoing instrument was acknowledged before me this 7th day of August, A.D. 2001, by Ron Craig as Manager of Aweida Properties, Inc. corporation and John A. ... as President of Aweida Properties, Inc. My commission expires March 16, 2004



Kathy Matteson
Notary Public

SCHEDULE OF REQUIREMENTS

Maximum Building Height :	40'
	50' (entry elements, towers, or sloped roofs, when parking is provided under buildings)
Maximum number of stories :	3
Maximum Floor Area Ratio :	1.0
Building Setbacks :	
From Major Arterial :	50' min.
From Minor Collector :	25' min.
From Internal Property Lines :	10'
From Rear Property Lines :	15'
Minimum Separation Between Freestanding Buildings :	20'
Parking Required :	1 space/ 250 S.F.
Parking Setbacks :	
From all Arterial R.O.W. :	20' min.
From Other Public ROW :	15' min.
From Other Land Uses :	10' min. (except south line of Lot 1)
Typical Parking Stall :	9' x 18'
Typical Handicap Space :	14' x 18' (includes aisle)
Typical Parking Aisle :	24' wide
Internal Arteries :	25' min. flowline to flowline Except at Landscaped median island - 18' min.
Minimum Landscaped Open Space :	45%

SCHEDULE OF USES

SCHEDULE OF USES

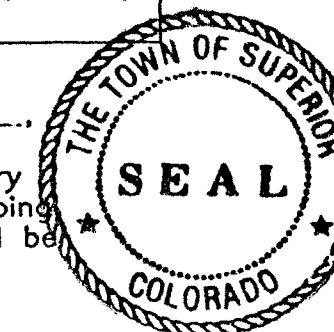
The conceptual use for this parcel is office park. The zoning is Planned Development, and generally follows the Business Office Zone Guidelines.

Parcel	Description	Area
Parcel I	The North Developable Area	12.202 AC
	Permitted Uses: Professional and Business Offices, Retail Business, Restaurant (no drive-through allowed), Commercial Recreation Facility, Dental or Medical Clinics, Public and Governmental Facilities, Utilities, Park and Recreation Areas	
Parcel II	Open Space	5.456 AC
	TOTAL	17.658 AC

NO OTHER USES WILL BE PERMITTED WITHOUT THE APPROVAL OF THE TOWN OF SUPERIOR. ANY USES AND/OR DEVELOPMENT STANDARDS NOT SPECIFICALLY ADDRESSED HEREIN BY THE DISCOVERY OFFICE PARK PLANNED DEVELOPMENT SHALL BE SUBJECT TO AND DETERMINED BY THE MOST CURRENT PROVISIONS OF THE TOWN OF SUPERIOR LAND USE CODE.

TOWN BOARD OF TRUSTEES' CERTIFICATE

Approved this 12th day of March, A.D. 2001
by the Board of Trustees, Superior, Colorado. This approval is with the understanding that all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs, and sidewalks, shall be financed by others and not by the Town of Superior.



Phyllis L. Hardin
Town Clerk

[Signature]
Mayor

PLANNING COMMISSION CERTIFICATE

Approved this _____ day of _____ A.D., _____

[Signature]
Chairman - Superior Planning Commission

TOWN CLERK'S CERTIFICATE

I hereby certify that this instrument was filed in my office at 10:02 O'clock A.M this 10th day of August, A.D. 2001, and is duly recorded.

Phyllis L. Hardin
Town Clerk

SUPERIOR METROPOLITAN DISTRICT NO. 1 CERTIFICATE

Approved this 12th day of March, A.D. 2001,
Superior Metropolitan District No. 1, Superior, Colorado.

[Signature]
President

[Signature]
Secretary

BOULDER COUNTY CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO
COUNTY OF BOULDER

I hereby certify that this instrument was filed in my office on the 28th day of November, 2001 at 4:08 O'clock P.M. and was recorded under Reception Number 2224414
P-55 F-4 #18 \$10.00

Plan File # _____ Fees _____
Charlotte Houston
Boulder County Clerk/and Recorder
Heidi Ashton
Deputy

ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

1881 Ninth Street, Suite 103
Boulder, Colorado 80302
303-443-7533



**DOWNING
THORPE
JAMES**

Project No. 2000-049.70
9-8-00
REV. 12-04-00
REV. 1-15-01
REV. 1-25-01
REV. 5-16-01

P-55 F-4 #18

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

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TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS

LAND USE TABLE

Development Area - Parcel I :	12.20 Acres	69.1 %
Proposed Open Space - Parcel II :	5.46 Acres	30.9 %
Gross Project Area :	17.66 Acres	100 %

Building Program : Approx. 120,000 s.f. office space at build-out

Breakdown of Parcel I :

Proposed Building Coverage : 1.23 Acres 10.1 %

Proposed Open Space : 7.53 Acres 61.7 %
Includes landscaped areas, walkways, islands, plazas, etc.

Paved Area :
Discovery Parkway : 0.74 Acres 6.1 %
Parking lots and access drives : 2.70 Acres 22.1 %

Total : 12.20 Acres 100 %

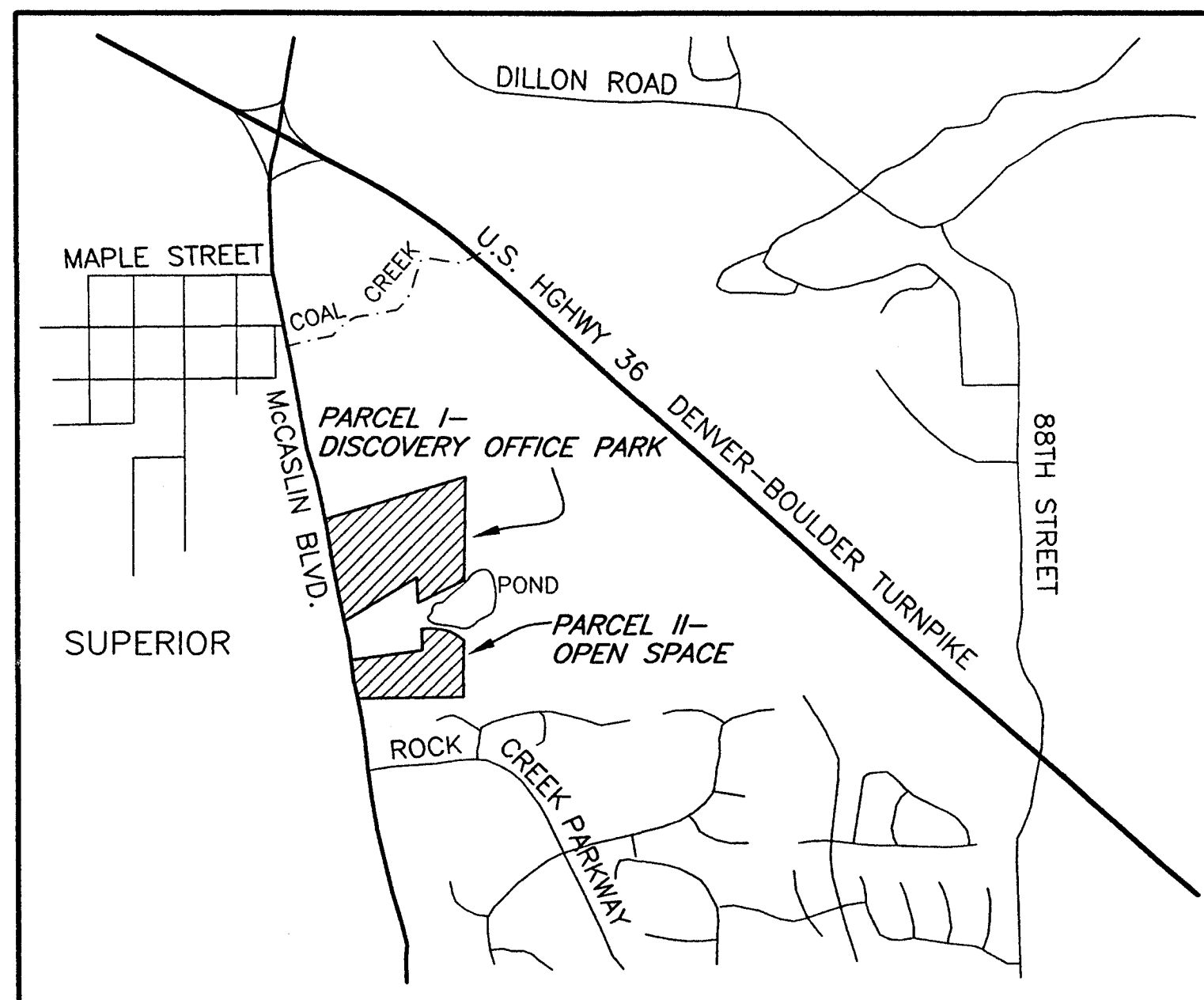
Parking Data :

Total Proposed # of spaces : Approx. 480 Spaces

Estimated Water Usage :
0.012 MGD*
0.036 MGD Peak Day*
0.120 MGD Peak Hour*

Estimated Sewer Usage :
0.012 MGD*
0.060 MGD Peak*

*Assumes 25 GPDPC x 480 persons



VICINITY MAP

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LEGAL DESCRIPTION

PARCEL I

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CONTAINS 5.456 ACRES, MORE OR LESS.

CERTIFICATE OF OWNERSHIP

We certify that Aweida Properties, Inc., a Colorado Corporation, is the owner of the property, and we consent to the above P.D.

In witness whereof I hereunto set my hand this 17th day of August, 2001, by [Signature] Manager, August by [Signature] President.

State of Colorado
County of Boulder

The foregoing instrument was acknowledged before me this 17th day of August, 2001, by [Signature] as Manager of Aweida Properties, Inc. corporation and [Signature] as President of Aweida Properties, Inc. My commission expires March 16, 2004

[Signature]
Notary Public

SCHEDULE OF REQUIREMENTS

Maximum Building Height : 40'
50' (entry elements, towers, or sloped roofs, when parking is provided under buildings)

Maximum number of stories : 3

Maximum Floor Area Ratio : 1.0

Building Setbacks :
From Major Arterial : 50' min.
From Minor Collector : 25' min.
From Internal Property Lines : 10'
From Rear Property lines : 15'

Minimum Separation Between Freestanding Buildings : 20'

Parking Required : 1 space/ 250 S.F.

Parking Setbacks :
From all Arterial R.O.W. : 20' min.
From Other Public ROW : 15' min.
From Other Land Uses : 10' min. (except south line of Lot 1)

Typical Parking Stall : 9' x 18'

Typical Handicap Space : 14' x 18' (includes aisle)

Typical Parking Aisle : 24' wide

Internal Arteries : 25' min. flowline to flowline
Except at Landscaped median island - 18' min.

Minimum Landscaped Open Space : 45%

SCHEDULE OF USES

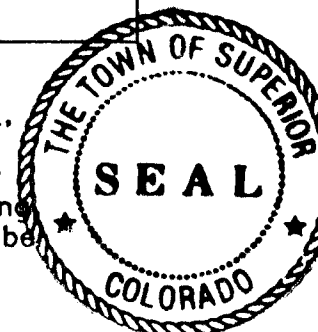
The conceptual use for this parcel is office park. The zoning is Planned Development, and generally follows the Business Office Zone Guidelines.

Parcel	Description	Area
Parcel I	The North Developable Area	12.202 AC
	Permitted Uses: Professional and Business Offices, Retail Business, Restaurant (no drive-through allowed), Commercial Recreation Facility, Dental or Medical Clinics, Public and Governmental Facilities, Utilities, Park and Recreation Areas	
Parcel II	Open Space	5.456 AC
	TOTAL	17.658 AC

NO OTHER USES WILL BE PERMITTED WITHOUT THE APPROVAL OF THE TOWN OF SUPERIOR. ANY USES AND/OR DEVELOPMENT STANDARDS NOT SPECIFICALLY ADDRESSED HEREIN BY THE DISCOVERY OFFICE PARK PLANNED DEVELOPMENT SHALL BE SUBJECT TO AND DETERMINED BY THE MOST CURRENT PROVISIONS OF THE TOWN OF SUPERIOR LAND USE CODE.

TOWN BOARD OF TRUSTEES' CERTIFICATE

Approved this 12th day of March, A.D., 2001, by the Board of Trustees, Superior, Colorado. This approval is with the understanding that all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs, and sidewalks, shall be financed by others and not by the Town of Superior.



[Signature] Town Clerk
[Signature] Mayor

PLANNING COMMISSION CERTIFICATE

Approved this _____ day of _____ A.D., _____

[Signature]
Chairman - Superior Planning Commission

TOWN CLERK'S CERTIFICATE

I hereby certify that this instrument was filed in my office at 10:00 O'clock A.M. this 10th day of August AD, 2001, and is duly recorded.

[Signature]
Town Clerk

SUPERIOR METROPOLITAN DISTRICT NO. 1 CERTIFICATE

Approved this 12th day of March, A.D. 2001, Superior Metropolitan District No. 1, Superior, Colorado.

[Signature] President
[Signature] Secretary

BOULDER COUNTY CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO
COUNTY OF BOULDER

I hereby certify that this instrument was filed in my office on the 29th day of November 2001 at 4:08 O'clock P.M. and was recorded under Reception Number 2224414.

P-55 F-4 #18 \$10.00
Plan File # _____ Fees
[Signature]
Boulder County Clerk/and Recorder
[Signature]
Deputy

ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

1881 Ninth Street, Suite 103
Boulder, Colorado 80302
303-443-7533

**DOWNING
THORPE
JAMES**

Project No. 2000-049.70
9-8-00
REV. 12-04-00
REV. 1-15-01
REV. 1-25-01
REV. 5-16-01

2224414
11/28/2001 04:08
Boulder County Clerk, CO PLAT

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PARCEL I - 12.2 ACRES

LOT AREA TABLE

	AREA (S.F.)	AREA (ACRES)
PARCEL I		
LOT 1	116,211	2.67
LOT 2	92,591	2.13
LOT 3	264,066	6.06
OUTLOT A (OPEN SPACE)	3,937	0.09
PUBLIC R.O.W.	54,421	1.25
TOTAL	531,226	12.20
PARCEL II		
OUTLOT B (OPEN SPACE)	237,670	5.46
PD TOTAL	17,666	

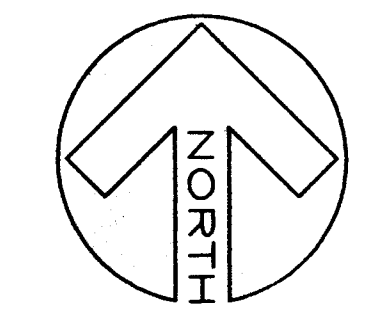
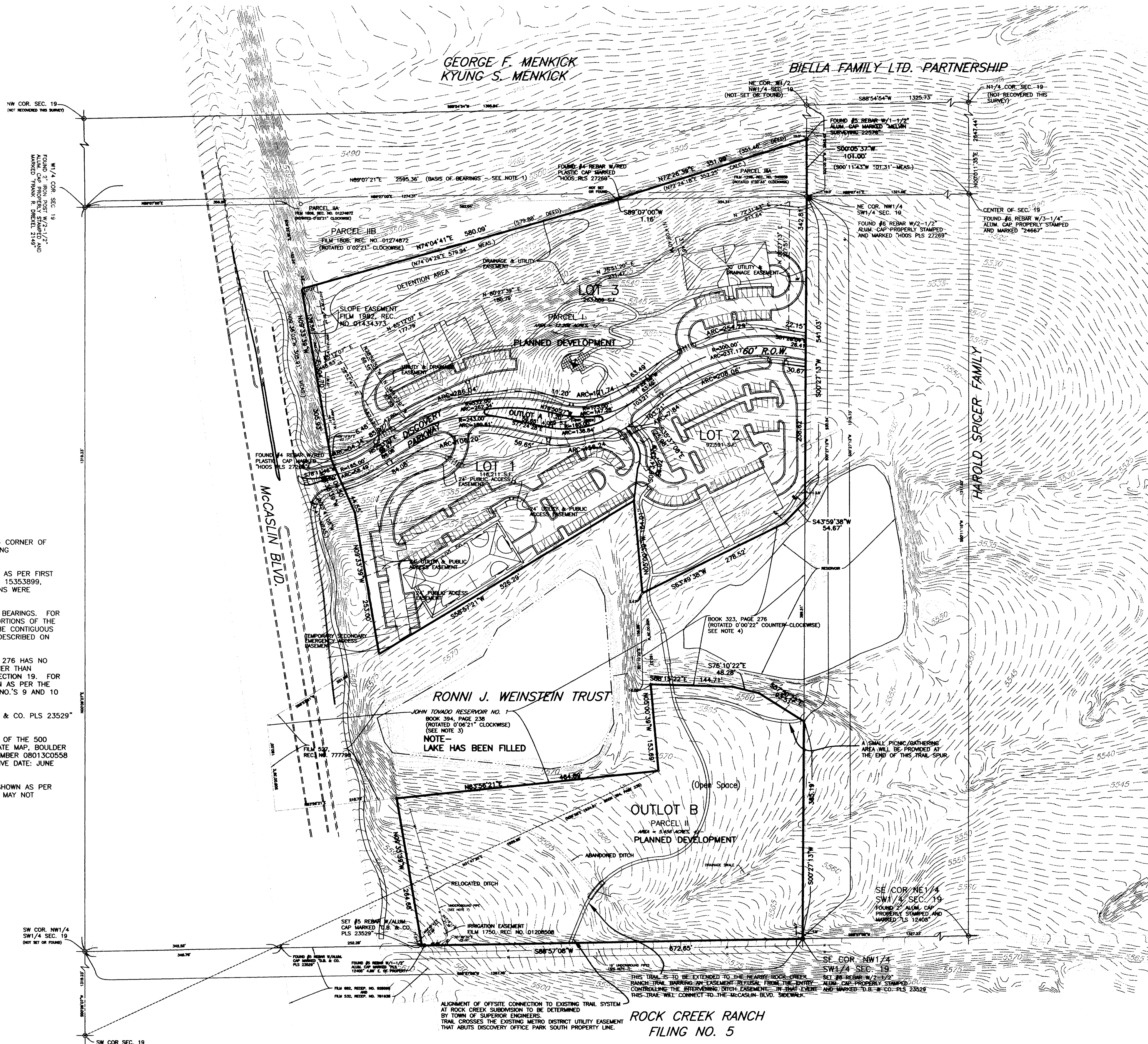
LAND USE TABULATION

	Building Coverage	Drives & Parking lots	Open Space	Public R.O.W.	Open space % of Lot	TOTAL AREA S.F.	TOTAL AREA AC
Parcel I:							
Lot 1 (office)	16,944	50,270	48,997		42.2%	116,211	2.67
Lot 2 (office)	16,260	41,510	34,821		37.6%	92,591	2.13
Lot 3 (office)	20,320	25,832	217,914*		82.5%	264,066	6.06
Outlot A - Parkway Median Island (Open Space)			3,937			3,937	0.09
Public R.O.W.				54,421		54,421	1.25
	53,524	117,612	305,669	54,421	57.5%	531,226	12.20
Parcel II:							
Outlot B (Open Space)			237,670		100%	237,670	5.46
Total:	53,524	117,612	543,339**	54,421	70.7%	768,896	17.66

* This Open Space Area includes 25,031 sq. ft. of detention pond
** Total Open Space = 72.4% of entire 17.66-acre site

NOTES

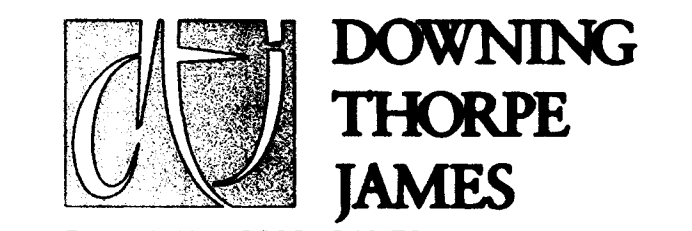
- BEARINGS AND DISTANCES ALONG THE LINE BETWEEN THE W1/4 CORNER OF SECTION 19 AND THE CENTER OF SECTION 19 AS BEARING N89°07'21"E (7' MERRIDIAN).
- RECORDED EASEMENTS AND RIGHTS-OF-WAY ARE SHOWN AS PER FIRST AMERICAN HERITAGE COMPANY COMMITMENT NO. MC 15353899, EFFECTIVE DATE 1999. LEGAL DESCRIPTIONS WERE PREPARED FROM SUPPLIES BY THE CLIENT.
- THE JOHN TOWARD RESERVOIR NO. 1 HAS NO BASIS OF BEARINGS. FOR THE PURPOSE OF THIS PLAN, THE WEST LINE AND PORTIONS OF THE NORTHERLY AND SOUTHERLY LINES WERE ASSUMED TO BE CONTIGUOUS WITH THE EAST LINE OF MCCASLIN BOULEVARD AS DESCRIBED ON FILM 533, RECORD NO. 777750.
- THAT TRACT OF LAND SHOWN IN BOOK 323 AT PAGE 276 HAS NO SPECIFIC LOCATION SHOWN IN THAT INSTRUMENT OTHER THAN BEING A PORTION OF THE SW1/4 OF SECTION 19. FOR THE PURPOSES OF THIS PLAN, ITS POSITION IS SHOWN AS PER THE ANNEXATION MAP RECORDED IN PLAN FILE P-43, F-4, NO. 9 AND 10 OF THE RECORDS OF BOULDER COUNTY, COLORADO.
- SET NO. 5 REBARS WITH ALUMINUM CAPS MARKED "D.B. & CO. PLS 23529" AT ALL BOUNDARY CORNERS UNLESS OTHERWISE NOTED.
- THIS PROPERTY LIES IN FLOOD ZONE X, AREAS OUTSIDE OF THE 500 YEAR FLOOD PLAN AS SHOWN ON FLOOD INSURANCE RATE MAP, BOULDER COUNTY, COLORADO AND INCORPORATED AREAS, MAP NUMBER 0801300558 F, COMMUNITY-PANEL NUMBER 080023 0558 F, EFFECTIVE DATE: JUNE 2, 1995.
- UNDERGROUND WATER PIPE SIZES AND LOCATIONS ARE SHOWN AS PER INFORMATION PROVIDED BY THE GOVERNING AGENCY AND MAY NOT BE ACCURATE.



PLAN
0 50 100 150
SCALE: 1" = 100'

ARCHITECTURE
LANDSCAPE ARCHITECTURE
ENGINEERING

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Boulder, Colorado 80302
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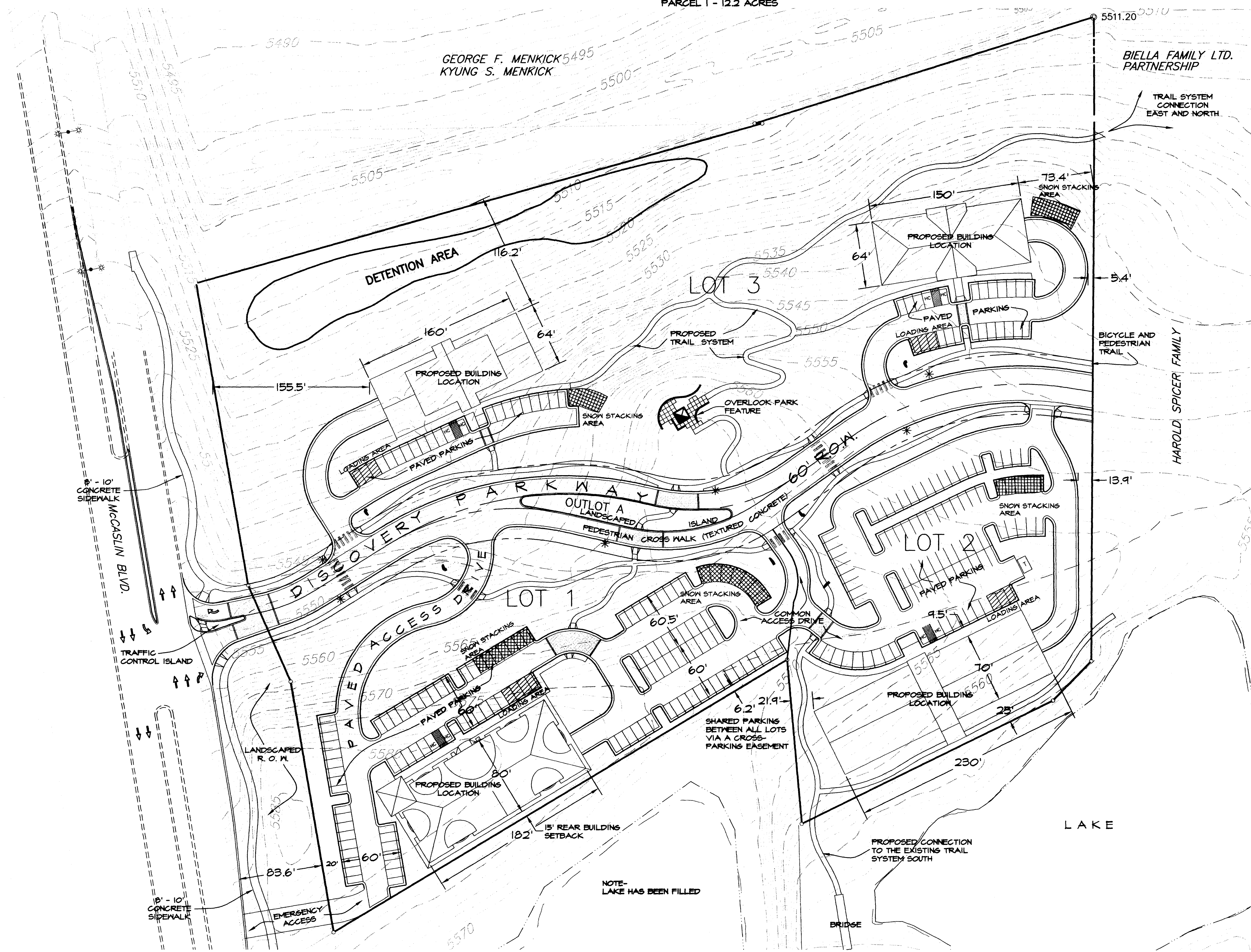
Project No. 2000-049.70
9-8-00
REV. 12-04-00
REV. 1-15-01
REV. 1-25-01
REV. 5-16-01

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PARCEL 1 - 12.2 ACRES

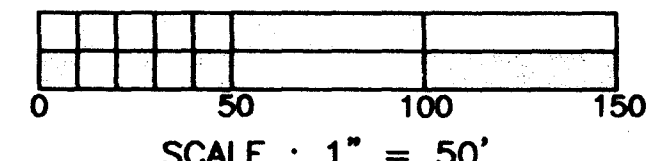
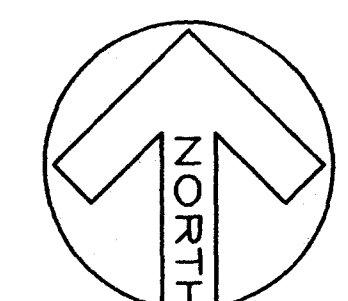


- SNOW STACKING AREA
- LOADING AREA
- MONUMENTATION SIGN
- PEDESTRIAN CROSSING SIGN

ESTIMATED SURFACE PARKING
 LOT 1 - 122 spaces
 LOT 2 - 94 spaces
 LOT 3 - 47 spaces
 TOTAL - 263 spaces

ALL BUILDINGS WILL HAVE UNDERGROUND PARKING

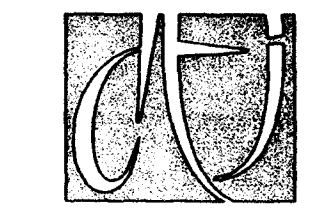
DISCOVERY PARKWAY 0.18 mi. (950 ft.)
 TRAIL SYSTEM 0.47 mi. (2500 ft.)
 * SIDEWALKS 0.47 mi. (2500 ft.)



PARCEL 1 SITE PLAN

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TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PARCEL I - 12.2 ACRES

DISCOVERY OFFICE PARK

TOTAL NUMBER OF PROPOSED DWELLING UNITS, DENSITY OF ALL RESIDENTIAL AND NON-RESIDENTIAL AREAS.
THERE IS NO PROPOSED RESIDENTIAL COMPONENT IN THIS PROJECT.

TOTAL NUMBER OF NON-RESIDENTIAL FLOOR SPACE.
THE PROJECT IS APPROXIMATELY 120,000 S.F. OF OFFICE SPACE IN 4 BUILDINGS.

TOTAL NUMBER OF OFF-STREET PARKING SPACES, INCLUDING THOSE ASSOCIATED WITH SINGLE FAMILY RESIDENTIAL USE. FOR NON-RESIDENTIAL USES,
ESTIMATE PARKING AREA FROM GROSS FLOOR AREA. USE 1 SPACE/250 S.F. OF GROSS FLOOR AREA. USE 1 SPACE/250 S.F. OF GROSS FLOOR AREA.

APPROXIMATELY 480 PARKING SPACES ARE PLANNED.
ESTIMATED TOTAL NUMBER OF GALLONS OF WATER PER DAY REQUIRED.

