

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN SECTION 24, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF BOULDER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 24, WHENCE THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 24, BEING 44.40 FEET;

THENCE S00°15'15"E, ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 24, 539.69 FEET TO THE MOST NORTHERLY CORNER OF THAT PARCEL OF LAND DESCRIBED ON PLAN 572, RECORDED IN THE PUBLIC RECORDS OF THE COUNTY OF BOULDER, STATE OF COLORADO;

THENCE S33°17'07"W, ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND, 843.23 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 24;

THENCE S00°52'00"E, 72.60 FEET;

THENCE S89°44'40"E, ALONG A LINE PARALLEL WITH AND 72.60 FEET SOUTHERLY OF THE EAST-WEST CENTERLINE OF SAID SECTION 24, 712.16 FEET;

THENCE N61°30'07"E, 183.18 FEET;

THENCE S89°44'40"E, ALONG A LINE PARALLEL WITH AND 14.44 FEET NORTHERLY OF SAID EAST-WEST CENTERLINE OF SAID SECTION 24, 420.78 FEET;

THENCE S00°11'00"E, 47.04 FEET;

THENCE S89°44'40"E, 103.30 FEET;

THENCE S11°30'27"E, 191.08 FEET;

THENCE S13°00'00"E, 45.13 FEET;

THENCE N89°04'40"E, 159.81 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24;

THENCE N00°02'22"W, ALONG SAID EAST LINE, 291.55 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24;

THENCE N00°24'08"W, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24, A DISTANCE OF 356.30 FEET TO A POINT ON THE SOUTH BOUNDARY LINE OF MINOR SUBDIVISION - FINAL PLAT GRV'S COMMUNITY FILING NO. 1;

THENCE S89°48'20"W, ALONG SAID SOUTH BOUNDARY LINE, 67.79 FEET TO THE SOUTHWEST CORNER OF SAID MINOR SUBDIVISION - FINAL PLAT GRV'S COMMUNITY FILING NO. 1;

THENCE N00°11'40"W, ALONG THE WEST LINE OF SAID MINOR SUBDIVISION - FINAL PLAT GRV'S COMMUNITY FILING NO. 1, 200.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF CHARLES STREET IN WEST ADDITION TO SUPERIOR, A SUBDIVISION RECORDED IN PLAN BOOK 1 AT PAGE 214 OF THE RECORDS OF BOULDER COUNTY;

THENCE S89°48'20"W, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 360.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF FIFTH AVENUE IN SAID WEST ADDITION TO SUPERIOR;

THENCE N00°11'40"W, ALONG SAID WEST RIGHT-OF-WAY LINE, 747.87 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24;

THENCE S89°44'40"E, ALONG SAID NORTH LINE, A DISTANCE OF 801.67 FEET TO THE POINT OF BEGINNING, CONTAINING 1,655,489 SQUARE FEET OR 38.205 ACRES MORE OR LESS

SITE DEVELOPMENT CRITERIA:

MINIMUM LOT AREA (SQUARE FEET)	7,200
MAXIMUM LOT AREA (SQUARE FEET)	9,201
NUMBER OF LOTS	53
NUMBER OF LOTS LESS THAN 7,200 SQ. FT.	0
OFF-SITE PARKING PER LOT	4.5
MAXIMUM BUILDING OR STRUCTURE HEIGHT (FEET)	32
MAXIMUM NUMBER OF STORES	2
MINIMUM LOT WIDTH (FEET)	60

SETBACK INFORMATION (FEET)	
FRONT YARD SETBACK (PRINCIPLE USES AND STRUCTURES)	18
BACK OF WALK TO FRONT LOADING GARAGE	205
BACK OF WALK TO LIVING SPACE	13
BACK OF WALK TO FRONT PORCH	13
BACK OF WALK TO SIDE LOADING GARAGE	13
SIDE YARD (PRINCIPLE USES AND STRUCTURES - INTERIOR LOT LINE)	5
SIDE YARD (PRINCIPLE USES AND STRUCTURES - ADJACENT TO STREET ROW)	10
REAR YARD (PRINCIPLE USES AND STRUCTURES)	10

ALLOWABLE ENCROACHMENT INTO THE SIDE AND REAR SETBACKS (FEET)	
CANTILEVERS	2
PATIOS	2
DECKS	2
STAIRS	2
WINDTOW WELLS	2

MAXIMUM LOT COVERAGE	45%
GREENS TENDRY D.U.L. PER ACRE NOT INCLUDING TRACT F)	2.41
MINIMUM TOTAL OPEN SPACE	35%
FRONT SETBACK HOUSE STAGGER (FEET)	2 MIN.

NOTES

- NO ACCESSORY BUILDINGS ARE ALLOWED.
- THE BACK OF WALK IS THE FRONT LOT LINE RIGHT-OF-WAY EXCEPT IN THE CURB CUTS WHERE THE BACK OF WALK IS 3 FEET FROM THE FRONT LOT LINE RIGHT-OF-WAY.
- TRACT C IS FOR USE BY RESIDENTS OF THE DEVELOPMENT. AMENITIES WILL INCLUDE A 5-FOOT CONCRETE SETBACK FROM EAST TO WEST, A 5-FOOT CRUISER PANE TREE CONNECTION TO COAL CREEK DRIVE, INTERMITTENT BENCHES AND NATIVE LANDSCAPING.
- FRONT LOT LINES FOR LOTS 23, 40 AND 46 ARE REFERRED TO SKETCH ON SHEET 4.

STREET DATA:

INTERNAL STREETS: 60' RIGHT-OF-WAY: 34' FLOWLINE TO FLOWLINE: 9' DETACHED WALK EXCEPT AT CURB CUTS
 COAL CREEK DRIVE (MINOR COLLECTOR): 60' RIGHT-OF-WAY: 34' FLOWLINE TO FLOWLINE: 9' DETACHED WALK

SEE DESIGN GUIDELINES AND SIGNAGE, FENCE AND LANDSCAPE DETAIL SHEETS IN THIS SET FROM FENCE DETAILS AND SPECIFICATIONS OF FENCE.

EXISTING ZONING:

PLANNED DEVELOPMENT (PD) TOWN OF SUPERIOR
 NATURAL OPEN SPACE (ONS) TOWN OF SUPERIOR

NOTES:

- THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-66-101, ET SEQ., C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO.

BOARD OF TRUSTEES CERTIFICATE

APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF SUPERIOR, STATE OF COLORADO

WITNESS MY HAND AND THE CORPORATE SEAL OF THE TOWN OF SUPERIOR, THIS 27th day of October, 2015.

ATTEST: *Phyllis L. Hardin* (Notary Seal) *Andrew Muckle* (Signature)

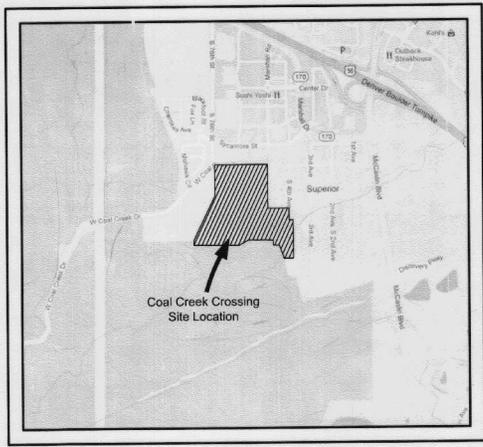
TOWN CLERK CERTIFICATE

I HEREBY CERTIFY THAT THIS INSTRUMENT AS APPROVED BY RESOLUTION NUMBER NO. 62, SERIES 2012, WAS FILED IN MY OFFICE ON THE 15th DAY OF May, 2015, AT 10:00 O'CLOCK A.M.

Phyllis L. Hardin (Signature)

COAL CREEK CROSSING FINAL DEVELOPMENT PLAN

LOCATED IN PART OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO



Vicinity Map
Scale: 1" = 1000'

OWNERS	PREPARED BY	LANDSCAPE ARCHITECT
COAL CREEK CROSSING BY REMINGTON HOMES, INC. 9468 W. 58TH AVENUE, AVARDA, COLORADO 80002 TEL: 303-420-8899 CONTACT: MATT CAVANAUGH	INNOVATIVE LAND CONSULTANTS, INC. 12071 TERON STREET, SUITE 470 WESTMINSTER, COLORADO 80334 TEL: 303-421-4224 CONTACT: TESS HOGAN	CONSERVUM DESIGN, INC. 7553 SOUTH ALTON WAY, SUITE 135 CENTENNIAL, COLORADO 80112 TEL: 303-224-6920 CONTACT: CRAIG BARN
DEVELOPER/APPLICANT	AGENCY LIST	
REMINGTON HOMES 9468 W. 58TH AVENUE, AVARDA, COLORADO 80002 TEL: 303-420-8899 CONTACT: MATT CAVANAUGH	TOWN OF SUPERIOR 124 E. COAL CREEK DRIVE SUPERIOR, COLORADO 80027 TEL: 303-499-3675	ROCKY MOUNTAIN FIRE DISTRICT 803 S. FOOTHILLS HWY, SUITE 120 BOULDER, COLORADO 80305 TEL: 303-494-2735

TYPE	ACRES	UNITS
SINGLE FAMILY RESIDENTIAL	9.44	53
TRACT A OPEN AREA (NOT INCLUDING TRACT F)	9.07	
TRACT F	16.01	
RIGHT-OF-WAY AREA	3.47	
TOTAL	38.01	53

NET DENSITY = 53/38.01 = 1.40 D.U./ACRE (NOT INCLUDING TRACT F)
 GROSS DENSITY = 53/38.01 = 1.39 D.U./ACRE (INCLUDING TRACT F)

TRACT	ACRES	OWNER	MAINTENANCE	ZONING
SINGLE FAMILY LOTS 1-53	9.44	PRIVATE	PRIVATE	P.D.
TRACT A	0.04	COAL CREEK CROSSING HOA	COAL CREEK CROSSING HOA	P.D.
TRACT B	0.41	COAL CREEK CROSSING HOA	COAL CREEK CROSSING HOA	P.D.
TRACT C	3.12	COAL CREEK CROSSING HOA	COAL CREEK CROSSING HOA	P.D.
TRACT D	0.12	TOWN OF SUPERIOR	COAL CREEK CROSSING HOA	P.D.
TRACT E (INCL. BUFFER)	5.38	COAL CREEK CROSSING HOA & TOWN OF SUPERIOR	COAL CREEK CROSSING HOA	P.D.
TRACT F (INCL. CONSERV. EASEMENT)	16.03	TOWN OF SUPERIOR	TOWN OF SUPERIOR	O.S.N.
RIGHT OF WAY STREETS	2.80	TOWN OF SUPERIOR	TOWN OF SUPERIOR	P.D.
RIGHT-OF-WAY LANDSCAPING	0.67	TOWN OF SUPERIOR	COAL CREEK CROSSING HOA	P.D.
TOTAL	38.01			

Sheet No.	Sheet Title
1	Cover Sheet
2	Master Site Plan
3	Detail Sheet
4	Site Plan - North
5	Site Plan - South
6	Grading Plan
7	Utility Plan
L-1	Overall Landscape Plan
L-2	Landscape Plan
L-3	Landscape Plan
L-4	Landscape Plan
L-5	Landscape Plan
L-6	Landscape Plan
L-7	Typical Lot Landscape
L-8	Plant List & Design Guidelines
L-9	Landscape Notes & Details
E-1	Photometric Schedules and Cut sheets
E-2	Partial Photometric Plan
E-3	Partial Photometric Plan

CERTIFICATE OF OWNERSHIP

IN WITNESS WHEREOF, COAL CREEK CROSSING BY REMINGTON HOMES, INC., A COLORADO CORPORATION, CONSENTS TO THIS FINAL DEVELOPMENT PLAN ON THIS 5 DAY OF May, 2015.

COAL CREEK CROSSING BY REMINGTON HOMES, INC. A COLORADO CORPORATION

BY: *Charles Regan Hauptmann* (Signature)
 CHARLES REGAN HAUPTMANN, PRESIDENT

STATE OF COLORADO }
 COUNTY OF BOULDER }

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 5 DAY OF May, 2015, BY CHARLES REGAN HAUPTMANN, AS PRESIDENT OF COAL CREEK CROSSING BY REMINGTON HOMES, INC., A COLORADO CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: 9/22/2015 *Shannon R. Bendoricran* (Signature)
 SHANNON R. BENDORICRAN, NOTARY PUBLIC

MORTGAGEE / LEIHOLDER

IN WITNESS WHEREOF, MORTGAGEE / LEIHOLDER, CONSENTS TO THE FINAL DEVELOPMENT PLAN ON THIS 8 DAY OF May, 2015.

THE OCHNER LEGACY TRUST

BY: *Stan Salzer* (Signature)
 STAN SALZER, TRUSTEE

STATE OF COLORADO }
 COUNTY OF BOULDER }

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 8 DAY OF May, 2015, BY STAN SALZER, AS TRUSTEE OF THE OCHNER LEGACY TRUST.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: 11/21/2014 *Donille H. Jurg* (Signature)
 DONILLE H. JURG, NOTARY PUBLIC

CERTIFICATE OF OWNERSHIP

I CERTIFY THAT I, *Andrew Muckle* (Signature), AM THE AUTHORIZED REPRESENTATIVE OF THE PROPERTY OWNER AND CONSENT TO THIS PLAN.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND SEAL ON THIS 13 DAY OF May, 2015.

Andrew Muckle (Signature)
 ANDREW MUCKLE, TOWN OF SUPERIOR

STATE OF COLORADO }
 COUNTY OF BOULDER }

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 13th DAY OF May, 2015, BY *Andrew Muckle* (Signature).

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: *Phyllis L. Hardin* (Signature)
 PHYLLIS L. HARDIN, NOTARY PUBLIC

BASIS OF BEARING:

BASIS OF BEARING IS THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 24, BEING N89°51'17"E AND MONUMENTED AS SHOWN.

PROJECT BENCHMARK:

ELEVATION = 5547.66 NGVD 1928
 2 1/2" ALUMINUM CAP IN CONCRETE LOCATED AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 24, T1S, R70W, OF THE 6TH P.M.

12071 Teron Street, Suite 470
 Westminster, Colorado 80334
 303-421-4224
 www.innovative-land.com

Innovative Land Consultants, Inc.

Revision Type: _____
 No. Rev. Date: _____
 Sheet: 1 of 19
 Date: April 12, 2015
 Approved By: TBH
 Checked By: GLS
 Vert. Scale: N/A
 Job No.: 012401

Coal Creek Crossing
 Final Development Plan
 Superior, Colorado

Cover Sheet

811
 Know what's below.
 Call before you dig.

Page 1 of 19
 Sheet: 1

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN SECTION 24, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF BOULDER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24, WHENCE THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER THEREOF BEARS N89°44'30"E;
 THENCE S00°11'51"E, ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 24, 529.69 FEET TO THE MOST NORTHERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN A DEED RECORDED ON FILM 572, RECEPTION NO. 817833;
 THENCE S25°27'07"W, ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND, 843.23 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 24;
 THENCE S00°15'20"W, 72.60 FEET;
 THENCE S89°44'40"E, ALONG A LINE PARALLEL WITH AND 72.60 FEET SOUTHERLY OF THE EAST-WEST CENTERLINE OF SAID SECTION 24, 772.16 FEET;
 THENCE N61°30'37"E, 180.98 FEET;
 THENCE S89°44'40"E, ALONG A LINE PARALLEL WITH AND 14.44 FEET NORTHERLY OF SAID EAST-WEST CENTERLINE OF SAID SECTION 24, 420.78 FEET;
 THENCE S00°11'40"E, 87.04 FEET;
 THENCE S89°44'40"E, 103.30 FEET;
 THENCE S21°36'23"E, 191.08 FEET;
 THENCE S13°04'00"E, 46.13 FEET;
 THENCE N89°04'48"E, 159.81 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24;
 THENCE N00°01'22"W, ALONG SAID EAST LINE, 291.55 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24;
 THENCE N00°24'09"W, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24, A DISTANCE OF 556.30 FEET TO A POINT ON THE SOUTH BOUNDARY LINE OF MINOR SUBDIVISION - FINAL PLAT ERIN'S COMMUNITY FILING NO. 1;
 THENCE S89°48'20"W, ALONG SAID SOUTH BOUNDARY LINE, 67.79 FEET TO THE SOUTHWEST CORNER OF SAID MINOR SUBDIVISION - FINAL PLAT ERIN'S COMMUNITY FILING NO. 1;
 THENCE N00°11'40"W, ALONG THE WEST LINE OF SAID MINOR SUBDIVISION - FINAL PLAT ERIN'S COMMUNITY FILING NO. 1, 200.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF CHARLES STREET IN WEST ADDITION TO SUPERIOR, A SUBDIVISION RECORDED IN PLAT BOOK 2 AT PAGE 216 OF THE RECORDS OF BOULDER COUNTY;
 THENCE S89°48'20"W, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 360.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF FIFTH AVENUE IN SAID WEST ADDITION TO SUPERIOR;
 THENCE N00°11'40"W, ALONG SAID WEST RIGHT-OF-WAY LINE, 747.87 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24;
 THENCE S89°44'30"W, ALONG SAID NORTH LINE, A DISTANCE OF 901.67 FEET TO THE POINT OF BEGINNING;
 CONTAINING 1,655,499 SQUARE FEET OR 38.005 ACRES MORE OR LESS

SITE DEVELOPMENT CRITERIA:

MINIMUM LOT AREA (SQUARE FEET)	7,200
MAXIMUM LOT AREA (SQUARE FEET)	9,201
NUMBER OF LOTS	53
NUMBER OF LOTS LESS THAN 7,200 SQ.FT.	0
OFF-SITE PARKING PER LOT	4.5
MAXIMUM BUILDING OR STRUCTURE HEIGHT (FEET)	32
MAXIMUM NUMBER OF STORIES	2
MINIMUM LOT WIDTH (FEET)	60
SETBACK INFORMATION (FEET)	
FRONT YARD SETBACK (PRINCIPLE USES AND STRUCTURES)	18
BACK OF WALK TO FRONT LOAD GARAGE	20
BACK OF WALK TO LIVING SPACE	13
BACK OF WALK TO FRONT PORCH	13
BACK OF WALK TO SIDE LOAD GARAGE	13
SIDE YARD (PRINCIPLE USES AND STRUCTURES - INTERIOR LOT LINE)	5
SIDE YARD (PRINCIPLE USES AND STRUCTURES - ADJACENT TO STREET/ROW)	10
REAR YARD (PRINCIPLE USES AND STRUCTURES)	10
ALLOWABLE ENCROACHMENT INTO THE SIDE AND REAR SETBACKS (FEET)	
CANTILEVERS	2
PATIOS	2
DECKS	2
STAIRS	2
WINDOW WELLS	2
MAXIMUM LOT COVERAGE	45%
GROSS DENSITY (D.U. PER ACRE NOT INCLUDING TRACT F)	2.41
MINIMUM TOTAL OPEN SPACE	35%
FRONT SETBACK HOUSE STAGGER (FEET)	2 MIN.

