

MISSING RIGHTS

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS REQUIRED IN SECTION 24-69-101 OF THE C.R.S. AND CHAPTER 18 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST CREEK CREEK DRIVE, SUPERIOR, COLORADO. THE TOWN AND OTHER CONDITIONS OF THESE REEDED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2015.

PROJECT INFO		APPLICANT
PROJECT DESCRIPTION: A THREE WING HOTEL, 5280 SQ. FT. WITH BUILT UP ROOF AND EIGHTS EXTERIOR WITH PORTIONS OF TRESTLE AND 12' PORTION (GENERAL) TO GREAT ROOMS WITH PORTION FOR PATIOONS ONLY & WETTING SPACE. MAXIMUM HEIGHT IS 32' TO TOP OF PARAPET (TOP OF ARCHITECTURAL FEATURED) READING HEIGHT WINGS - SEE ELEVATIONS.		GlacierHouse Hotels - Jordan Scott 7201 East Comstock Road, Suite #290 Scottsdale, AZ 85251 P: 480-243-1041 x104 F: 602-926-8960 EMAIL: jordan@gciacolorado.com
LEGAL DESCRIPTION: OF BLOCK 1, LOT 3A, SUPERIOR TOWN CENTER FILING NO. 18, REPLAT NO. 3, SITUATE IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M. TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO		DESIGN TEAM
BASIS OF BEARINGS: ACCORDING TO THE EAST LINE OF THE WEST HALF OF NORTHWEST QUARTER OF SECTION 19, T.19S., R.69W., AS BEARING NORTH 89°07'00" EAST BEING A TRUE BEARING OF THE COLORADO STATE PLAIN COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 2642.41 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THEREON.		ARCHITECT: PK ARCHITECTS - Scott Kultunen / Michael Porter 4510 S. McClintock Dr., Suite 206 Tempe, Arizona 85282 P: 602-283-1620 F: 602-283-1621 EMAIL: scott@pkarchitects.net / michael@pkarchitects.net
BENCHMARK DESCRIPTION: A 1" DIAMETER BRASS CAP EMBEDDED IN THE CONCRETE SIDEWALK ALONG THE EASTERN SIDE OF MCKEAN BOULEVARD IN THE SOUTH OF BERRY MILLER STREET WOULD INTERSECT MCKEAN BOULEVARD, NEAR THE BRIDGE CROSSING COAL CREEK, STATIONED NORTH AND SOUTH.		CIVIL ENGINEER: 3 ENGINEERING - Dan G. Mann 2929 E. Camelback Rd., Suite # 116 Phoenix, AZ - 85016 P: (602) 334-4387 F: (602) 490-3330 C: (602) 402-9017 EMAIL: dan@3engineering.com
VICINITY MAP		SURVEYOR: KING SURVEYORS 6505 East Canyon Drive Windsor, Colorado - 80550 P: (970) 688-5511 EMAIL: info@kingsurveyors.com
		LANDSCAPE ARCHITECT: OXLOW DESIGN COLLABORATIVE - David Gregory 1509 York Street, Suite 2J Denver, CO 80206 (720) 465-8168 EMAIL: david@oxlowdb.com
TOWN SUBMITTAL DATES		
08/03/2016 1ST FDP TOWN SUBMITTAL 08/12/2016 2ND FDP TOWN SUBMITTAL 08/30/2016 3RD FDP TOWN SUBMITTAL		09/08/2016 4TH FDP TOWN SUBMITTAL 10/21/2016 FINAL FDP TOWN SUBMITTAL
SHEET INDEX		
A1 OF 17 COVER SHEET A2 OF 17 SITE CONTEXT MAP A3 OF 17 SITE PLAN A4 OF 17 ARCHITECTURAL DETAILS A5 OF 17 OVERALL ORDNANCE PLAN A6 OF 17 OVERALL UTILITIES PLAN A7 OF 17 BUILDING ELEVATIONS (SOUTH & WEST) A8 OF 17 BUILDING ELEVATIONS (NORTH & EAST) A9 OF 17 POOL BUILDING & ARCHITECTURAL DETAILS A10 OF 17 ARCHITECTURAL DETAILS A11 OF 17 LANDSCAPE PLAN A12 OF 17 LANDSCAPE PLAN A13 OF 17 LANDSCAPING SCHEDULES A14 OF 17 IRRIGATION PLAN A15 OF 17 IRRIGATION PLAN A16 OF 17 LIGHTING PLAN A17 OF 17 LIGHTING CUT SHEETS AND DETAILS		