AVERAGE DAILY DEMAND = 0.012 MGD (25 GPD x 480 PERSONS)
PEAK DAY = 0.036 MGD
PEAK HOUR = 0.120 MGD

(IRRIGATION WATER DEMAND WILL BE PROVIDED BY SEPARATE SYSTEM)

ESTIMATED TOTAL NUMBER OF GALLONS PER DAY OF SEWAGE TO BE TREATED.

AVERAGE DAILY FLOW = 0.012 MGD (25 GPD x 480 PERSONS)
PEAK FLOW = 0.06 MGD (PF = 5.0)

ESTIMATED CONSTRUCTION COST AND PROPOSED METHOD OF FINANCING OF THE STREETS AND RELATED FACILITIES, WATER DISTRIBUTION SYSTEM,
SEWAGE COLLECTION SYSTEM, STORM DRAINAGE FACILITIES, AND SUCH OTHER FACILITIES AS MAY BE NECESSARY TO COMPLETE THE DEVELOPMENT PLAN.

ESTIMATED CONSTRUCTION COST OF PUBLIC INFRASTRUCTURE IMPROVEMENTS AS FOLLOWS:

WATER	\$152,000
SANITARY SEWER	137,500
PUBLIC STREET	328,500
STORM SEWER	211,100
LANDSCAPING IN R.O.W.	30,900
	\$859,800

THE OWNER/DEVELOPER WILL PROVIDE A LETTER OF CREDIT OR OTHER FORM OF GUARANTEE AS REQUIRED BY THE TOWN OF SUPERIOR
AT THE TIME OF THE FINAL PLAT.

PROJECT PURPOSE AND RATIONALE.

THE PURPOSE OF THIS PROJECT IS TO PROVIDE OFFICE SPACE FOR AWEIDA PROPERTIES, INC. AND MARKET LEASE SPACE.

A DEVELOPMENT PHASING SCHEDULE INDICATING THE APPROXIMATE DATE WHEN CONSTRUCTION OF THE PLANNED DEVELOPMENT
OR STAGES OF THE PLANNED DEVELOPMENT CAN BE EXPECTED TO BEGIN AND BE COMPLETED.

INFRASTRUCTURE, INCLUDING THE PRIMARY ROAD THROUGH THE DEVELOPMENT, WATER SEWER, IRRIGATION WATER AND SITE DRAINAGE
WILL BE STARTED IN THE SPRING OF 2001.

THE FIRST BUILDING WILL START AS SOON AS THE FDP IS APPROVED.

A DESCRIPTION OF SNOW REMOVAL METHODS OR TECHNIQUES TO BE UTILIZED AS APPROPRIATE.

THE DEVELOPMENT WILL PROVIDE SNOW REMOVAL USING PRIVATE SUBCONTRACT SERVICES.

A DESCRIPTION OF THE PROPOSED METHOD OF PROVIDING ONGOING (PERMANENT) MAINTENANCE OF ALL COMMONLY OWNED OR PUBLICLY
DEDICATED BUILDINGS, FACILITIES, AREAS AND THOROUGHFARES.

MAINTENANCE OF THE DEVELOPMENT, BUILDINGS, PAVED AREAS AND LANDSCAPE AREAS WILL BE PROVIDED BY AWEIDA PROPERTIES, INC.

A. NARRATIVE

The subject Property is owned by Aweida Properties, Inc. (Jesse Aweida, President). The enclosed information is herewith submitted for Preliminary Planned Development to the Town of Superior.

The Property is situated on the east side of McCaslin Boulevard, and includes two separate parcels. The total acreage of both parcels is approximately 17.7 acres. The parcels are separated by John Tovado Reservoir Number 1, which is owned by Alan Weinstein. Mr. Weinstein has recently drained this reservoir and filled it in. The south parcel (Parcel II) is approximately 5.5 acres and abuts the north boundary of Rock Creek residential subdivision. The north parcel (Parcel I) is approximately 12.2 acres and presently has an older house on the Property.

The southerly 5.5 acres (Parcel II) will remain in a natural condition as open space and serve as a buffer to the existing residential neighborhood of Rock Creek. The open space parcel will be protected at future development via a deed restriction. The 12.2 acre Parcel I will be developed into an office campus environment consisting of four lots for four buildings. Two buildings will have a square footage of 40,000 - 45,000 each, while the remaining two buildings will have a square footage of 20,000 - 25,000 each. The project will be designed and constructed according to the Schedule of Requirements and Schedule of Uses listed herein the Discovery Office Park Preliminary PD/ZD Plan. Special attention will be given to open space, rooflines, and view-sensitive areas, using regulations and guidelines from the Land Use Code.

To date, we have been in conversation with the developers of the land north and east of the Property. It is our intention to work in concert with these developers, owners, and the Town of Superior to effect an efficient and well-planned development that will enhance the area and create revenues for the Town of Superior.

This project received sketch plan approval in April 2000.

B. PROJECT CIRCULATION

1. Discovery Parkway

This development includes the construction of a 2-lane (36' Fl to Fl) roadway that extends from McCaslin Boulevard east through the central portion of the site, approximately 0.18 miles (905'). Future extension to the east will provide access to the Spicer property and will connect to the future Marshall Road extension. A landscaped median island a third of the way into the site is proposed. Individual office-building lots are accessed off this roadway. The roadway will be a dead end until development occurs to the east. Therefore, a secondary emergency access is provided at the southwest corner of the site.

A 3/4 turn-movement intersection is proposed at McCaslin Boulevard. An island is shown to prohibit the left-out turn movement for westbound vehicles.

The expected volume of traffic on this roadway is within local street classification with a 25-mph design speed.

2. Trail system

We are proposing an extensive inner-park trail system (see trail map) that will ultimately connect the Rock Creek subdivision trail system to our trail system and then east and north.

C. ARCHITECTURAL THEME

The architectural theme of this project is transition between the ultimate commercial/retail nature of the development to the north (Memkirk property) and residential property located in the Rock Creek subdivision. The theme incorporates pitched residential rooflines on 2 and 3-story buildings clad in stone and stucco. Walls will be flagstone and stucco. Strip windows are acceptable but should be limited to lengths of 36' or less. Steel detail can be used to emphasize deck handrails or other exposed structure.

Rooftop HVAC units will be screened with roof elements. Entries will be defined and protected. All buildings will be designed with four-sided architecture as a requirement.

We propose that all four buildings have under-building structured parking. Providing structured parking allows us to leave more of the site in a natural state, which allows more trees to be retained. The Superior LUC allows an increase in building height (15') as a trade-off for structured parking. (In the PD Requirements, see Section 16-212, Item K).

1. Building Envelope

a. Exterior walls shall be composed of the following materials:

- Stone - Buff (60%) and red (40%) sandstone
- Ashlar dry stack
- Ground level to second floor (stucco may be used above window head)
- Second level to roof optional

Architectural Precast Concrete - Can be used as column bases, sills, heads and caps
Glass - Clear, Gray

- Strip windows should not exceed 36' and be separated by a material break of at least one foot between adjacent 36 foot window strips.
- Punched windows are acceptable

Stucco - Pebble Finish Second floor to roof eave (earth-tone colors only)

Structural Steel - Can be exposed

Ornamental Steel/Iron - Can be used

Painted Sheet Metal Trim - Approved (color should compliment adjoining materials)

Roof Flashing - 16 oz. Copper

Wall Composition - Columns or some vertical interruption every 60' or less.

b. Roofs and Roof Elements - Gables, hips and arches are all acceptable. Dormers are encouraged, roof forms can vary.

Pitch - 3/12 or higher

Mechanical Equipment - Can be located at the roof.
The screen should be a roof or roof-like screen.

Screening will completely screen mechanical equipment from the ground, with special attention to screening such equipment from both McCaslin Blvd. and from residences located to the south.

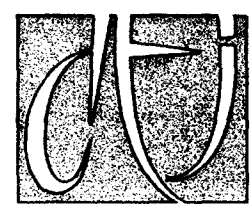
Materials - Tile or thick butt shingles (320 lb.)

Arch roofs can be standing seam metal.

c. Main Entries - The entry should be a focal point of building design. The entry should be covered.

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PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

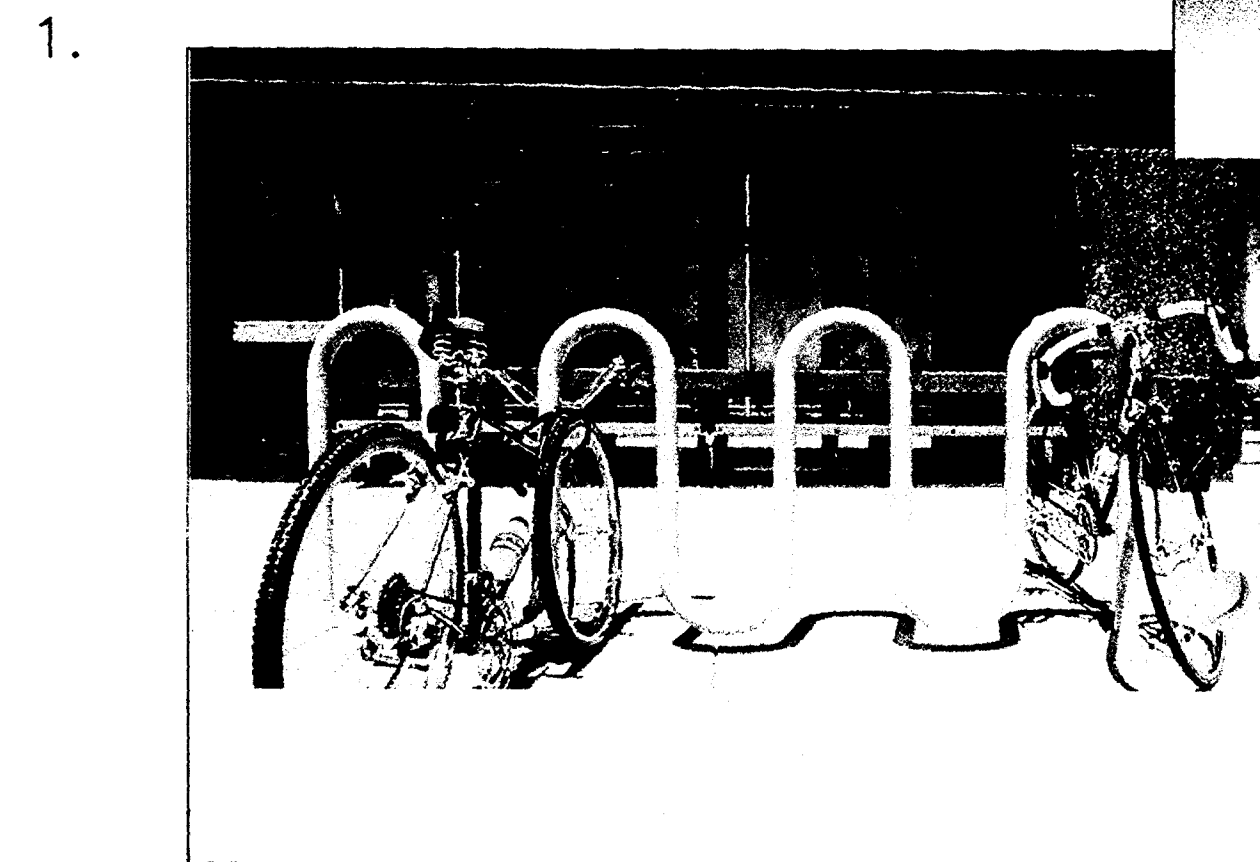
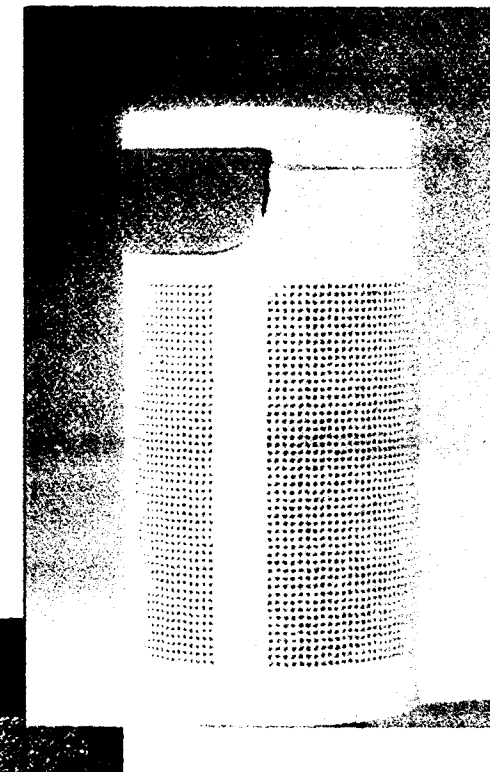
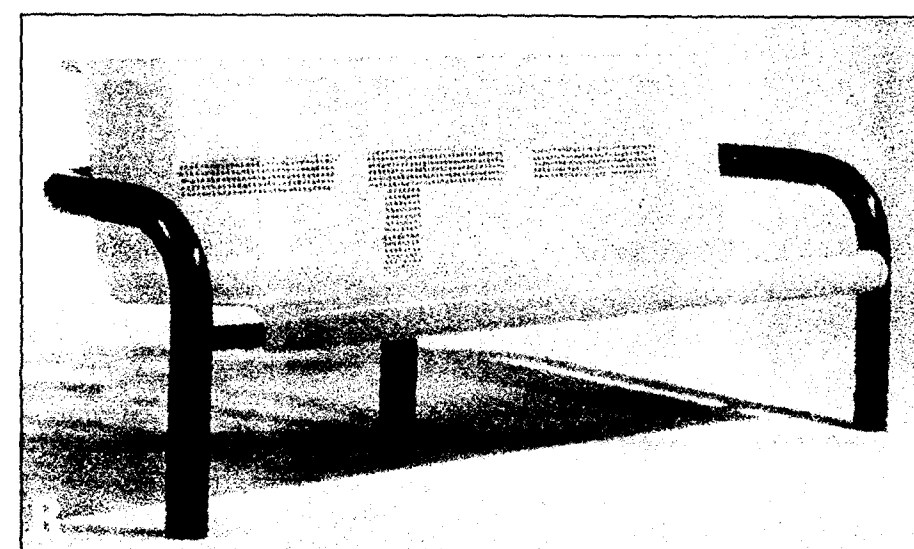
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PARCEL 1 - 12.2 ACRES

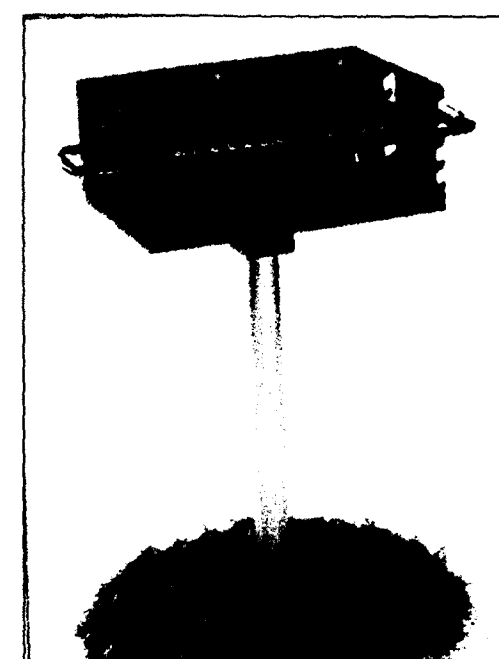
D. SITE AMENITIES:

SITE FURNITURE: Major site furniture includes benches, bicycle racks, grills, picnic tables, and trash receptacles. In general, visual continuity of these elements is desired throughout the Project. The color, in addition to design, will create continuity on the site. All components of outdoor site furniture shall be low maintenance and durable. Said amenities shall be located at major pedestrian plazas, pedestrian trails, and building entrances.

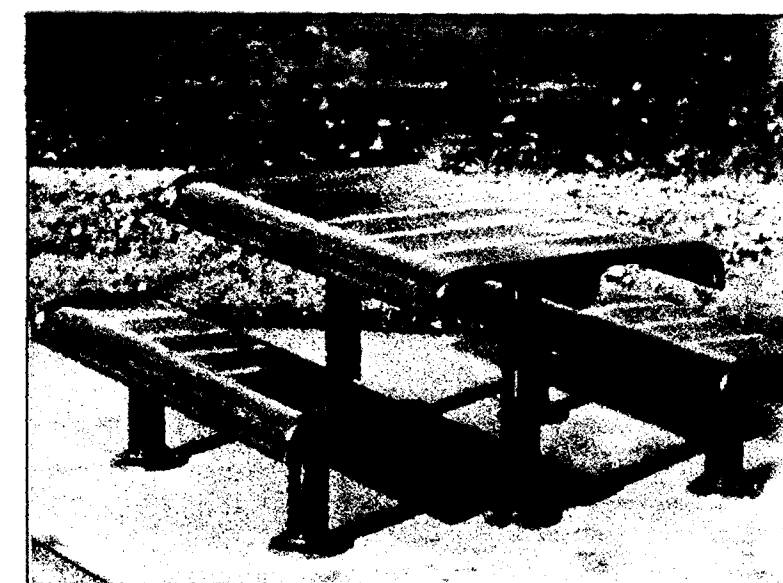
1. Bench: Bench w/ Armrests, Palomar series, color - to match architecture or approved equal.
2. Bicycle Rack: Original Cycloops, surface mount, color - to match architecture or approved equal.
3. Grill: Flipback Pedestal Rotating Grill, permanent mount, color - black or approved equal.
4. Picnic Table: Picnic Table & Seats, Boulevard series, color-to match architecture or approved equal.
5. Trash Receptacle: Hinged-Lid Litter Container, Palomar series color-to match architecture or approved equal.



5.



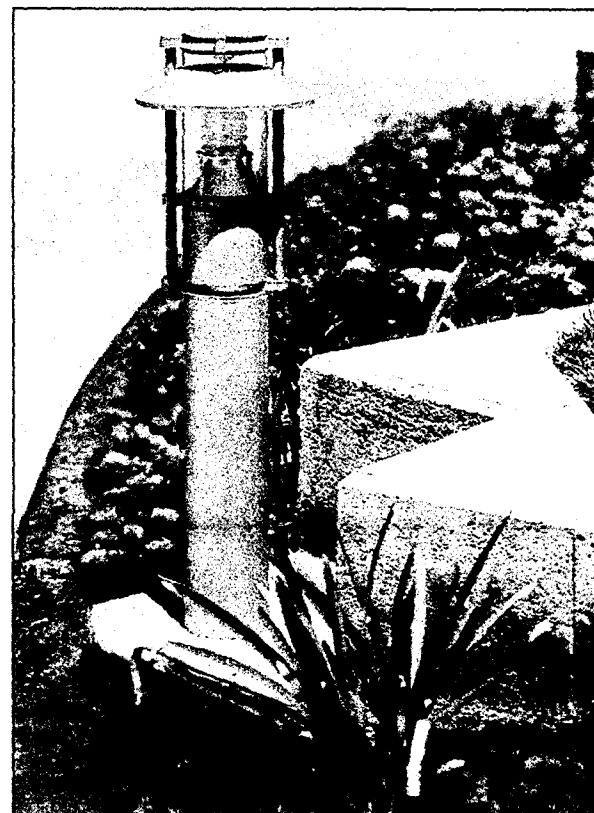
3.



4.



1.



3.



4.

E. LIGHT STANDARDS & FIXTURES:

Lighting Fixtures:

EXTERNAL PROPERTY LINE = NO MORE THAN 0.1 FOOT CANDLE AT ANY EXTERNAL BOUNDARY PROPERTY LINE.
External light sources (From McCaslin Blvd. and Discovery Parkway) will not be counted in these measurements.

PARKING LOT = NO MORE THAN 2.5 to 3.5 FOOT CANDLE.
External light sources (From McCaslin Blvd. and Discovery Parkway) will not be counted in these measurements.

Lighting fixtures incorporated within Discovery Office Park shall be as follows:

1. Street Lighting: Street light fixtures shall be similar as shown in illustration #1 or an approved equal. Said fixtures shall be black and shall NOT exceed City of Superior standards for height. Fixtures shall exhibit cut-off capabilities to minimize off-site illumination spillage.
2. Parking Lot Lighting: Parking Lot light fixtures shall be the same as shown in illustration #1 or an approved equal. Said fixtures shall be black and shall NOT exceed City of Superior standards for height. Fixtures shall exhibit cut-off capabilities to minimize off-site illumination spillage.
3. Light Bollards: Ornamental, low-level lighting at pedestrian crosswalks/crossings, plazas, building entries, and Overlook Park shall be incorporated. See illustration #3, color - to match architecture.

4. Pedestrian Trail Lighting: Ornamental, single-pole mounted lights shall be incorporated as accent lighting along trail only - NOT as security lighting. See illustration #4, color - to match architecture.

F. OPEN SPACE:

Parcel 1 as a whole must have open space equal to 45% of the entire 12.2 AC site. This open space is weighted to the north.

G. SITE MAINTENANCE:

All site maintenance will be performed and managed by the 'Discovery Office Park Management Company, or other similar entity. This company will be funded by:

- a. An initial contribution from ownership
- b. Monthly assessments to the individual buildings in the amount required to maintain the park in the following areas:

Internal roads/parking areas
Landscaping
Snow removal
Building exteriors
Detention pond

H. PARKING:

Each building will provide required parking on site.

Each building will provide structured under-building parking and surface parking.

Cross Parking - All lots and buildings will have cross parking easements/agreements.

Parking Lot Landscaping: A minimum of 5% of the parking lot area shall be landscaped w/ liveable material and the standards below:

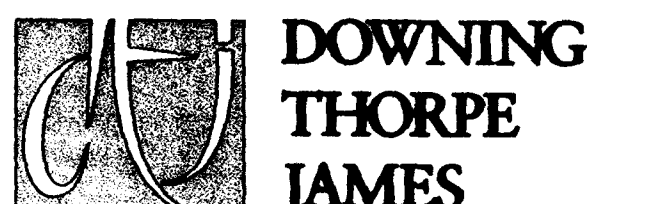
Requirements: 1 tree per 10 parking spaces, min. 2 1/2" caliper
3 shrubs per 10 parking spaces, min. 5 gal.

I. PEDESTRIAN TRAILS:

Pedestrian Trails shall be as shown on the Site Plan and the Trail Plan.

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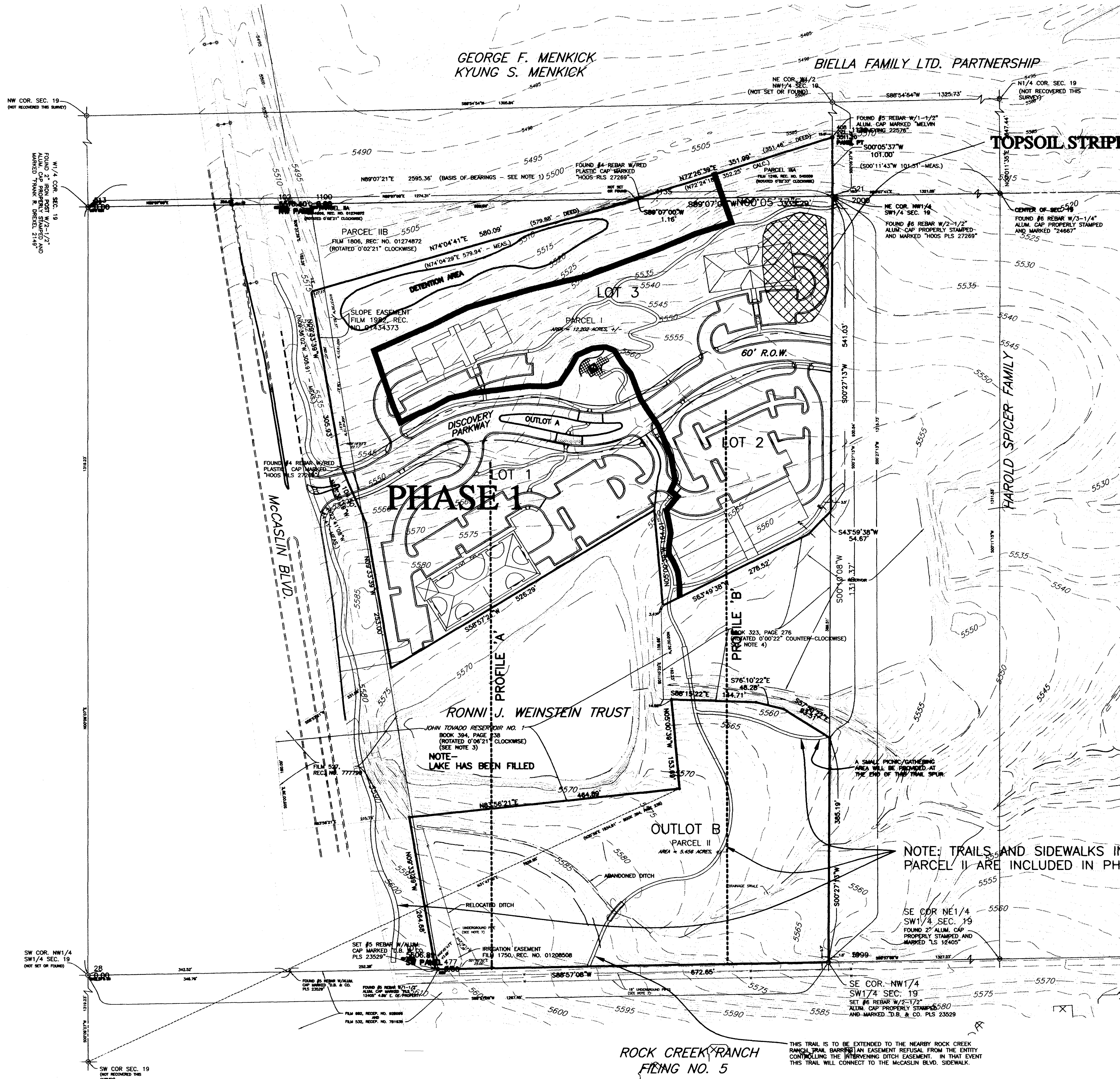


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PRELIMINARY PD/ZONE DISTRICT PLAN

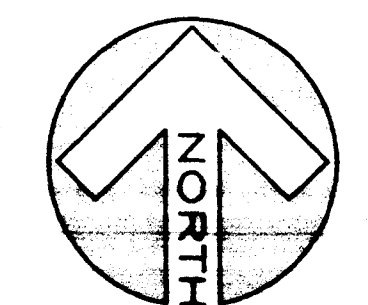
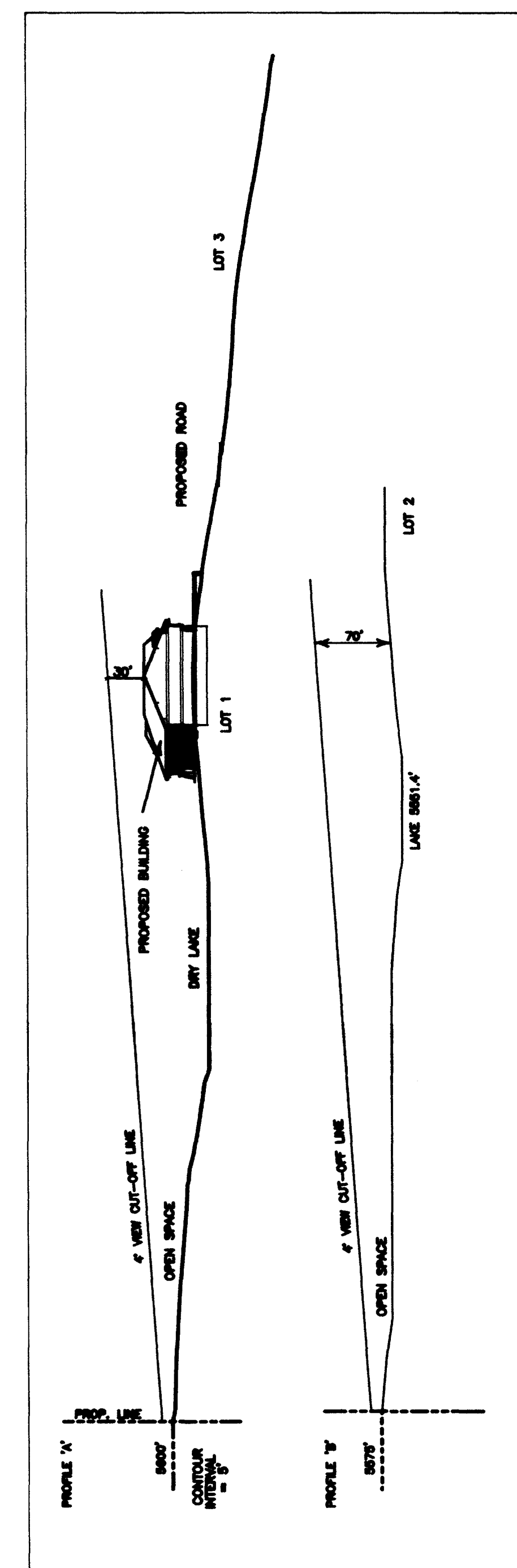
DISCOVERY OFFICE PARK