NOTES:

- NO ACCESSORY BUILDINGS ARE ALLOWED.
- THE BACK OF WALK IS THE FRONT LOT LINE RIGHT-OF-WAY EXCEPT IN THE CUL-DE-SACS WHERE THE BACK OF WALK IS 3 FEET FROM THE FRONT LOT LINE RIGHT-OF-WAY.
- TRACT C IS FOR USE BY RESIDENTS OF THE DEVELOPMENT. AMENITIES WILL INCLUDE A 5-FOOT CONCRETE SIDEWALK FROM EAST TO WEST, A 5-FOOT CRUSHER FINES TRAIL CONNECTION TO COAL CREEK DRIVE, INTERMITTENT BENCHES AND NATIVE LANDSCAPING.
- FRONT LOT LINES FOR LOTS 23, 40 AND 46 ARE DEFINED AS SHOWN ON SHEET 4.

STREET DATA:

INTERNAL STREETS: 60' RIGHT-OF-WAY; 34' FLOWLINE TO FLOWLINE; 5' DETACHED WALK EXCEPT AT CUL-DE-SACS
 COAL CREEK DRIVE (MINOR COLLECTOR): 60' RIGHT-OF-WAY; 34' FLOWLINE TO FLOWLINE; 5' DETACHED WALK

SEE DESIGN GUIDELINES AND SIGNAGE, FENCE AND LANDSCAPE DETAIL SHEETS IN THIS SET FROM FENCE DETAILS AND SPECIFICATIONS OF FENCES.

EXISTING ZONING:

PLANNED DEVELOPMENT (PD) TOWN OF SUPERIOR
 NATURAL OPEN SPACE (OSN) TOWN OF SUPERIOR

NOTES:

- THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, ET SEQ., C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO.

BOARD OF TRUSTEES CERTIFICATE

APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF SUPERIOR, STATE OF COLORADO

WITNESS MY HAND THE CORPORATE SEAL OF THE TOWN OF SUPERIOR THIS ____ DAY OF _____, 20__.

ATTEST: _____ TOWN CLERK
 _____ MAYOR

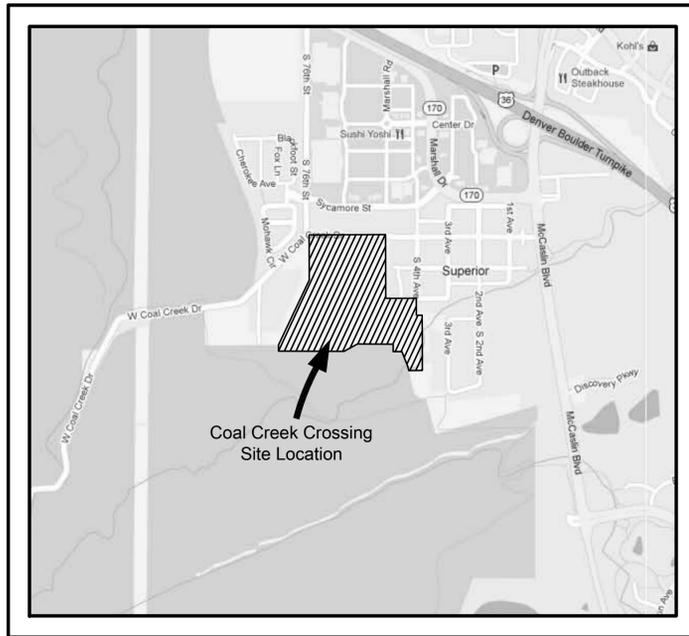
TOWN CLERK CERTIFICATE

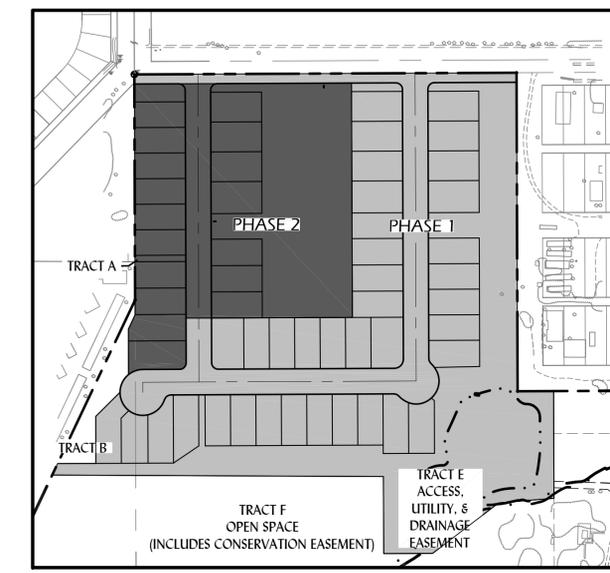
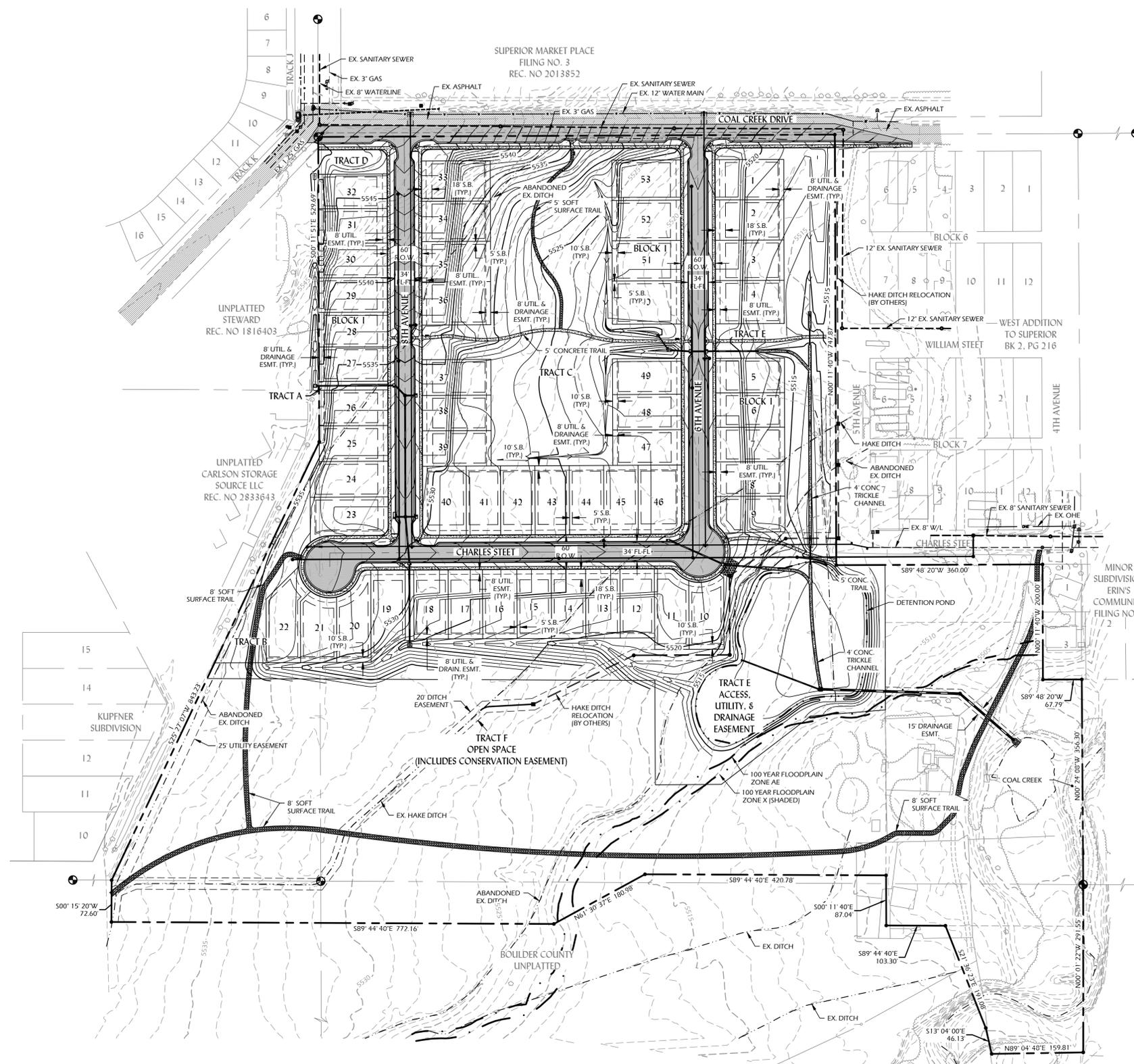
I HEREBY CERTIFY THAT THIS INSTRUMENT AS APPROVED BY (RESOLUTION/ORDINANCE) NO. _____, SERIES 20____, WAS FILED IN MY OFFICE ON THE ____ DAY OF _____, 20____, AT ____ O'CLOCK ____ M.

 TOWN CLERK

COAL CREEK CROSSING FINAL DEVELOPMENT PLAN

LOCATED IN PART OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO





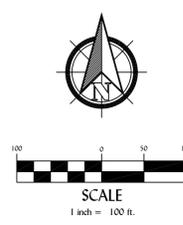
LEGEND

---	Property Line
- - - -	Right of Way Line
---	Centerline
- - - -	Easement Line
- - - -	Setback Line
○	Storm Manhole
□	Type 'R' Inlet (5', 10' & 15')
▭	Flared End Section
▭	Pond Outlet Structure
○	Sanitary Sewer Manhole
○	Ex. Sanitary Sewer Manhole
○	Cleanout
○	Fire Hydrant
○	Water Valve
○	Thrust Block
○	Plug and Blowoff
---	Storm Sewer Line
---	Water Line
---	Ex. Water Line
---	Sanitary Sewer Line
---	Ex. Sanitary Sewer Line
WS	Water Service
SS	Sanitary Sewer Service
P/UD	Perforated PVC Underdrain*
S/UD	Solid PVC Underdrain*

*Subject to approval of the State of Colorado dewatering permit.

- REPETITIVE DESIGN PROHIBITED:**
- DWELLINGS PLACED ADJACENT TO OR DIRECTLY ACROSS THE STREET FROM OTHER DWELLINGS SHALL HAVE SIGNIFICANTLY DIFFERENT FRONT ELEVATIONS. FOR THE PURPOSES OF THIS SUBSECTION, FRONT ELEVATIONS WILL BE CONSIDERED "SIGNIFICANTLY DIFFERENT" FROM ONE ANOTHER IF AT LEAST THREE OF THE SEVEN DESIGN CONDITIONS SET FORTH BELOW ARE MET AS DETERMINED BY THE ARCHITECTURAL CONTROL COMMITTEE:
1. THE LOCATIONS OF AT LEAST 50 PERCENT OF THE WINDOWS AND DOORS DIFFER BY ONE FOOT OR MORE.
 2. THE SHAPES OF AT LEAST TWO WINDOW DORMERS AND/OR WINDOW BAYS DIFFER BY TWO FEET OR MORE.
 3. THE SHAPES OF AT LEAST TWO GABLE ENDS DIFFER BY TWO FEET OR MORE.
 4. THE SHAPE OF PORCHES AND/OR OTHER SIMILAR PROJECTING DESIGN ELEMENTS DIFFER BY TWO FEET OR MORE.
 5. MORE THAN 50 PERCENT OF THE FRONT ELEVATION CLADDING IS OF A DIFFERENT MATERIAL.
 6. THE OVERALL WIDTH OF THE FRONT ELEVATION DIFFERS BY FOUR FEET OR MORE.
 7. THE OVERALL HEIGHT OF THE FRONT ELEVATION DIFFERS BY FOUR FEET OR MORE.

NOTE:
THE PHASING OF ANY AND ALL PRIVATE OR PUBLIC UTILITY, GRADING, AND/OR ROADWAY CONSTRUCTION IS SUBJECT TO APPROVAL BY THE TOWN OF SUPERIOR. A PHASING PLAN SHALL BE SUBMITTED TO THE TOWN OF SUPERIOR FOR APPROVAL PRIOR TO ANY PHASED CONSTRUCTION.

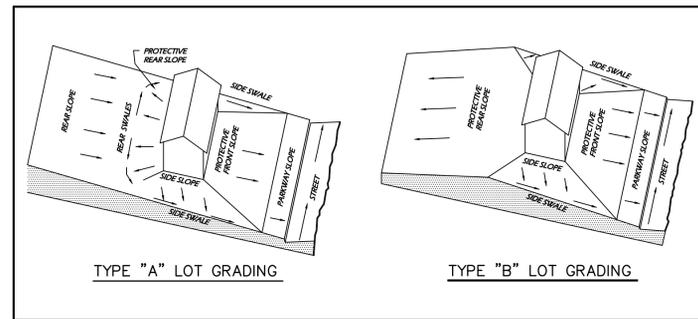
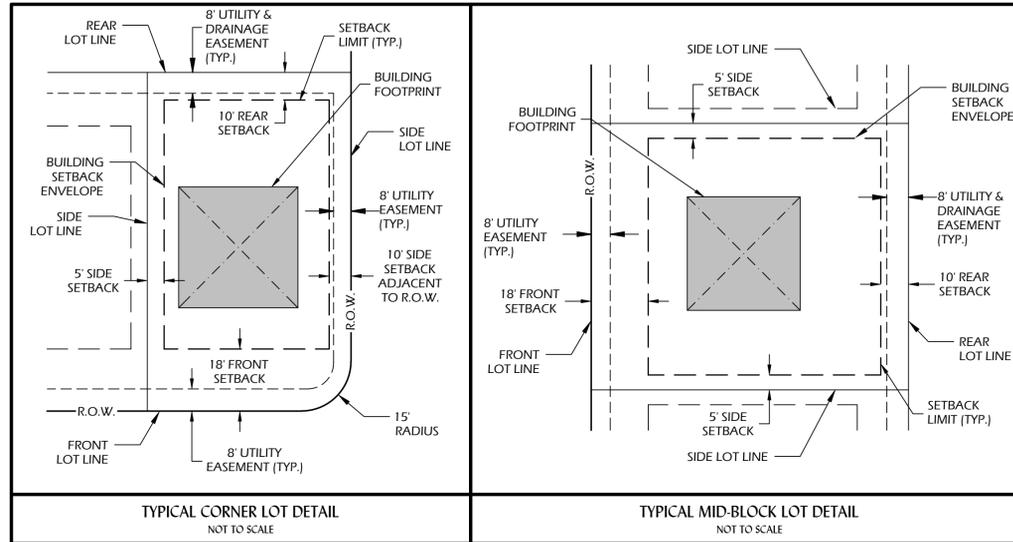


Revision Type	
No.	Date
1	
2	
3	
4	
5	
6	
Sheet:	2 of 19
Horz. Scale:	1" = 100'
Vert. Scale:	N/A
Date:	April 12, 2013
Approved By:	TRH
Designed By:	GLG
Job No.:	1013-01

Coal Creek Crossing
Final Development Plan
Superior, Colorado
Master Site Plan

Prof. Name:
Plan Set:
Location:
Sheet Name:



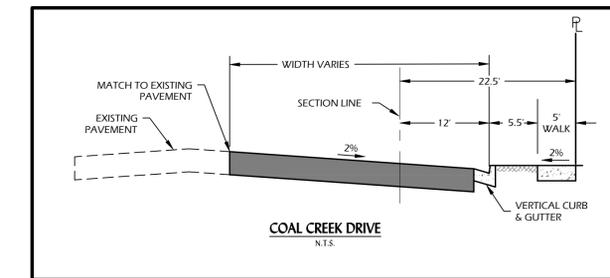
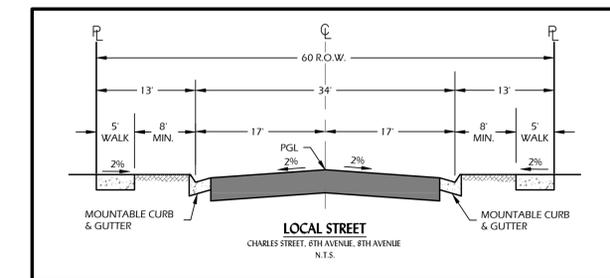
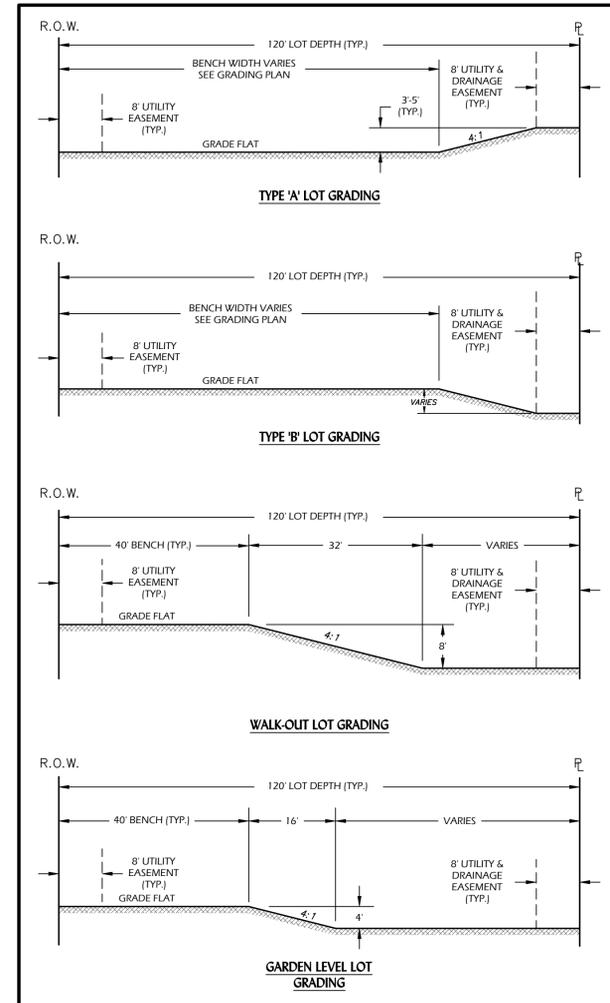


LOT DRAINAGE PATTERN TEMPLATE
NOT TO SCALE

BASEMENT CONSTRUCTION NOTE:

THE PRESENCE OF HIGH GROUNDWATER PERIODICALLY EXISTS ON THIS SITE IN PRE-DEVELOPMENT CONDITIONS AND PRIOR TO THE CONSTRUCTION OF GROUNDWATER MITIGATION FACILITIES. BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL ENGINEER, CTL THOMPSON, GROUNDWATER MITIGATION MEASURES INCLUDE AN UNDERDRAIN ALONG THE SOUTH PROPERTY LINE OF THE PROJECT AND AN UNDERDRAIN BENEATH THE ONSITE SANITARY SEWER. ADDITIONAL GROUNDWATER MITIGATION MEASURES INCLUDE THE PROPOSED PIPING OF HAKE DITCH. PRIOR TO HOME CONSTRUCTION, EACH INDIVIDUAL LOT SHOULD BE EVALUATED TO DETERMINE SITE/LOT GROUNDWATER CONDITIONS AND POTENTIAL IMPACTS TO PROPOSED FOUNDATIONS. IT IS THE RESPONSIBILITY OF THE SITE GEOTECHNICAL AND FOUNDATION ENGINEERS TO DETERMINE THE FEASIBILITY OF FULL BASEMENT CONSTRUCTION ON INDIVIDUAL LOTS. DOCUMENTATION ADDRESSING INDIVIDUAL LOT GROUNDWATER CONDITIONS AND FOUNDATION DESIGN SHALL BE PROVIDED TO THE TOWN OF SUPERIOR AT THE TIME OF BUILDING PERMIT APPLICATION.