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR ELEMENT HOTEL by Westin Superior, Colorado



LEGAL DESCRIPTION:
 Of Block 1, Lot 3A, Superior Town Center Filing No. 18, Replat No. 3, Situate in The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado



SIGNATURE BLOCKS

CERTIFICATE OF OWNERSHIP | RIC SUPERIOR, LLC, a Delaware limited liability company
 By: Superior Town Center ASLI VHS Holdings, LLC, a Delaware limited liability company, its sole Member
 By: Avanti Strategic Land Investors VII, L.L.P., a Delaware limited liability limited partnership, its sole Member
 By: Avanti Properties Group II, L.L.P., a Delaware limited liability limited partnership, its Managing General Partner
 By: Avanti Management Corporation, a Florida corporation, its sole General Partner

I certify that Marvin Shapiro am the sole owner of the property and consent to this plan.

Executed this 31 day of October, 2016

Owners: _____ Mortgages or Lien Holders: _____
 STATE of Florida

County of Orange

The foregoing certificate of ownership was acknowledged before me this 31 day of October, 2016, by Marvin Shapiro

My commission expires: May 22, 2017 Janet R Morales

Notary Public

BOARD OF TRUSTEES CERTIFICATE:
 Approved by the Board of Trustees of the Town of Superior, State of Colorado. Witness my hand the corporate seal of the Town of Superior this 10th day of September, 2016.



SEAL: Phyllis L. Hardin Mayor
Clint Brown

PLANNING COMMISSION CERTIFICATE:
 Recommended for approval this 12th day of September, 2016 by the Town of Superior Planning Commission, Resolution No. PC11-16 Series 1016.

TOWN CLERK CERTIFICATE
 I hereby certify that this instrument was adopted by the board of trustees by (Resolution/Ordinance) No. R-57 Series 2016 on September, 12, 2016, and was filed in my office on the November 9, 2016, at 1:00 o'clock pm.

Witness my hand the corporate seal of the Town of Superior this 10th day of November, 2016

Phyllis L. Hardin
 Phyllis L. Hardin, Town Clerk

Memo of Record # 0356024 12/16

PROGRESS SET
NOT FOR
CONSTRUCTION

pk ARCHITECTS
 PK ARCHITECTS, PC
 4515 S. MCCLINTOCK DRIVE, SUITE 206
 TEMPE, ARIZONA 85282
 PHONE: (602) 963-1620
 FAX: (602) 963-1621

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR

 SUPERIOR, COLORADO

PROJECT NO: 16-302
 PRINT DATE: 8-24-2016
 DRAWN BY: MP
 CHECKED BY: SK

COVER SHEET

SHEET NUMBER
A1 of 17

FINAL DEVELOPMENT PLAN










VESTING RIGHTS:

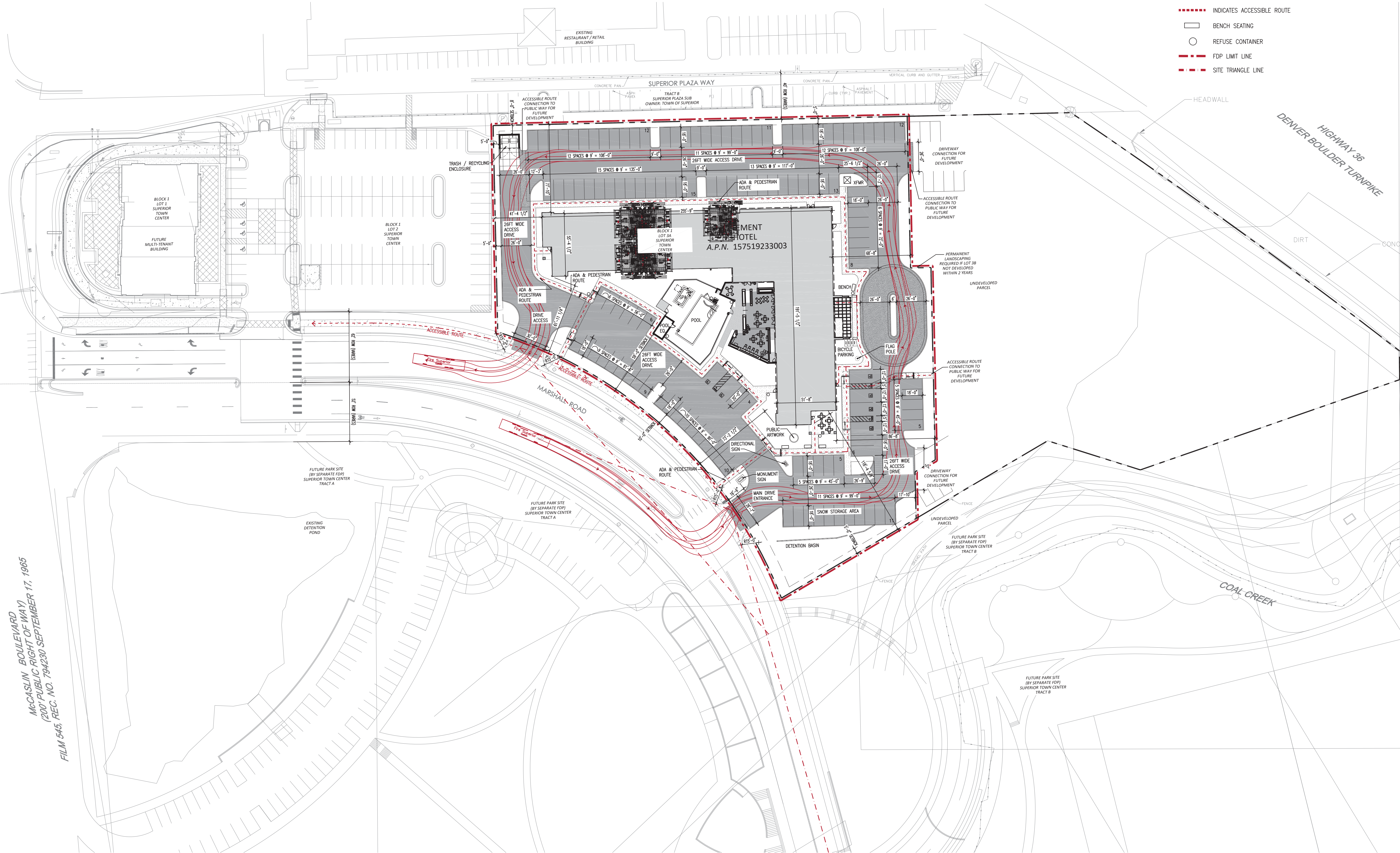
THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
ELEMENT HOTEL by Westin
Superior, Colorado**

LEGAL DESCRIPTION:
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado

SYMBOL LEGEND:

-  NEW BUILDING
-  NEW ASPHALTIC PARKING / DRIVE ACCESS
-  DECORATIVE STAMPED CONCRETE
-  CONCRETE
-  INDICATES ACCESSIBLE ROUTE
-  BENCH SEATING
-  REFUSE CONTAINER
-  FDP LIMIT LINE
-  SITE TRIANGLE LINE



McCASLIN BOULEVARD
 (200' PUBLIC RIGHT OF WAY)
 REC. NO. 794230 SEPTEMBER 17, 1965
 FILM 545

PROGRESS SET
 -NOT FOR
 CONSTRUCTION

pk
ARCHITECTS
© 2016

PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR

element
BY WESTIN

SUPERIOR, COLORADO

PROJECT NO: 16-302
PRINT DATE: 8-24-2016
DRAWN BY: MP
CHECKED BY: SK

SHEET TITLE:
CONTEXT SITE PLAN

SHEET NUMBER:
A2 of 17

CONTEXT SITE PLAN
SCALE: 1" = 40'-0"
NORTH

FINAL DEVELOPMENT PLAN

VESTING RIGHTS:








THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR ELEMENT HOTEL by Westin Superior, Colorado

LEGAL DESCRIPTION:

Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State Of Colorado

SYMBOL LEGEND:

-  NEW BUILDING
-  NEW ASPHALTIC PARKING / DRIVE ACCESS
-  DECORATIVE STAMPED CONCRETE
-  CONCRETE
-  BENCH SEATING
-  REFUSE CONTAINER
-  FDP LIMIT LINE