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TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO
PARCEL I - 12.2 ACRES



GENERAL DEVELOPMENT PHASING SCHEDULE

PHASE	ESTIMATED CONSTRUCTION TIMING
1	SPRING 2001
2	FALL 2001
3	SPRING 2002
4	FALL 2002

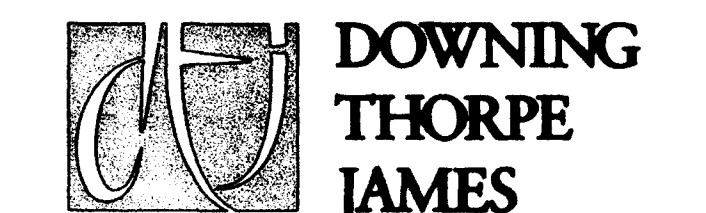


0 50 100 150
SCALE: 1" = 100'

PLAN

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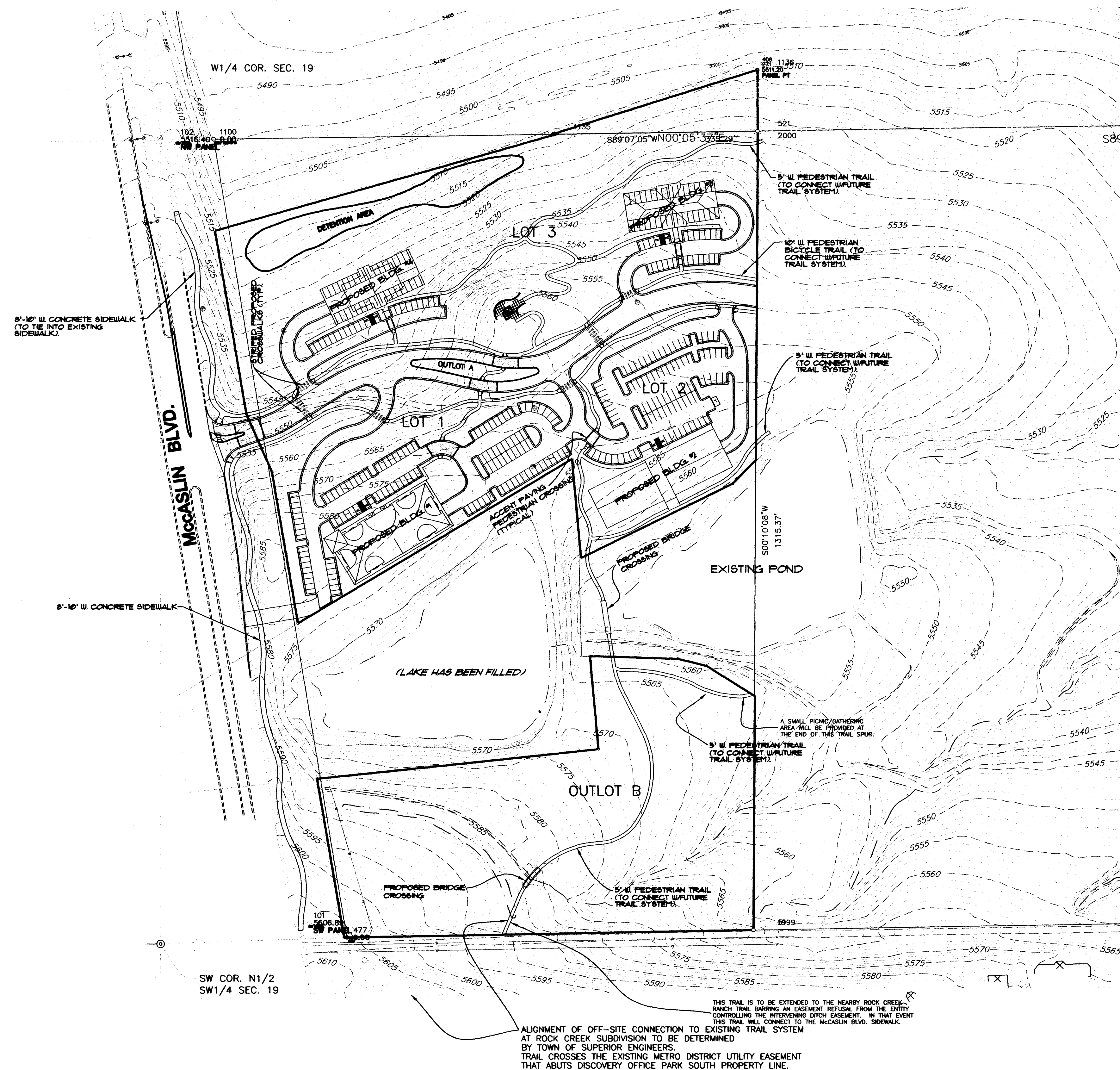
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REV. 12-04-00
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REV. 1-25-01
REV. 5-16-01

PRELIMINARY PD/ZONE DISTRICT PLAN

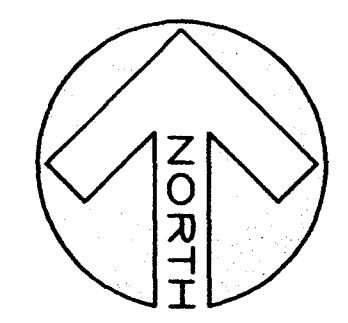
DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PARCEL 1 - 12.2 ACRES



THIS TRAIL IS TO BE EXTENDED TO THE NEARBY ROCK CREEK RANCH TRAIL, SHARING AN EASEMENT RETURN FROM THE ENTITY CONTROLLING THE INTERVENING DITCH EASEMENT. IN THAT EVENT THIS TRAIL WILL CONNECT TO THE MCCASLIN BLVD. SIDEWALK.
ALIGNMENT OF OFF-SITE CONNECTION TO EXISTING TRAIL SYSTEM AT ROCK CREEK SUBDIVISION TO BE DETERMINED BY TOWN OF SUPERIOR ENGINEERS.
TRAIL CROSSES THE EXISTING METRO DISTRICT UTILITY EASEMENT THAT ABUTS DISCOVERY OFFICE PARK SOUTH PROPERTY LINE.

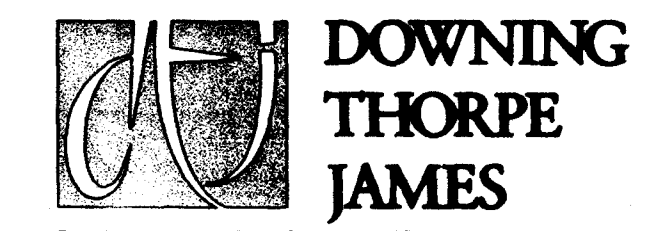


0 50 100 150
SCALE : 1" = 100'

PLAN

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PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

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Boulder, Colorado 80302
303-443-7533



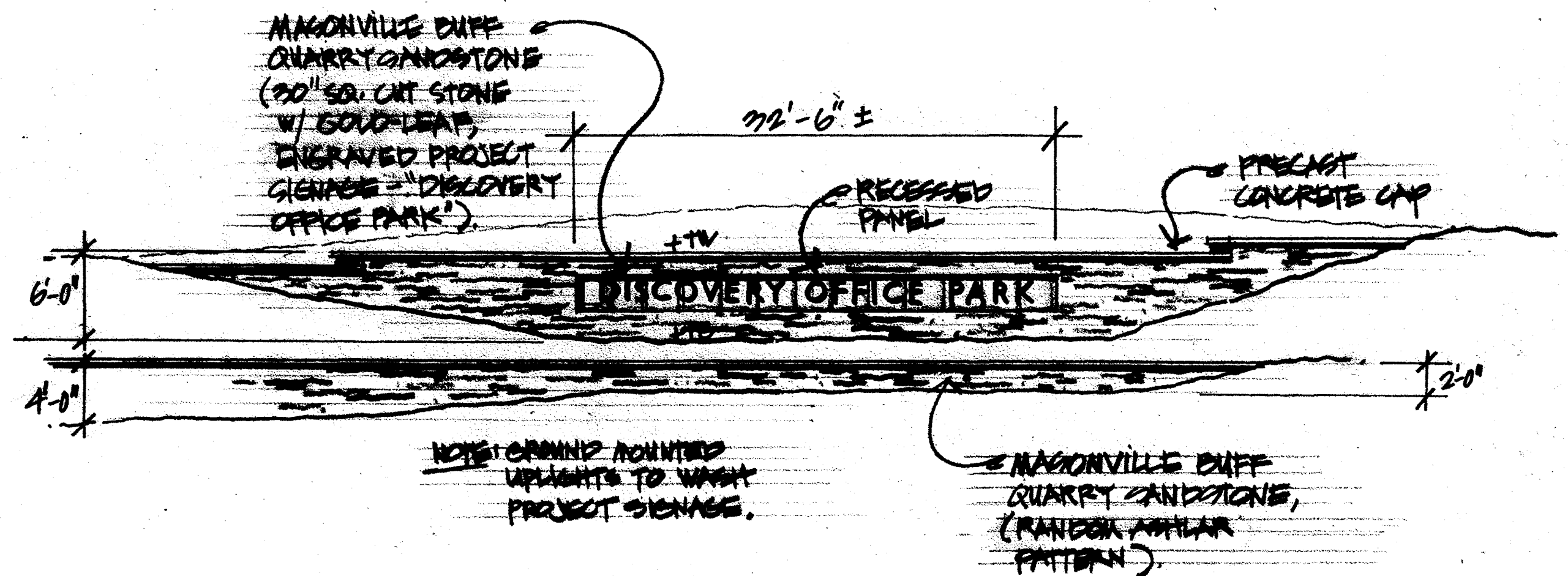
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THORPE
JAMES**

Project No. 2000-049.70
9-8-00
REV. 12-04-00
REV. 1-15-01
REV. 1-25-01
REV. 5-16-01

PROJECT SIGNAGE

DISCOVERY OFFICE PARK

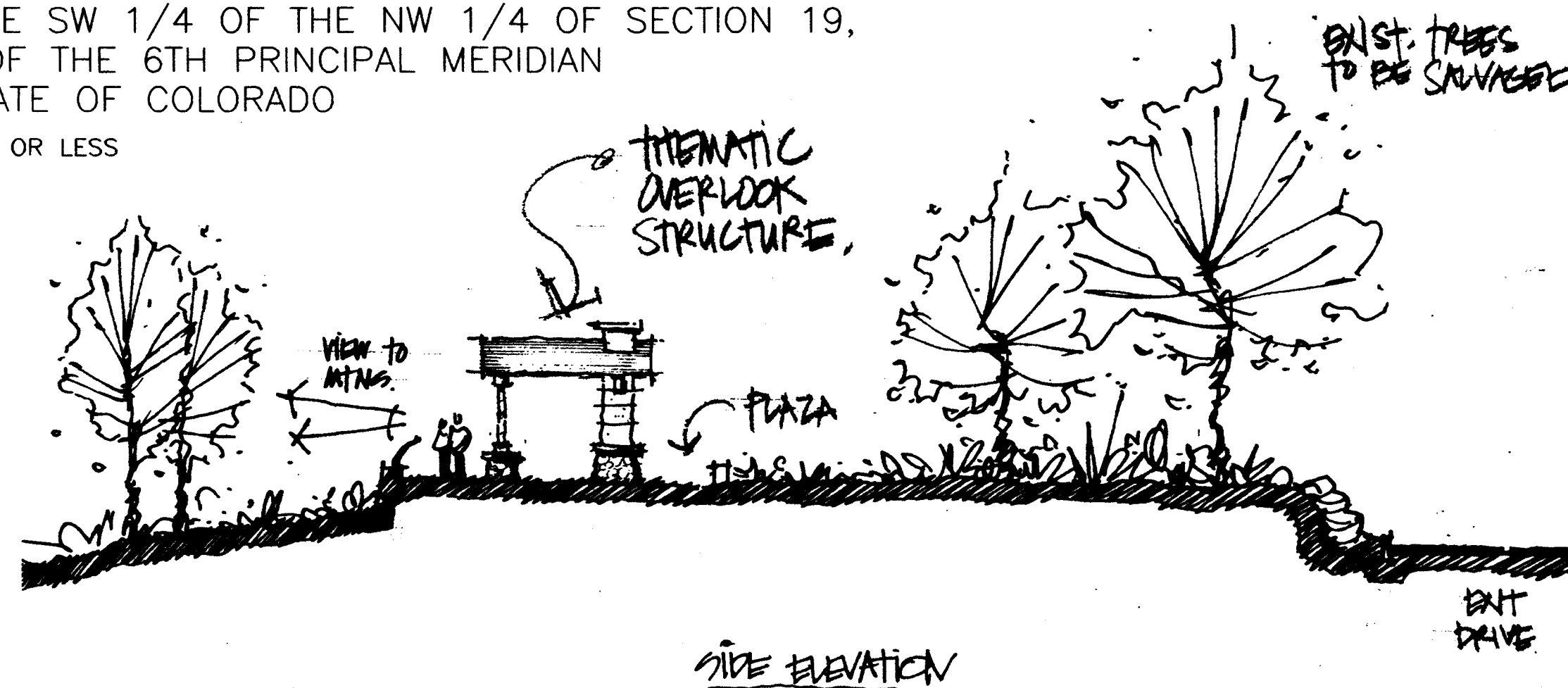
LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS



1. QUANTITY: (PER 16-337) ONE (1) WALL SIGN AT THE MAIN ENTRY.
2. MAX. SURFACE AREA: (PER 16-334) 100 s.f.
3. MAX. HEIGHT: (PER 16-343) 6'-0" ht.
4. LIGHTING: EXTERNAL ILLUMINATION BY GROUND MOUNTED UPLIGHTS. BRIGHTNESS LIMIT NOT TO EXCEED 100 watt HID SOURCE. UPLIGHTS SHALL BE SPEC'D W/ HOODS TO PREVENT LIGHT POLLUTION & TO CONCENTRATE LIGHTING ONTO SIGN FACE.
5. MAX. LETTER SIZE: 24" ht.
6. MATERIALS: SIGN WALL SHALL BE MASONRY RETAINING WALL W/ MASONVILLE BUFF SANDSTONE VENEER, RANDOM ASHLAR STONE PATTERN. SIGN PANEL SHALL BE RECESSED, W/ 50" X 36" MAX. X 3" TH. CUT SANDSTONE, COLOR - MASONVILLE BUFF; ENGRAVED W/ PROJECT LETTERS - 'DISCOVERY OFFICE PARK' & PAINTED GOLD.
7. NOMENCLATURE: SIGN WALL SHALL IDENTIFY DEVELOPMENT PROJECT ONLY. NO TENANT SIGNAGE SHALL APPEAR ON SIGN WALL.

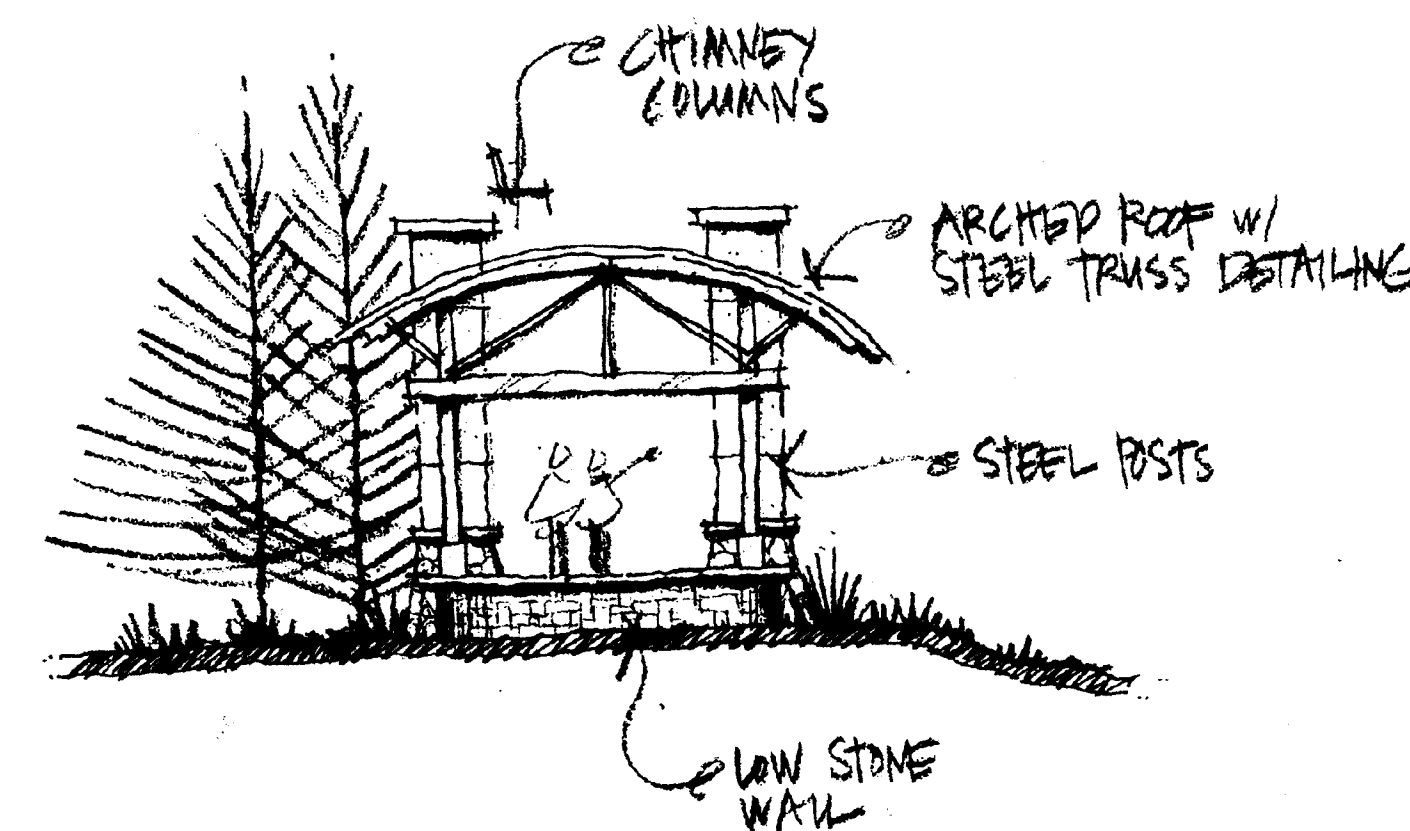
4 MAIN ENTRY WALL SIGN
SCALE: 1/8"=1'-0"

ELEVATION



SIDE ELEVATION

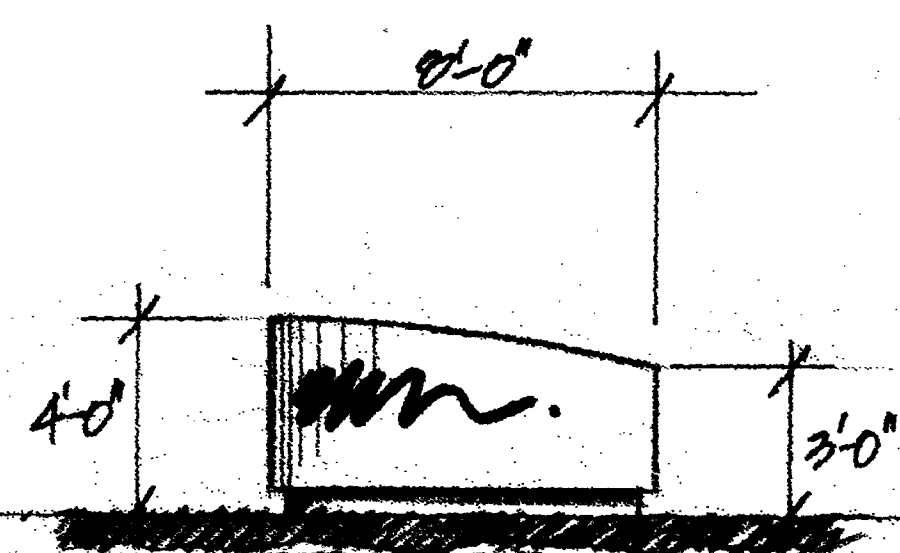
1. OVERLOOK STRUCTURE SHALL MATCH ARCHITECTURE BUILDING MATERIALS, FORM, & COLOR. MATERIALS SHALL INCLUDE: PRECAST CONCRETE, BUFF QUARRY SANDSTONE, WOOD, & STEEL.
2. OVERLOOK PLAZA SHALL BE CONCRETE PAVEMENT W/ AN UPPER LEVEL & LOWER LEVEL, TO MATCH GRADE. BOTH LEVELS WILL BE ADA ACCESSIBLE AND HAVE THE FOLLOWING AMENITIES: BENCHES, TABLES, GRILLS, LOW WALLS, & LANDSCAPING.
3. OVERLOOK STRUCTURE & PLAZA WILL BE ORIENTED TOWARDS THE NORTHWEST, FOCUSING VIEWS ON THE NORTHERN MOUNTAINS, FOOTHILLS, & FLATIRONS.
4. ALL HEALTHY, EXISTING TREES AT THE OVERLOOK WILL BE PRESERVED AND PRUNED TO PROMOTE FUTURE SUCCESS OF THE TREES.



FRONT ELEVATION

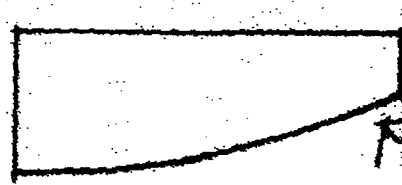
1 THEMATIC OVERLOOK STRUCTURE
SCALE: 1/4"=1'-0"

ELEVATION



ELEVATION

1. QUANTITY: (PER 16-337) TWO (2) FREESTANDING SIGN, SINGLE-SIDED, BETWEEN BLDGS. #S 1 & 2.
2. MAX. SURFACE AREA: (PER 16-334) 32 s.f.
3. MAX. HEIGHT: (PER 16-343) 4'-0" ht.
4. LIGHTING: INTERNAL & EXTERNAL ILLUMINATION. EXTERNAL BY GROUND MOUNTED UPLIGHTS. BRIGHTNESS LIMIT NOT TO EXCEED 100 watt HID SOURCE. UPLIGHTS SHALL BE SPEC'D W/ HOODS TO PREVENT LIGHT POLLUTION & TO FOCUS LIGHTING ONTO SIGN FACE.
5. MAX. LETTER SIZE: 12" ht.
6. MATERIALS: FREESTANDING SIGN SHALL BE BRUSHED ALUMINUM METAL BOX, COLOR TO MATCH ARCHITECTURE, W/ REPLACEABLE ALUMINUM METAL TENANT PANELS.
7. NOMENCLATURE: FREESTANDING SIGN SHALL IDENTIFY PARCEL/LOT TENANTS W/ NATIONAL LOGOS and/or DESCRIPTIONS, DIRECTIONAL ARROWS, AND BUILDING ADDRESS.

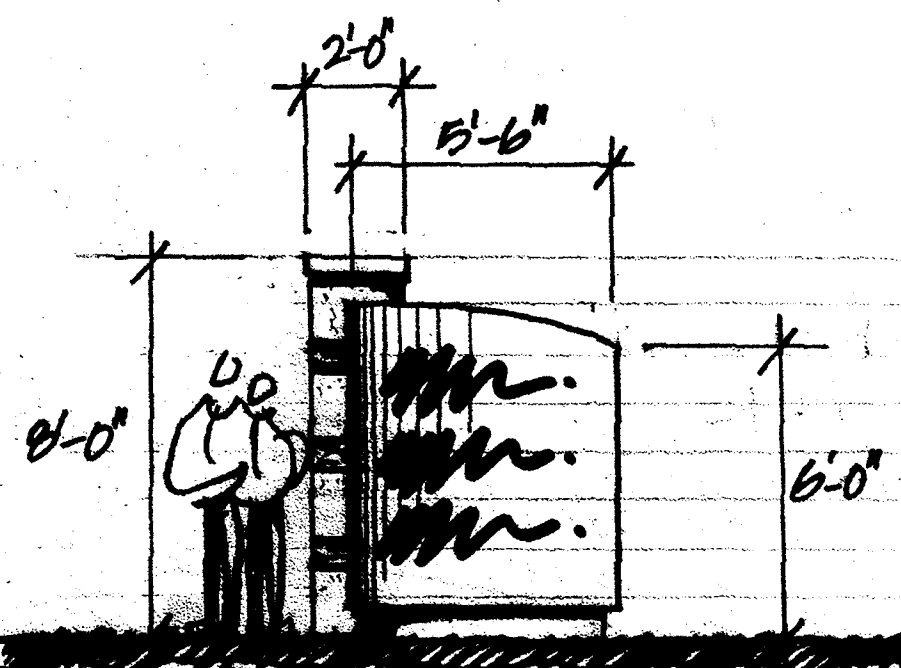


PLAN

BRUSHED ALUMINUM SIGN W/ REPLACEABLE TENANT PANEL (SINGLE-SIDED).

3 SIGN TYPE 'B' TENANT IDENTIFICATION SIGN
SCALE: 1/4"=1'-0"

PLANELEVATION



ELEVATION FRONT

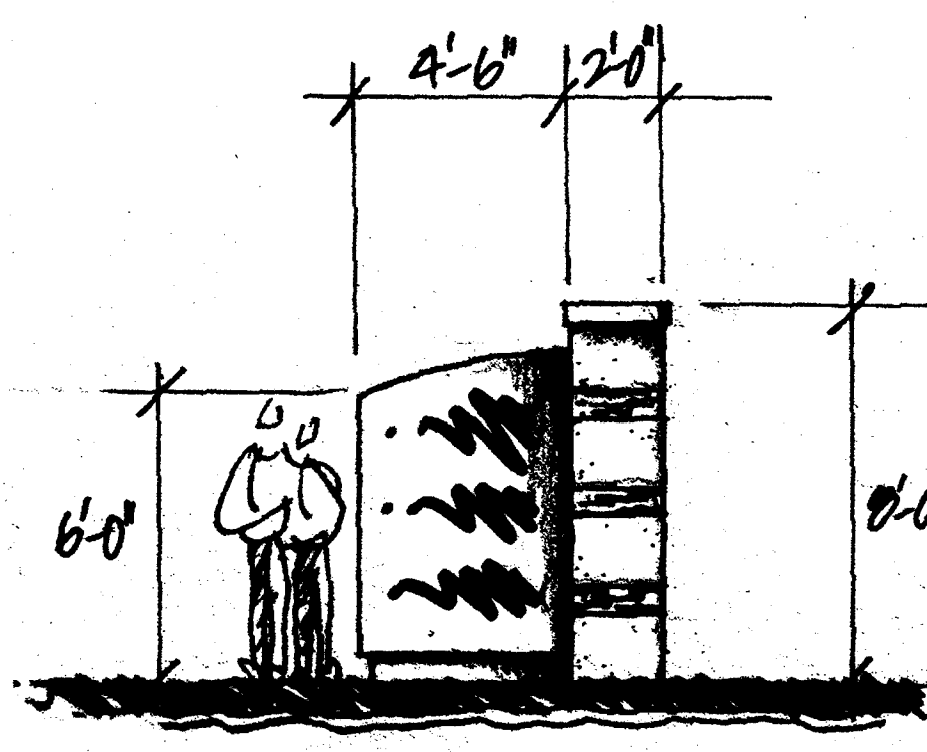
MASONRY PIER W/ PRECAST CONCRETE CAP

PLAN

BRUSHED ALUMINUM SIGN W/ REPLACEABLE TENANT PANELS (DOUBLE-SIDED).

2 SIGN TYPE 'A' PARCEL/LOT IDENTIFICATION SIGN
SCALE: 1/4"=1'-0"

PLANELEVATION



ELEVATION REAR

1. QUANTITY: (PER 16-337) FOUR (4) FREESTANDING SIGN - DOUBLE-SIDED, ALONG MAIN ENTRY DRIVE.
2. MAX. SURFACE AREA: (PER 16-334) 55 s.f.
3. MAX. HEIGHT: (PER 16-343) 8'-0" ht.
4. LIGHTING: INTERNAL & EXTERNAL ILLUMINATION. EXTERNAL BY GROUND MOUNTED UPLIGHTS. BRIGHTNESS LIMIT NOT TO EXCEED 100 watt HID SOURCE. UPLIGHTS SHALL BE SPEC'D W/ HOODS TO PREVENT LIGHT POLLUTION & TO CONCENTRATE LIGHTING ONTO SIGN FACE.
5. MAX. LETTER SIZE: 12" ht.
6. MATERIALS: FREESTANDING SIGN SHALL BE BRUSHED ALUMINUM METAL BOX, COLOR TO MATCH ARCHITECTURE, W/ REPLACEABLE ALUMINUM METAL TENANT PANELS. MASONRY PIERS SHALL BE CUT QUARRY SANDSTONE W/ RANDOM ASHLAR PATTERN SANDSTONE BANDS & CAST CONCRETE CAP, NATURAL COLOR. SANDSTONE COLOR - MASONVILLE BUFF TO MATCH MAIN ENTRY WALL.
7. NOMENCLATURE: FREESTANDING SIGN SHALL IDENTIFY PARCEL/LOT TENANTS W/ NATIONAL LOGOS and/or DESCRIPTORS, DIRECTIONAL ARROWS, AND BUILDING ADDRESS.