OVERLOT GRADING TEMPLATES



Revision Type		Revision Type	
No.	Rev. Date	No.	Rev. Date
1		1	
2		2	
3		3	
4		4	
5		5	
6		6	

Sheet: 3 of 19
Date: April 12, 2013
Approved By: TRH
Job No.: 1013-01

Horiz. Scale: N/A
Vert. Scale: N/A
Designed By: GLG

Coal Creek Crossing
Final Development Plan
Superior, Colorado

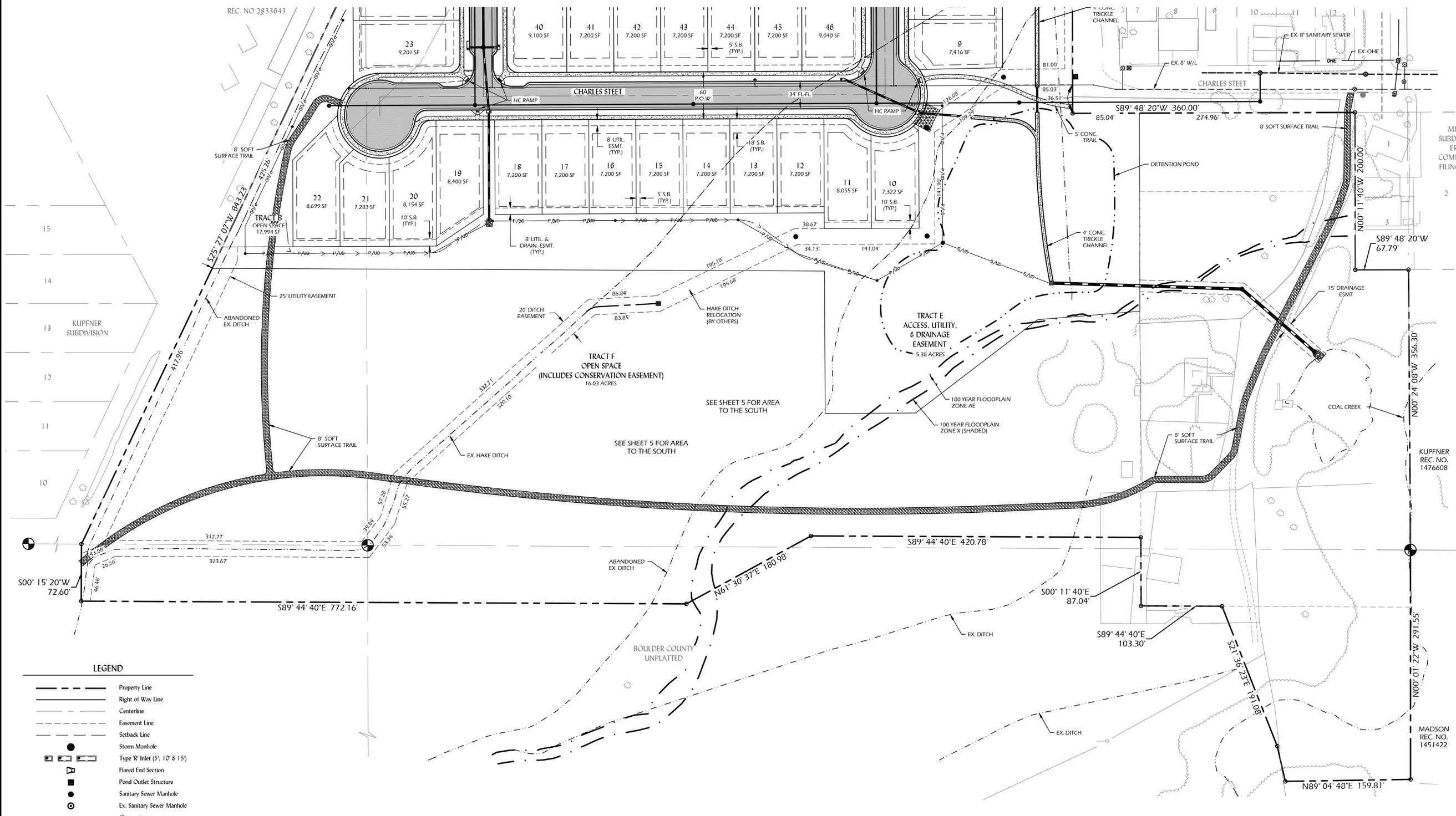
Prof. Name:
Plan Set:
Location:
Sheet Name:



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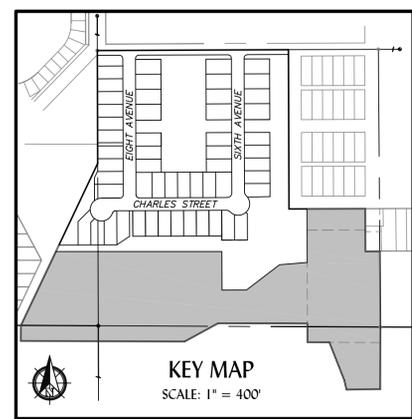
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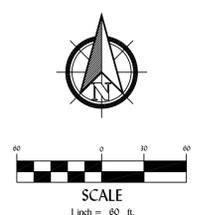


LEGEND

	Property Line
	Right of Way Line
	Centerline
	Easement Line
	Setback Line
	Storm Manhole
	Type 'R' Inlet (5', 10' & 15')
	Flared End Section
	Pond Outlet Structure
	Sanitary Sewer Manhole
	Ex. Sanitary Sewer Manhole
	Cleanout
	Fire Hydrant
	Water Valve
	Thrust Block
	Plug and Blowoff
	Storm Sewer Line
	Water Line
	Ex. Water Line
	Sanitary Sewer Line
	Ex. Sanitary Sewer Line
	Water Service
	Sanitary Sewer Service
	Perforated PVC Underdrain*
	Solid PVC Underdrain*
	Proposed Major Contour
	Proposed Minor Contour
	Existing Major Contour
	Existing Minor Contour



NOTES:
 1. THE RIGHT-OF-WAY SHALL SERVE AS FRONT AND SIDE LOT LINES FOR LOTS 23, 40 AND 46.



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No.	Rev. Date:	Revision Type:
1		
2		
3		
4		
5		

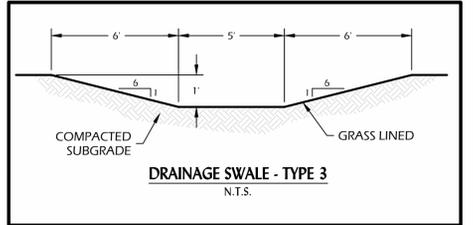
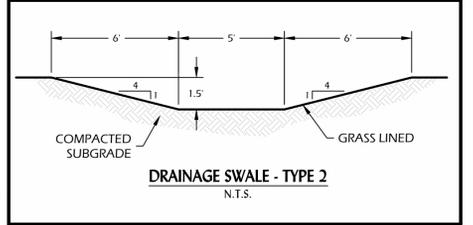
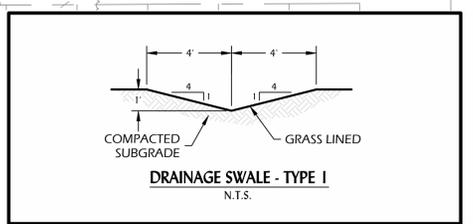
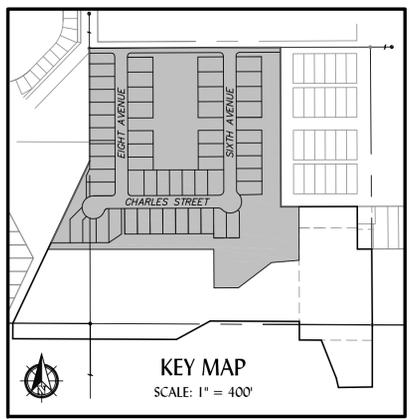
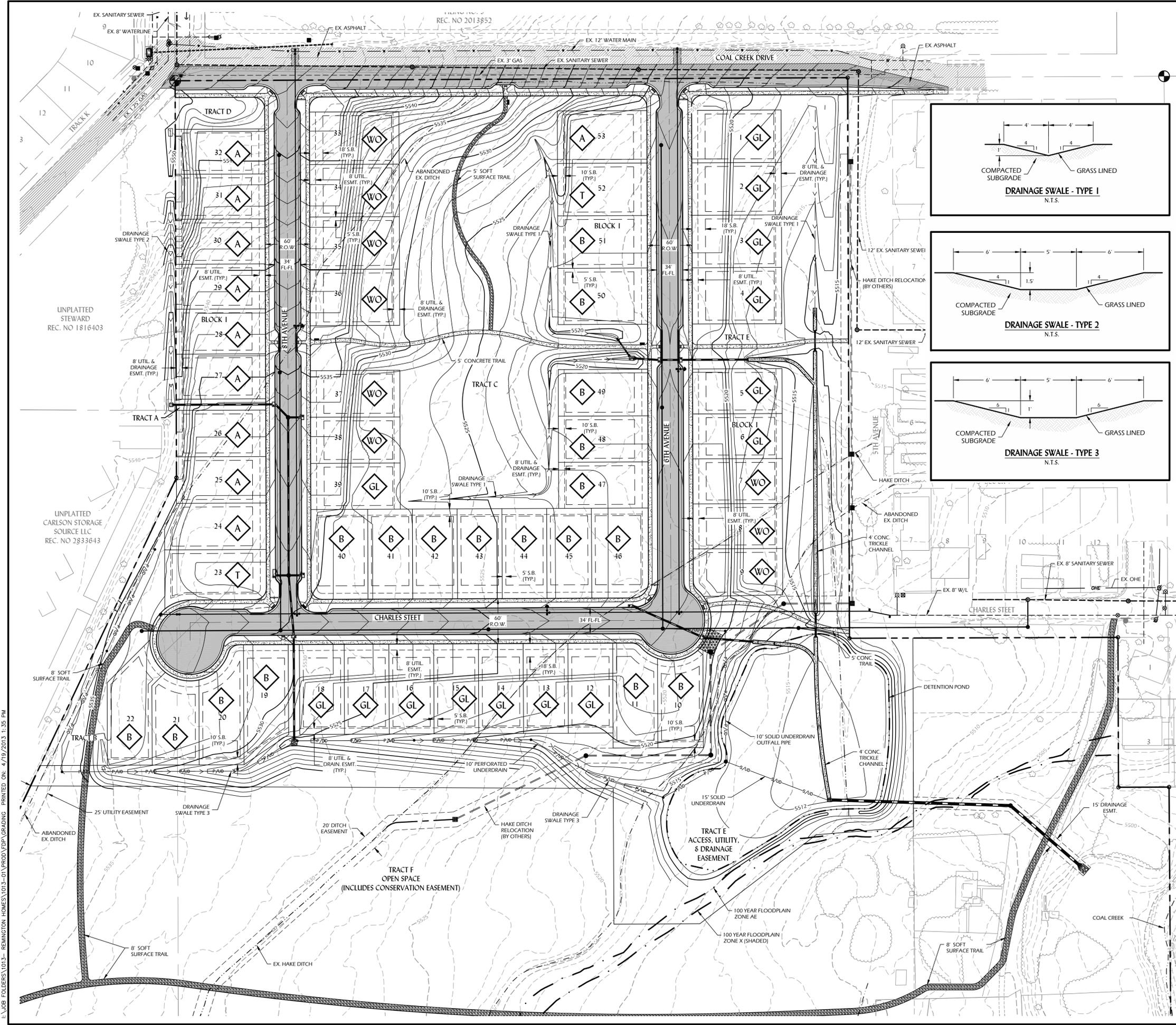
Sheet: 5 of 19
 Date: April 12, 2013
 Approved By: TRH
 Job No.: 1013-01
 Vert. Scale: N/A
 Designed By: GLG

Coal Creek Crossing
 Final Development Plan
 Superior, Colorado
 Site Plan - South

Prof. Name:
 Plan Set:
 Location:
 Sheet Name:

811
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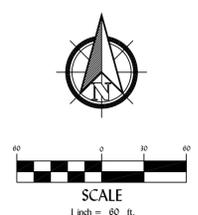
Sheet: **5**



- LEGEND**
- Property Line
 - - - Right of Way Line
 - Centerline
 - - - Easement Line
 - - - Setback Line
 - Storm Manhole
 - Type 'R' Inlet (5', 10' & 15')
 - Flared End Section
 - Pond Outlet Structure
 - Sanitary Sewer Manhole
 - Ex. Sanitary Sewer Manhole
 - Cleanout
 - Fire Hydrant
 - Water Valve
 - Thrust Block
 - Plug and Blowoff
 - Storm Sewer Line
 - Water Line
 - Ex. Water Line
 - Sanitary Sewer Line
 - Ex. Sanitary Sewer Line
 - WS --- Water Service
 - SS --- Sanitary Sewer Service
 - P/A/D --- Perforated PVC Underdrain*
 - S/A/D --- Solid PVC Underdrain*
 - Proposed Major Contour
 - Proposed Minor Contour
 - Existing Major Contour
 - Existing Minor Contour
- *Subject to approval of the State of Colorado dewatering permit.

- LOT TYPE**
- ◇ A TYPE 'A' LOT
 - ◇ B TYPE 'B' LOT
 - ◇ GL GARDEN LEVEL LOT
 - ◇ WO WALK-OUT LOT
 - ◇ T TRANSITIONAL LOT

NOTES:
1. REFER TO SHEET 3 FOR LOT TYPE OVERLOT GRADING TEMPLATES.