PROJECT DESCRIPTION:

4 STORY, WOOD FRAME HOTEL, SLAB ON GRADE WITH BUILT UP ROOF AND EIFS EXTERIOR WITH PORTIONS OF TRESPA AND TILE/STONE VENER. 121 GUEST ROOMS WITH PANTRY FOR PATRONS ONLY & MEETING SPACE. MAXIMUM HEIGHT IS 52'-0" TO TOP OF PARAPET (65'-0" ARCHITECTURAL FEATURES) BUILDING HEIGHT VARIES - SEE ELEVATIONS.

SITE DATA:

SITE LOCATION:.....(LOT 3A, BLOCK 1, SUPERIOR TOWN CENTER) - SUPERIOR, CO 80027
 PARCEL #:.....157519233003
 CURRENT ZONING:.....PLANNED DEVELOPMENT P-D

LEGAL DESCRIPTION: Of Lot 3A, Block 1, Superior Town Center Filing No. 1B, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State Of Colorado
 GROSS SITE AREA ±2.64 ACRES

SETBACKS REQUIRED:..... SIDE YARD (east & west): N/A
 REAR YARD (north): 10FT
 FRONT YARD (south): 0-35FT

SETBACKS PROVIDED:..... SIDE YARD (east & west): 5FT
 REAR YARD (north): 8FT (at refuse enclosure)
 FRONT YARD (south): 59FT

BUILDING HEIGHT:..... (90FT MAX. HT. / 3-6 STORIES) PROPOSED 62FT / 4 STORIES

LOT COVERAGE:

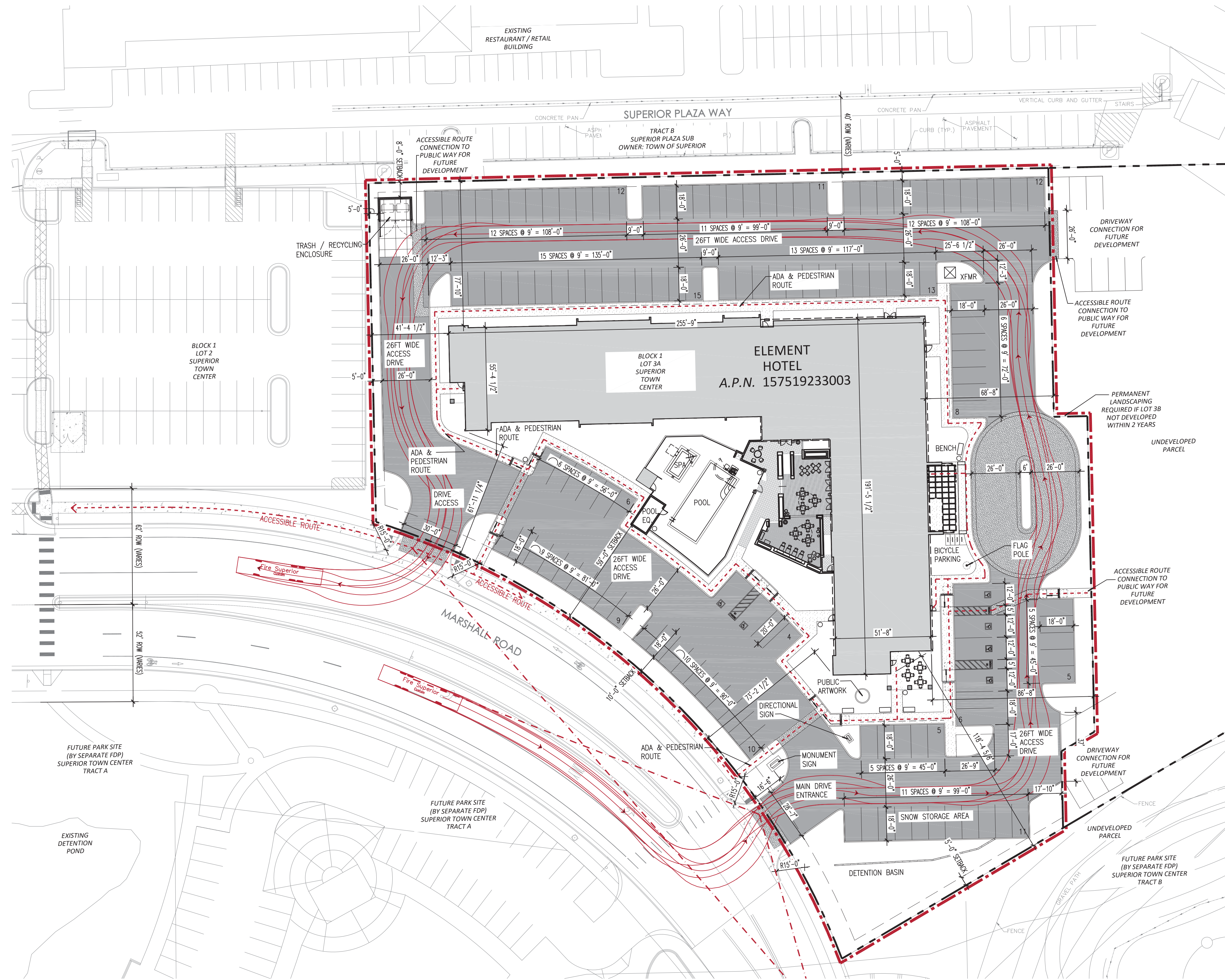
ELEMENT HOTEL:
 INCLUDES HOTEL & POOL BUILDING: 79,543 SQ.FT.
 BUILDING LOT COVERAGE: 20,817 SQ.FT. (18.1 %)
 LANDSCAPE AREA: 23,372 SQ.FT. (20.3 %)
 HARDSCAPE / PARKING AREA: 70,809 SQ.FT. (61.5 %)