GENERAL SIGN NOTES:

1. SIGNAGE SHALL BE INSTALLED IN THE LOCATIONS AS SHOWN ON THE DMS.
2. SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE TOWN OF SUPERIOR LAND USE CODE, LATEST EDITION.
3. SIGNAGE WILL BE OF 2 TYPES: WALL SIGN & FREESTANDING SIGN. WALL SIGN SHALL BE AN ENGRAVED SANDSTONE SIGN & INCORPORATED I/W IN THE ENTRY WALLS. FREESTANDING SIGN - TYPE A SHALL BE A DOUBLE-SIDED, METAL BOX W/ REPLACEABLE TENANT PANELS. FREESTANDING SIGN - TYPE B SHALL BE A SINGLE-SIDED, METAL BOX SIGN.
4. BUILDINGS MOUNTED TENANT SIGNAGE WILL BE LIMITED TO 2 SIGNS. EACH SIGN IS LIMITED TO 20 s.f.

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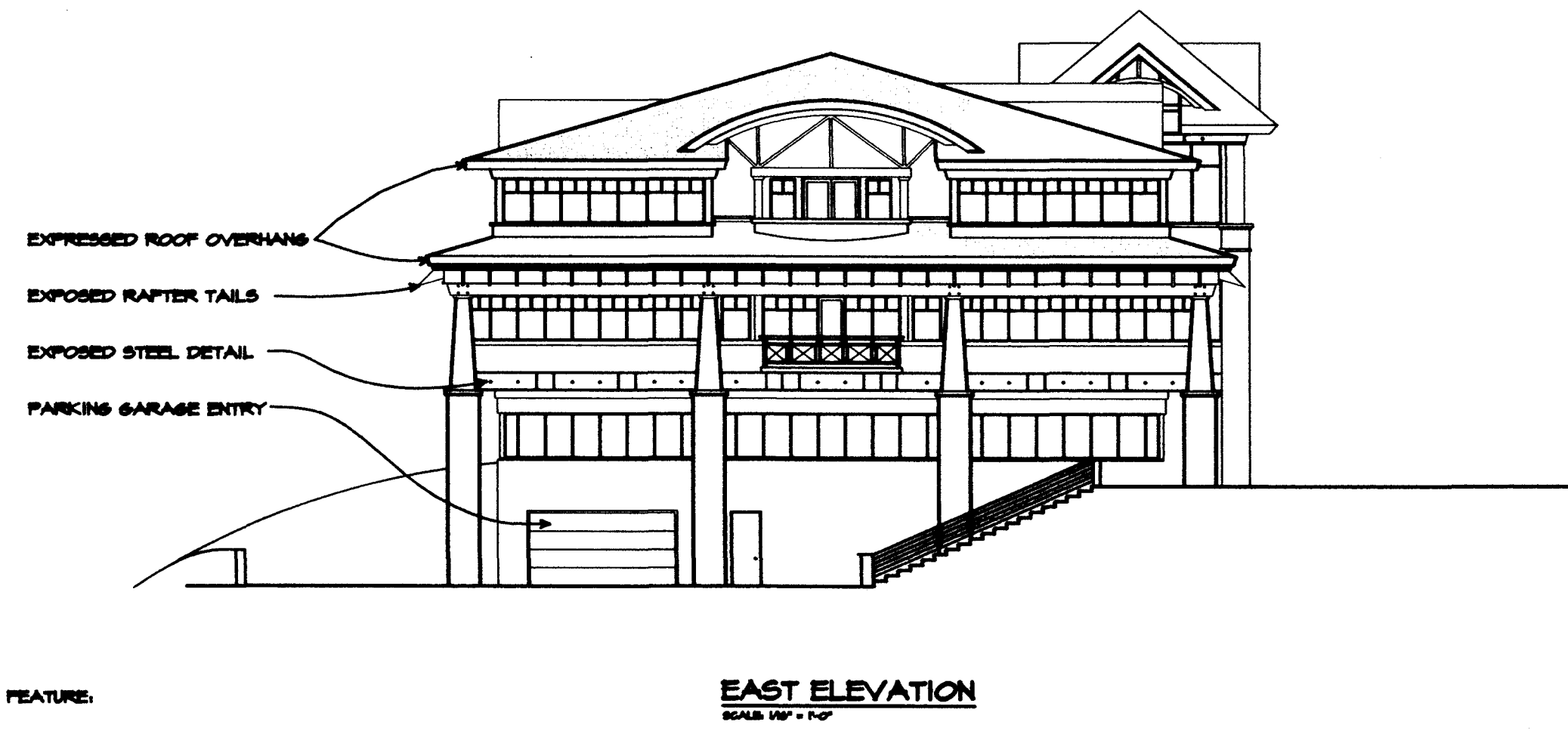
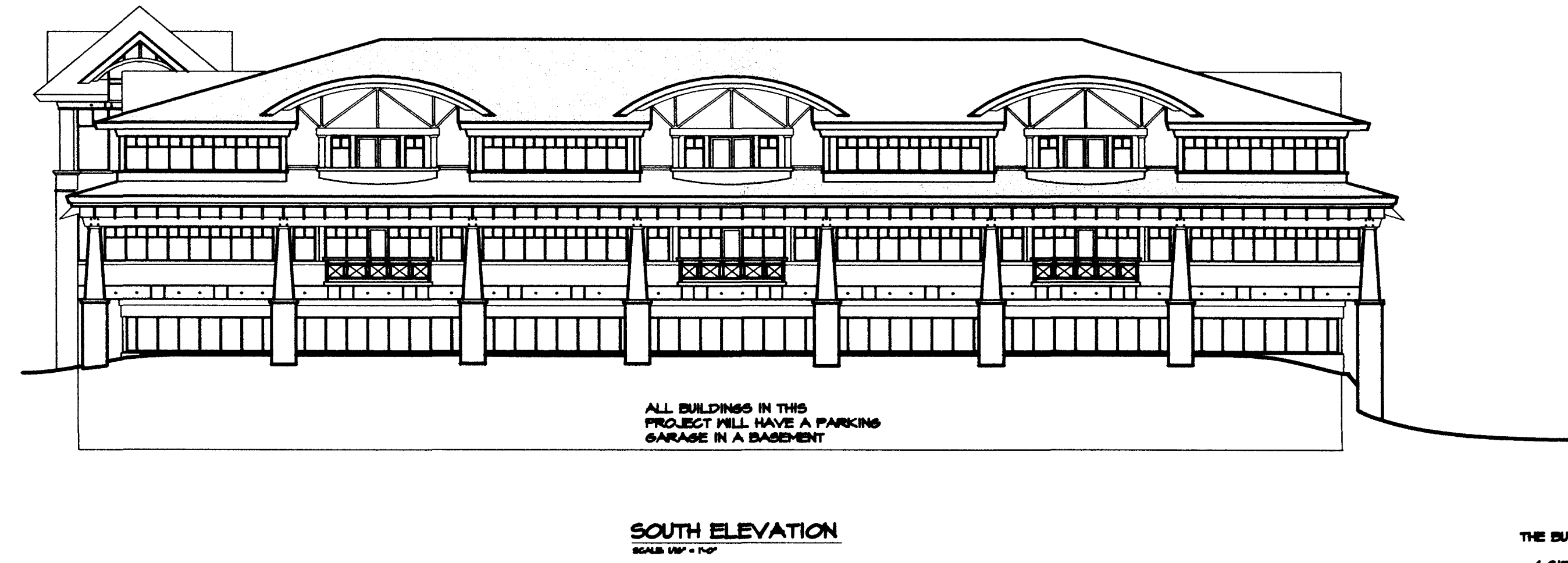
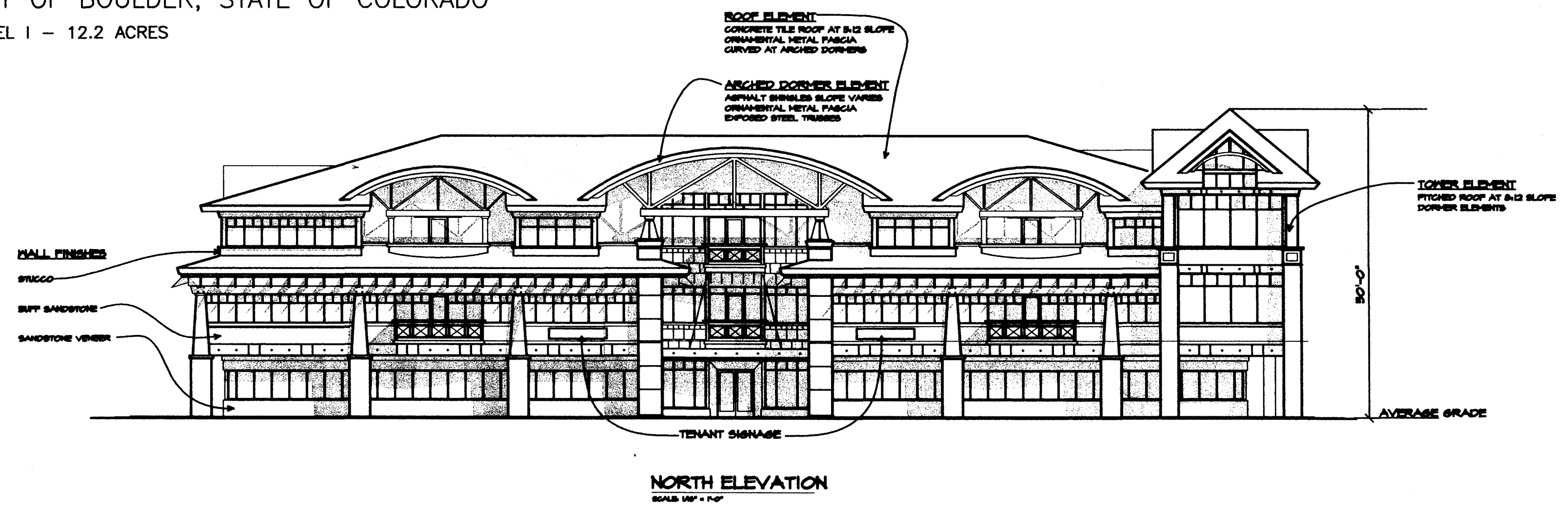
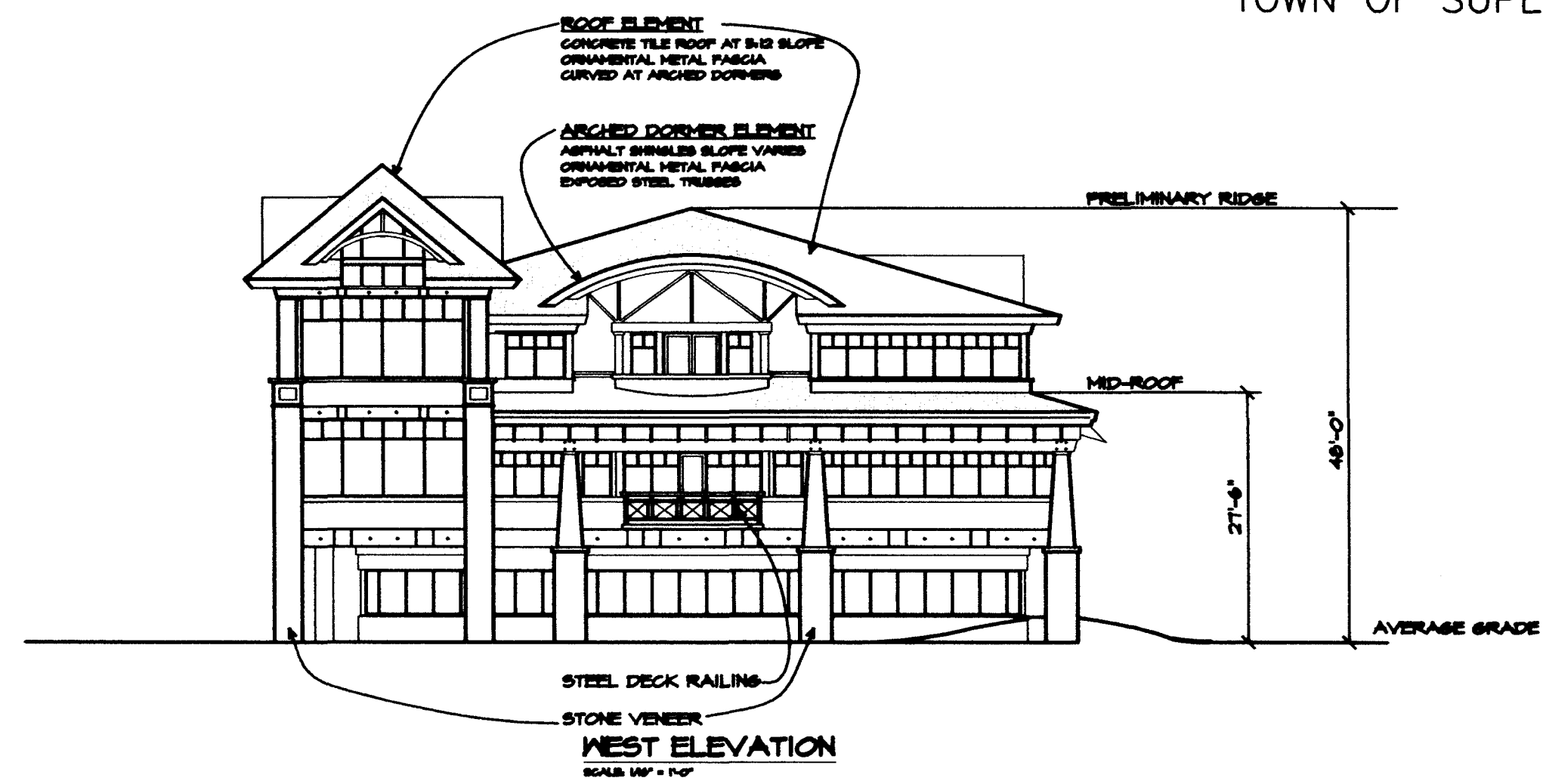
1/15/01 1/25/01
Project No. 2000-049.70

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

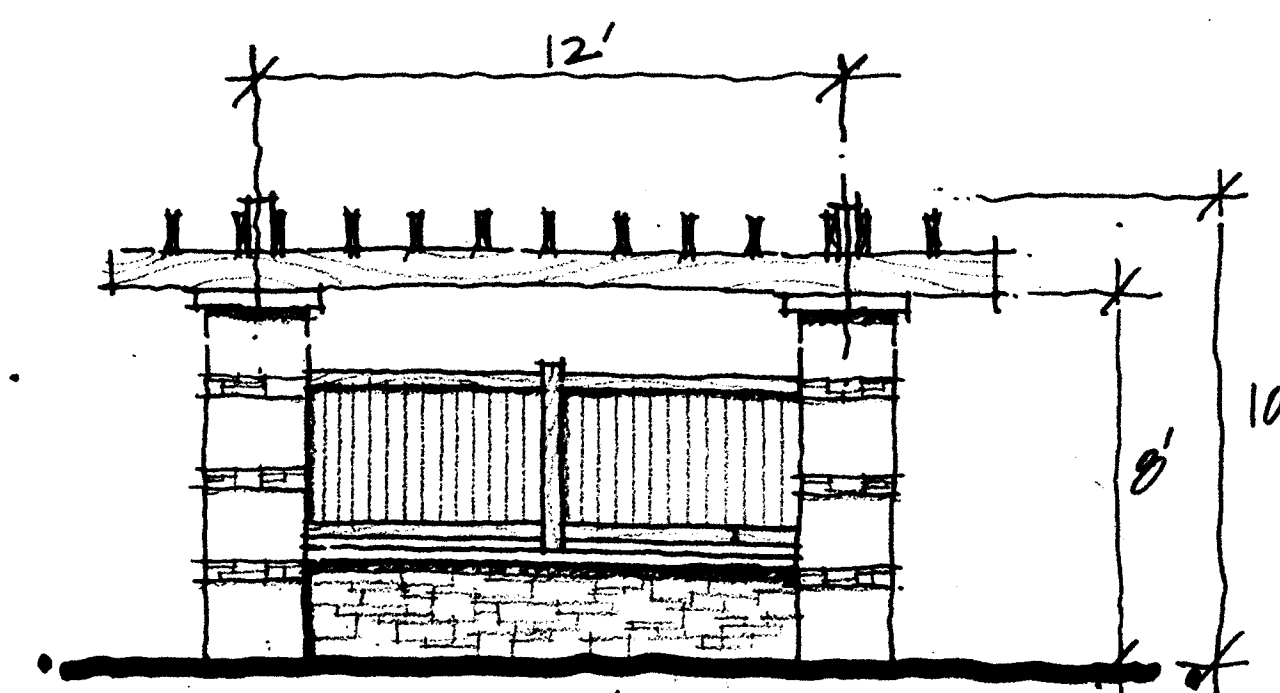
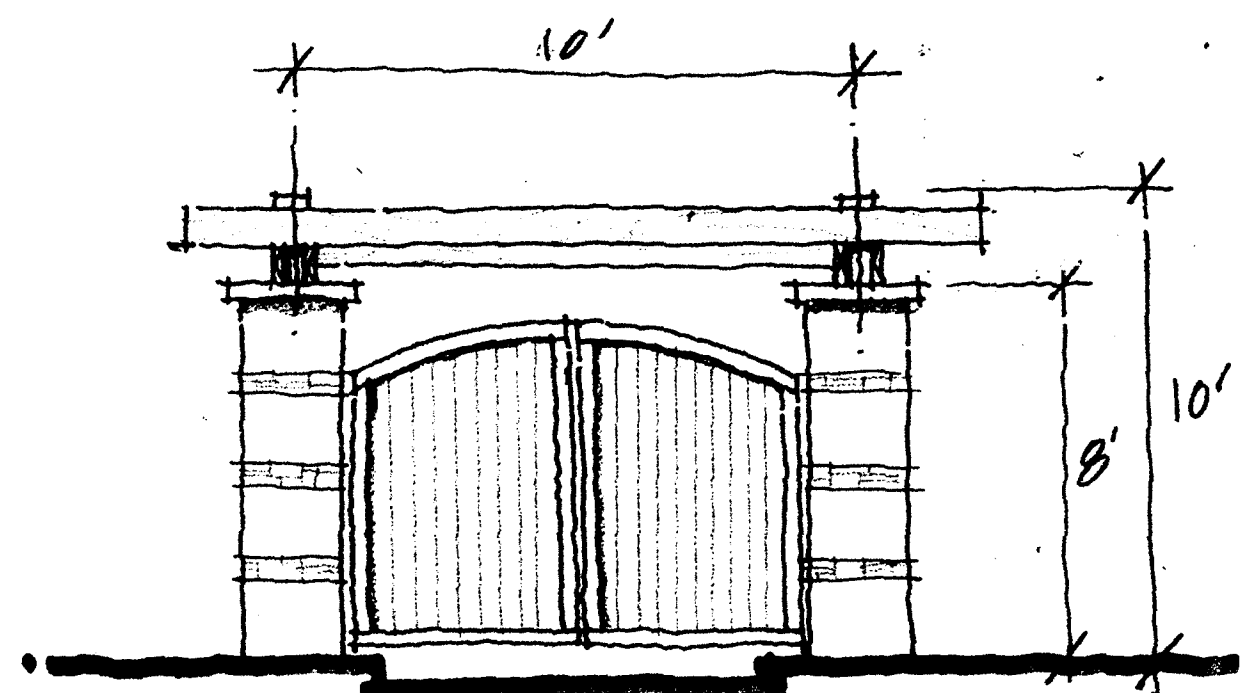
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TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PARCEL 1 - 12.2 ACRES



- THE BUILDINGS IN THIS PROJECT WILL FEATURE:
- 4 SIDED ARCHITECTURE
 - FITCHED ROOFLINES
 - STONE AND STUCCO EXTERIOR FINISHES
 - CONCEALED OR SCREENED MECHANICAL SYSTEMS
 - PARKING UNDER BUILDINGS

- TRASH ENCLOSURE ELEMENTS:
- SANDSTONE VENEER MASONRY PIERS & WALL W/ CAST CONCRETE CAPS
 - HEAVY WOODEN GATES W/ METAL FRAME
 - WOOD SCREEN FENCE
 - WOOD TIMBER TRELLIS
 - COLORS, FINISHES, & MATERIALS TO MATCH ARCHITECTURE.

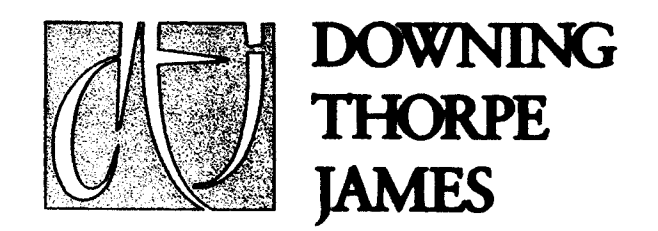


FRONT ELEVATION
TRASH ENCLOSURE DETAILS
SCALE: 1/4"=1'-0"

SIDE ELEVATION

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1/15/01 1/25/01
Project No. 2000-049.70

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

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COUNTY OF BOULDER, STATE OF COLORADO

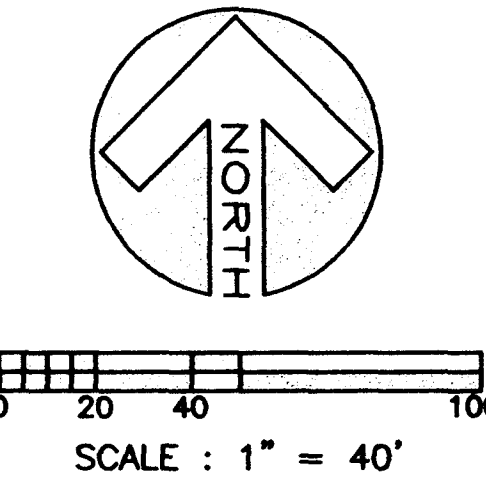
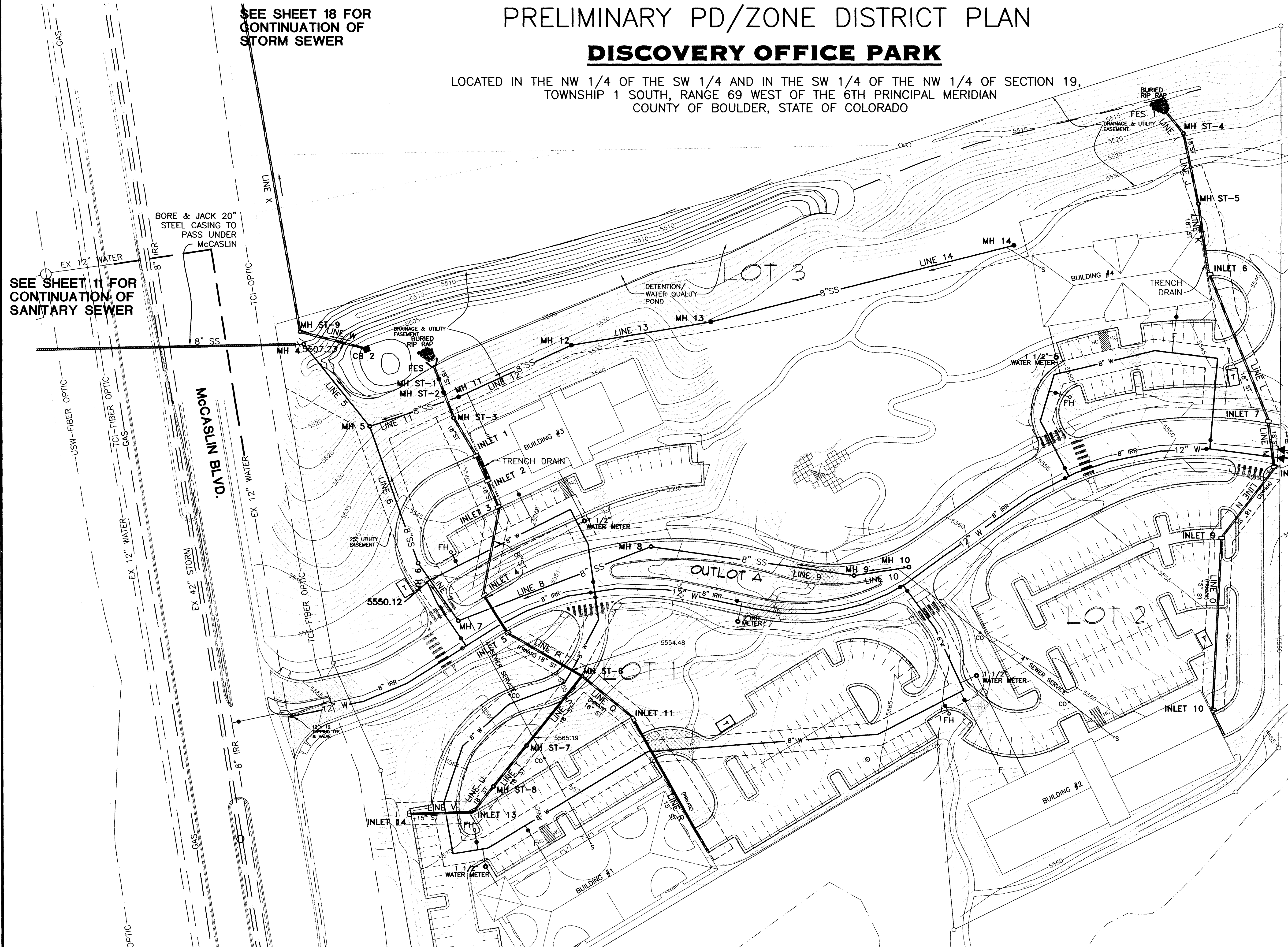
SEE SHEET 18 FOR
CONTINUATION OF
STORM SEWER

SEE SHEET 11 FOR
CONTINUATION OF
SANITARY SEWER

SEE SHEET 14 FOR
EMERGENCY ACCESS

LEGEND

- EX 12" W --- EXISTING WATER MAIN
- 8" IRR --- EXISTING IRRIGATION MAIN
- 8" IRR --- PROPOSED IRRIGATION MAIN
- 8" SS --- PROPOSED SANITARY SEWER MAIN, MANHOLE WITH NUMBER, AND SERVICE LINE WITH CLEANOUT
- 42" ST --- EXISTING 42" STORM
- 18" ST --- PROPOSED STORM SEWER, FLARED END SECTION, MANHOLE, AND TYPE "R" INLET
- GAS --- EXISTING GAS LINE
- FIBER OPTIC --- EXISTING FIBER OPTIC LINE
- --- PROPOSED DRAINAGE SWALE
- --- 100-YEAR WATER SURFACE ELEVATION



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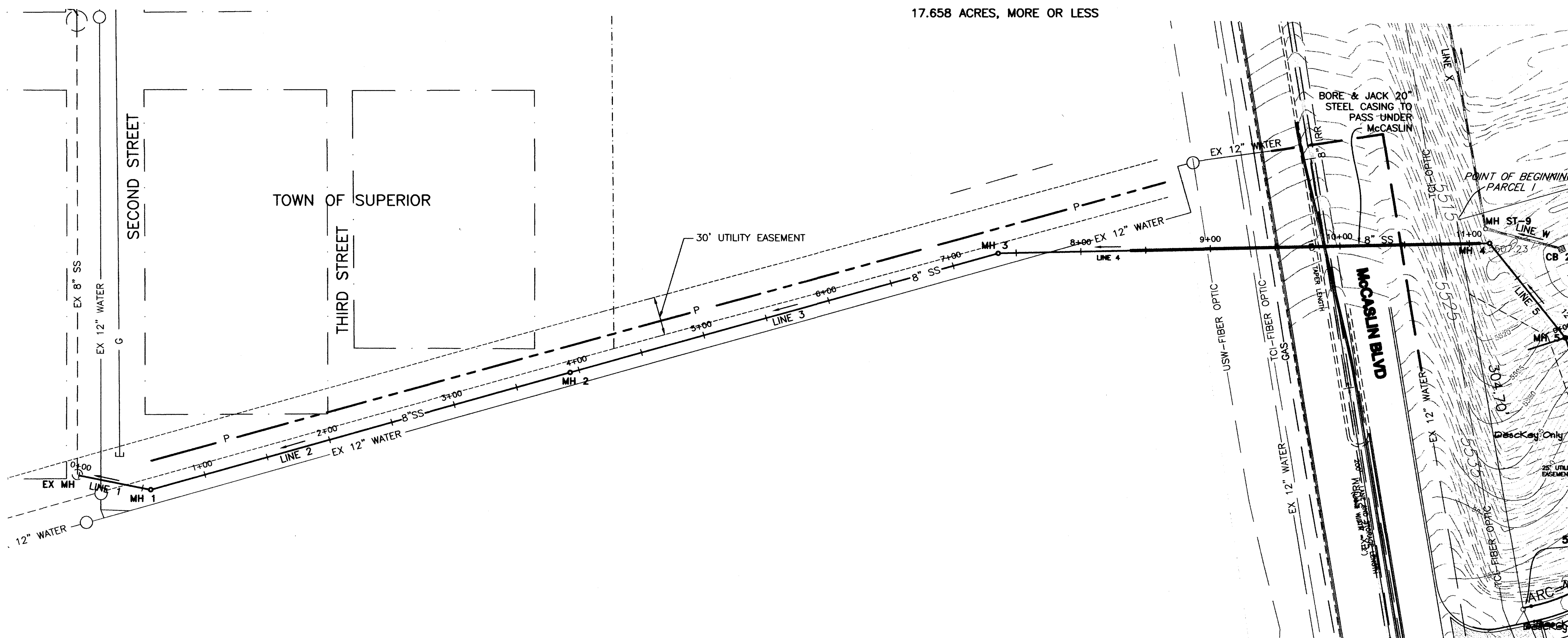
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1/10/01
Project No. 2000-049.70