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No.	Rev. Date:	Revision Type:
1		
2		
3		
4		
5		
6		

Date: April 12, 2013
 Approved By: TRH
 Sheet: 6 of 19
 Horiz. Scale: 1" = 60'
 Vert. Scale: N/A
 Job No.: 1013-01
 Designed By: GLG

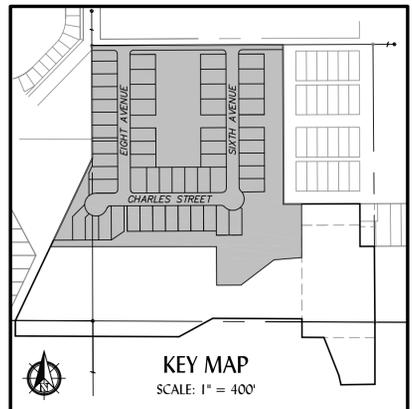
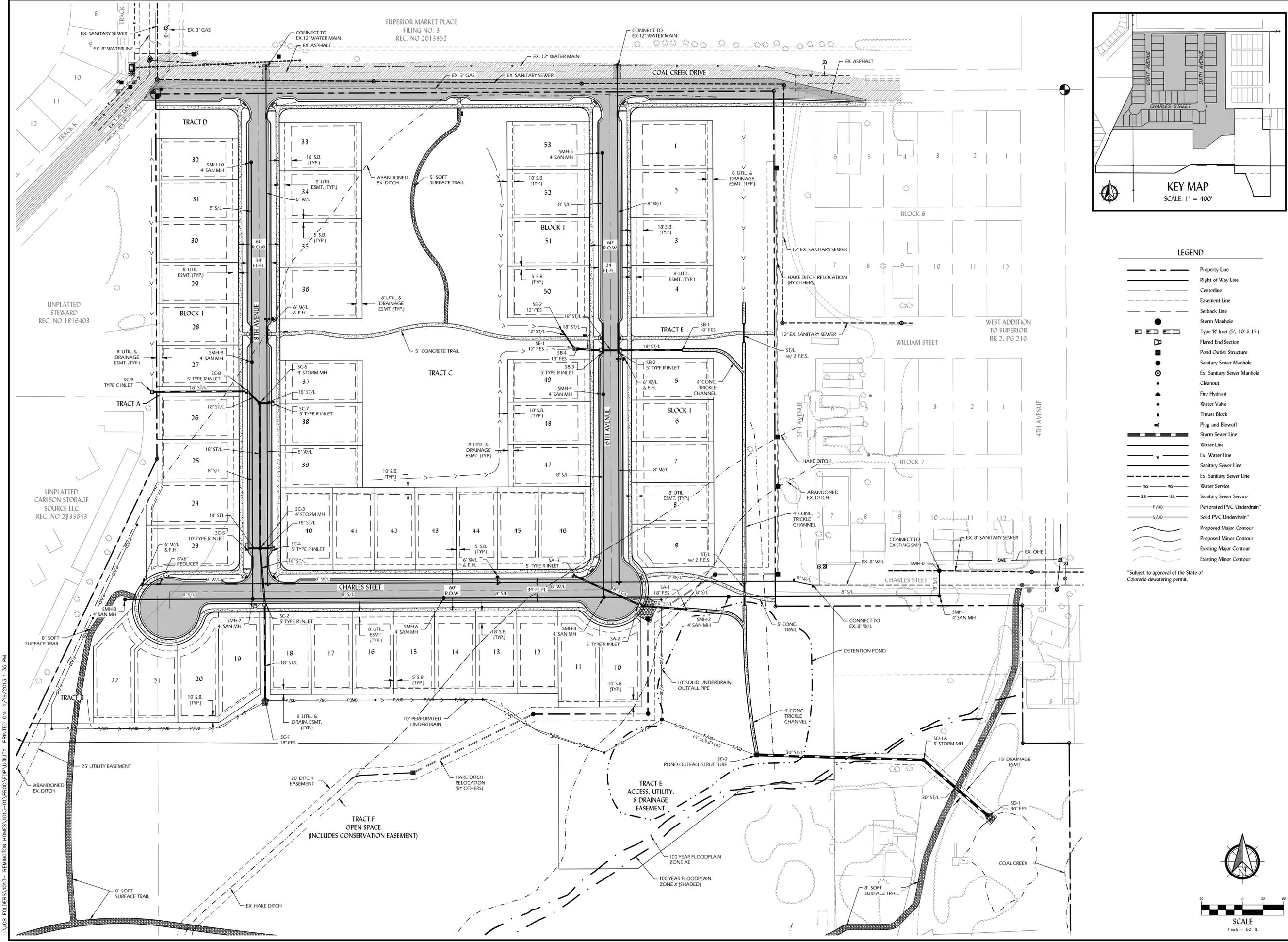
Coal Creek Crossing
Final Development Plan
 Superior, Colorado
Grading Plan

Prof. Name:
 Plan Set:
 Location:
 Sheet Name:

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Sheet: **6**

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- LEGEND**
- Property Line
 - Right of Way Line
 - Centerline
 - Easement Line
 - Setback Line
 - Storm Manhole
 - Flared End Section
 - Pond Outlet Structure
 - Sanitary Sewer Manhole
 - Ex. Sanitary Sewer Manhole
 - Cleanout
 - Fire Hydrant
 - Water Valve
 - Thrust Block
 - Plug and Blowoff
 - Storm Sewer Line
 - Water Line
 - Ex. Water Line
 - Sanitary Sewer Line
 - Ex. Sanitary Sewer Line
 - WS --- WS Water Service
 - SS --- SS Sanitary Sewer Service
 - P/UD --- P/UD Perforated PVC Underdrain*
 - S/UD --- S/UD Solid PVC Underdrain*
 - Proposed Major Contour
 - Proposed Minor Contour
 - Existing Major Contour
 - Existing Minor Contour
- *Subject to approval of the State of Colorado dewatering permit.

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No.	Rev. Date:	Approved By: TRH	Designed By: GLG
1			
2			
3			
4			
5			
6			

Coal Creek Crossing
Final Development Plan
 Superior, Colorado

Utility Plan

Proj. Name:
 Plan Set:
 Location:
 Sheet Name:

811
 Know what's below.
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Scale: 1 inch = 60 ft.

Sheet: 7

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COAL CREEK CROSSING

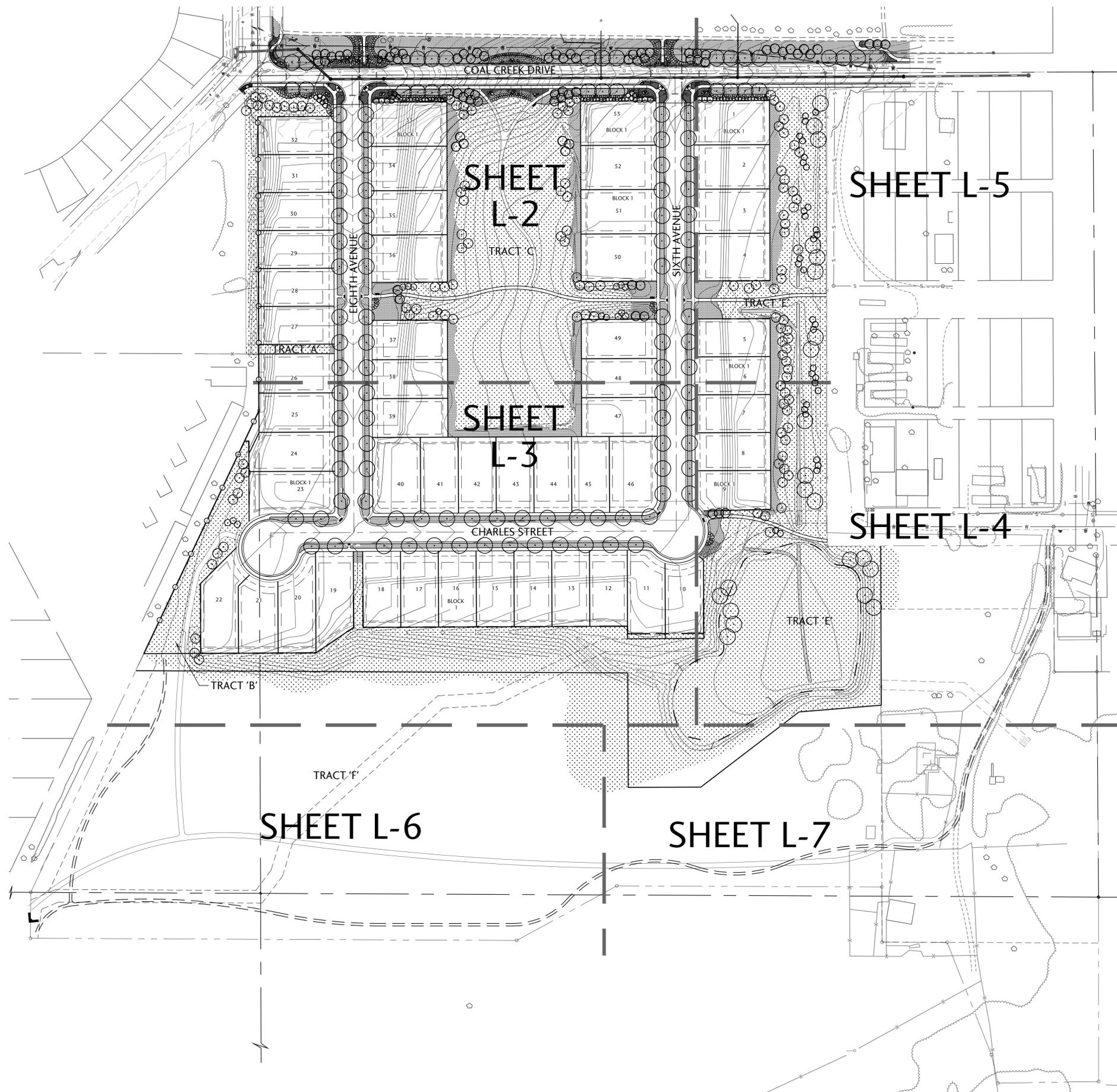
SUPERIOR, COLORADO
PREPARED FOR
REMINGTON HOMES

DATE: 01-18-2008
PROJECT #:
DRAWN BY: KML
CHECKED BY: CK/TD

REVISIONS:	
DATE	ISSUE
07-26-2012	• SUBMITTAL
04-12-2013	• MYLAR
12-12-2014	• CLIENT REV.
04-09-2015	• IRRIG-REV.
07-20-2015	• LA & IRR. REV.

OVERALL
LANDSCAPE
PLAN

L-1



LEGEND

- DECIDUOUS SHADE TREE
2 1/2" - 3" CAL.
(PERCENTAGES WILL MEET
TOWN REQUIREMENTS)
- EVERGREEN TREE
8' - 12' HT.
(PERCENTAGES WILL MEET
TOWN REQUIREMENTS)
- ORNAMENTAL TREE
6' - 8' HT. MULTI-STEM
- EVERGREEN SHRUBS
5 GAL
- DECIDUOUS SHRUBS
5 GAL
- GROUNDCOVER OR PERENNIALS
1 GAL
- TURF
- NATIVE SEED MIX (TEMPORARILY IRRIGATED)
- EXISTING TREES &
VEGETATION TO REMAIN
- ENTRY MONUMENT
- 6' HT. WOOD PRIVACY FENCE
- 3 RAIL FENCE
- ROLL TOP STEEL EDGER
- PROPERTY LINE & RIGHT OF WAY
- LOT LINE
- CURB AND GUTTER
- 5/8' CONCRETE SIDEWALK
- 5' CRUSHER FINES TRAIL
- FIRE HYDRANT
- 8' CRUSHER FINES TRAIL BY DEVELOPER
- LANDSCAPE BOULDERS
SEE DETAILS

0 40' 80'
SCALE: 1"=80'-0"



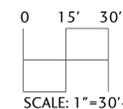
LEGEND

	DECIDUOUS SHADE TREE 2 1/2" - 3" GAL. (PERCENTAGES WILL MEET TOWN REQUIREMENTS)		EVERGREEN SHRUBS 5 GAL.		TURF
	EVERGREEN TREE 8" - 12" HT. (PERCENTAGES WILL MEET TOWN REQUIREMENTS)		DECIDUOUS SHRUBS 5 GAL.		NATIVE SEED MIX (TEMPORARILY IRRIGATED)
	ORNAMENTAL TREE 6" - 8" HT. MULTI-STEM		GROUNDCOVER OR PERENNIALS 1 GAL.		EXISTING TREES & VEGETATION TO REMAIN
			LANDSCAPE BOULDERS SEE DETAILS		

	ENTRY MONUMENT		6' HT. WOOD PRIVACY FENCE
	STREET LIGHT		3 RAIL FENCE
	5' CRUSHER FINES TRAIL		ROLL TOP STEEL EDGER
	FIRE HYDRANT		PROPERTY LINE & RIGHT OF WAY
	8' CRUSHER FINES TRAIL BY DEVELOPER		LOT LINE
			CURB AND GUTTER
			5/8" CONCRETE SIDEWALK

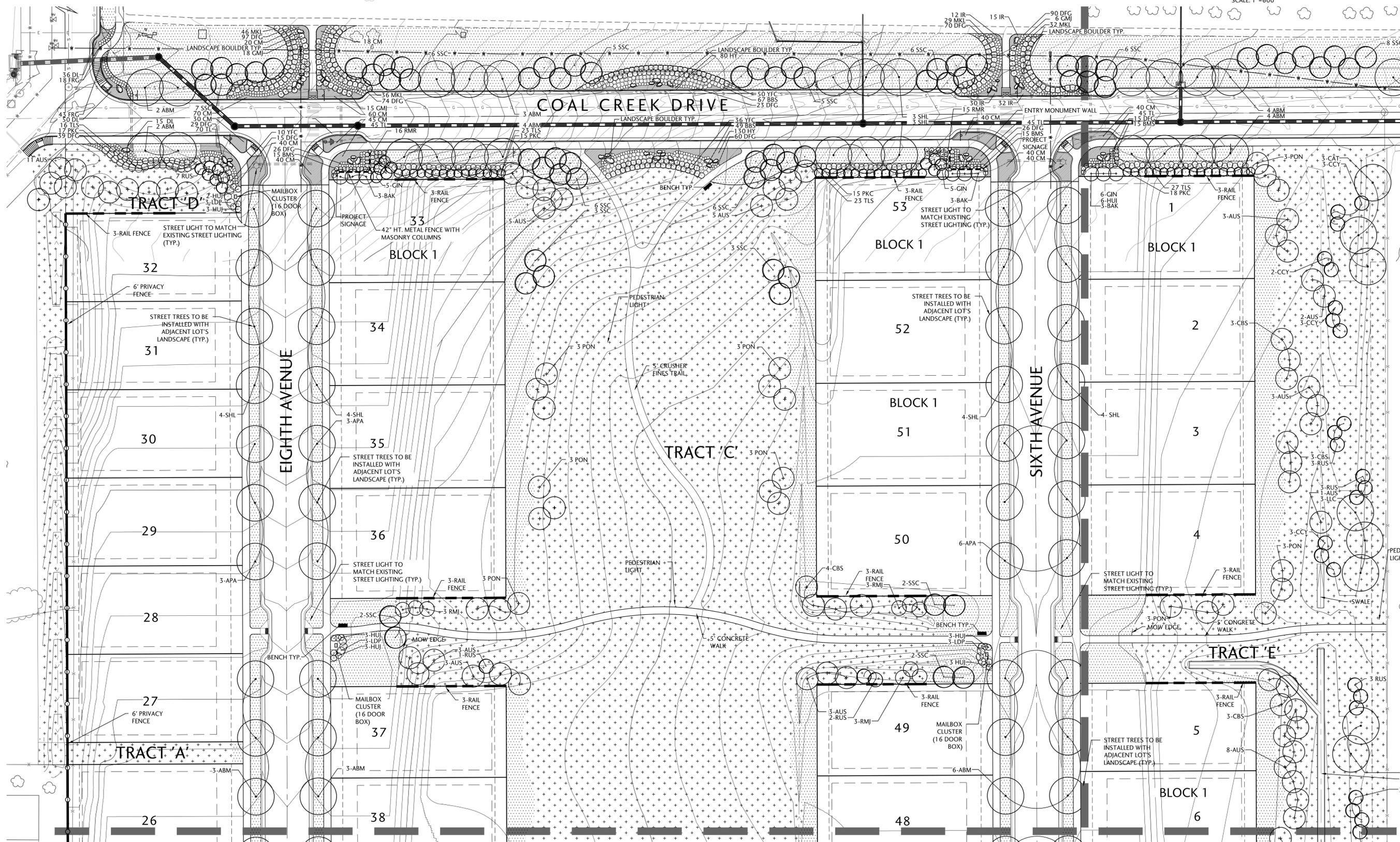
IRRIGATION NOTES:

1. ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE IRRIGATED WITH SUB-SURFACE DRIP IRRIGATION. ALL NATIVE SEED AREAS WILL BE NON-IRRIGATED/NOT PERMANENTLY IRRIGATED, BUT RATHER WILL BE TEMPORARILY IRRIGATED FOR ESTABLISHMENT. ALL PERMANENT IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM, UNLESS OTHERWISE NOTED ON THE PLANS.



KEY MAP

SCALE: 1"=600'



SEE SHEET L-3

SEE SHEET L-4



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COAL CREEK CROSSING

SUPERIOR, COLORADO
PREPARED FOR
REMINGTON HOMES

DATE: 01-18-2008
PROJECT #:
DRAWN BY: KML
CHECKED BY: CK/TD

REVISIONS:

DATE	ISSUE
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12-12-2014	CLIENT REV.
04-09-2015	IRRIG. REV.
07-20-2015	LA & IRR. REV.

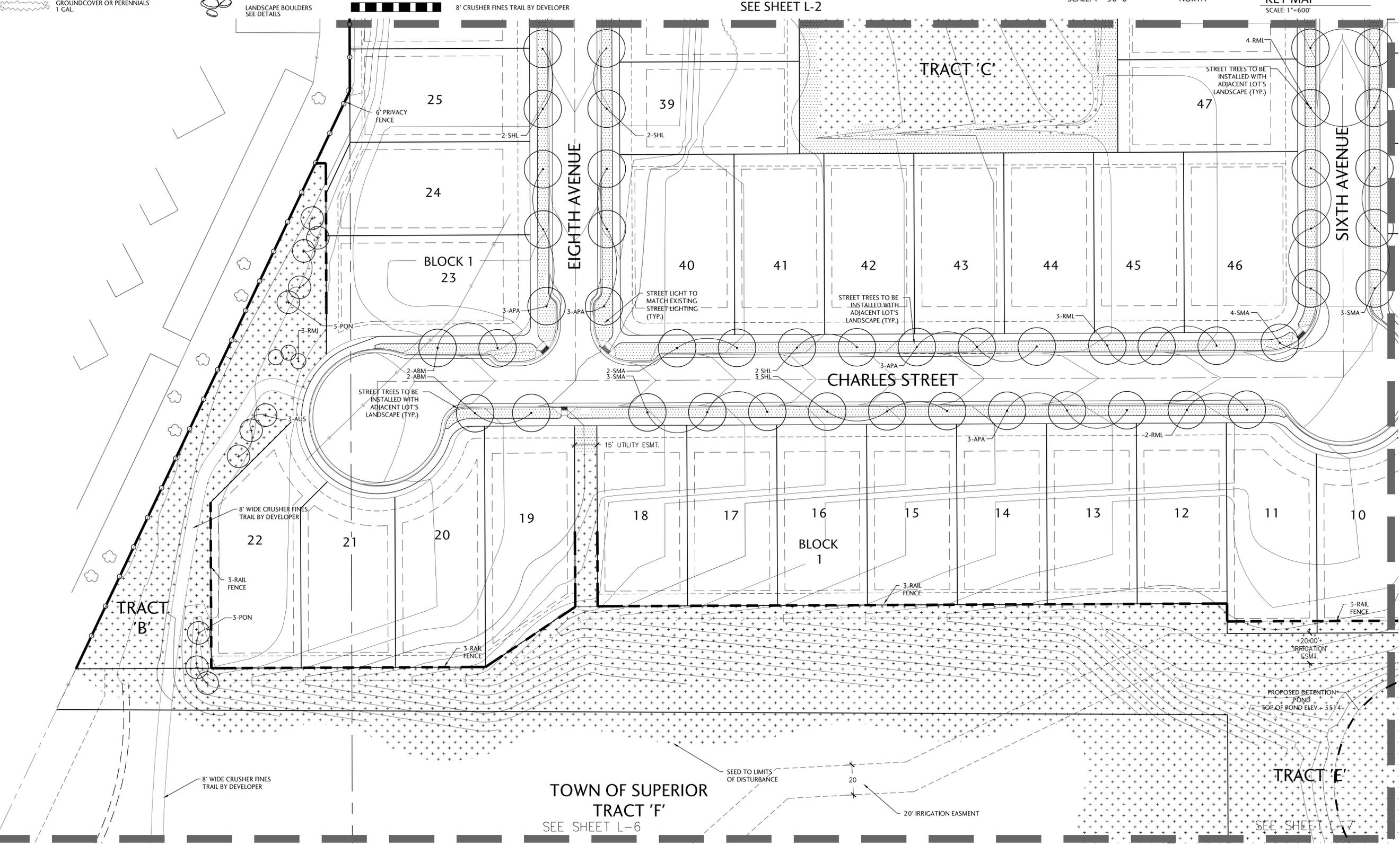
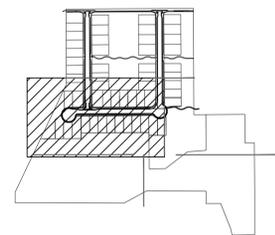
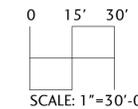
LANDSCAPE
PLAN