HOTEL PARKING ANALYSIS:

PARKING REQUIRED:
 GUESTROOMS: 1 SPACE PER UNIT 121
 EMPLOYEE: 1 SPACE PER EMPLOYEE 5
 TOTAL PARKING SPACES REQUIRED 127
 ACCESSIBLE PARKING SPACES REQUIRED 5
 PARKING PROVIDED:
 STANDARD 121
 HANDICAPPED ACCESSIBLE (INCLUDES 1 VAN ACCESSIBLE SPACE) 6
 TOTAL PARKING SPACES PROVIDED 127

BUILDING AREA:

1ST FLOOR: 20,483 S.F.
 2ND FLOOR: 18,752 S.F.
 3RD FLOOR: 19,987 S.F.
 4TH FLOOR: 19,987 S.F.
 POOL BLDG: 334 S.F.
 TOTAL AREA: 79,543 S.F.



PROGRESS SET
 -NOT FOR
 CONSTRUCTION

pk
 ARCHITECTS
 © 2016
PK ARCHITECTS, PC
 4515 S. MCCLINTOCK DRIVE, #206
 TEMPE, ARIZONA 85282
 PHONE: (602) 283-1620
 FAX: (602) 283-1621

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
 element
 BY WESTIN

SUPERIOR, COLORADO

PROJECT NO: 16-302
 PRINT DATE: 8-24-2016
 DRAWN BY: MP
 CHECKED BY: SK

SHEET TITLE:
 ARCHITECTURAL SITE PLAN

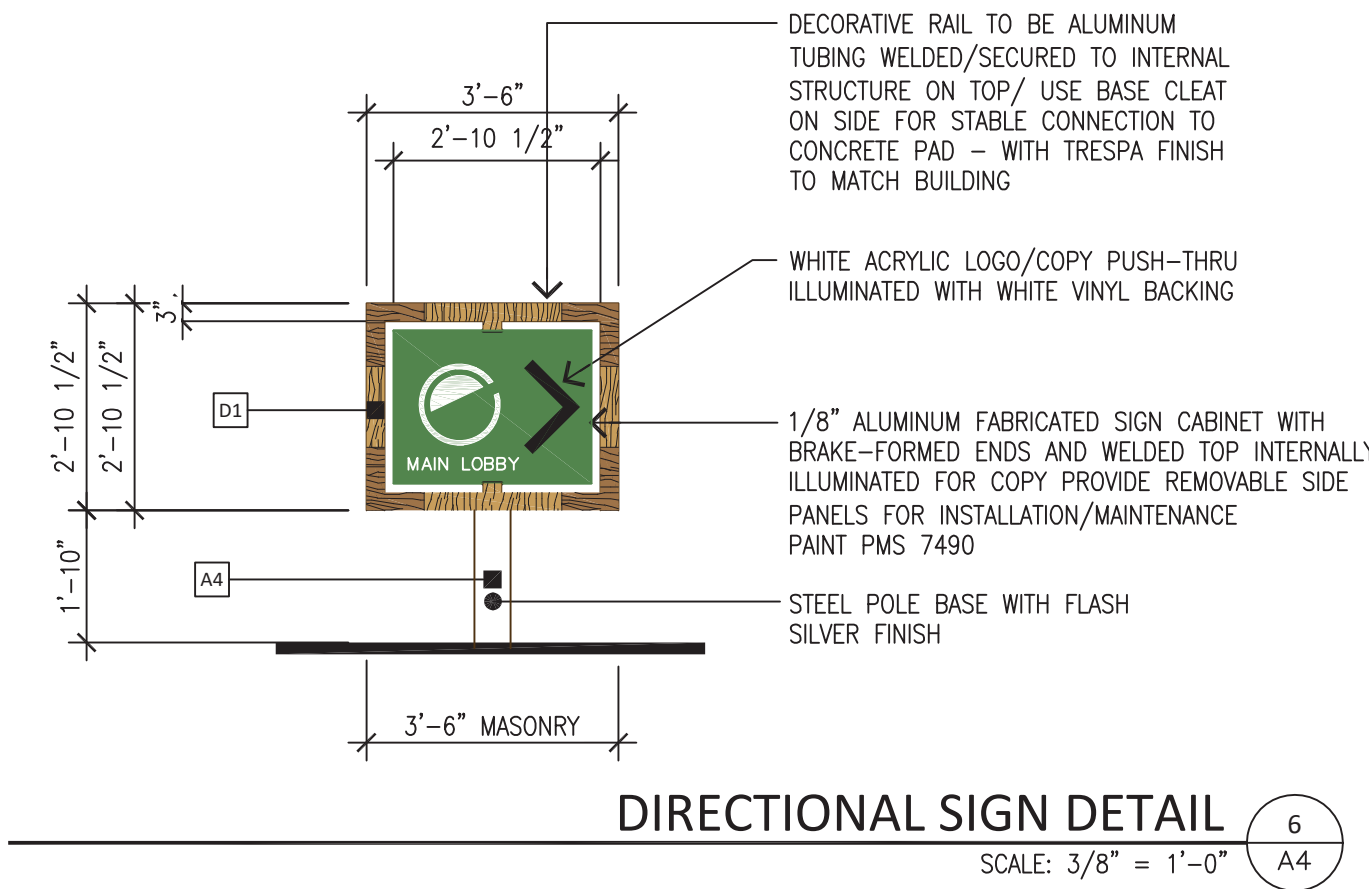
SHEET NUMBER:
A3 of 17

VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR ELEMENT HOTEL by Westin Superior, Colorado

Of Block 1, Lot 3, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado



VICTOR STANLEY Create a timeless moment.®

LITTER RECEPTACLES RECYCLING STATIONS BENCHES PLANTERS BIKE RACKS & BOLLARDS TABLES SEATS

PRSCA-8 PRODUCTION COLLECTION

DETAILS
Armless all-steel cafe chair.
Width 23 inches (584 mm). Vertical steel uprights. Standard 36-including with factory attached glides.

IMAGES

DOCUMENTS

STANDARD
All fabricated metal components are steel shotblasted, etched, phosphatized, pre-painted and electrostatically powder coated with TGIC polyester powder coatings.

MATERIAL
Recycled Solid Steel Bar

COLORS
Standard: Black, Blue, Red, Green, Silver, White
Optional: RAL, BS

VICTOR STANLEY Create a timeless moment.®

LITTER RECEPTACLES RECYCLING STATIONS BENCHES PLANTERS BIKE RACKS & BOLLARDS TABLES SEATS

PR-10 PRODUCTION COLLECTION

DETAILS
4, 6 or 8 ft (1.2, 1.8 or 2.4 m) lengths. Nominal 2x3 (38x63 mm) slats. Surface mount.