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

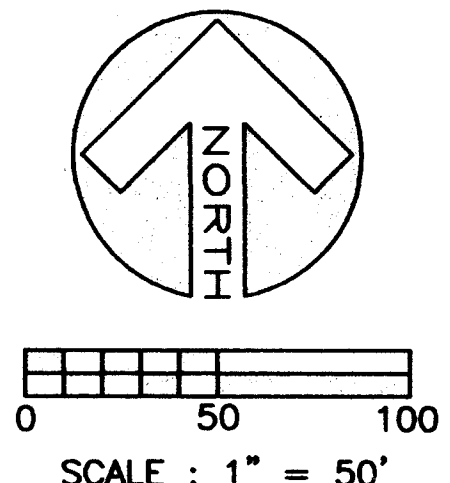
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COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS



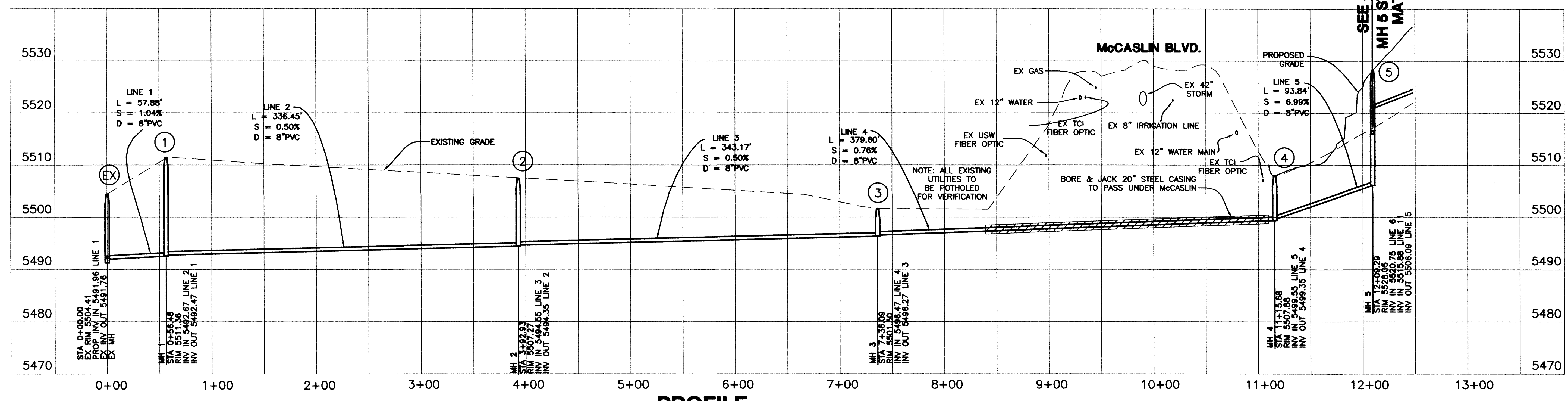
LEGEND

- EX 12" W --- EXISTING WATER MAIN
- W --- PROPOSED WATER MAIN (SIZE ON PLAN), WATER METER, VALVE, 6" FIRE LINE, AND FIRE HYDRANT WITH 6" VALVE
- 8" IRR --- EXISTING IRRIGATION MAIN
- 8" IRR --- PROPOSED IRRIGATION MAIN
- CO --- PROPOSED SANITARY SEWER MAIN, MANHOLE WITH NUMBER, AND SERVICE LINE WITH CLEANOUT
- 8" SS --- MH 5
- EX 42" ST --- EXISTING 42" STORM
- 18" ST --- PROPOSED STORM SEWER, FLARED END SECTION, MANHOLE, AND TYPE "R" INLET
- GAS --- EXISTING GAS LINE
- FIBER OPTIC --- EXISTING FIBER OPTIC LINE

SEE SHEET 12
MH 5 STA 12+09.29
MATCHLINE



PLAN



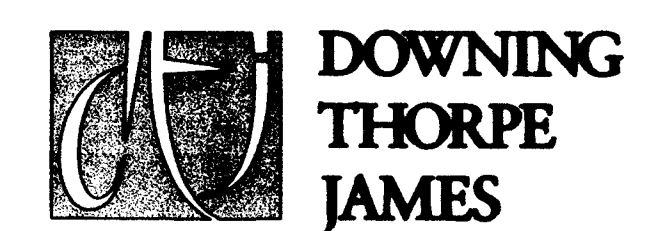
PROFILE

HORIZ. 1" = 50'
VERT. 1" = 10'

SEE SHEET 12
MH 5 STA 12+09.29
MATCHLINE

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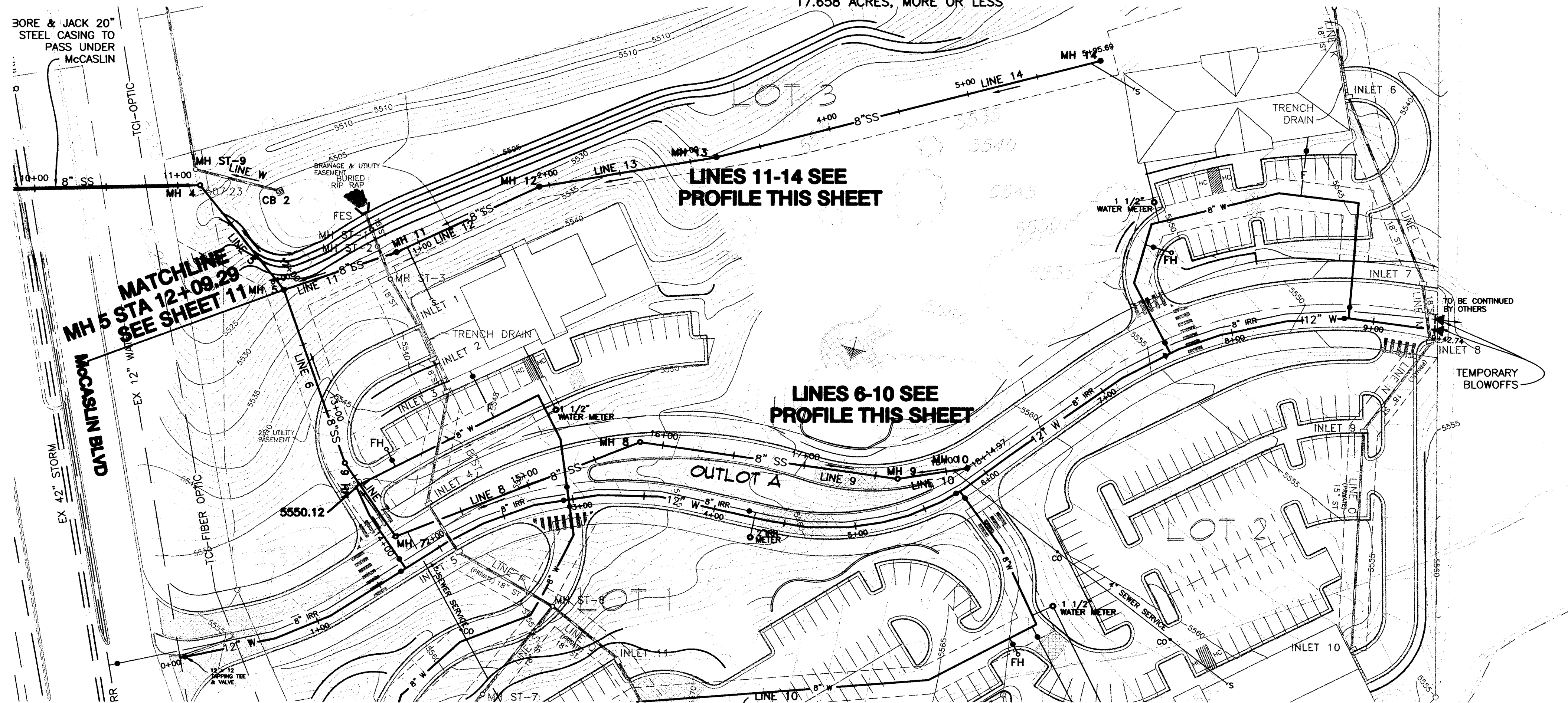
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PRELIMINARY PD/ZONE DISTRICT PLAN

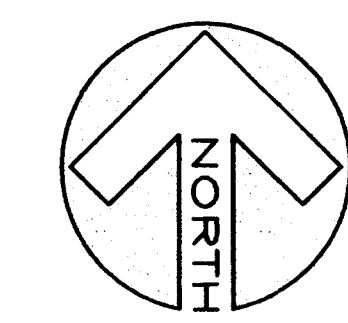
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COUNTY OF BOULDER, STATE OF COLORADO

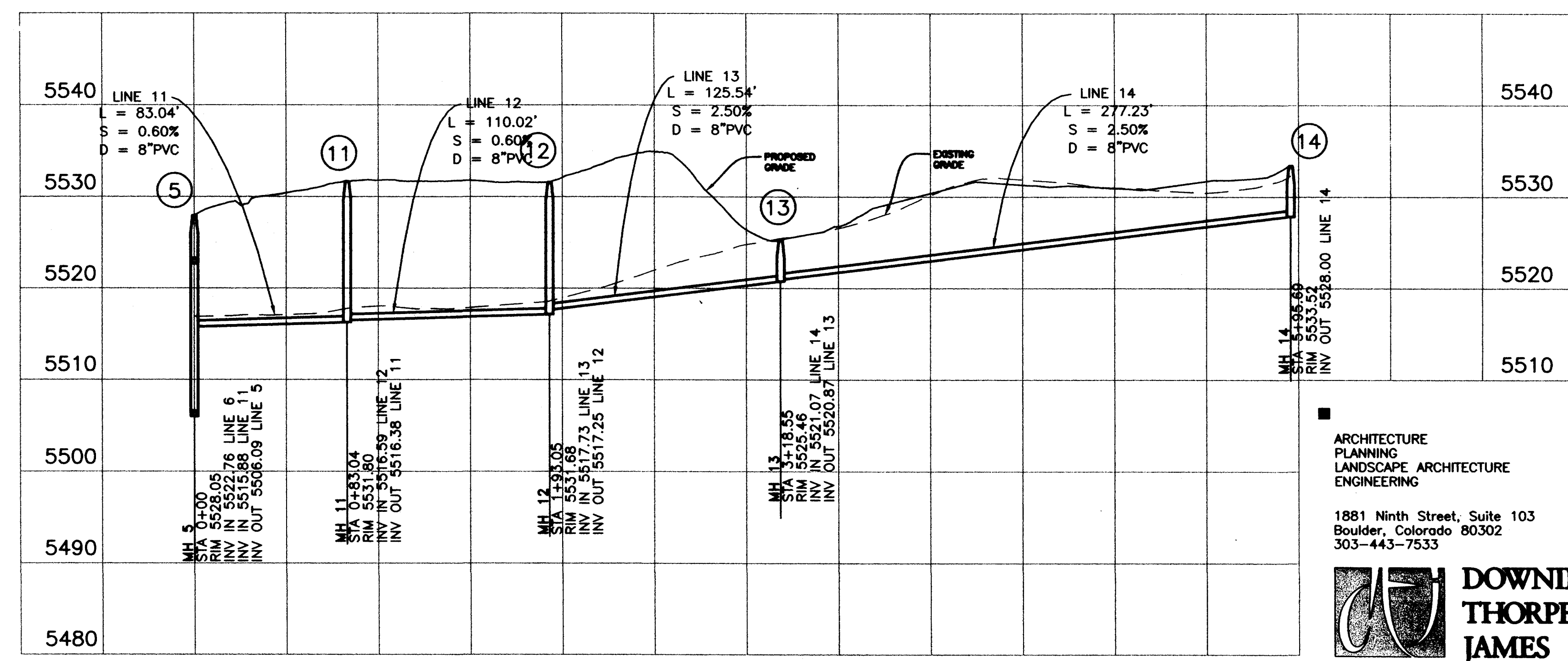
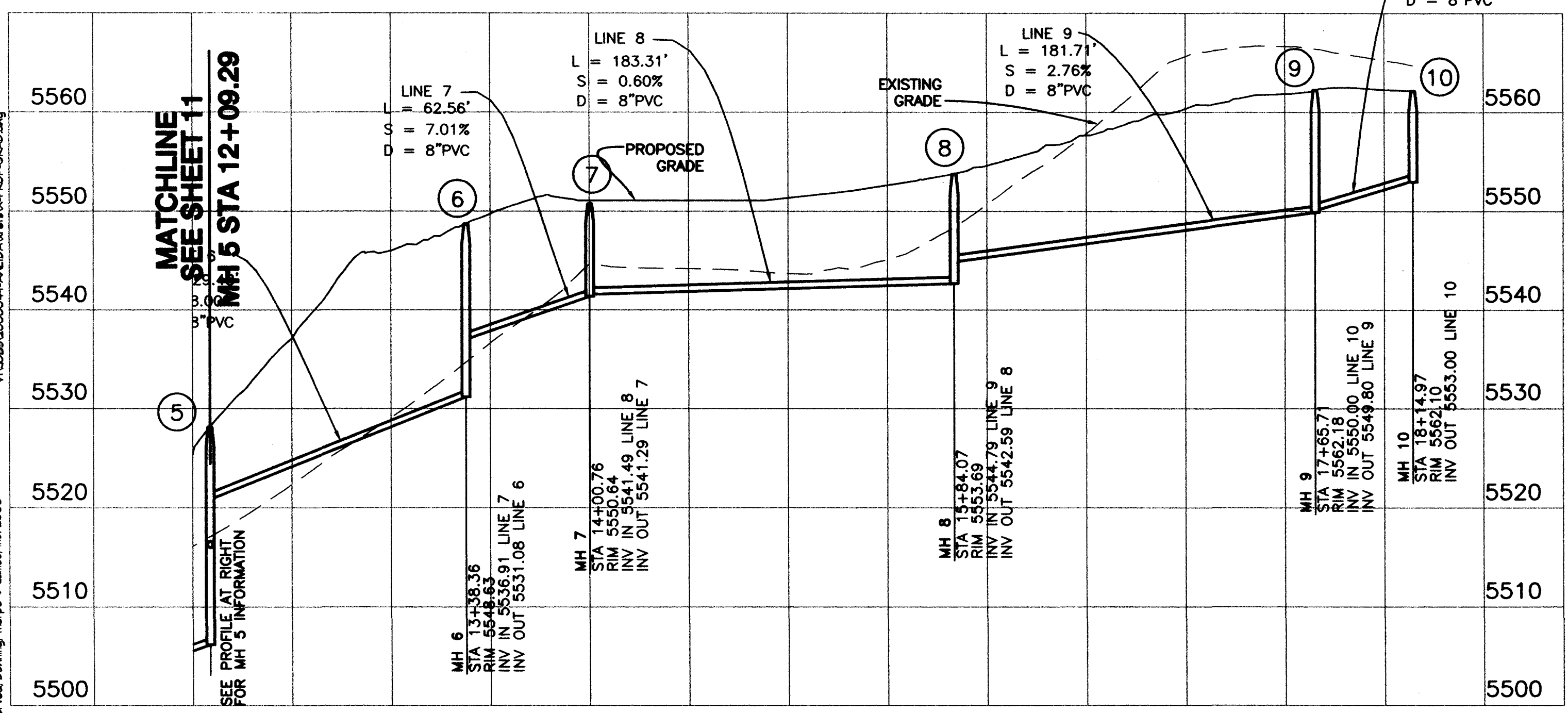
17.658 ACRES, MORE OR LESS



- ### LEGEND
- EX 12" W
 - EXISTING WATER MAIN
 - PROPOSED WATER MAIN (SIZE ON PLAN), WATER METER, VALVE, 6" FIRE LINE, AND FIRE HYDRANT WITH 6" VALVE
 - 8" IRR
 - EXISTING IRRIGATION MAIN
 - 8" IRR
 - PROPOSED IRRIGATION MAIN
 - 8" SS
 - PROPOSED SANITARY SEWER MAIN, MANHOLE WITH NUMBER, AND SERVICE LINE WITH CLEANOUT
 - EXISTING 42" STORM
 - PROPOSED STORM SEWER, FLARED END SECTION, MANHOLE, AND TYPE "R" INLET
 - GAS
 - EXISTING GAS LINE
 - FIBER OPTIC
 - EXISTING FIBER OPTIC LINE
 - PROPOSED DRAINAGE SWALE
 - PROPOSED GRADE
 - EXISTING GRADE



PLAN
SCALE: 1" = 50'



Drawing Title: SANITARY SEWER PLAN & PROFILE - SHEET 12 OF 22
 Project Name: DISCOVERY OFFICE PARK
 Project No.: 2000-049.70
 Date: 1/15/01
 Scale: 1" = 50' (Plan), 1" = 10' (Profile)
 Author: [Name]
 Checker: [Name]
 Engineer: [Name]
 License No.: [Number]
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LINES 6-10

PROFILE

HORIZ. 1" = 50'
VERT. 1" = 10'

LINES 11-14

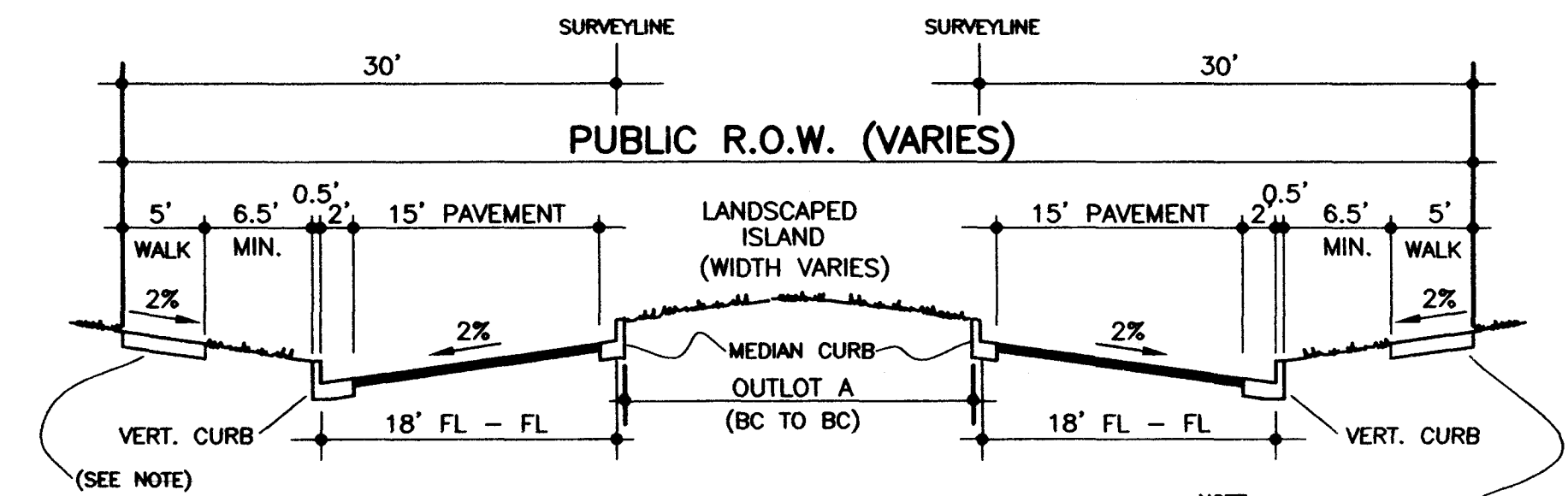
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 Project No. 2000-049.70

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DISCOVERY OFFICE PARK

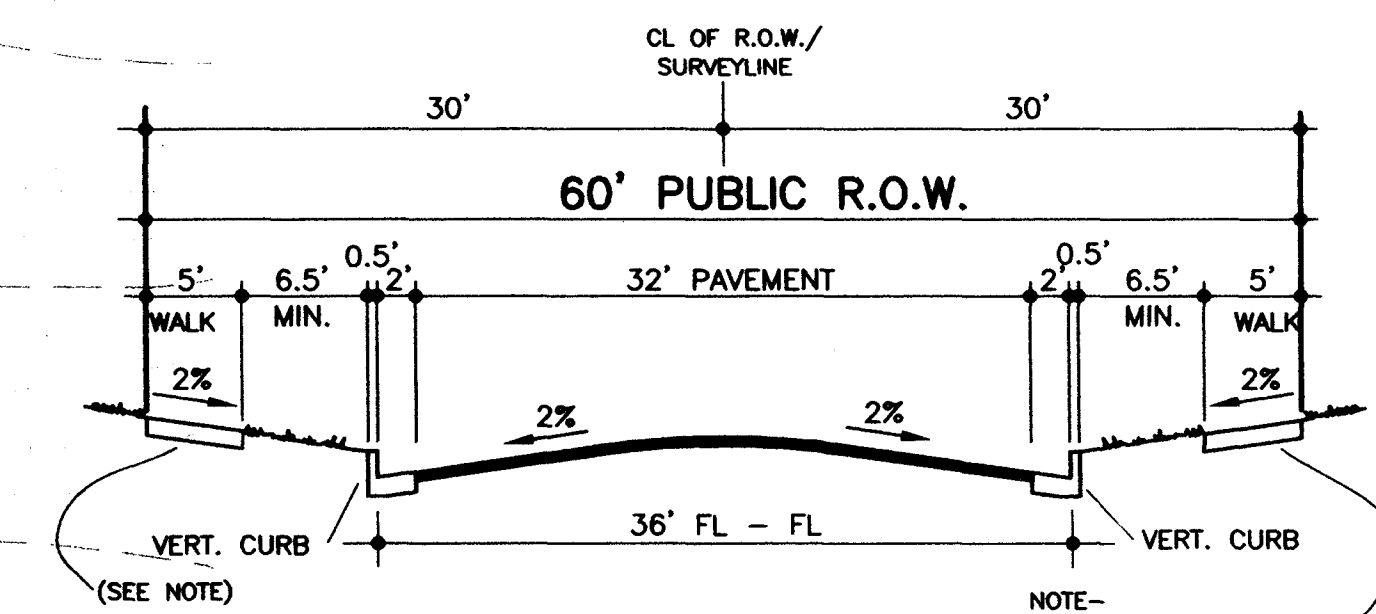
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PARCEL 1 - 12.2 ACRES



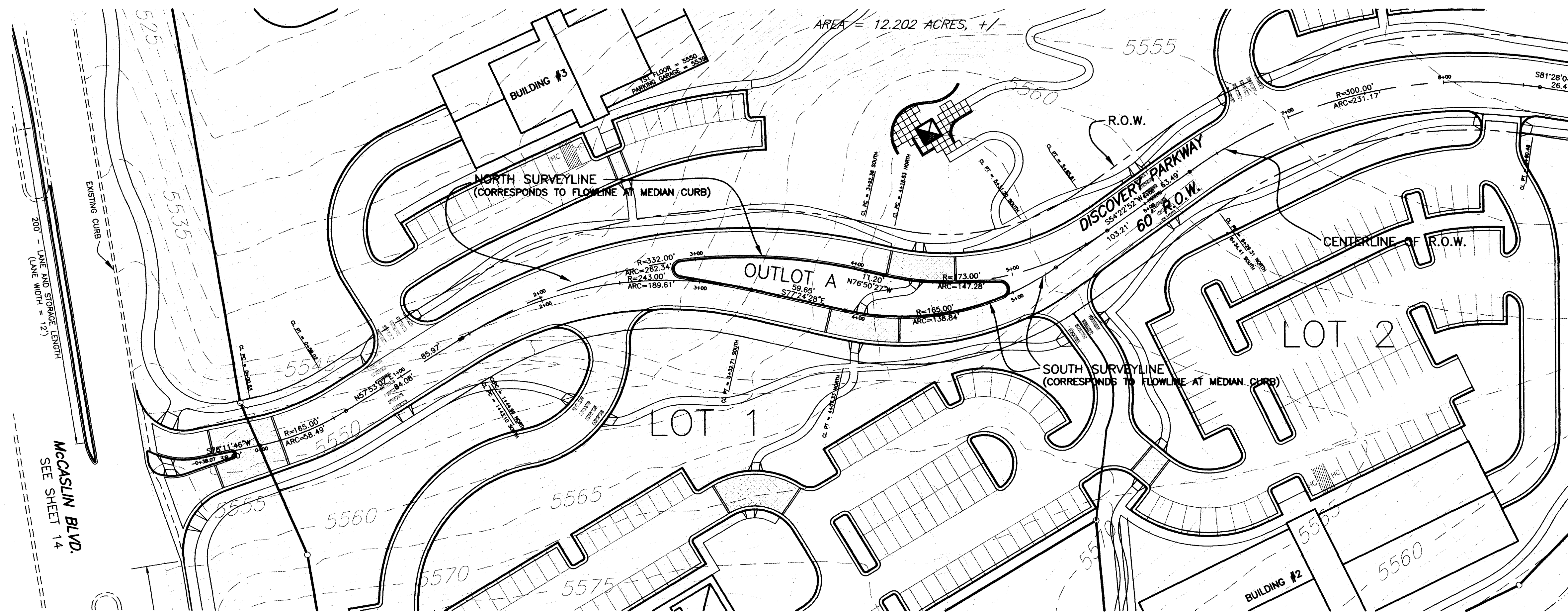
DISCOVERY PARKWAY - DIVIDED

SCALE: 1"=10'



DISCOVERY PARKWAY

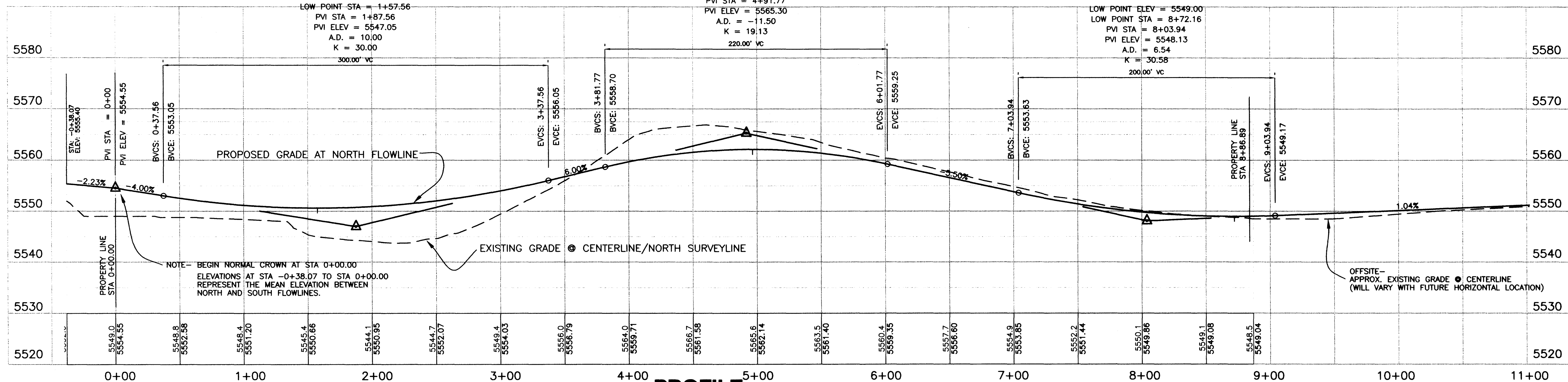
SCALE: 1"=10'



HIGH POINT ELEV = 5562.14
HIGH POINT STA = 4+96.55
PVI STA = 4+91.77
PVI ELEV = 5565.30
A.D. = -11.50
K = 19.13
220.00' VC

LOW POINT ELEV = 5550.65
LOW POINT STA = 1+57.56
PVI STA = 1+87.56
PVI ELEV = 5547.05
A.D. = 10.00
K = 30.00
300.00' VC

LOW POINT ELEV = 5549.00
LOW POINT STA = 8+72.16
PVI STA = 8+03.94
PVI ELEV = 5548.13
A.D. = 6.54
K = 30.58
200.00' VC



NOTE- BEGIN NORMAL CROWN AT STA 0+00.00
ELEVATIONS AT STA -0+38.07 TO STA 0+00.00
REPRESENT THE MEAN ELEVATION BETWEEN
NORTH AND SOUTH FLOWLINES.