L-2

LEGEND

- DECIDUOUS SHADE TREE
2 1/2" - 3" CAL.
(PERCENTAGES WILL MEET TOWN REQUIREMENTS)
- EVERGREEN TREE
8' - 12' HT.
(PERCENTAGES WILL MEET TOWN REQUIREMENTS)
- ORNAMENTAL TREE
6' - 8' HT. MULTI-STEM
- EVERGREEN SHRUBS
5 GAL.
- DECIDUOUS SHRUBS
5 GAL.
- GROUNDCOVER OR PERENNIALS
1 GAL.
- TURF
- NATIVE SEED MIX
(TEMPORARILY IRRIGATED)
- EXISTING TREES & VEGETATION TO REMAIN
- ENTRY MONUMENT
- STREET LIGHT
- LANDSCAPE BOULDERS
SEE DETAILS
- 6' HT. WOOD PRIVACY FENCE
- 3 RAIL FENCE
- ROLL TOP STEEL EDGER
- PROPERTY LINE & RIGHT OF WAY
- LOT LINE
- CURB AND GUTTER
- 5/8' CONCRETE SIDEWALK
- 5' CRUSHER FINES TRAIL
- FIRE HYDRANT
- 8' CRUSHER FINES TRAIL BY DEVELOPER

IRRIGATION NOTES:
 1. ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE IRRIGATED WITH SUB-SURFACE DRIP IRRIGATION. ALL NATIVE SEED AREAS WILL BE NON-IRRIGATED/NOT PERMANENTLY IRRIGATED, BUT RATHER WILL BE TEMPORARILY IRRIGATED FOR ESTABLISHMENT. ALL PERMANENT IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM, UNLESS OTHERWISE NOTED ON THE PLANS.



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COAL CREEK CROSSING
 SUPERIOR, COLORADO
 PREPARED FOR
REMINGTON HOMES

DATE: 01-18-2008
 PROJECT #:
 DRAWN BY: KML
 CHECKED BY: CK/TD

REVISIONS:

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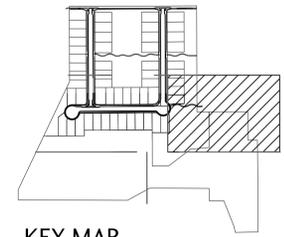
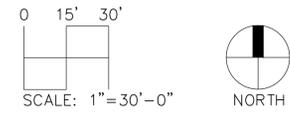
LANDSCAPE PLAN
L-3

LEGEND

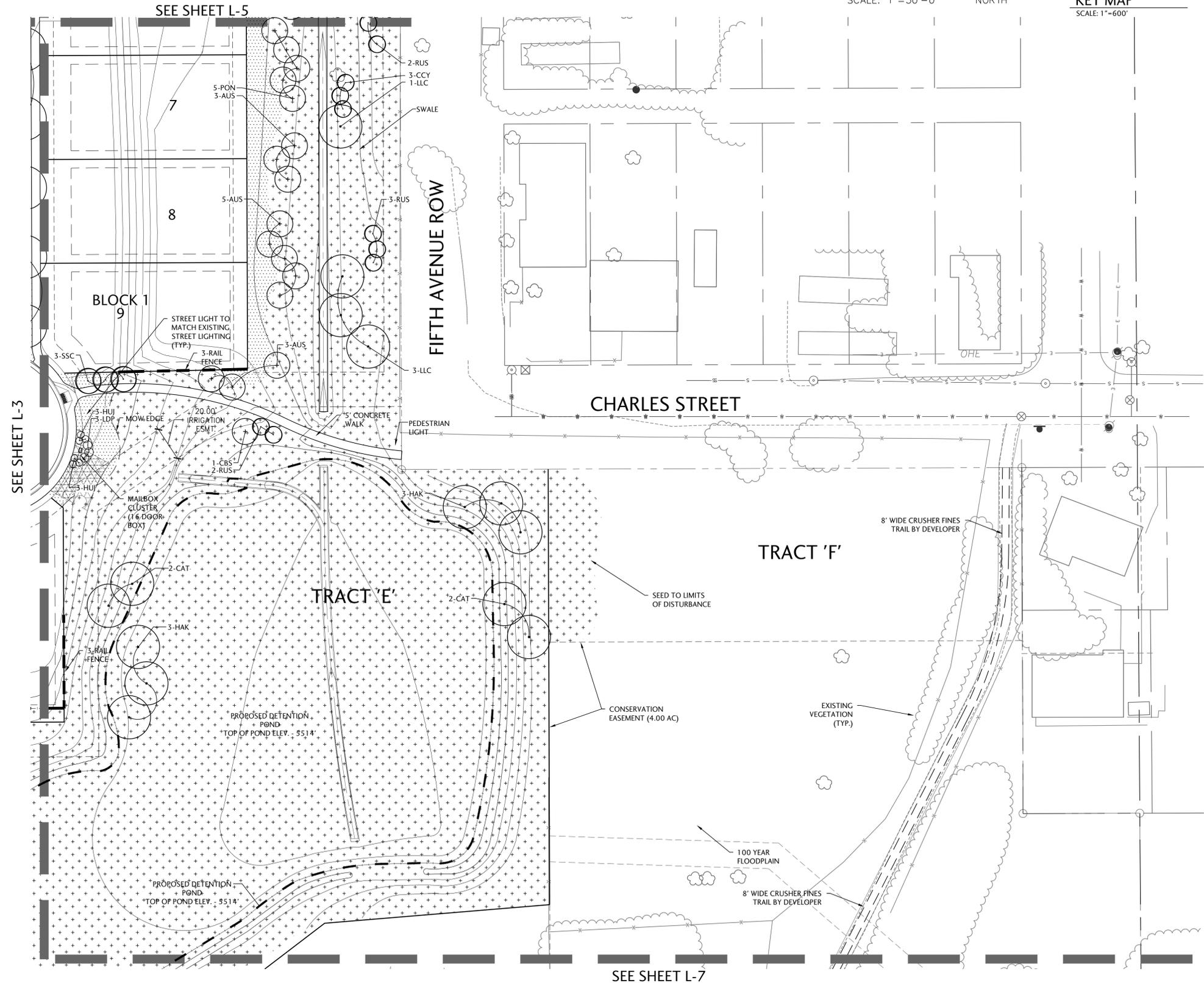
-  DECIDUOUS SHADE TREE
2 1/2" - 3" CAL.
(PERCENTAGES WILL MEET
TOWN REQUIREMENTS)
-  EVERGREEN TREE
8' - 12' HT.
(PERCENTAGES WILL MEET
TOWN REQUIREMENTS)
-  ORNAMENTAL TREE
6' - 8' HT. MULTI-STEM
-  EVERGREEN SHRUBS
5 GAL.
-  DECIDUOUS SHRUBS
5 GAL.
-  GROUNDCOVER OR PERENNIALS
1 GAL.
-  TURF
-  NATIVE SEED MIX
(TEMPORARILY IRRIGATED)
-  EXISTING TREES &
VEGETATION TO REMAIN
-  ENTRY MONUMENT
-  STREET LIGHT
-  LANDSCAPE BOULDERS
SEE DETAILS

-  6' HT. WOOD PRIVACY FENCE
-  3 RAIL FENCE
-  ROLL TOP STEEL EDGER
-  PROPERTY LINE & RIGHT OF WAY
-  LOT LINE
-  CURB AND GUTTER
-  5 1/8' CONCRETE SIDEWALK
-  5' CRUSHER FINES TRAIL
-  5' CRUSHER FINES TRAIL
-  FIRE HYDRANT
-  8' CRUSHER FINES TRAIL BY DEVELOPER

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KEY MAP
SCALE: 1"=60'

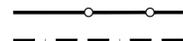
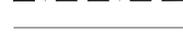
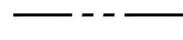
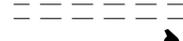



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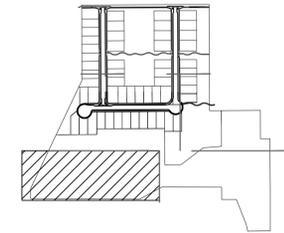
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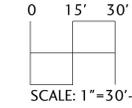
LEGEND

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2 1/2" - 3" CAL.
(PERCENTAGES WILL MEET TOWN REQUIREMENTS)
-  EVERGREEN TREE
8" - 12" HT.
(PERCENTAGES WILL MEET TOWN REQUIREMENTS)
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6" - 8" HT. MULTI-STEM
-  EVERGREEN SHRUBS
5 GAL.
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5 GAL.
-  GROUNDCOVER OR PERENNIALS
1 GAL.
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-  NATIVE SEED MIX
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-  EXISTING TREES & VEGETATION TO REMAIN
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SEE DETAILS
-  6' HT. WOOD PRIVACY FENCE
-  3 RAIL FENCE
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-  FIRE HYDRANT
-  8' CRUSHER FINES TRAIL BY DEVELOPER

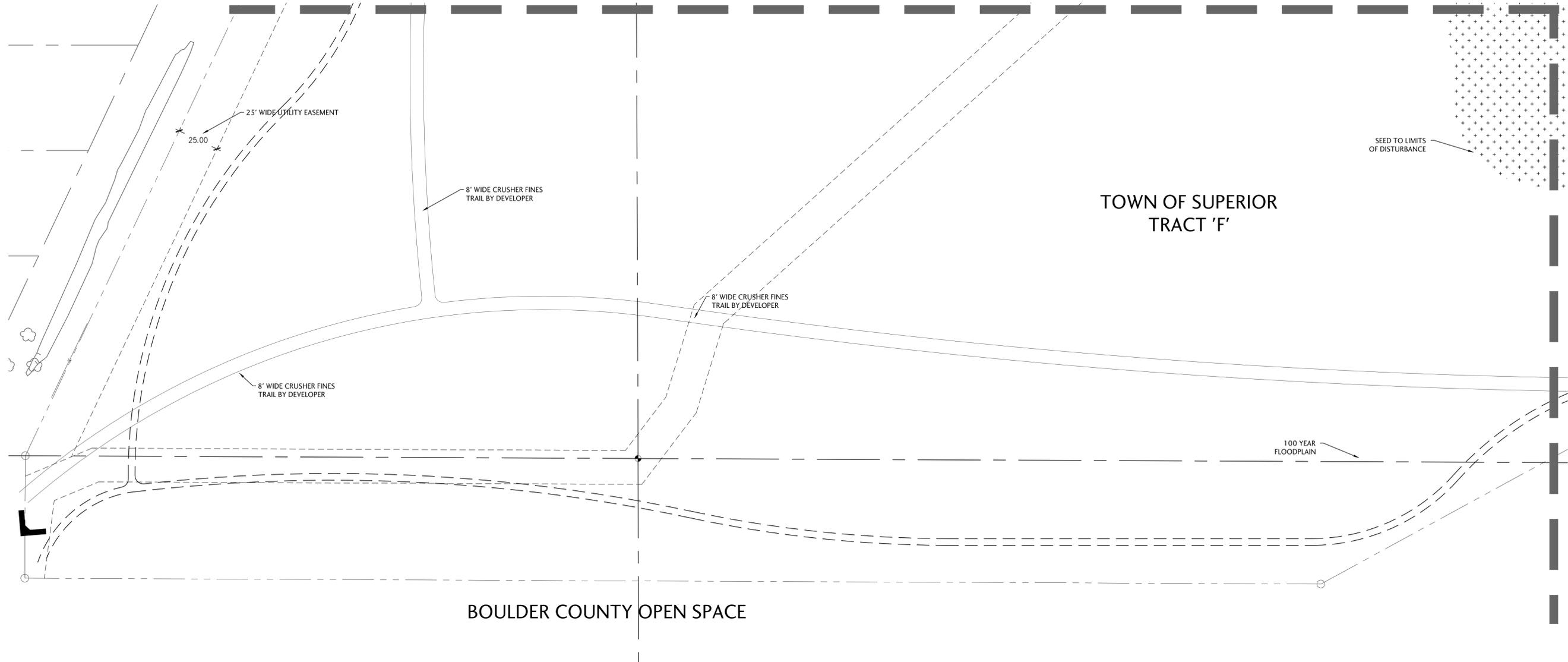
IRRIGATION NOTES:
 1. ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE IRRIGATED WITH SUB-SURFACE DRIP IRRIGATION. ALL NATIVE SEED AREAS WILL BE NON-IRRIGATED/NOT PERMANENTLY IRRIGATED, BUT RATHER WILL BE TEMPORARILY IRRIGATED FOR ESTABLISHMENT. ALL PERMANENT IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM, UNLESS OTHERWISE NOTED ON THE PLANS.



KEY MAP
SCALE: 1"=600'



SEE SHEET L-3



BOULDER COUNTY OPEN SPACE



Consilium Design

LAND PLANNING AND
LANDSCAPE ARCHITECTURE

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COAL CREEK CROSSING

SUPERIOR, COLORADO
PREPARED FOR
REMINGTON HOMES

DATE: 01-18-2008
PROJECT #:
DRAWN BY: KML
CHECKED BY: CK/TD

REVISIONS:

DATE	ISSUE
07-26-2012	• SUBMITTAL
04-12-2013	• MYLAR
12-12-2014	• CLIENT REV.
04-09-2015	• IRRIG-REV.
07-20-2015	• LA & IRR. REV.

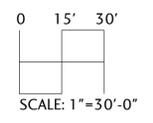
LANDSCAPE PLAN

L-6

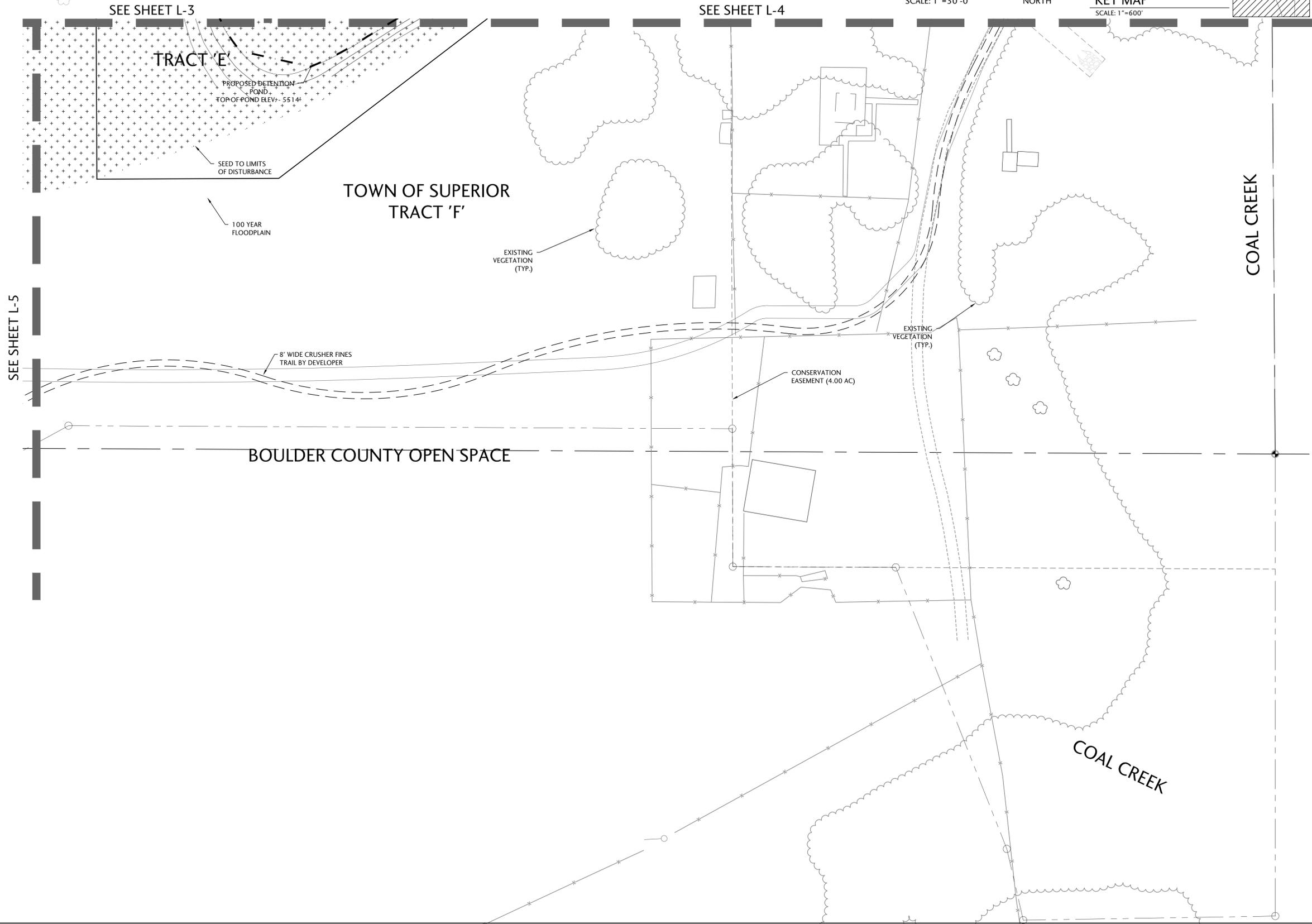
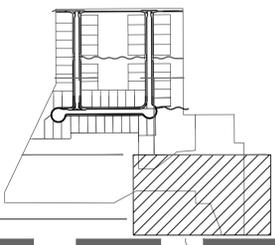
LEGEND