IMAGES

DOCUMENTS

STANDARD
All fabricated metal components are steel shotblasted, etched, phosphatized, pre-painted and electrostatically powder coated with TGIC polyester powder coatings.

OPTIONS
Intermediate armrests (both-on). Wood slat seating. Maple, cherry, walnut or gray recycled plastic slat seating for 4 and 6 ft (1.2 and 1.8 m) lengths.

COLORS
Standard: Black, Blue, Red, Green, Silver, White
Optional: RAL, BS

SLATS
Recycled Plastic
Wood

VICTOR STANLEY Create a timeless moment.®

LITTER RECEPTACLES RECYCLING STATIONS BENCHES PLANTERS BIKE RACKS & BOLLARDS TABLES SEATS

BRNS-301 CYCLE ENTRY™ COLLECTION

DETAILS
Single loop constructed of 2.375 in (60 mm) OD tubular steel pipe with central steel plaque. Optional decals available with custom designed messages or advertising. Designed to make maximum effectiveness of the often-recommended security U-LOCKS.

IMAGES

DOCUMENTS
US Patent D434,207 S; D422,873 S.

CAPACITY
2 bikes.

STANDARD
All fabricated metal components are steel shotblasted, etched, phosphatized, pre-painted and electrostatically powder coated with TGIC polyester powder coatings.

OPTION
Powder coat over galvanized finish. Surface mount. In-ground mount.

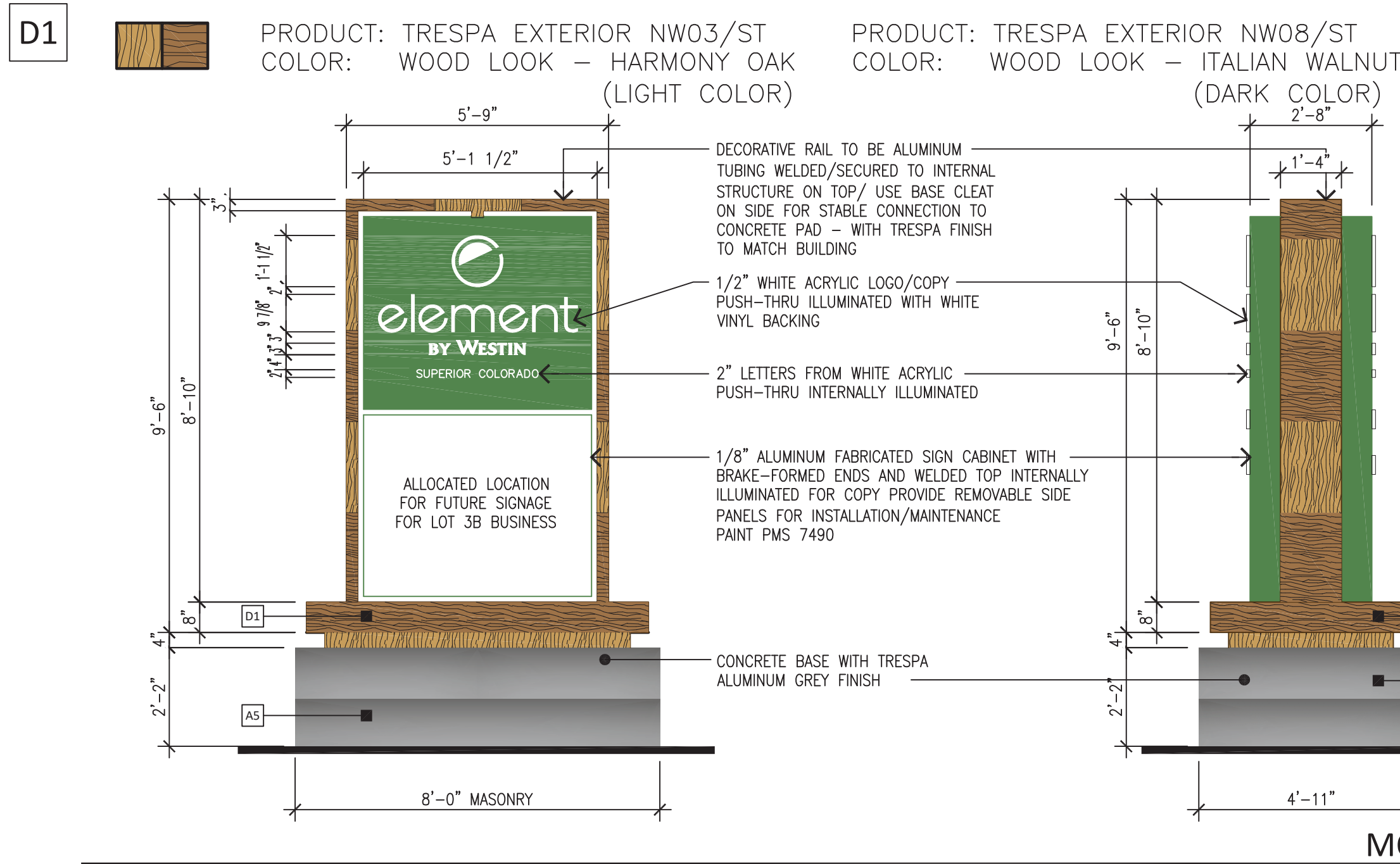
FEATURES
Central Steel Plaque for Signage