OFFSITE- APPROX. EXISTING GRADE @ CENTERLINE
(WILL VARY WITH FUTURE HORIZONTAL LOCATION)

PROFILE

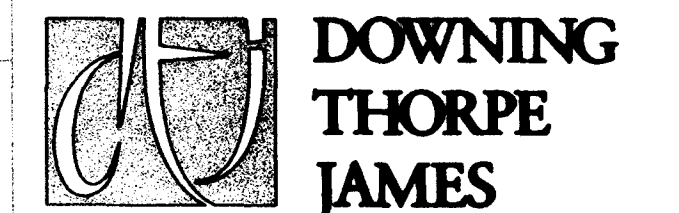
HORIZ. 1"= 40'
VERT. 1"=10'

PLAN

NOTES-

1. STATIONING REFERS TO CENTERLINE/SURVEYLINE AS SHOWN ON THE PLAN. PROFILE STATIONING REFERS TO THE CENTERLINE AND NORTH SURVEYLINE.
2. PROPOSED GRADE AND ELEVATIONS AS SHOWN ON THE PROFILE REFER TO THE NORTH FLOWLINE.

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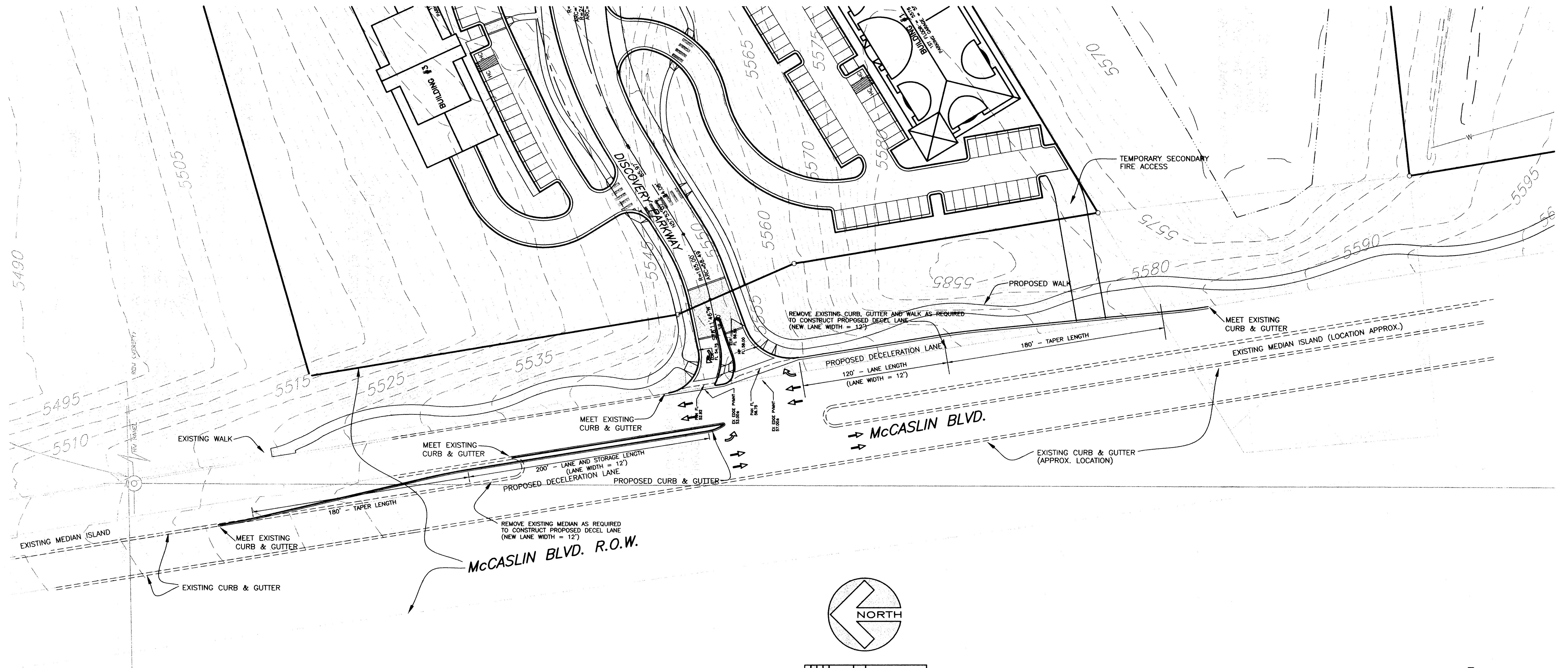
Project No. 2000-049.70
9-8-00
REV. 12-04-00
REV. 1-15-01
REV. 1-25-01
REV. 5-16-01

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PARCEL 1 - 12.2 ACRES



PLAN

NOTE -
THE INTERSECTION OF McCASLIN BLVD. AND DISCOVERY PARKWAY IS
PROPOSED TO BE A 3/4 TURN MOVEMENT INTERSECTION. LEFT TURN
OUT OF DISCOVERY PARKWAY WILL NOT BE ALLOWED.

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PRELIMINARY PD/ZONE DISTRICT PLAN






DISCOVERY OFFICE PARK

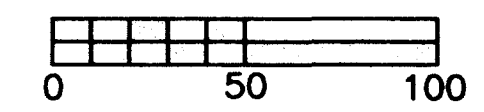
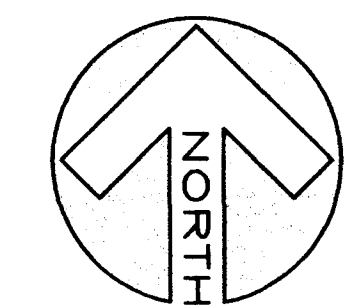
LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

PARCEL 1 - 12.2 ACRES



LEGEND

-  EXISTING CONTOUR- 1 FOOT
-  EXISTING CONTOUR- 5 FOOT
-  PROPOSED CONTOUR- 1 FOOT
-  PROPOSED CONTOUR- 5 FOOT
-  PROPOSED RETAINING WALL
2 TO 4 FEET HIGH



SCALE : 1" = 50'

ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

1881 Ninth Street, Suite 103
Boulder, Colorado 80302
303-443-7533



**DOWNING
THORPE
JAMES**

Project No. 2000-049.70
9-8-00
REV. 12-04-00
REV. 1-15-01
REV. 1-25-01

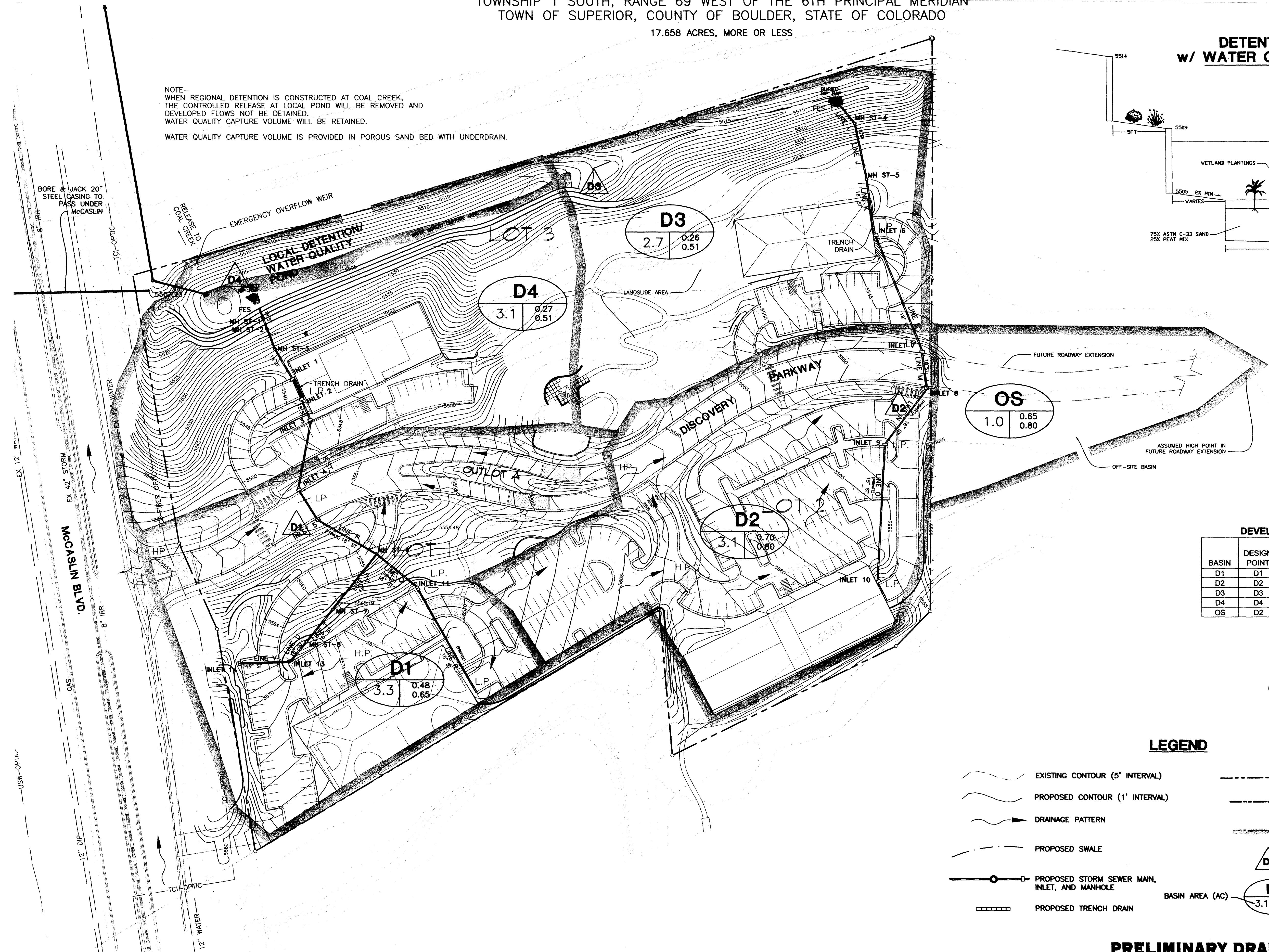
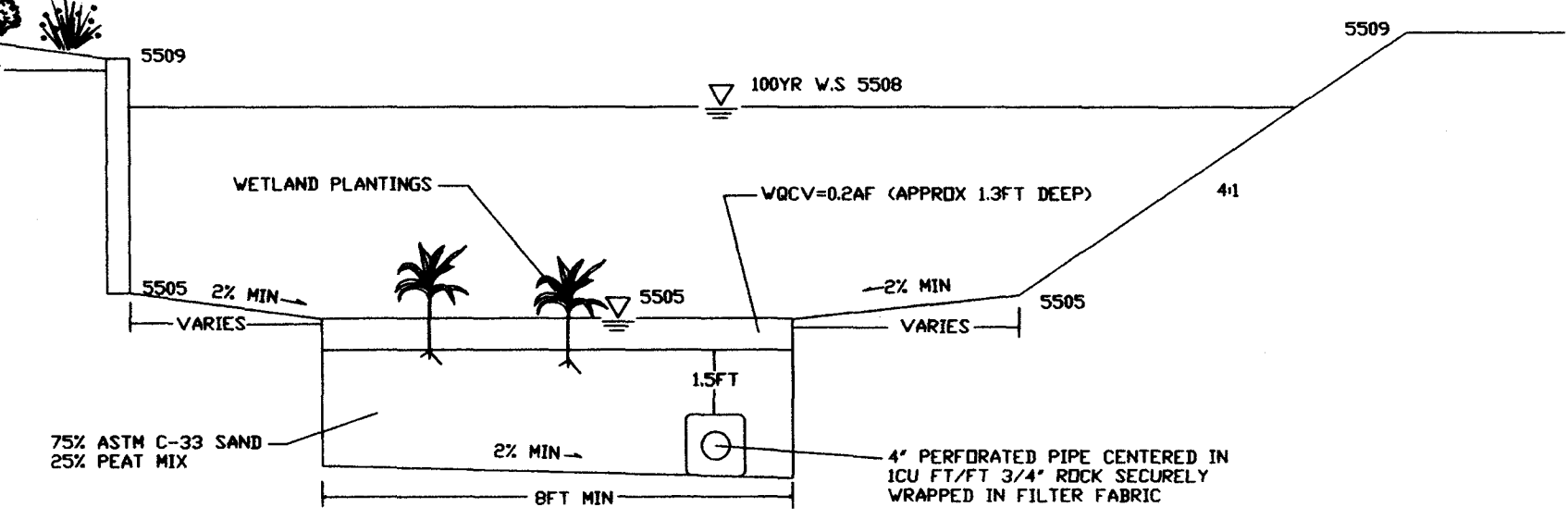
PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS

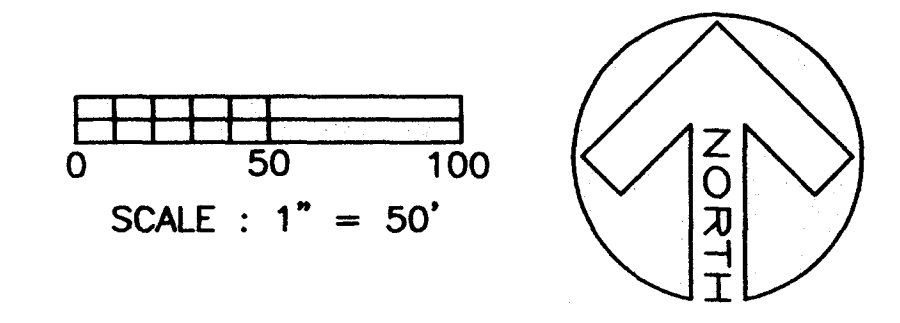
NOTE—
WHEN REGIONAL DETENTION IS CONSTRUCTED AT COAL CREEK,
THE CONTROLLED RELEASE AT LOCAL POND WILL BE REMOVED AND
DEVELOPED FLOWS NOT BE DETAINED.
WATER QUALITY CAPTURE VOLUME WILL BE RETAINED.
WATER QUALITY CAPTURE VOLUME IS PROVIDED IN POROUS SAND BED WITH UNDERDRAIN.

**DETENTION POND SECTION
W/ WATER QUALITY CAPTURE DETAIL
N.T.S.**



DEVELOPED RUNOFF CALCULATIONS

BASIN	DESIGN POINT	AREA (AC)	C5	C100	I5 (in/hr)	I100 (in/hr)	Q5 (cfs)	Q100 (cfs)
D1	D1	3.3	0.48	0.65	4.4	8.8	6.9	19.0
D2	D2	3.1	0.68	0.79	4.0	8.0	8.4	19.6
D3	D3	2.7	0.25	0.51	3.6	7.0	2.5	9.6
D4	D4	3.1	0.24	0.50	3.7	7.3	2.8	11.2
OS	D2	1.0	0.65	0.80	2.6	7.6	1.7	6.1



LEGEND

- EXISTING CONTOUR (5' INTERVAL)
- PROPOSED CONTOUR (1' INTERVAL)
- DRAINAGE PATTERN
- PROPOSED SWALE
- PROPOSED STORM SEWER MAIN, INLET, AND MANHOLE
- PROPOSED TRENCH DRAIN
- PARCEL BOUNDARY
- PARCEL BOUNDARY
- DEVELOPED DRAINAGE BASIN BOUNDARY
- DESIGN POINT (DP)
- DEVELOPED BASIN DESIGNATION
- C5
- C100

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 11/28/00
 Project No. 2000-049.70

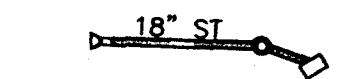
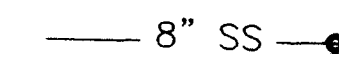
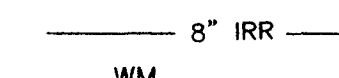
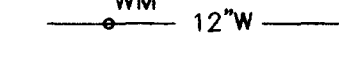
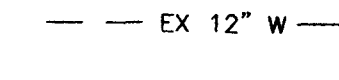
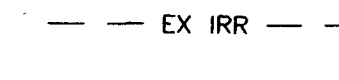



V:\JOBS\2000049-AMEIDA\PRODUCT\PRELIM\DRAINAGE.DWG
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 PLOT DATE: 1/12/01

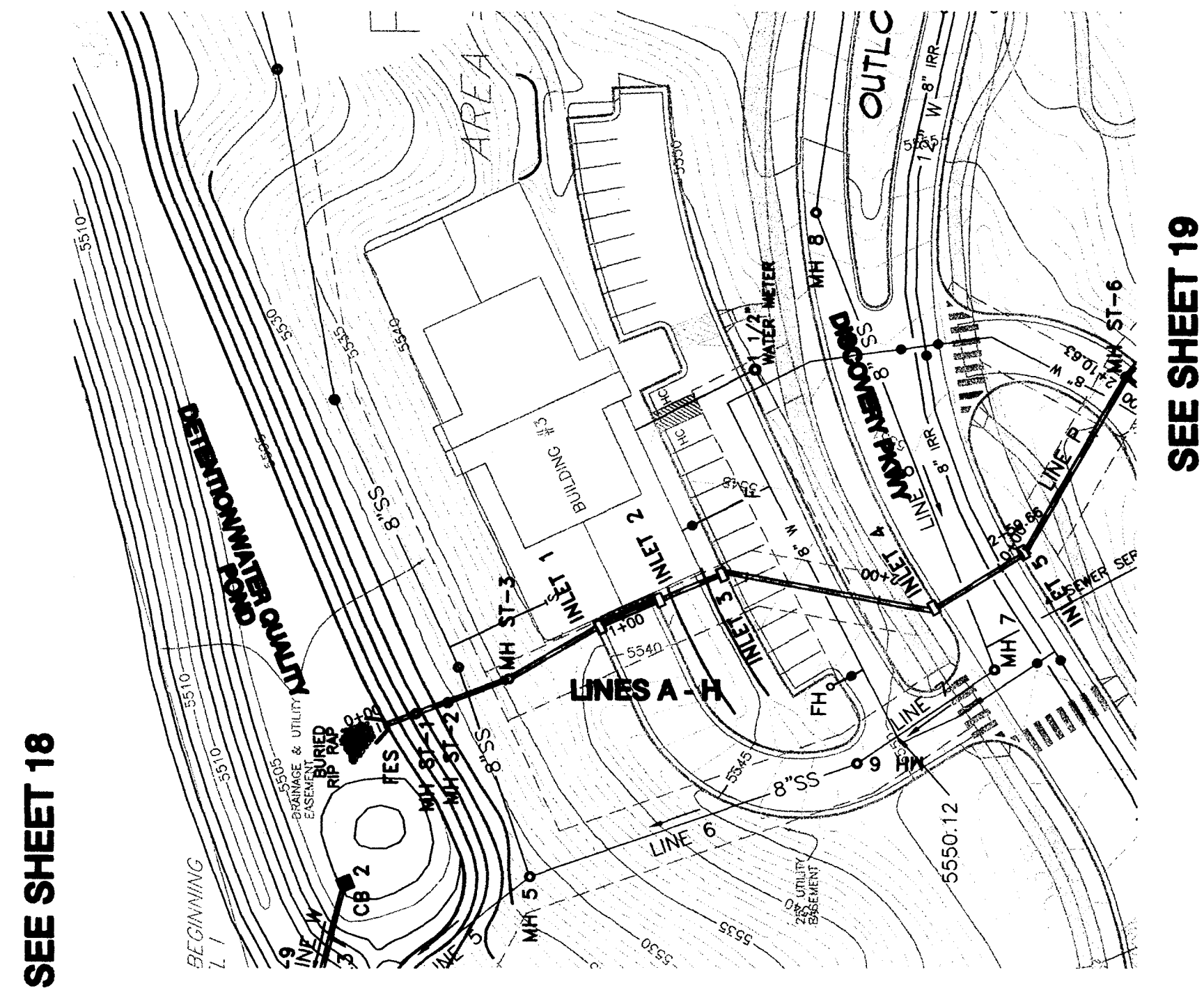
PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS

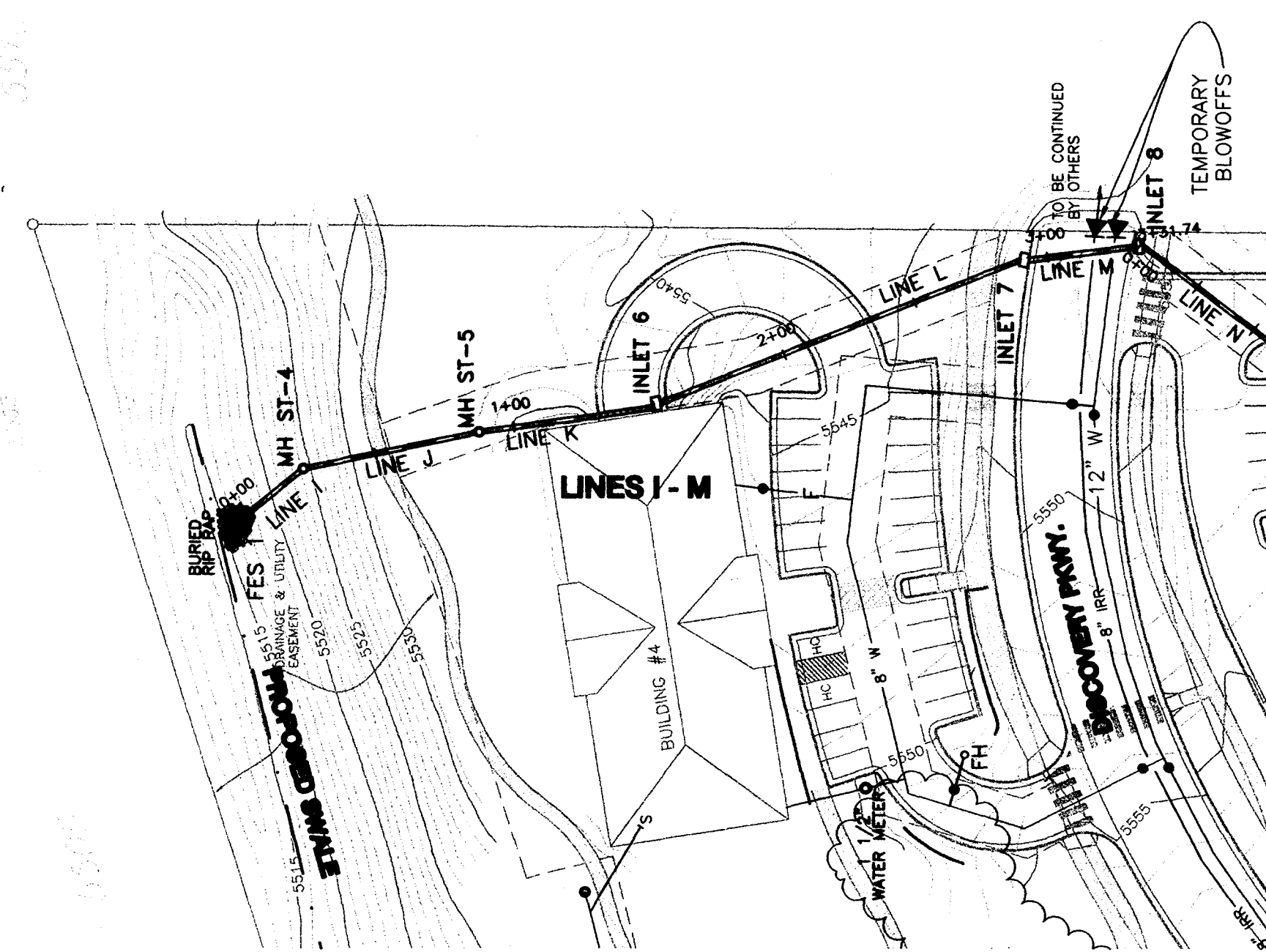
LEGEND

-  PROPOSED STORM SEWER, FLARED END SECTION, MANHOLE, AND TYPE "R" INLET
-  PROPOSED SANITARY SEWER MAIN AND MANHOLE
-  PROPOSED IRRIGATION MAIN
-  PROPOSED WATER MAIN, WATER METER, FIRE LINE, AND FIRE HYDRANT
-  EXISTING WATER MAIN
-  EXISTING IRRIGATION MAIN
-  PROPOSED DRAINAGE SWALE
-  PROPOSED GRADE
-  EXISTING GRADE



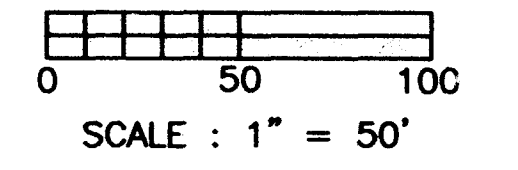
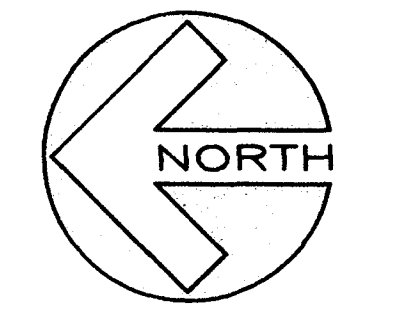
SEE SHEET 18

SEE SHEET 19

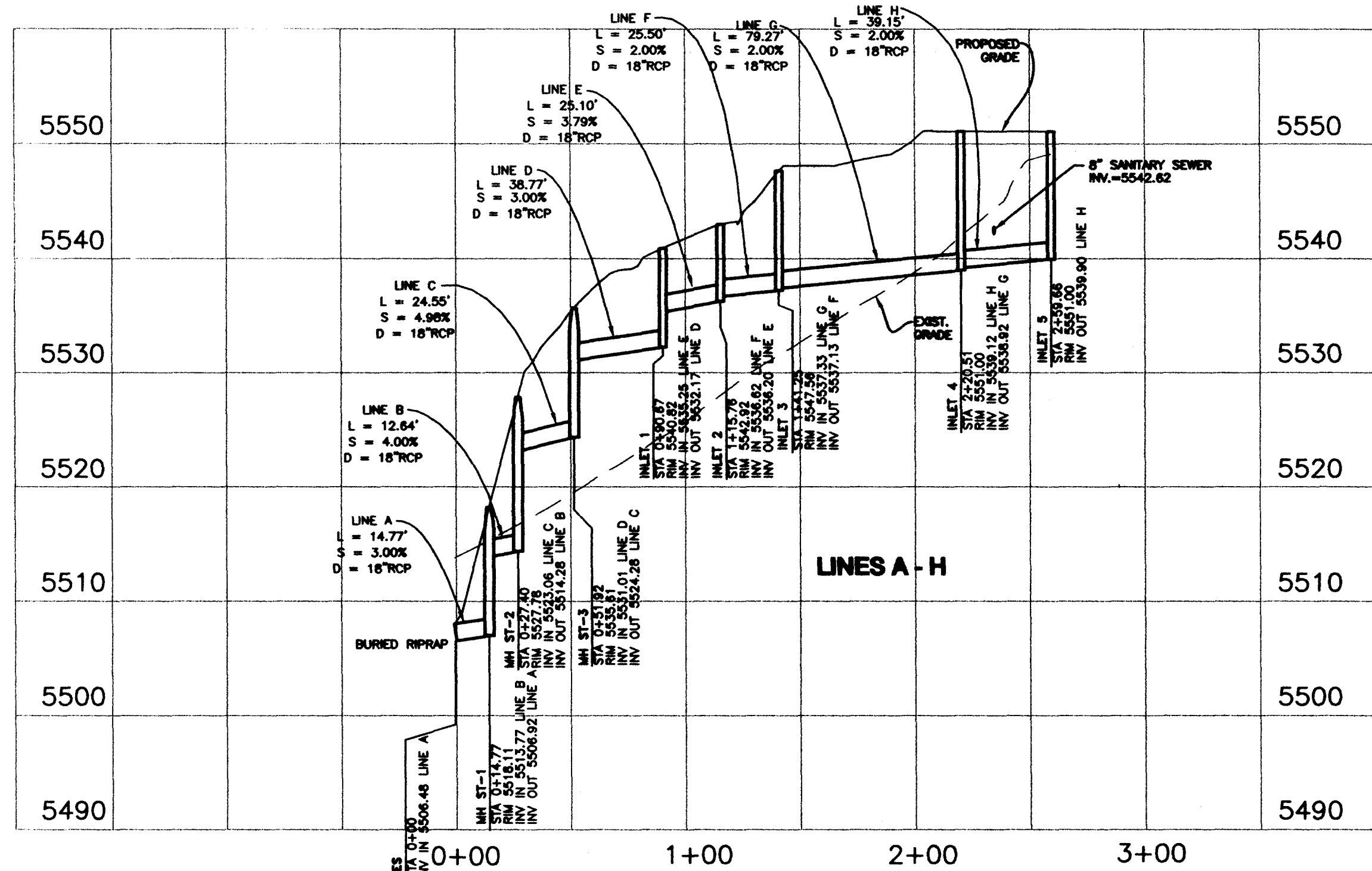


SEE SHEET 19

NOTE-
AT DROP MANHOLES, IF DROP HEIGHT FROM THE INLET PIPE INVERT TO THE OUTLET PIPE INVERT EXCEEDS 6 FEET, 6,000 PSI CONCRETE SHALL BE USED FOR THE MANHOLE STRUCTURE.