	DECIDUOUS SHADE TREE 2 1/2" - 3" CAL. (PERCENTAGES WILL MEET TOWN REQUIREMENTS)		TURF		6' HT. WOOD PRIVACY FENCE		5/8" CONCRETE SIDEWALK
	EVERGREEN TREE 8' - 12' HT. (PERCENTAGES WILL MEET TOWN REQUIREMENTS)		NATIVE SEED MIX (TEMPORARILY IRRIGATED)		3 RAIL FENCE		5" CRUSHER FINES TRAIL
	ORNAMENTAL TREE 6' - 8' HT. MULTI-STEM		EXISTING TREES & VEGETATION TO REMAIN		ROLL TOP STEEL EDGER		FIRE HYDRANT
	EVERGREEN SHRUBS 5 GAL.				PROPERTY LINE & RIGHT OF WAY		8" CRUSHER FINES TRAIL BY DEVELOPER
	DECIDUOUS SHRUBS 5 GAL.				LOT LINE		
	GROUNDCOVER OR PERENNIALS 1 GAL.				CURB AND GUTTER		
	ENTRY MONUMENT						
	STREET LIGHT						
	LANDSCAPE BOULDERS SEE DETAILS						

IRRIGATION NOTES:
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KEY MAP
SCALE: 1"=600'



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COAL CREEK CROSSING
 SUPERIOR, COLORADO
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**LANDSCAPE
 PLAN**

L-7

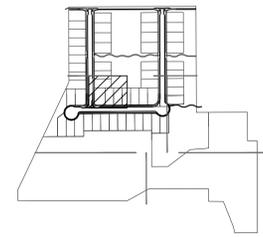


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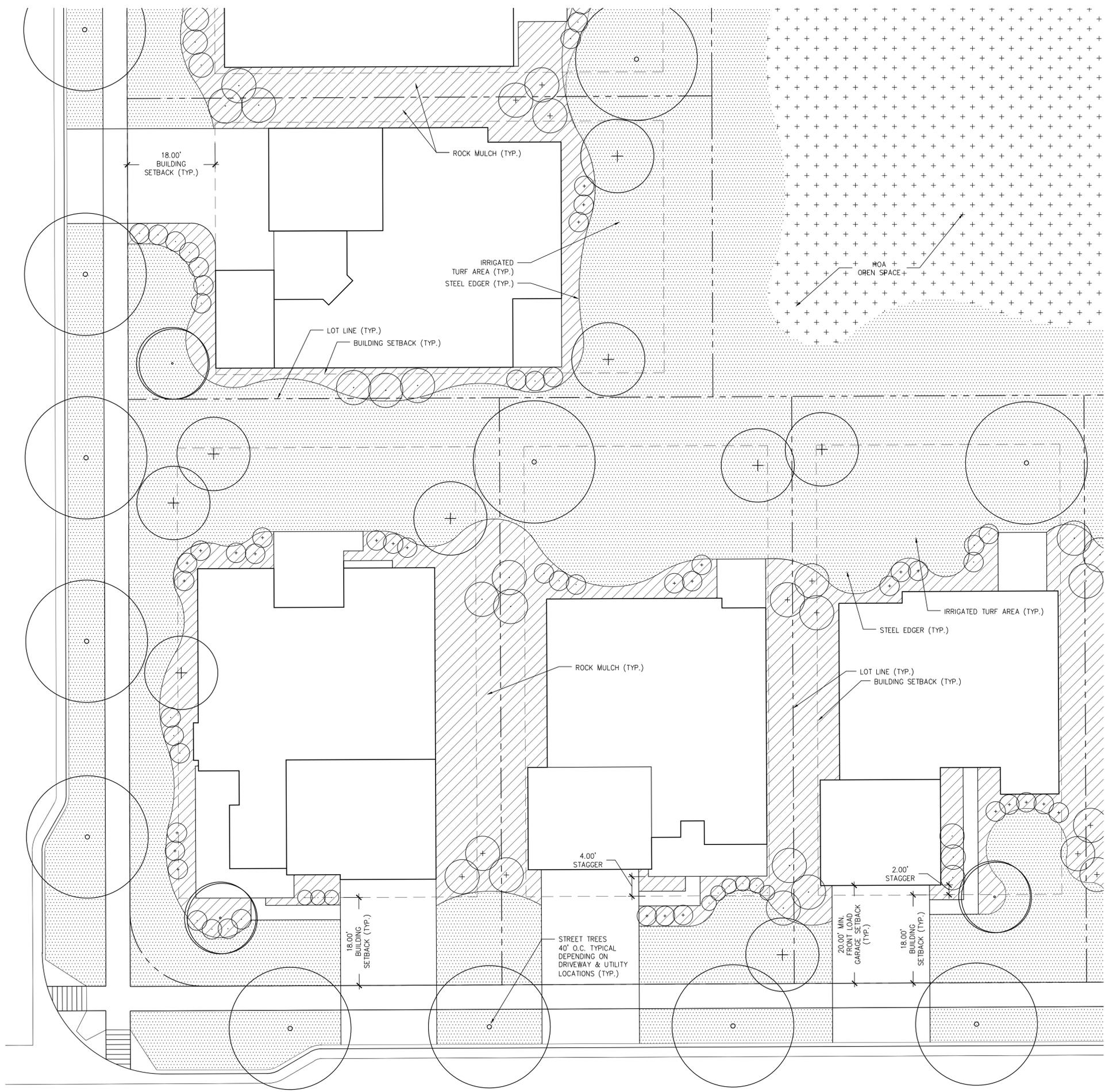
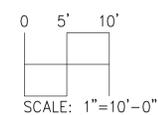
KEY MAP
SCALE: 1"=600'

LEGEND

- DECIDUOUS SHADE TREE
2 1/2' - 3' CAL.
(PERCENTAGES WILL MEET
TOWN REQUIREMENTS)
- EVERGREEN TREE
8' - 12' HT.
(PERCENTAGES WILL MEET
TOWN REQUIREMENTS)
- ORNAMENTAL TREE
6' - 8' HT. MULTI-STEM
- EVERGREEN SHRUBS
5 GAL.
- DECIDUOUS SHRUBS
5 GAL.
- TURF
- NATIVE SEED MIX
(TEMPORARILY IRRIGATED)
- RIVER ROCK MULCH
- ROLL TOP STEEL EDGER
- PROPERTY LINE & RIGHT OF WAY
- LOT LINE
- BUILDING SETBACK
- CURB AND GUTTER
- SIDEWALK

NOTES:

1. WALK AND DRIVEWAY LOCATIONS MAY VARY.
2. BUILDING FOOTPRINTS PROVIDED BY REMINGTON HOMES.
3. ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE IRRIGATED WITH SUB-SURFACE DRIP IRRIGATION. ALL NATIVE SEED AREAS WILL BE NON-IRRIGATED/NOT PERMANENTLY IRRIGATED, BUT RATHER WILL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHED. ALL PERMANENT IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM, UNLESS OTHERWISE NOTED ON THE PLANS.
4. ROCK MULCH WILL BE 1/2"-1" IN DIAMETER TAN RIVER ROCK APPROXIMATELY 3" IN DEPTH.



COAL CREEK CROSSING

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TYPICAL LOT
LANDSCAPE

L-8



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**PLANT LIST &
DESIGN
GUIDELINES**

L-9

PLANT SCHEDULE – STREETSCAPE

TOTAL QTY	CCC QTY	*NCC QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
DECIDUOUS TREES – STREET TREES							
35	26	9	ABM	AUTUMN BLAZE MAPLE	Acer freemanii 'Autumn Blaze'	2 1/2" CAL.	B & B
24	24	-	APA	AUTUMN PURPLE ASH	Fraxinus americana 'Autumn Purple'	2 1/2" CAL.	B & B
9	9	-	RML	REDMOND LINDEN	Tilia americana 'Redmond'	2 1/2" CAL.	B & B
34	28	6	SHL	SHADEMASTER HONEYLOCUST	Gleditsia tria. inermis 'Shademaster'	2 1/2" CAL.	B & B
12	12	-	SMA	SUMMIT ASH	Fraxinus pennsylvanica 'Summit'	2 1/2" CAL.	B & B
114	99	15	TOTAL				
EVERGREEN TREES							
12	12	-	BAK	BAKERI SPRUCE	Picea pungens 'Bakeri'	6' HT.	B & B
12	12	0	TOTAL				
ORNAMENTAL TREES							
10	10	-	GIN	AMUR MAPLE	Acer ginnala 'Flame'	6' TO 8' HT. CLUMP	B & B
68	27	41	SSC	SPRING SNOW CRABAPPLE	Malus 'Spring Snow'	6' TO 8' HT. CLUMP	B & B
78	37	41	TOTAL				
EVERGREEN SHRUBS							
81	42	39	GMJ	GREEN MOUND JUNIPER	Juniperus procumbens 'Green Mound'	5 GAL.	CONT.
23	23	-	HUJ	HUGHES JUNIPER	Juniperus horizontalis 'Hughes'	5 GAL.	CONT.
104	65	39	TOTAL				
DECIDUOUS SHRUBS							
12	12	-	LDP	LODENSE PRIVET	Ligustrum vulgare 'Lodense'	5 GAL.	CONT.
31	31	-	RMR	SCARLET MEIDLAND ROSE	Rosa 'Meidiland - Scarlet'	5 GAL.	CONT.
89	89	-	TLS	THREE LEAF SUMAC	Rhus trilobata	5 GAL.	CONT.
96	46	50	YFC	YELLOW FLOWERING CURRANT	Ribes aureum	5 GAL.	CONT.
65	65	-	PKC	PEKING COTONEASTER	Cotoneaster lucidus	5 GAL.	CONT.
143	-	143	MKL	MISS KIM LILAC	Syringa patula 'Miss Kim'	5 GAL.	CONT.
436	243	193	TOTAL				
ORNAMENTAL GRASSES							
116	49	67	BBS	WINDWALKER BIG BLUESTEM	Andropogon gerardii 'PWIN01S'	1 GAL.	CONT.
564	210	354	DFG	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	1 GAL.	CONT.
92	-	92	FRG	KARL FORESTER FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Forester'	1 GAL.	CONT.
772	259	513	TOTAL				
PERENNIALS							
101	15	86	DL	DAYLILY	Hemerocallis sp.	1 GAL.	CONT.
134	-	134	IR	WESTERN BLUE FLAG IRIS	Iris missouriensis	1 GAL.	CONT.
453	285	168	CM	BLUE WONDER CATMINT	Nepeta racemosa 'Blue Wonder'	1 GAL.	CONT.
205	205	-	TL	TORCH LILY	Kniphofia 'Stark's Early Hybrids'	1 GAL.	CONT.
210	130	80	HY	SONARAN SUNSET HYSSOP	Agastache cana 'Sinning'	1 GAL.	CONT.
1,103	635	468	TOTAL				

* CCC = PLANTS IN COAL CREEK CROSSING, SOUTH OF COAL CREEK DRIVE *NCC = PLANTS NORTH OF COAL CREEK DRIVE FOR THE TOWN OF SUPERIOR

PLANT SCHEDULE – OPEN SPACE (NATIVE AREAS)

QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
DECIDUOUS TREES					
7	CAT	CATALPA	Catalpa speciosa	2 1/2" CAL.	B & B
6	HAK	HACKBERRY	Celtis occidentalis	2 1/2" CAL.	B & B
9	LLC	LANCELEAF COTTONWOOD	Populus acuminata	2 1/2" CAL.	B & B
22	TOTAL				
EVERGREEN TREES					
47	AUS	AUSTRIAN PINE	Pinus nigra	6' HT.	B & B
11	CBS	COLORADO BLUE SPRUCE	Picea pungens glauca	6' HT.	B & B
12	RMJ	ROCKY MOUNTAIN JUNIPER	Juniperus scopulorum	6' HT.	B & B
37	PON	PONDEROSA PINE	Pinus ponderosa	6' HT.	B & B
107	TOTAL				
ORNAMENTAL TREES					
14	CCY	CHOKECHERRY	Prunus virginiana	6' TO 8' HT. CLUMP	B & B
22	RUS	RUSSIAN HAWTHORN	Crataegus ambigua	6' TO 8' HT. CLUMP	B & B
36	TOTAL				

LANDSCAPE DENSITIES

LANDSCAPE CATAGORIES	SQUARE FEET/ LINEAL FEET OF FRONTAGE	REQUIREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
OPEN SPACE DEVELOPED LANDSCAPE (TRACTS 'D', 'PARTS OF 'C' & 'E')	15,802 S.F.	1 TREE / 825 S.F. 1 SHRUB / 100 S.F.	20 TREES 158 SHRUBS	38 TREES 176 SHRUBS
DISTURBED OPEN SPACE NATURALIZED LANDSCAPE (TRACTS 'G', 'PARTS OF 'C' & 'E')	337,711 S.F.	1 TREE / 4,000 S.F. 1 SHRUB / 500 S.F.	85 TREES 675 SHRUBS	142 TREES 45 SHRUBS
STREET TREES COAL CREEK DRIVE	695 L.F.	1 TREE / 40 L.F.	17 TREES	19 TREES
STREET TREES 6TH AVENUE	585 L.F.	1 TREE / 40 L.F.	30 TREES (BOTH SIDES OF STREET)	30 TREES
STREET TREES 8TH AVENUE	603 L.F.	1 TREE / 40 L.F.	30 TREES (BOTH SIDES OF STREET)	30 TREES
STREET TREES CHARLES STREET	540 L.F.	1 TREE / 40 L.F.	27 TREES (BOTH SIDES OF STREET)	27 TREES

* 1 TREE EQUALS 14 SHRUBS WHEN SUBSTITUTING PLANT TO MEET THE REQUIREMENTS.

PLANT SCHEDULE – TYPICAL LOT LANDSCAPE

COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
DECIDUOUS TREES			
FAIRVIEW MAPLE	Acer platanoides 'Fairview'	2 1/2" CAL.	B & B
GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	2 1/2" CAL.	B & B
IMPERIAL HONEYLOCUST	Gleditsia tria. inermis 'Imperial'	2 1/2" CAL.	B & B
SIENNA GLEN MAPLE	Acer x freemanii 'Sienna'	2 1/2" CAL.	B & B
SWAMP WHITE OAK	Quercus bicolor	2 1/2" CAL.	B & B
EVERGREEN TREES			
AUSTRIAN PINE	Pinus nigra	6' HT.	B & B
BAKERI SPRUCE	Picea pungens 'Bakeri'	6' HT.	B & B
COLORADO BLUE SPRUCE	Picea pungens glauca	6' HT.	B & B
PONDEROSA PINE	Pinus ponderosa	6' HT.	B & B
ORNAMENTAL TREES			
AMUR MAPLE	Acer ginnala 'Flame'	6' TO 8' HT. CLUMP	B & B
AUTUMN BRILLIANCE SERVICEBERRY	Amlenachier x grandiflora 'Autumn Brill.'	6' TO 8' HT. CLUMP	B & B
CHANTICLEER PEAR	Pyrus calleryana 'Chanticleer'	2" CAL.	B & B
RADIANT CRABAPPLE	Malus 'Radiant'	2" CAL.	B & B
SPRING SNOW CRABAPPLE	Malus 'Spring Snow'	2" CAL.	B & B
EVERGREEN SHRUBS			
ARCADIA JUNIPER	Juniperus sabina 'Arcadia'	5 GAL.	CONT.
ARMSTRONG JUNIPER	Juniperus chinensis 'Armstrong'	5 GAL.	CONT.
SLOWMOUND MUGO PINE	Pinus mugo 'Slowmound'	5 GAL.	CONT.
MOUNTAIN MAHOGANY	Cercocarpus ledifolius	5 GAL.	CONT.
COMPACT OREGON GRAPE HOLLY	Mahonia aquifolium 'Compacta'	5 GAL.	CONT.
DECIDUOUS SHRUBS			
HANCOCK CORALBERRY	Symphoricarpos chenault 'Hancock'	5 GAL.	CONT.
BARBERRY	Berberis thunbergii sp.	5 GAL.	CONT.
MISS KIM LILAC	Syringa patula 'Miss Kim'	5 GAL.	CONT.
SPIREA	Spiraea sp.	5 GAL.	CONT.
RABBITBRUSH	Chrysothamnus sp.	5 GAL.	CONT.
RUSSIAN SAGE	Perovskia artiplicifolia	5 GAL.	CONT.
ROCK COTONEASTER	Cotoneaster horizontalis	5 GAL.	CONT.
MOHICAN VIBURNUM	Viburnum lantana 'Mohican'	5 GAL.	CONT.
STAGHORN SUMAC	Rhus typhina	5 GAL.	CONT.
BURKWOOD VIBURNUM	Viburnum burkwoodi	5 GAL.	CONT.
DWARF BURNING BUSH	Euonymus alatus 'Compacta'	5 GAL.	CONT.
WESTERN SAND CHERRY	Prunus besseyi	5 GAL.	CONT.
POTENTILLA	Potentilla fruticosa sp.	5 GAL.	CONT.
PERENNIALS & CLUMP GRASSES			
COREOPSIS	COREOPSIS SP.	1 GAL.	CONT.
SUNSET HYSSOP	AGASTACHE RUPESTRIS	1 GAL.	CONT.
PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 GAL.	CONT.
MAY NIGHT SALVIA	SALVIA SYLVESTRIS 'mainacht'	1 GAL.	CONT.
BLANKET FLOWER	GAILLARDIA SP.	1 GAL.	CONT.
BLACK EYED SUSAN	RUDBECKIA SP.	1 GAL.	CONT.
LAVENDER COTTON	SANTOLINA SP.	1 GAL.	CONT.
ENGLISH LAVENDER	LAVANDULA ANGUSTIFOLIA 'munstead'	1 GAL.	CONT.
PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'purpureascens'	1 GAL.	CONT.
MAIDEN GRASS	MISCANTHUS SINENSIS 'gracillimus'	1 GAL.	CONT.
BLUE FESCUE	FESTUCA GLAUCA 'elijah blue'	1 GAL.	CONT.
HARDY FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'hameln'	1 GAL.	CONT.