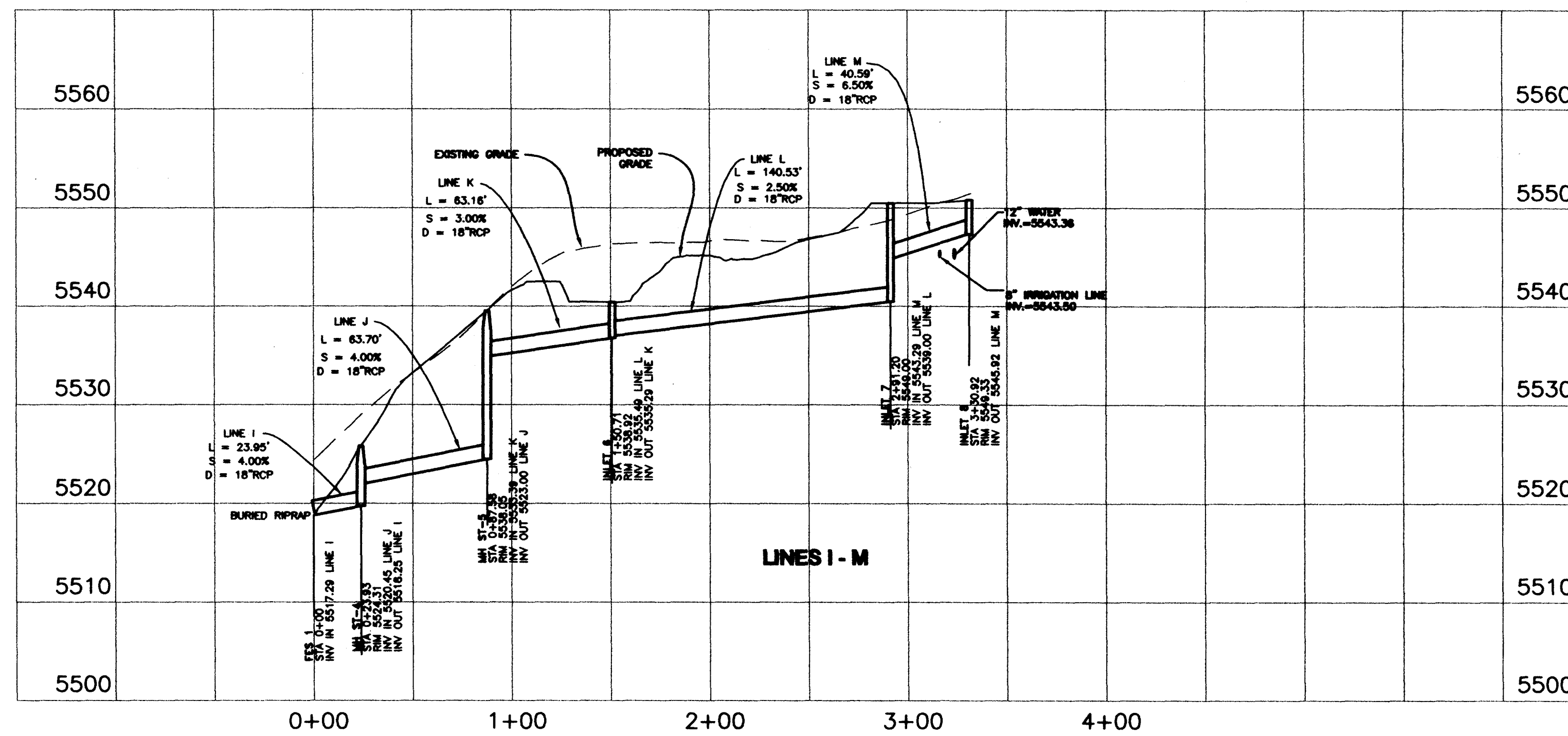


PLAN



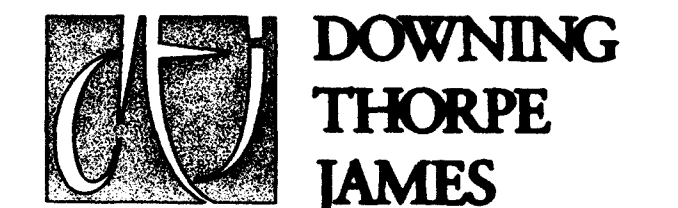
PROFILES

HORIZ. 1" = 50'
VERT. 1" = 10'



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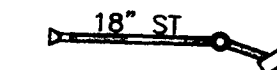
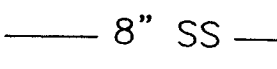
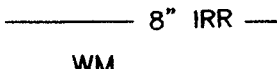
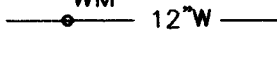
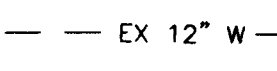
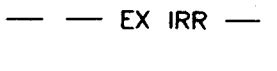


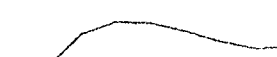
1/15/01
Project No. 2000-049.70

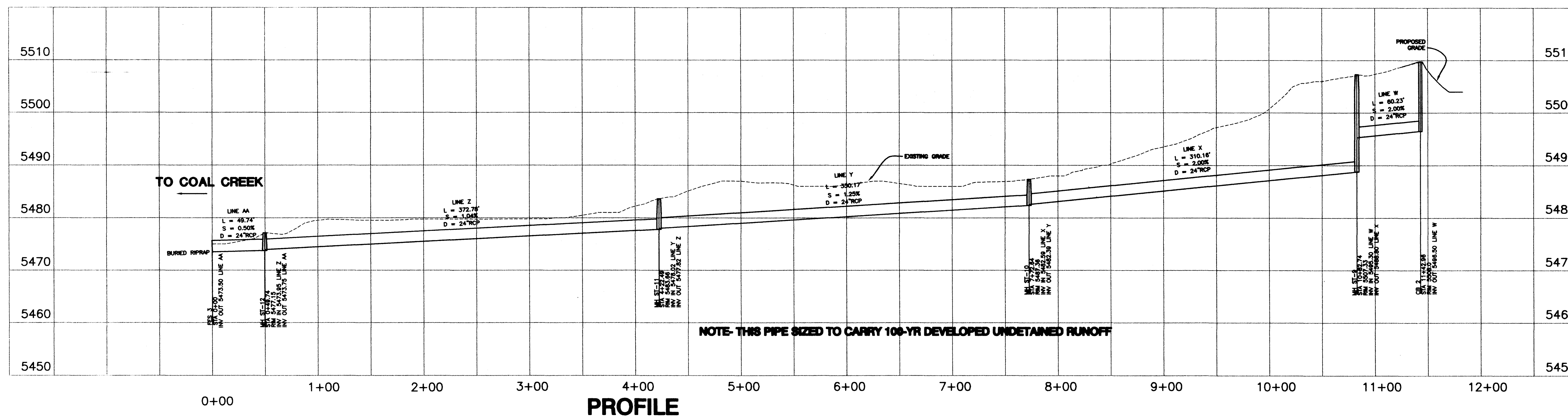
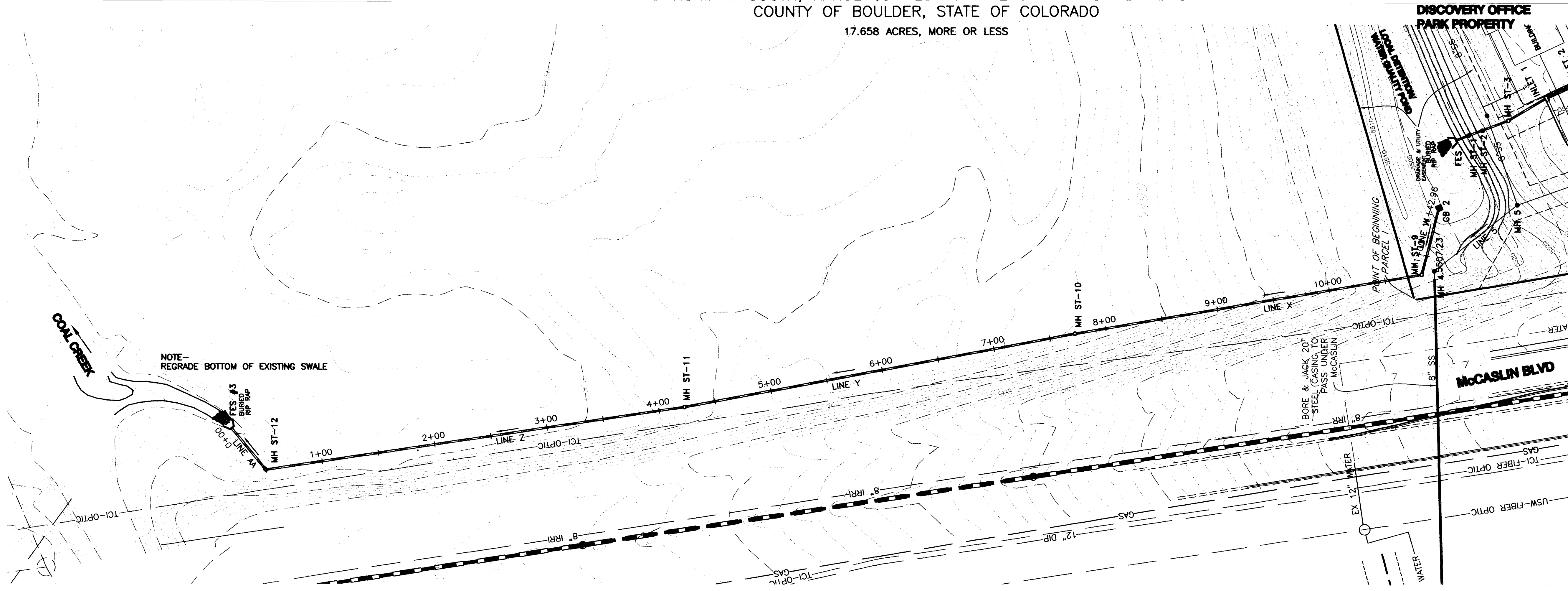
PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

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COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS

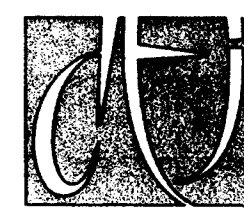
LEGEND

-  18" ST PROPOSED STORM SEWER, FLARED END SECTION, MANHOLE, AND TYPE "R" INLET
-  8" SS PROPOSED SANITARY SEWER MAIN AND MANHOLE
-  8" IRR PROPOSED IRRIGATION MAIN
-  WM 12" W PROPOSED WATER MAIN, WATER METER, FIRE LINE, AND FIRE HYDRANT
-  EX 12" W EXISTING WATER MAIN
-  EX IRR EXISTING IRRIGATION MAIN
-  PROPOSED DRAINAGE SWALE
-  EXISTING GRADE
-  PROPOSED GRADE



PROFILE

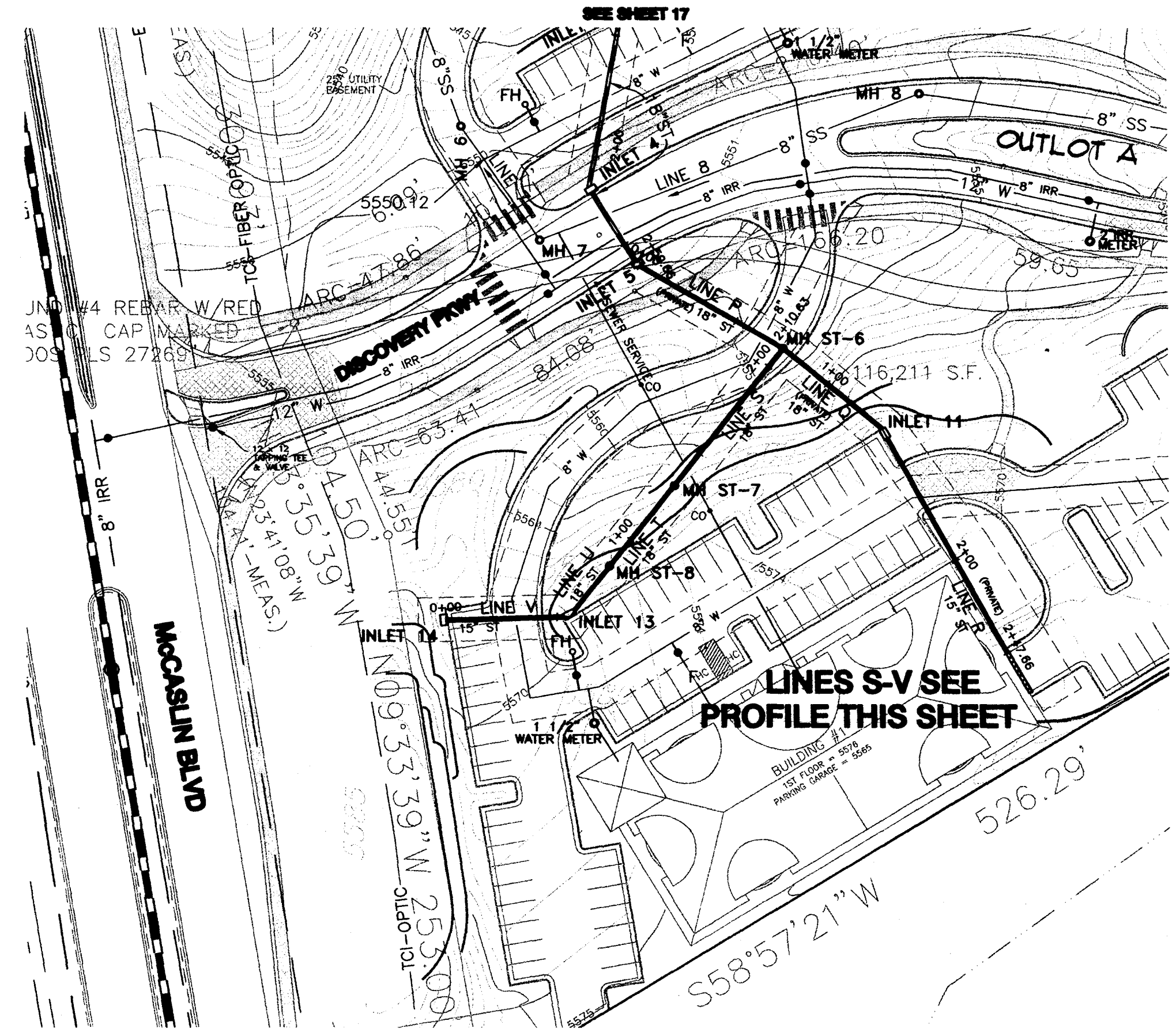
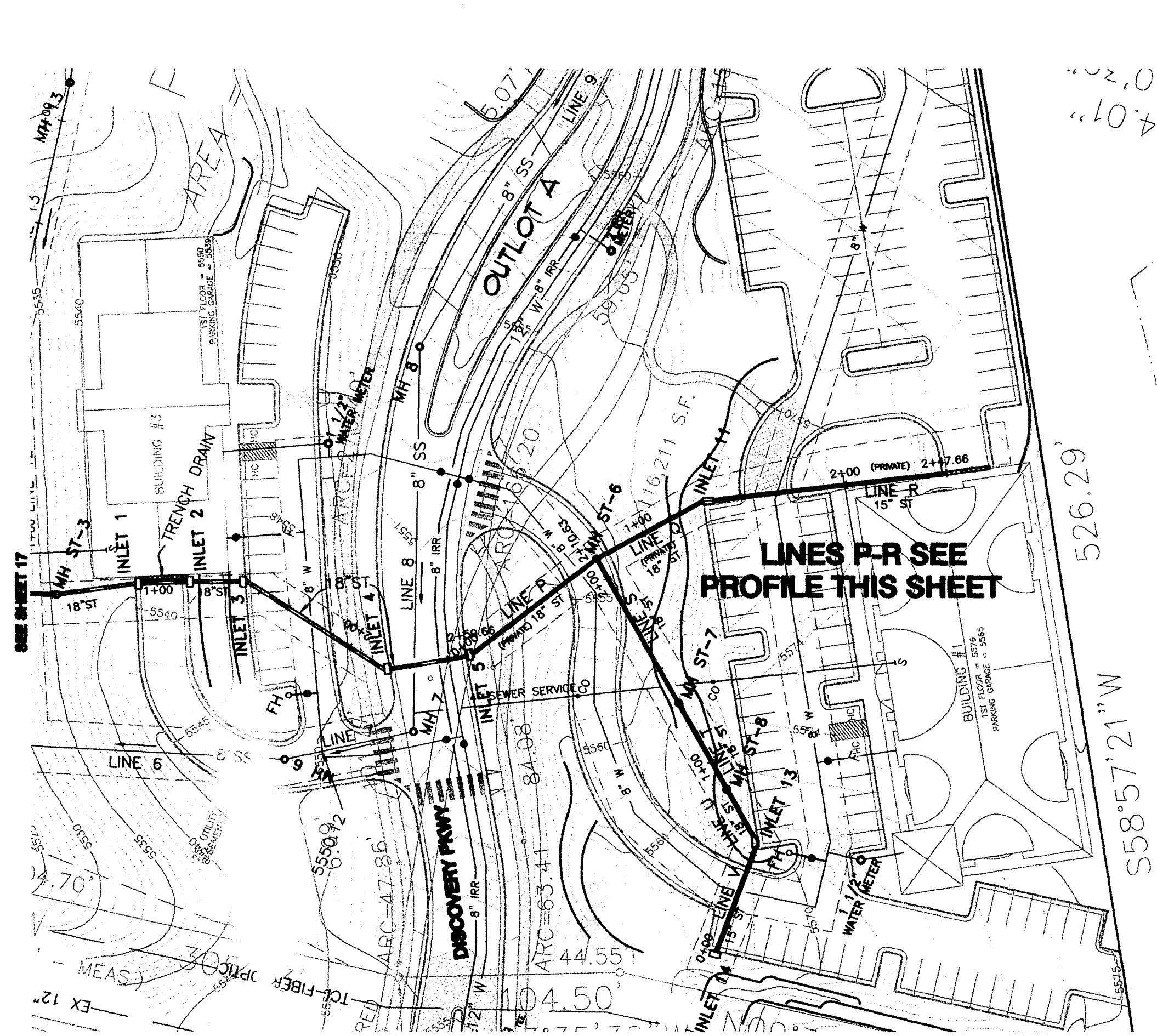
HORIZ. 1" = 50'
VERT. 1" = 10'


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 1/15/00
 Project No. 2000-049.70

PRELIMINARY PD/ZONE DISTRICT PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO
NORTH DEVELOPMENT PARCEL - 12.2 ACRES



LEGEND

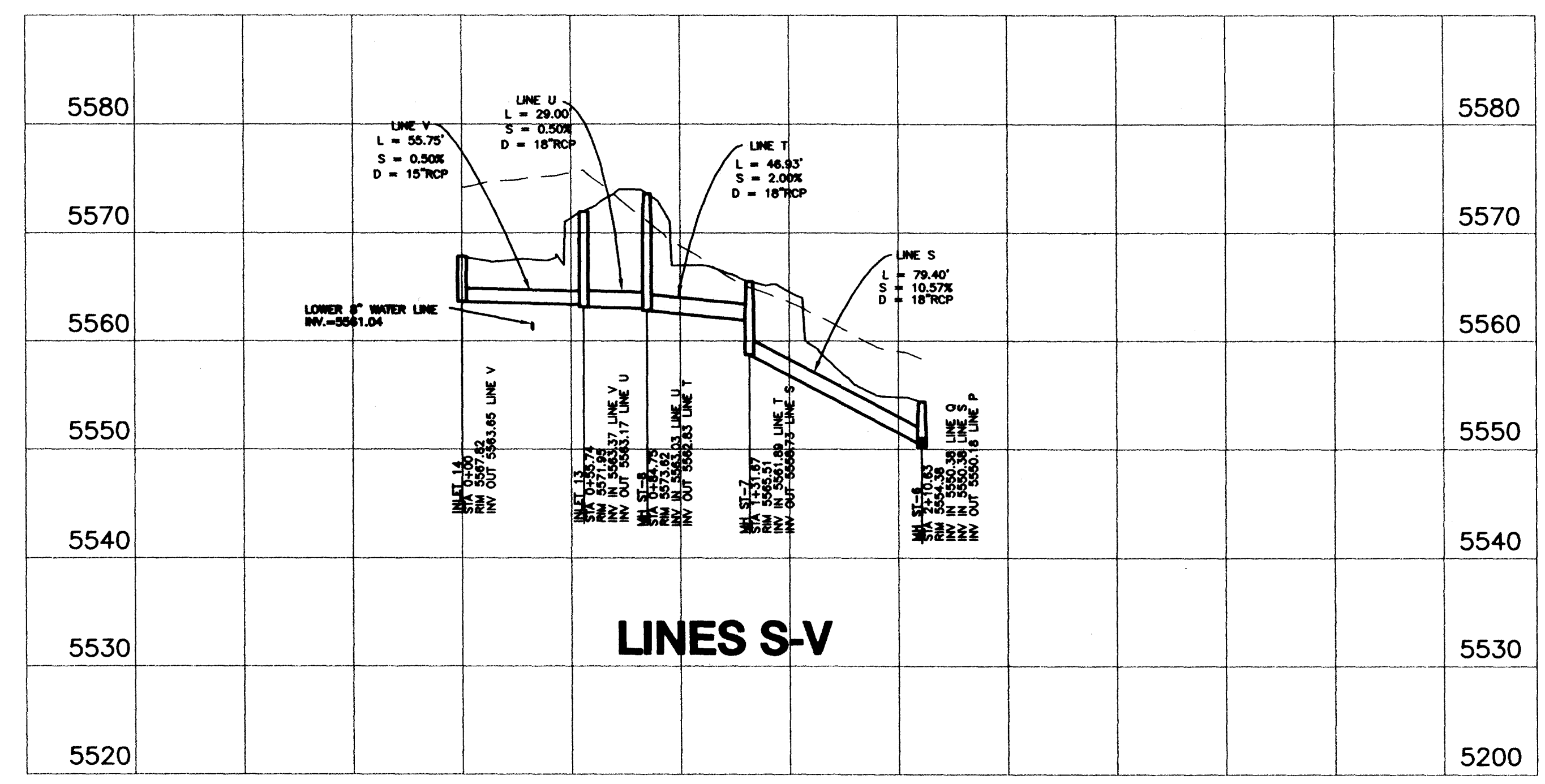
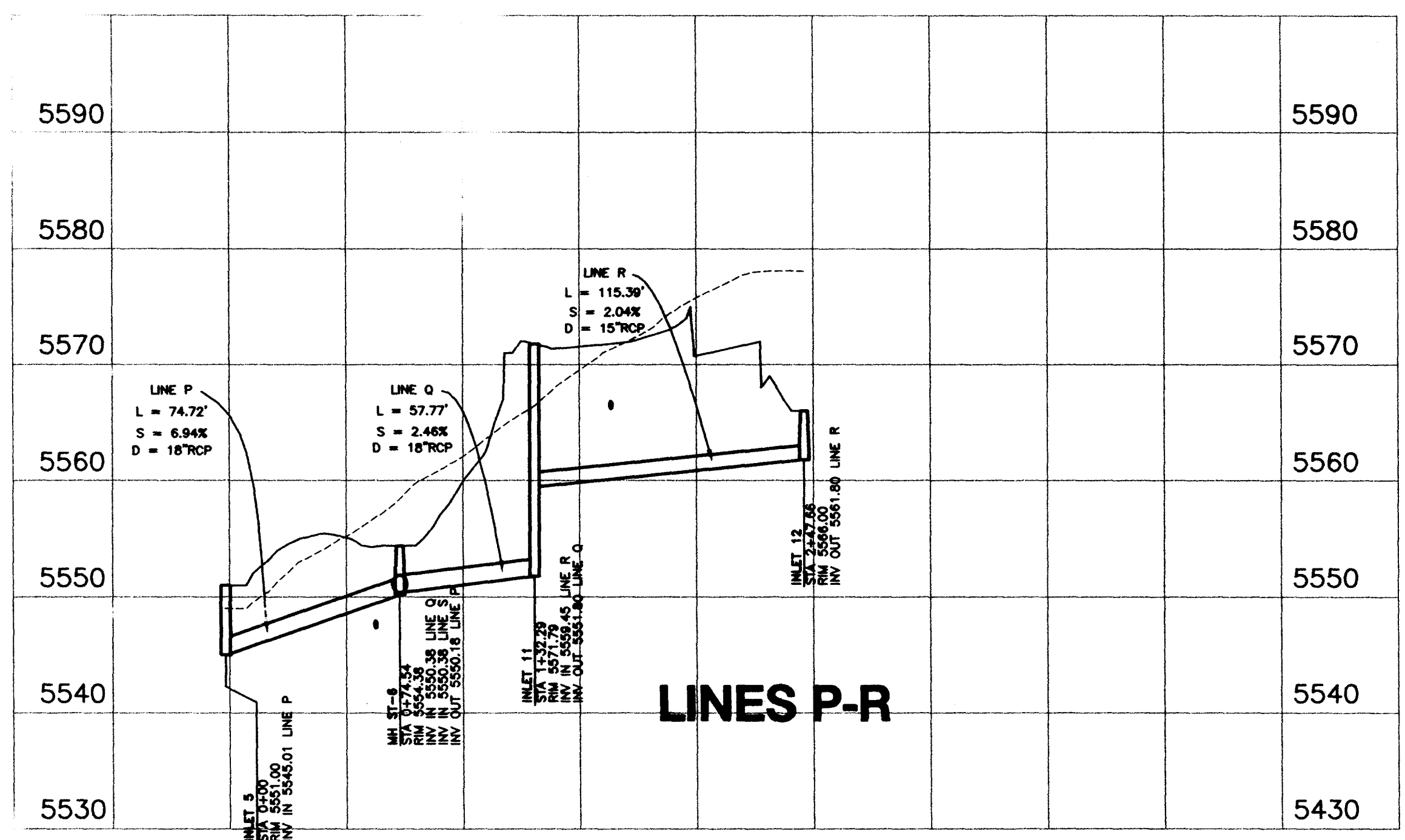
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED DRAINAGE SWALE
- EX 12" W
- EX 12" SS
- 8" IRR
- TCI OPTIC
- 18" ST
- 8" SS
- 8" IRR
- 9" WM 12" W F FH

NORTH

0 50 100

SCALE : 1" = 50'

NOTE-
AT DROP MANHOLES, IF DROP HEIGHT FROM THE INLET PIPE INVERT TO THE OUTLET PIPE INVERT EXCEEDS 6 FEET, 6,000 PSI CONCRETE SHALL BE USED FOR THE MANHOLE STRUCTURE.