NON-IRRIGATED/NOT PERMANENTLY IRRIGATED

NATIVE SEED MIX:	SCIENTIFIC NAME	COMMON NAME	28%	6.2 lbs
Agropyron smithii	Var. Arriba	Western Wheatgrass		
			28%	62 lbs
Andropogon gerardii	Var.Pawnee	Big Bluestem		
			10%	2.2 lbs
Bouteloua curtipendiila	Var. El Reno	Side-Oats 'c--rama		
			6%	1.2 lbs
Bouteloua gracilis	Var.Lovington	Blue Orama		
			10%	2.2 lbs
Panicum virgatum	Var .Pathfinder	Switchgrass		
			10%	2.2 lbs
Sorghastrum nutans	Var.Cheyenne	Indiangrass		
			8%	1.8 lbs
Schizachyrium scoparius	Var.Cimaron	Little Bluestem		
			100%	22 lbs pls/ac
Total				

LANDSCAPE DESIGN GUIDELINES

STANDARD STREETSCAPE FEATURES

STREET TREES

STREET TREES SHALL BE CENTERED WITHIN A TREE LAWN WITHIN THE PUBLIC ROW AND SPACED APPROXIMATELY 40 FT. ON CENTER WHERE POSSIBLE. LOCATION WILL BE ADJUSTED AS NECESSARY FOR STREET LIGHTS, DRIVEWAYS, FIRE HYDRANTS AND OTHER APPURTENANCES. STREET TREES WILL BE INSTALLED WITH ADJACENT HOME'S LANDSCAPE.

STREET LIGHTING

STREET AND PEDESTRIAN LIGHTING LOCATIONS AND FIXTURE SELECTIONS WILL BE AS SHOWN ON LANDSCAPE PLANS AND PUBLIC ROW IMPROVEMENT PLANS.

WALLS, COLUMNS AND FENCING

MASONRY COLUMNS AND FENCING ARE AS SHOWN ON THE LANDSCAPE PLANS. ENTRY MONUMENTS ARE PLANNED AT THE INTERSECTION OF COAL CREEK DRIVE AND SIXTH AVENUE AND COAL CREEK DRIVE AND EIGHTH AVENUE. ORNAMENTAL IRON ACCENT FENCING IS PLANNED IN ASSOCIATION WITH THE ENTRY MONUMENTS.

A TWO RAIL OPEN SPACE FENCE IS PLANNED ALONG THE BACKS OF LOTS THAT ARE ADJACENT TO TRACT 'F' OPEN SPACE.

A 6' PRIVACY FENCE IS PLANNED ALONG THE WESTERN PROPERTY LINE AT THE REAR OF HOMES ADJACENT TO EXISTING COMMERCIAL AND RESIDENTIAL USES TO THE WEST.

SIGNAGE

A MAIN NEIGHBORHOOD SIGN IS PLANNED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF COAL CREEK DRIVE AND SIXTH AVE. AND THE SOUTHEAST CORNER OF THE INTERSECTION OF COAL CREEK DRIVE AND EIGHTH, ASSOCIATED WITH THE ENTRY MONUMENTS AND PEDESTRIAN LIGHTING. THE SIGN IS A HANGING PLACARD DESIGN, MOUNTED ON THE PEDESTRIAN LIGHT STANDARD AS SHOWN ON THE DETAIL ELEVATIONS. FOCUSED ACCENT LIGHTING WILL HIGHLIGHT THE SIGNAGE.

COMMON LANDSCAPE AREAS

LANDSCAPE OPEN SPACE AT FIFTH AVE. AND EIGHTH AVE.

LANDSCAPE BUFFER PLANTINGS ARE PLANNED WITHIN THE OPEN SPACE WEST OF FIFTH AVE. AND WITHIN THE COMMON AREA OPEN SPACE AND FINISHED LOTS. GRADIENTS SHALL NOT EXCEED 4:1. AND WILL BE AT 6:1 OR LESS WHERE FEASIBLE. LANDSCAPE TREATMENTS AT BOTH AREAS WILL BE A COMBINATION OF FINISHED STREETSCAPE AND NATURALIZED LANDSCAPE TREATMENTS.

WATER QUALITY AND STORM WATER DETENTION AREAS

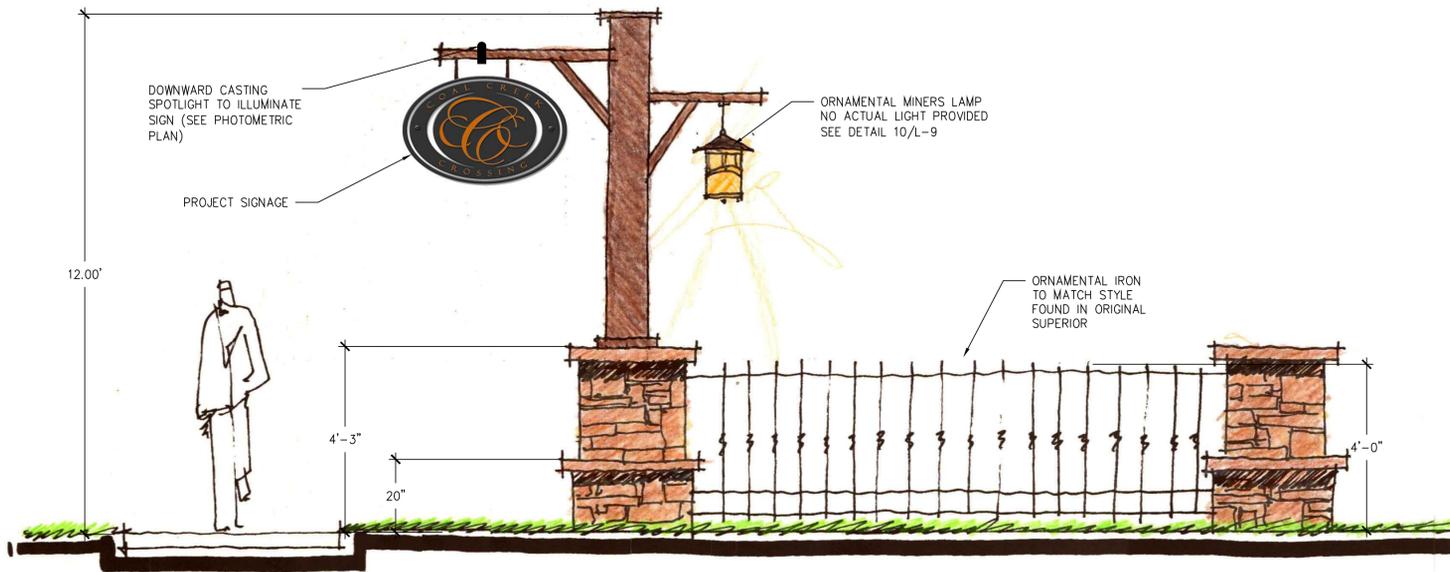
GRADIENTS FOR WATER QUALITY AND DETENTION AREAS WILL NOT EXCEED 4:1 AND WILL BE AT 6:1 OR LESS WHERE FEASIBLE TO EFFECTIVELY TRANSITION GRADES INTO THE ADJACENT NATURALIZED OPEN SPACE AREAS. GRADIENTS OF LESS THAN 2% MAY BE UTILIZED TO ENCOURAGE GROWTH OF NATIVE AND NATURALIZED RIPARIAN VEGETATION. PERMANENT IRRIGATION IS NOT ANTICIPATED WITHIN THESE AREAS.

COAL CREEK OPEN SPACE

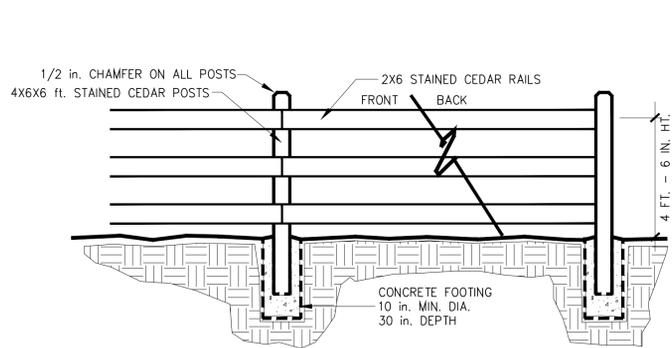
DISTURBANCE OF EXISTING LANDSCAPE AT THE OPEN SPACE ALONG THE SOUTHERN EDGE OF THE NEIGHBORHOOD NEAR COAL CREEK WILL BE MINIMIZED AND LIMITED TO LOT GRADING FOR ADJACENT HOME SITES, DETENTION AND WATER QUALITY BASINS, AND UTILITY INSTALLATIONS. RE-VEGETATION WILL BE WITH NON-IRRIGATED OR TEMPORARILY IRRIGATED NATIVE GRASSES AND PLANTING AS APPROPRIATE. LANDSCAPE AREAS AT LOTS ABUTTING THE OPEN SPACE WILL TRANSITION FROM FINISHED, ON-LOT LANDSCAPE TO BE NATURALIZED PLANTINGS.

ON-LOT LANDSCAPE

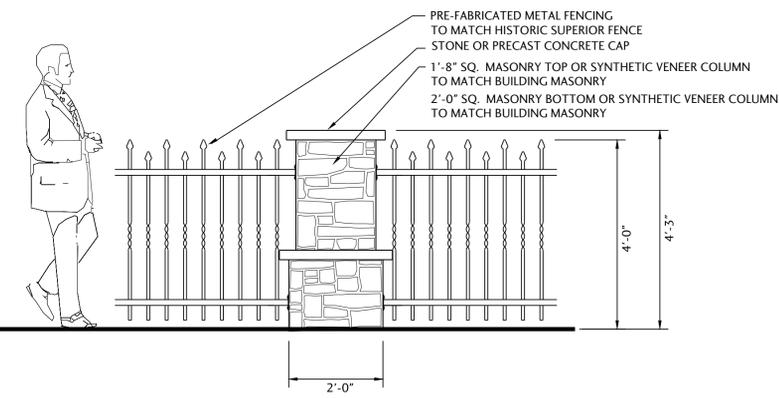
ALL LANDSCAPE WITHIN SINGLE-FAMILY HOME LOTS AS SHOWN ON THE LANDSCAPE TYPICAL WILL BE INSTALLED BY THE HOMEBUILDER AND MAINTAINED IN-COMMON BY THE HOA. THESE LANDSCAPE AREAS WILL BE BY IRRIGATED BY SUBSURFACE OR SPRAY IRRIGATION AS IS APPROPRIATE FOR SHRUB AND TURF AREAS. BUILDING SEPARATIONS OF LESS THAN 12' WILL NOT INCLUDE LANDSCAPE TREATMENTS THAT REQUIRE SPRAY IRRIGATION.



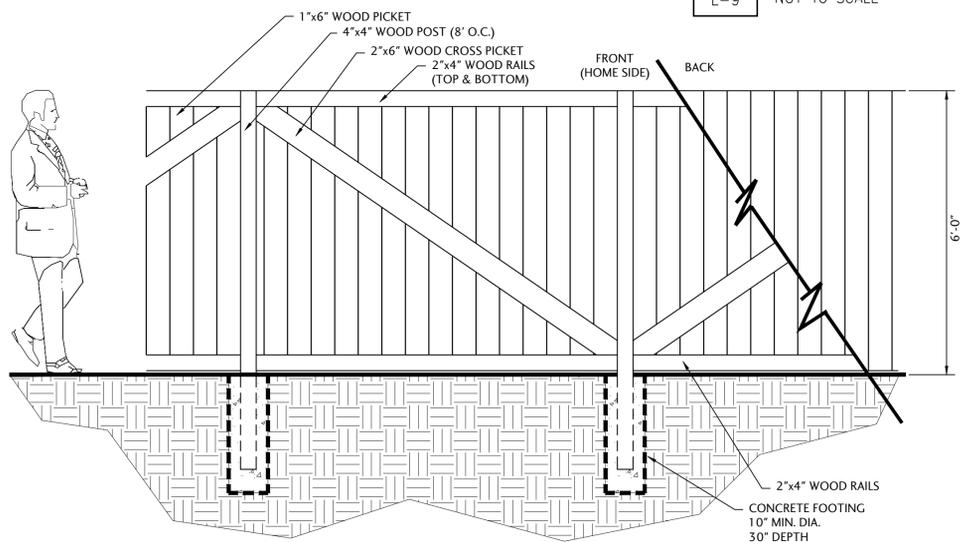
1 ENTRY MONUMENT CONCEPT/PROJECT SIGNAGE
L-9 SCALE: 1/2" = 1'-0"



3 3 RAIL FENCE - ALONG FIFTH AVE. R.O.W. AND LOTS ADJACENT TO OPEN SPACE
L-9 NOT TO SCALE



5 METAL FENCE WITH COLUMN ALONG COAL CREEK DRIVE
L-9 NOT TO SCALE



4 6' PRIVACY FENCE - WEST PROPERTY LINE
L-9 NOT TO SCALE

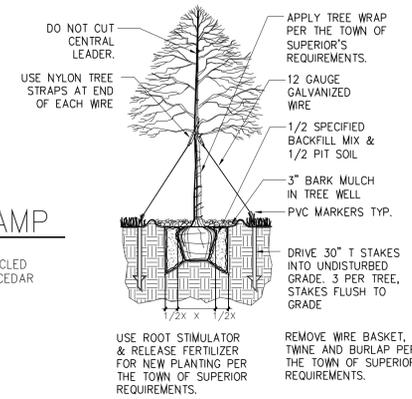
- TOWN OF SUPERIOR LANDSCAPE PLANTING NOTES:**
- REMOVE ANY SOIL OVER THE MAIN ROOT FLAIR. IF THERE IS MORE THAN 4" OF SOIL OVER THE MAIN ROOT FLAIR THE TREE WILL BE REJECTED. NO TREES WILL BE PLANTED WITHOUT AN INSPECTION FROM THE TOWN REPRESENTATIVE.
 - PLANT HEALTH CARE TREE SAVER (PHC) MUST BE USED WHEN PLANTING TREES AND SHRUBS. APPLY PHC AT 3 OZ. PER 1" ROOT BALL CALIPER. MIX PHC EVENLY IN THE UPPER 8" OF BACKFILL SOIL NEXT TO THE ROOT BALL. BACKFILL FIRMLY AROUND ROOTBALL MULCH AND WATER TO SOIL SATURATION. APPLY TO BOTH TREES AND SHRUBS.
 - THE BURLAP MUST BE COMPLETELY REMOVED FROM THE TOP PORTION OF THE ROOT BALL. SLICE/SCORE ALL EXISTING SURFACE AREA AROUND THE ROOT BALL. THE TOP 2/3 OF THE WIRE BASKET MUST BE COMPLETELY REMOVED FROM THE ROOTBALL.
 - TREES SHALL NOT BE PRUNED UNTIL ONE YEAR AFTER PLANTING (BROKEN OR WEAK BRANCHES MAY BE REMOVED). PRUNE TREES TO SELECT AND DEVELOP PERMANENT SCAFFOLD BRANCHES THAT ARE SMALLER IN DIAMETER THAN THE TRUNK OR 48" AND RADIAL ORIENTATION SO AS NOT TO OVERLAY ONE ANOTHER; TO ELIMINATE DISEASED OR DAMAGED GROWTH TO ELIMINATE NARROW V-SHAPED BRANCH FORKS THAT LACK STRENGTH TO REDUCE TOPPLING AND WIND DAMAGE BY THINNING OUT CROWNS; TO MAINTAIN GROWTH WITHIN SPACE LIMITATIONS; TO MAINTAIN A NATURAL APPEARANCE; TO BALANCE GROWTH WITH ROOTS. UNDER NO CIRCUMSTANCES WILL STRIPPING OF LOWER BRANCHES ("RAISING UP") OF YOUNG TREES WILL BE PERMITTED. LOWER BRANCHES SHALL BE RETAINED IN A "TIPPED BACK" OR PINCHED CONDITION WITH AS MUCH FOLIAGE AS POSSIBLE TO PROMOTE CALIPER TRUNK GROWTH (TAPERED TRUNK). LOWER BRANCHES CAN BE CUT FLUSH WITH THE TRUNK ONLY AFTER THE TREE IS ABLE TO STAND ERECT WITHOUT STAKING OR OTHER SUPPORT.
 - CONIFEROUS TREES SHALL BE THINNED OUT AND SHAPED WHEN NECESSARY TO PREVENT WIND AND STORM DAMAGE. LOWER BRANCHES OR "LIMBING UP" EVERGREEN TREES IS DISCOURAGED AS THIS PRACTICE MAKES EVERGREEN TREES MORE SUSCEPTIBLE TO WIND DAMAGE.
 - THE PRIMARY PRUNING OF DECIDUOUS TREES SHALL BE DONE DURING THE DORMANT SEASON. DAMAGED TREES OR THOSE THAT CONSTITUTE HEALTH AND SAFETY HAZARDS SHALL BE PRUNED AT ANY TIME OF THE YEAR AS REQUIRED.
 - ALL TREE PRUNING MUST BE APPROVED BY THE TOWN'S REPRESENTATIVE PRIOR TO PRUNING.
 - WRAP THE TRUNKS OF ALL DECIDUOUS TREES UP TO 4" CALIPER TO PREVENT SUN SCALD AND DIRECTED BY TOWN'S REPRESENTATIVE, OR AS REQUIRED BY WEATHER (WINTER), LOCATION OF TREE, OR THE OTHER ENVIRONMENTAL FACTORS. WRAP FROM THE GROUND TO THE FIRST MAJOR BRANCH. SECURE BY STAPLING OR USING JUTE. DO NOT USE ADHESIVE TAPE.
 - WRAP TREES BETWEEN NOVEMBER 15 AND APRIL 15. REMOVE WRAP DURING THE GROWING SEASON, FROM APRIL 15 TO NOVEMBER 15. USE COMMERCIALY AVAILABLE TREE WRAP. PRE-APPROVED BY THE TOWN'S REPRESENTATIVE.



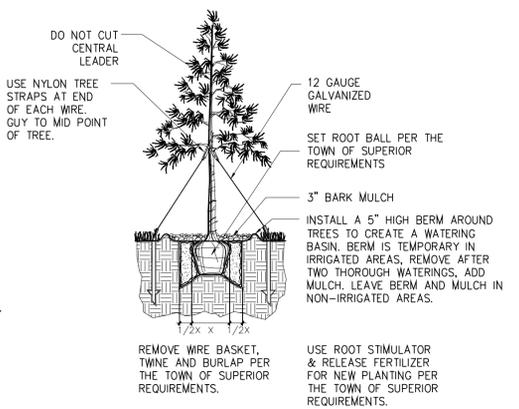
10 REPLICA ORNAMENTAL MINERS LAMP
L-9 NOT TO SCALE



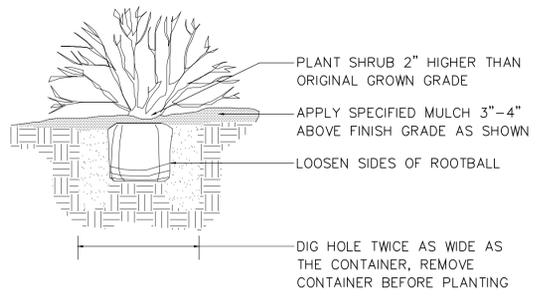
9 JAYHAWK 6' RECYCLED BENCH
L-9 NOT TO SCALE



6 DECIDUOUS TREE PLANTING
L-9 NOT TO SCALE

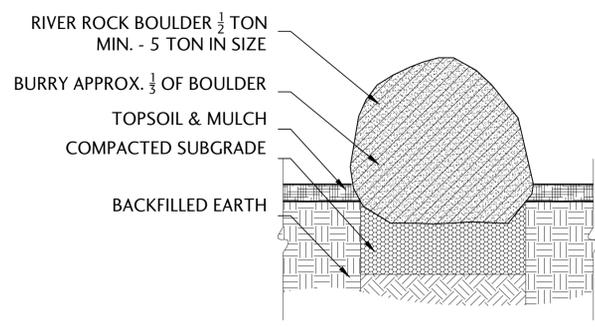


7 EVERGREEN TREE PLANTING
L-9 NOT TO SCALE



- PLANTING NOTES:**
- BACKFILL AND WATER-IN THOROUGHLY.
 - BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
 - PRUNE DAMAGED OR DEAD PORTIONS PRIOR TO PLANTING.

8 SHRUB PLANTING
L-9 NOT TO SCALE



9 LANDSCAPE/RIVER ROCK BOULDER
L-9 NOT TO SCALE



Consilium Design
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LANDSCAPE ARCHITECTURE
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COAL CREEK CROSSING

SUPERIOR, COLORADO
PREPARED FOR
REMINGTON HOMES

DATE: 01-18-2008
PROJECT #:
DRAWN BY: KML
CHECKED BY: CK/TD

REVISIONS:

DATE	ISSUE
07-26-2012	SUBMITTAL
04-12-2013	MYLAR
12-12-2014	CLIENT REV.
04-09-2015	IRRIG-REV.
07-20-2015	LA & IRR. REV.

**SIGNAGE, FENCE,
& LANDSCAPE
DETAILS**



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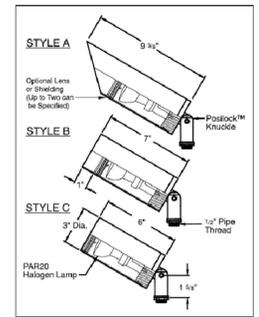
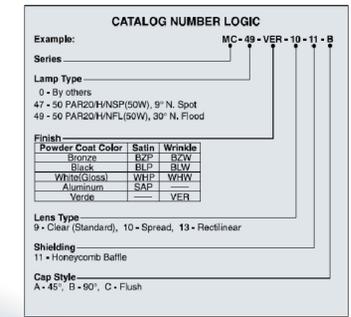
McKinley Series™

The McKinley Series™ utilizes the PAR20, 50 watt halogen lamp; no need for a low voltage transformer. The use of the McKinley Series with the 120V PAR20 halogen lamp makes an economical system for outdoor lighting and yet when specified with one or more of the many optical accessories available, it can provide very dramatic lighting effects. Like all B-K Lighting fixtures, the McKinley is machined from solid aluminum and is finished in one of eight polyester powder coat finishes. The exclusive B-K Lighting Posilock™ Knuckle is utilized to ensure its aiming integrity.



Features

- Tamper proof design.
- Completely sealed optical compartment.
- Clear, tempered glass lens, factory sealed.
- Machined aluminum construction with stainless steel hardware.
- Mounting knuckle allows vertical to horizontal aiming, provides integral wireway and has Posilock™ feature.
- Medium base lamp holder with 250° C, 19 ga., wire leads.
- Listed with PAR20 lamps to 50 watts.
- For use with 120V, no transformer required.



SPECIFICATIONS

HOUSING: DURABLE CORROSION RESISTANT CAST ALUMINUM CONSTRUCTION WITH REMOVABLE BALLAST TRAY FOR EASY BALLAST ACCESS.
REFLECTOR: HEAVY WALL SPUN ALUMINUM CONSTRUCTION, INSIDE OF REFLECTOR FINISHED WITH HIGH GLOSS WHITE ENAMEL.

OPTIC: PRECISE, COMPUTER DESIGNED SPECULAR SEGMENTED SIDE REFLECTORS WITH AN AUXILIARY HAMMER TONE PATTERNED TOP REFLECTOR COMBINES WITH CLEAR TEMPERED GLASS LENS TO PRODUCE A HIGHLY EFFICIENT, SHARP CUTOFF.

LAMP HOLDER: MEDIUM OR MUGUL BASE PORCELAIN.

LAMP: (BY OTHERS)

BALLAST: H.P.F./C.W.A. AUTOTRANSFORMER - 20" STARTING TEMPERATURE, ELECTRICAL COMPONENTS ARE MOUNTED TO A REMOVABLE BALLAST TRAY. BALLAST IS EQUIPPED WITH FACTORY INSTALLED QUICK DISCONNECT PLUG.

FINISH: POLYESTER POWDER COAT-STATE OF THE ART 20 PSI PRESSURE POWER WASH AT 140° TEMPERATURE INCORPORATES FOUR STEP IRON PHOSPHATE PROCESS TO CLEANSE AND PRETREAT THE METAL SURFACE FOR MAXIMUM PAINT ADHESION. ELECTROSTATICALLY APPLIED TEXTURED POLYESTER POWDER TOPCOAT IS BAKED AT 400° TEMPERATURE FOR MAXIMUM HARDNESS AND EXTERIOR DURABILITY.

U.S. ARCHITECTURAL LIGHTING
800 WEST AVENUE, D, PALMDALE, CA 93551
805.203.3900
FAX 805.203.2044
www.usalighting.com

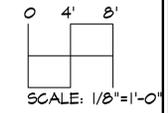
TYPE "SC"



RESIDENTIAL ENTRY LIGHT
MANUF: ILLUMINATIONS BY DESIGN
CAT#: 527978
LAMP: 13W GU24 CFL

TYPE "SA" & "SB"

LUMINAIRE SCHEDULE						
Symbol	Label	Catalog Number	Pole Height	Description	Lamp	Watts
⊙	SA	D552-HR11- TOPSMH-120-XPD- BLK-FLAT LENS POLE; RNTA-124- 125-PTXX-BLK BASE; 17000 SERIES	12'-0"	20" DIA. X 15" HT DIA D552 DOME SHAPED LUMINAIRE WITH FULL CUTOFF OPTICS; TYPE III VERTICAL LAMP SEGMENTED REFLECTOR; 11" DIA. CLEAR FLAT GLASS LENS;	TOW EDIT CLR PULSE START METAL HALIDE	85
⊙	SB	D552-VSQ- TOPSMH-120-XPD- BLK-FLAT LENS POLE; RNTA-124- 125-PTXX-BLK BASE; 17000 SERIES	10'-0"	20" DIA. X 15" HT DIA D552 DOME SHAPED LUMINAIRE WITH FULL CUTOFF OPTICS; TYPE III VERTICAL LAMP SEGMENTED REFLECTOR; 11" DIA. CLEAR FLAT GLASS LENS;	TOW EDIT CLR PULSE START METAL HALIDE	85
⊗	SC	MC-0-BZP-10-C	MOUNTED TO SIGNAGE	3" DIA X 6" HT CYLINDRICAL ALUMINUM LAMP HOUSING WITH DOWNGAST DISTRIBUTION	LED COMPERABLE TO 50W PAR 20 FLOOD LIGHT COLOR COMPERABLE TO METAL HALIDE	20



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5980 E. 114TH AVENUE, THORNTON, COLORADO 80233
303.325.3271
MV-C-NET

COAL CREEK CROSSING

SUPERIOR, COLORADO
PREPARED FOR
REMINGTON HOMES

DATE: 06-11-2012
PROJECT #: 2012-029-00
DRAWN BY: MTV
CHECKED BY: MTV

REVISIONS:
DATE • ISSUE
09-16-09 • SUBMITTAL
10-13-09 • 1st RE-SUBMITTAL

**PHOTOMETRIC
SCHEDULES AND
CUTSHEETS**



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COAL CREEK CROSSING

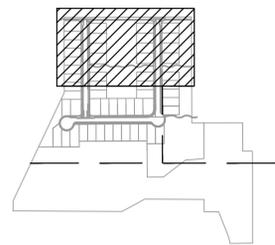
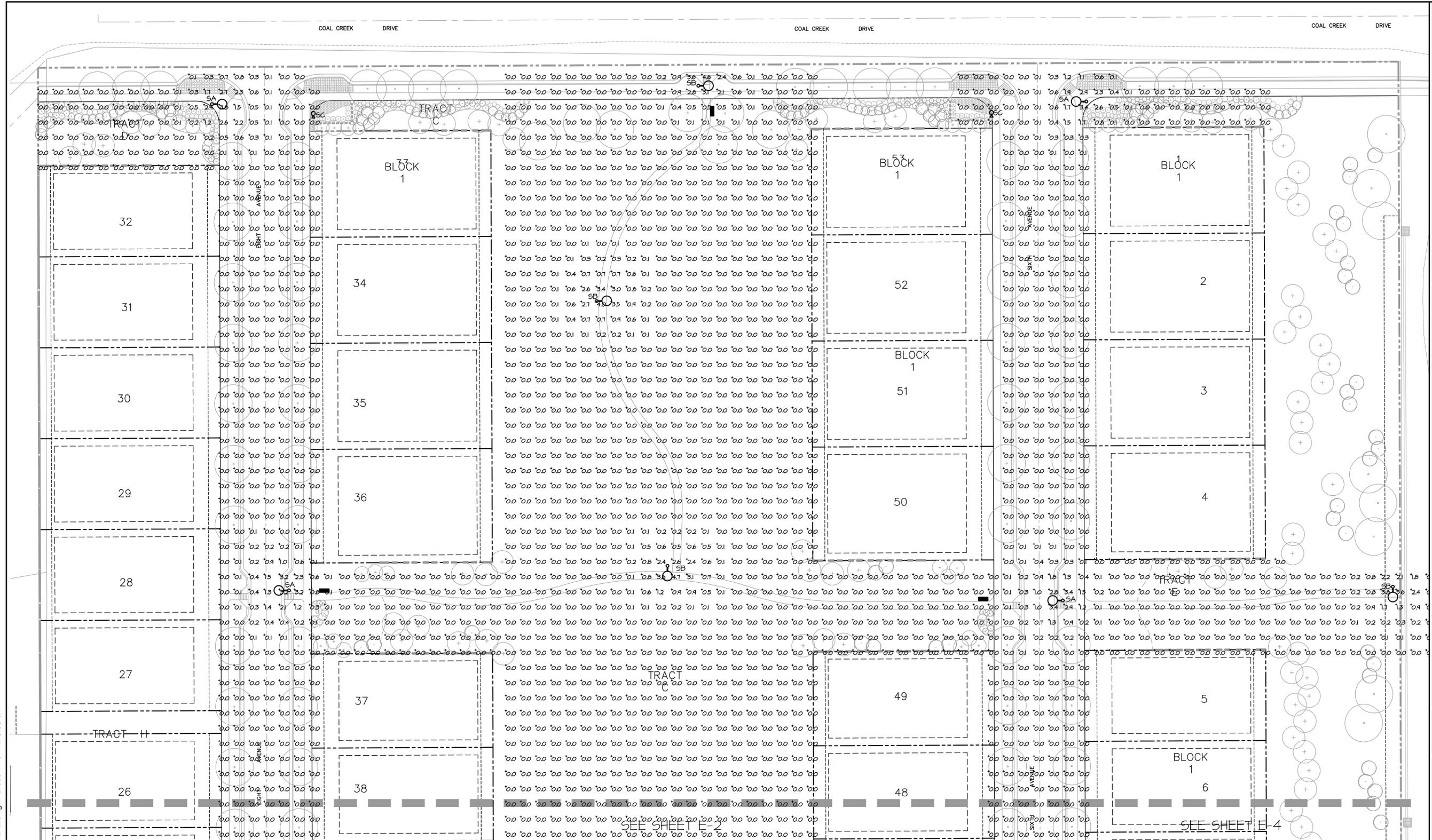
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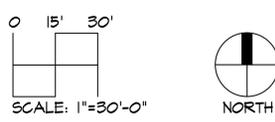
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09-16-09 • SUBMITTAL
10-13-09 • 1st RE-SUBMITTAL

PARTIAL
PHOTOMETRIC
PLAN

E-2



KEY MAP
SCALE: 1"=600'



SCALE: 1"=30'-0"

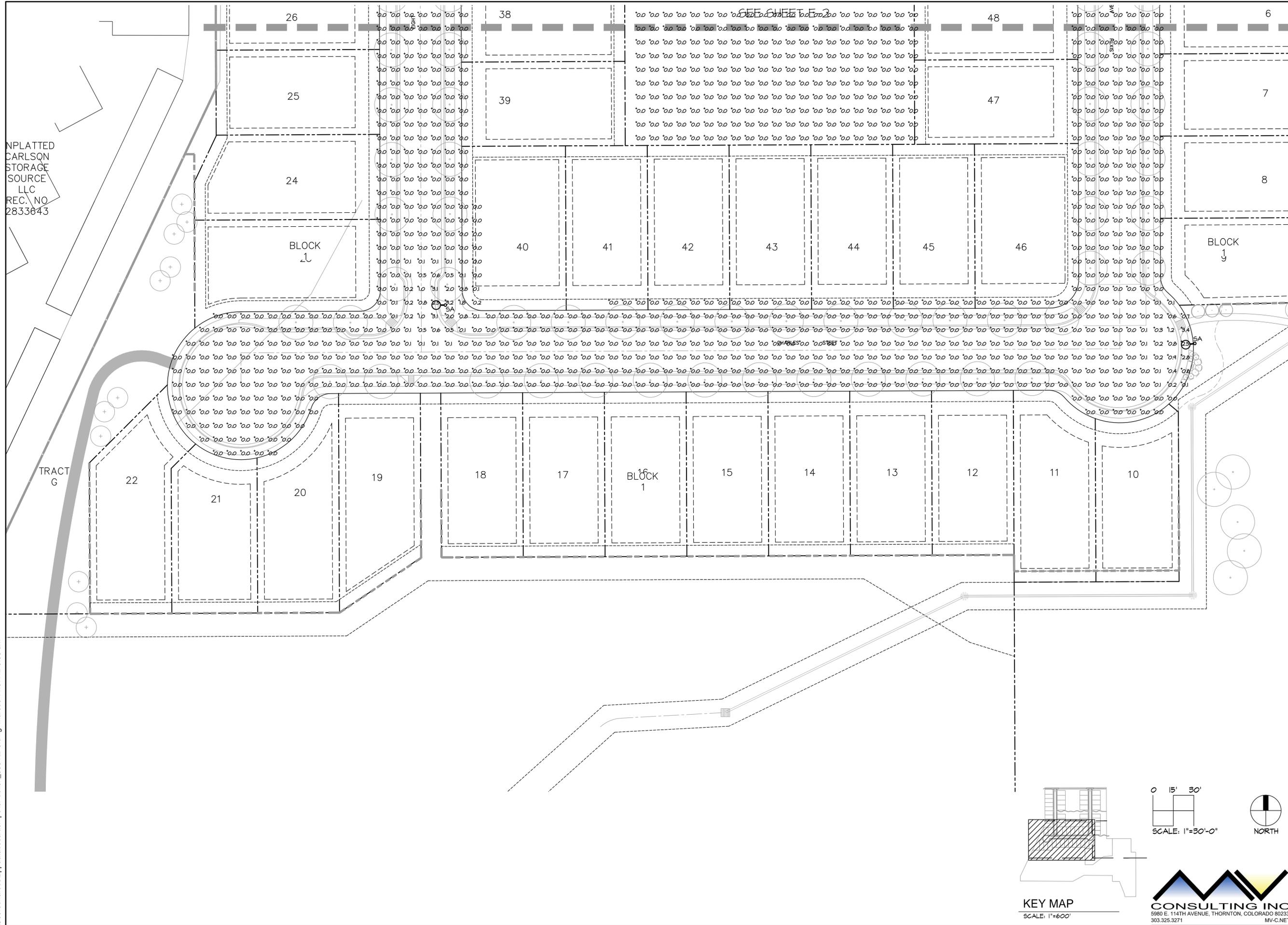


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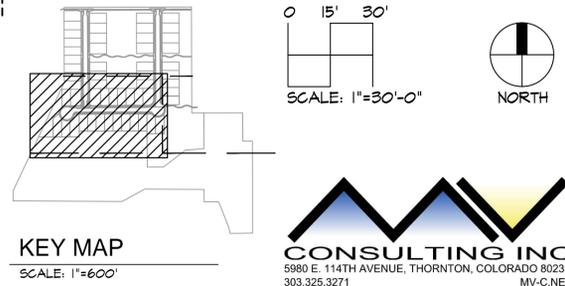
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KEY MAP
SCALE: 1"=30'-0"



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