HORIZ. 1" = 50'
VERT. 1" = 10'

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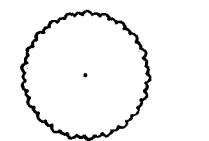


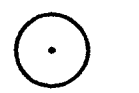

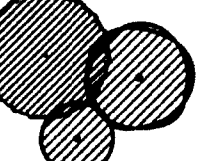
1/15/01
Project No. 2000-049.70

EXISTING TREE LOCATION PLAN

DISCOVERY OFFICE PARK

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COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS

LEGEND

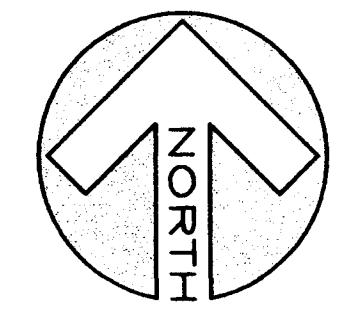
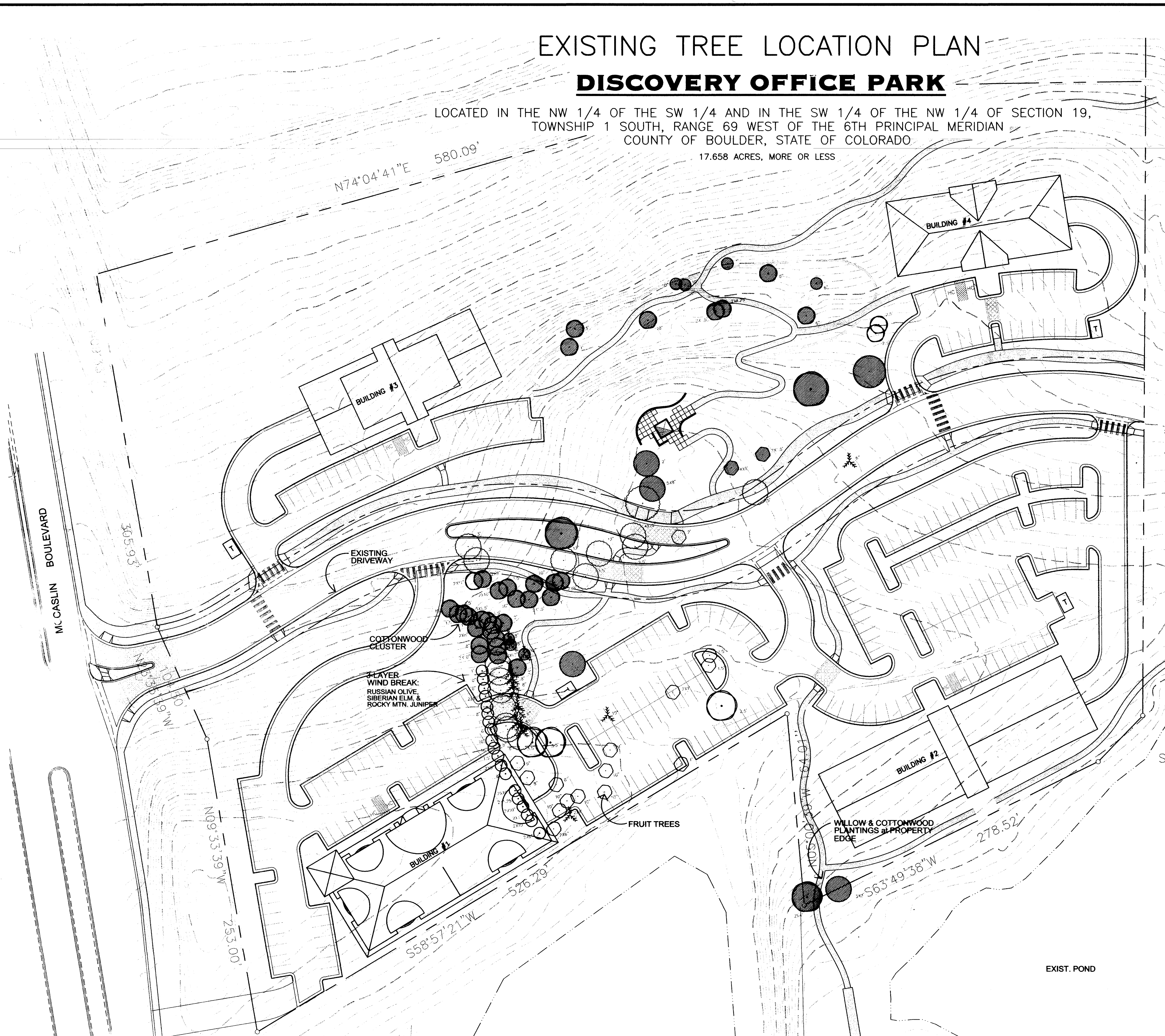
- 6" **APPROX. TREE CALIPER**
-  **EXISTING SHADE TREES, BOXELDER, ASH, LOCUST, or SIBERIAN ELM**
-  **EXISTING COTTONWOODS**
-  **EXISTING EVERGREEN TREES, ROCKY MTN. JUNIPER or BLUE SPRUCE**
-  **EXISTING RUSSIAN OLIVE**
-  **EXISTING FRUIT TREES, APPLE, PEAR, or WALNUT**
-  **DENOTES TREES ATTEMPTED TO BE SAVED & INCORPORATED INTO FUTURE LANDSCAPING**

TREE INVENTORY:

TREE TYPE	APPROX. QUANTITY	QTY. TREES SALVAGED	QTY. TREES ELIMINATED	% OF TREES SALVAGED
COTTONWOODS	41	35	6	85%
SHADE TREES	22	5	17	23%
EVERGREEN TREES	15	3	12	20%
RUSSIAN OLIVES	23	4	19	17%
FRUIT TREES	17	2	15	12%
TOTALS:	118	49	*69	42%

* DENOTES EXISTING TREES THAT WERE ELIMINATED AND WILL BE MITIGATED AT A RATIO OF 1.5:1 WITH THE FOLLOWING:

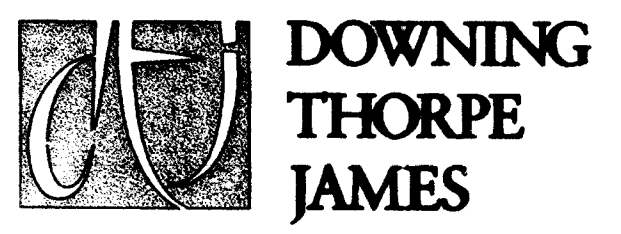
SHADE TREES - 2 3/4" cal. MIN.
EVERGREEN TREES - 10' ht. MIN.
ORNAMENTAL TREES - 2 3/4" cal. MIN.



SCALE : 1" = 40'

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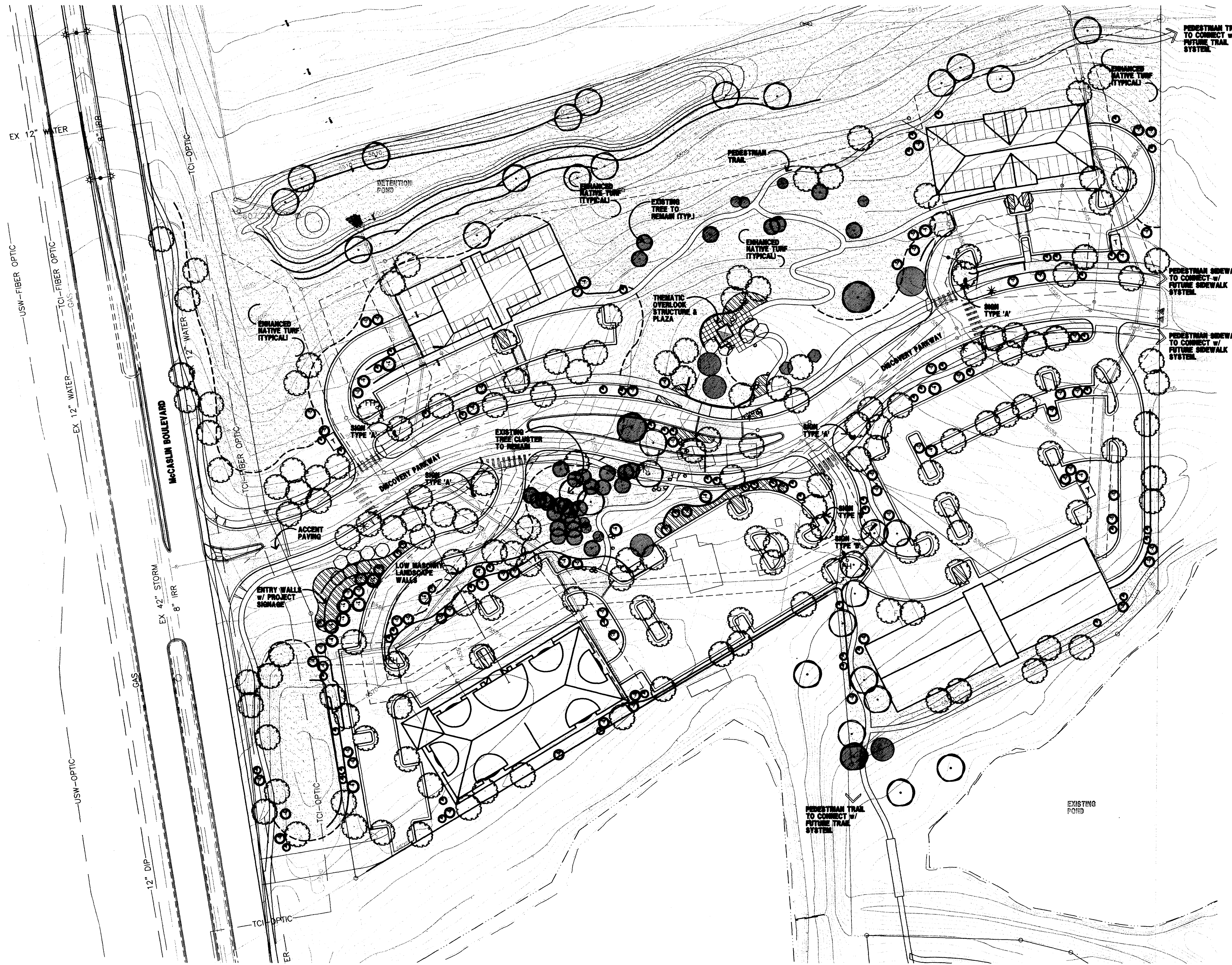


1/15/01
Project No. 2000-049.70
REV 5-16-01

PRELIMINARY LANDSCAPE PLAN

DISCOVERY OFFICE PARK

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO
17.658 ACRES, MORE OR LESS



PLANT LIST:

SYM	Common Name	Botanical Name	Size
CBS	Colorado Blue Spruce	Picea pungens	10' ht. MIN.
PP	Ponderosa Pine	Pinus ponderosa	10' ht. MIN.
AP	Austrian Pine	Pinus nigra	10' ht. MIN.
DF	Douglas Fir	Pseudotsuga menziesii	10' ht. MIN.
WF	White Fir	Abies concolor	10' ht. MIN.
SMP	Southwestern White Pine	Pinus strobiformis	10' ht. MIN.
BP	Bristlecone Pine	Pinus aristata	10' ht. MIN.
Deciduous Shade Trees:			
SYM	Common Name	Botanical Name	Size
NM	Emerald Queen Norway Maple	Acer plantanoides 'Deborah'	2 3/4" cal. MIN.
LSM	Legacy Sugar Maple	Acer saccharum 'Legacy'	2 3/4" cal. MIN.
ASM	Autumn Blaze Maple	Acer x freemanii 'Autumn Blaze'	2 3/4" cal. MIN.
WH	Western Hackberry	Celtis occidentalis	2 3/4" cal. MIN.
APA	Autumn Purple Ash	Fraxinus americana 'Autumn Purple'	2 3/4" cal. MIN.
SA	Summit Ash	Fraxinus pennsylvanica 'Summit'	2 3/4" cal. MIN.
PA	Patmore Ash	Fraxinus pennsylvanica 'Patmore'	2 3/4" cal. MIN.
HL	Shademaster Honeylocust	Gleditsia tricanthos inermis 'Shademaster'	2 3/4" cal. MIN.
SWO	Swamp White Oak	Quercus bicolor	2 3/4" cal. MIN.
RO	Red Oak	Quercus rubra	2 3/4" cal. MIN.
RL	Redmond Linden	Tilia americana	2 3/4" cal. MIN.
LL	Littleleaf Linden	Tilia cordata	2 3/4" cal. MIN.
WC	Western Catalpa	Catalpa speciosa	2 3/4" cal. MIN.
KCT	Kentucky Coffeetree	Gymnocladia dioica	2 3/4" cal. MIN.
AE	American Elm	Ulmus americana	2 3/4" cal. MIN.
PC	Plains cottonwood	Populus sargentii	2 3/4" cal. MIN.
NC	Narrowleaf Cottonwood	Populus angustifolia	2 3/4" cal. MIN.
LC	Lanceleaf Cottonwood	Populus x acuminata	2 3/4" cal. MIN.
Deciduous Ornamental Trees:			
SYM	Common Name	Botanical Name	Size
AM	Acer ginnala	Amur Maple	2 3/4" cal. MIN.
SB	Shadblow Serviceberry	Amelanchier canadensis	2 3/4" cal. MIN.
CHT	Cockspur Hawthorne	Crataegus crusgalli 'Inermis'	2 3/4" cal. MIN.
WKH	Winter King Hawthorne	Crataegus viridis 'Winter King'	2 3/4" cal. MIN.
RC	Rocky Mountain Crabapple	Malus 'Rocky Mtn.'	2 3/4" cal. MIN.
SSC	Spring Snow Crabapple	Malus 'Spring Snow'	2 3/4" cal. MIN.
GRT	Golden Raintree	Koeleruteria paniculata	2 3/4" cal. MIN.
Evergreen Shrubs:			
SYM	Common Name	Botanical Name	Size
AJ	Armstrong Juniper	Juniperus chinensis 'Armstrong'	5 gal.
HJ	Hughes Juniper	Juniperus horizontalis 'Hughes'	5 gal.
BJ	Broadmoor Juniper	Juniperus sabina 'Broadmoor'	5 gal.
BJ	Buffalo Juniper	Juniperus sabina 'Buffalo'	5 gal.
TJ	Tammy Juniper	Juniperus sabina 'Tamariscifolia'	5 gal.
SGJ	Seagreen Juniper	Juniperus x media	5 gal.
Deciduous Shrubs:			
SYM	Common Name	Botanical Name	Size
BMS	Blue Mist Spirea	Caryopteris x clandonensis	5 gal.
TGR	Tall Green Rabbitbrush	Chrysothamnus nauseosus graveolens	5 gal.
RTD	Red Twig Dogwood	Cornus Sericea	5 gal.
ID	Istanti Dogwood	Cornus Sericea 'Istanti'	5 gal.
FO	Forsythia	Forsythia x 'Northern Sun'	5 gal.
JP	Jackman Potentilla	Potentilla fruticosa 'Jackman'	5 gal.
NC	Native Chokecherry	Prunus virginiana	5 gal.
GLS	Growlow Sumac	Rhus trilobata	5 gal.
CW	Coyote Willow	Salix exigua	5 gal.
DAW	Dwarf Arctic Willow	Salix purpurea nana	5 gal.
AWS	Anthony Waterer Spirea	Spiraea japonica 'Anthony Waterer'	5 gal.
AV	Arrowwood Viburnum	Viburnum dentatum	5 gal.
CAC	Compact Amer. Cranberrybush	Viburnum opulus	5 gal.
FV	Fragrant Viburnum	Viburnum carlesii	5 gal.
DBB	Dwarf Burningbush	Euonymus alatus 'Compactus'	5 gal.
CWL	Common White Lilac	Syringa vulgaris 'Alba'	5 gal.
Ornamental Grasses:			
SYM	Common Name	Botanical Name	Size
BAC	Blue Avena Grass	Helictotrichon sempervirens	1 gal.
DFG	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hamlin'	1 gal.
FRG	Feather Reed Grass	Colanagrostis acutiflora 'Karl Foerster'	1 gal.
MG	Maiden Grass	Miscanthus sinensis 'Gracillimus'	1 gal.

PLANT MATERIAL QUANTITY CHART:

ITEM	LAND USE CODE REQUIREMENT	UNIT	TOTAL UNITS	QUANTITY REQUIRED	QUANTITY PROVIDED
STREET R.O.W. (McCASLIN BLVD.)	1 TREE/40 LF	LF	660	17	17
STREET R.O.W. (DISCOVERY PKWY.)	1 TREE/40 LF	LF	1,880	47	47
PARKING LOTS	1 TREE/10 SPACES	SPACES	263	27	27
	3 SHRUBS/10 SPACES	SPACES	263	81	81
OPEN SPACE	20 TREES/ACRE	ACRE	8.14	163	163
INTRUSION	* NONE	EA.	69		104
	1 TREE/850 s.f.	s.f.	17,000	20	20
BLDG. 1	1 SHRUB/30 s.f.	s.f.	17,000	567	567
	1 TREE/850 s.f.	s.f.	16,000	19	19
BLDG. 2	1 SHRUB/30 s.f.	s.f.	16,000	533	533
	1 TREE/850 s.f.	s.f.	10,500	12	12
BLDG. 3	1 SHRUB/30 s.f.	s.f.	10,500	350	350
	1 TREE/850 s.f.	s.f.	10,500	12	12
BLDG. 4	1 SHRUB/30 s.f.	s.f.	10,500	350	350
	1 TREE/850 s.f.	s.f.	10,500	12	12
TOTALS: (TREES)				317	421
(RATIOS FOR THE ABOVE SHALL BE 2/3 EVERGREEN, 1/3 DECIDUOUS)				1881	1881

* NOTE: TREES SHALL BE REPLACED AT A 1.5:1 RATIO, w/ MIN. DECIDUOUS TREE SIZE @ 2 1/2" CALIPER, & MIN. EVERGREEN TREE SIZE @ 8" HT.
NOTE: ANY 'EXISTING TREE TO REMAIN' LOST DURING CONSTRUCTION SHALL BE MITIGATED AT A 2:1 RATIO, w/ MIN. SHADE TREE SIZE @ 4" CAL. & MIN. EVERGREEN TREE SIZE @ 14" HT.
ALL TREES SHALL BE FULL, DENSE NURSERY SPECIMENS.

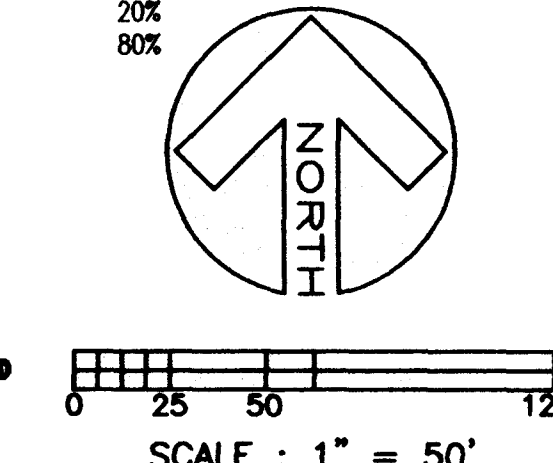
A TREE PRESERVATION PLAN IN CONFORMANCE WITH THE GUIDELINES AS DETAILED IN MR. KEITH A. WORLEY'S LETTER OF SEPTEMBER 7, 2000 SHALL BE APPROVED BY THE TOWN PRIOR TO THE PERMITTING OF ANY CONSTRUCTION PHASES FOR THE DISCOVERY OFFICE PARK.

PLANT MATERIAL SIZE CRITERIA:

DECIDUOUS TREES	3" CAL. OR GREATER	30%
	2 3/4" CAL.	70%
EVERGREEN TREES	12' HT. OR GREATER	20%
	10' HT.	80%
SHRUBS (EVL. & DECID.)	5 GAL.	
ORNAMENTAL GRASSES	1 GAL.	
PERENNIALS	1 GAL.	
GROUNDCOVERS	2 1/2" POTS/FLATS	
ANNUALS	2 1/2" POTS	

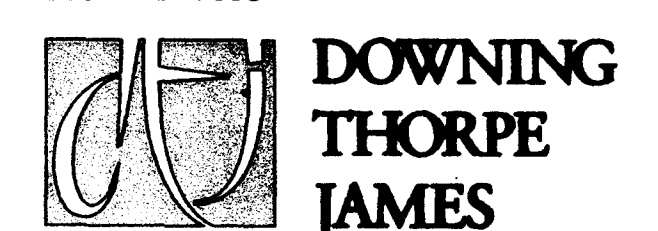
LEGEND

- REGULATORY SIGN - CITY STANDARD FOR PEDESTRIAN CROSSWALK
- SIGN TYPE 'A' QTY. = 4
- SIGN TYPE 'B' QTY. = 2



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1881 Ninth Street, Suite 103
Boulder, Colorado 80302
303-443-7533



1/15/01 1/25/01
Project No. 2000-049.70
REV. 5-16-01

PRELIMINARY LANDSCAPE PLAN MAIN ENTRY DRIVE & PARK **DISCOVERY OFFICE PARK**

LOCATED IN THE NW 1/4 OF THE SW 1/4 AND IN THE SW 1/4 OF THE NW 1/4 OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO

17.658 ACRES, MORE OR LESS

PLANT LIST:

Evergreen Trees:			
Sym:	Common Name:	Botanical Name:	Size:
CBS	Colorado Blue Spruce	<i>Picea pungens</i>	10' ht. MIN.
PP	Ponderosa Pine	<i>Pinus ponderosa</i>	10' ht. MIN.
AP	Austrian Pine	<i>Pinus nigra</i>	10' ht. MIN.
DF	Douglas Fir	<i>Pseudotsuga menziesii</i>	10' ht. MIN.
WF	White Fir	<i>Abies concolor</i>	10' ht. MIN.
SWP	Southwestern White Pine	<i>Pinus strobiformis</i>	10' ht. MIN.
BP	Bristlecone Pine	<i>Pinus aristata</i>	10' ht. MIN.

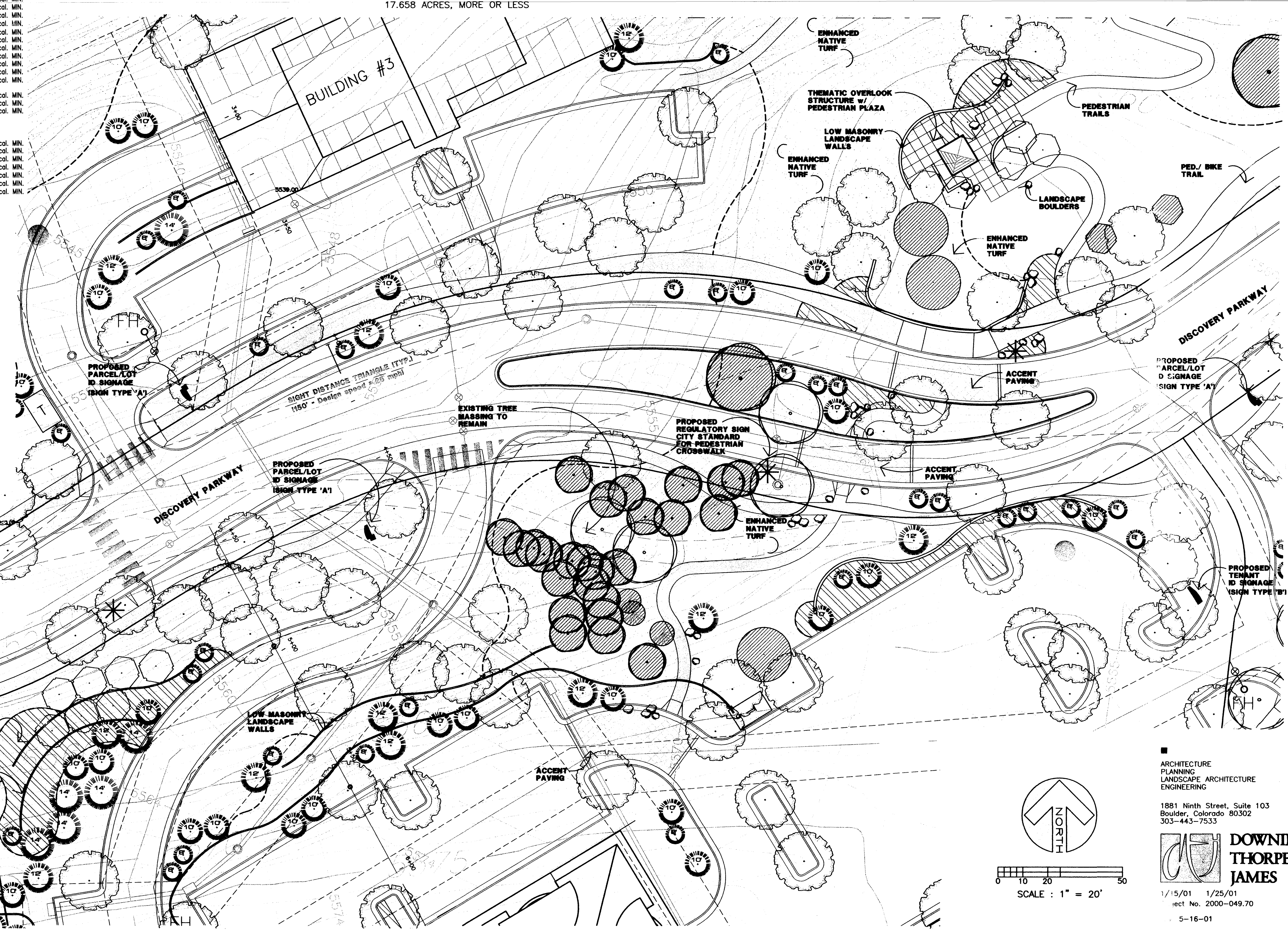
Deciduous Shade Trees:			
Sym:	Common Name:	Botanical Name:	Size:
NM	Emerald Queen Norway Maple	<i>Acer plantanoides 'Deborah'</i>	2 3/4" cal. MIN.
LSM	Legacy Sugar Maple	<i>Acer saccharum 'Legacy'</i>	2 3/4" cal. MIN.
ABM	Autumn Blaze Maple	<i>Acer x freemanii 'Autumn Blaze'</i>	2 3/4" cal. MIN.
WH	Western Hackberry	<i>Celtis occidentalis</i>	2 3/4" cal. MIN.
APA	Autumn Purple Ash	<i>Fraxinus americana 'Autumn Purple'</i>	2 3/4" cal. MIN.
SA	Summit Ash	<i>Fraxinus pennsylvanica 'Summit'</i>	2 3/4" cal. MIN.
PA	Patmore Ash	<i>Fraxinus pennsylvanica 'Patmore'</i>	2 3/4" cal. MIN.
HL	Shademaster Honeylocust	<i>Gleditsia triacanthos inermis 'Shademaster'</i>	2 3/4" cal. MIN.
SWO	Swamp White Oak	<i>Quercus bicolor</i>	2 3/4" cal. MIN.
RO	Red Oak	<i>Quercus rubra</i>	2 3/4" cal. MIN.
RL	Redmond Linden	<i>Tilia americana</i>	2 3/4" cal. MIN.
LL	Littleleaf Linden	<i>Tilia cordata</i>	2 3/4" cal. MIN.
WC	Western Catalpa	<i>Catalpa speciosa</i>	2 3/4" cal. MIN.
KCT	Kentucky Coffee Tree	<i>Gymnocladia dioica</i>	2 3/4" cal. MIN.
AE	American Elm	<i>Ulmus americana</i>	2 3/4" cal. MIN.
PC	Plains cottonwood	<i>Populus sargentii</i>	2 3/4" cal. MIN.
NC	Narrowleaf Cottonwood	<i>Populus angustifolia</i>	2 3/4" cal. MIN.
LC	Lanceleaf Cottonwood	<i>Populus x acuminata</i>	2 3/4" cal. MIN.

Deciduous Ornamental Trees:			
Sym:	Common Name:	Botanical Name:	Size:
AM	Acer ginnala	<i>Acer ginnala</i>	2 3/4" cal. MIN.
SB	Shadblow Serviceberry	<i>Amelanchier canadensis</i>	2 3/4" cal. MIN.
CHT	Cockspur Hawthorne	<i>Crataegus crusgalli 'Inermis'</i>	2 3/4" cal. MIN.
WKH	Winter King Hawthorne	<i>Crataegus viridis 'Winter King'</i>	2 3/4" cal. MIN.
RC	Radiant Crabapple	<i>Malus 'Radiant'</i>	2 3/4" cal. MIN.
SSC	Spring Snow Crabapple	<i>Malus 'Spring Snow'</i>	2 3/4" cal. MIN.
GRT	Golden Rain Tree	<i>Koeleruteria paniculata</i>	2 3/4" cal. MIN.

Evergreen Shrubs:			
Sym:	Common Name:	Botanical Name:	Size:
AJ	Armstrong Juniper	<i>Juniperus chinensis 'Armstrong'</i>	5 gal.
HJ	Hughes Juniper	<i>Juniperus horizontalis 'Hughes'</i>	5 gal.
EMJ	Broadmoor Juniper	<i>Juniperus sabina 'Broadmoor'</i>	5 gal.
BJ	Buffalo Juniper	<i>Juniperus sabina 'Buffalo'</i>	5 gal.
TJ	Tammy Juniper	<i>Juniperus sabina 'Tamariscifolia'</i>	5 gal.
SGJ	Seagreen Juniper	<i>Juniperus x media</i>	5 gal.

Deciduous Shrubs:			
Sym:	Common Name:	Botanical Name:	Size:
BMS	Blue Mist Spirea	<i>Caryopteris x clandonensis</i>	5 gal.
TGR	Tall Green Rabbitbrush	<i>Chrysothamnus nauseosus graveolens</i>	5 gal.
RTD	Red Twig Dogwood	<i>Cornus Sericea</i>	5 gal.
ID	Istanti Dogwood	<i>Cornus Sericea 'Istanti'</i>	5 gal.
FO	Forsythia	<i>Forsythia x 'Northern Sun'</i>	5 gal.
JP	Jackman Potentilla	<i>Potentilla fruticosa 'Jackman'</i>	5 gal.
NC	Native Chokecherry	<i>Prunus virginiana</i>	5 gal.
GLS	Growlow Sumac	<i>Rhus trilobata</i>	5 gal.
CW	Coyote Willow	<i>Salix exigua</i>	5 gal.
DAW	Dwarf Arctic Willow	<i>Salix purpurea nana</i>	5 gal.
AWS	Anthony Waterer Spirea	<i>Spiraea japonica 'Anthony Waterer'</i>	5 gal.
AV	Arrowwood Viburnum	<i>Viburnum dentatum</i>	5 gal.
CAC	Compact Amer. Cranberrybush	<i>Viburnum opulus</i>	5 gal.
FV	Fragrant Viburnum	<i>Viburnum carlesii</i>	5 gal.
DBB	Dwarf Burningbush	<i>Euonymus alatus 'Compactus'</i>	5 gal.
CWL	Common White Lilac	<i>Syringa vulgaris 'Alba'</i>	5 gal.

Ornamental Grasses:			
Sym:	Common Name:	Botanical Name:	Size:
BAG	Blue Avena Grass	<i>Helictotrichon sempervirens</i>	1 gal.
DFG	Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Hamini'</i>	1 gal.
FRG	Feather Reed Grass	<i>Calamagrostis acutiflora 'Kari Foerster'</i>	1 gal.
MG	Maiden Grass	<i>Miscanthus sinensis 'Gracillimus'</i>	1 gal.



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**DOWNING
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JAMES**

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