MATERIAL
Recycled Solid Steel Bar
Tubular Steel

CAPACITY
2 Bikes

COLORS
Standard: Black, Blue, Red, Green, Silver, White
Optional: RAL, BS

VENTILATED COMPOSITE FACADE COLORS:



VICTOR STANLEY Create a timeless moment.®

LITTER RECEPTACLES RECYCLING STATIONS BENCHES PLANTERS BIKE RACKS & BOLLARDS TABLES SEATS

S-42 IRONSITES® COLLECTION

DETAILS
We are proud to be the originators of the S-42 litter receptacle. It is a world-class favorite and its design and popularity inspired us to create the complete family of Ironsites® products.

IMAGES

DOCUMENTS

STANDARD
Standard tapered formed lid. Bottom recessed pedestal.

FEATURES
.375 x 1 in (10 x 25 mm) Bars
Bottom Recessed Pedestal

MATERIAL
Recycled Solid Steel Bar

COLORS
Standard: Black, Blue, Red, Green, Silver, White
Optional: RAL, BS

LIDS

VICTOR STANLEY Create a timeless moment.®

LITTER RECEPTACLES RECYCLING STATIONS BENCHES PLANTERS BIKE RACKS & BOLLARDS TABLES SEATS

PRSC-36R ERGOSIT® COLLECTION

DETAILS
Round table.
36 in (915 mm) round top. Available with 42 in (1067 mm) round top as model.
PRSC-36R. Surface mount table with removable adjustable glides.

IMAGES

DOCUMENTS

STANDARD
All fabricated metal components are steel shotblasted, etched, phosphatized, pre-painted and electrostatically powder coated with TGIC polyester powder coatings.

FEATURES
Square Steel Tabletop
Length: 36 in (914 mm) Round Tabletop, 42 in (1067 mm) Round Tabletop

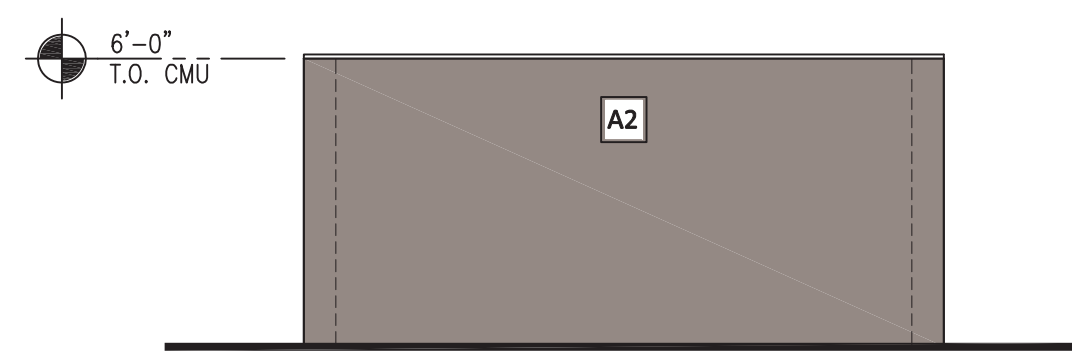
MATERIAL
Signa Steel Tabletop

COLORS
Standard: Black, Blue, Red, Green, Silver, White
Optional: RAL, BS

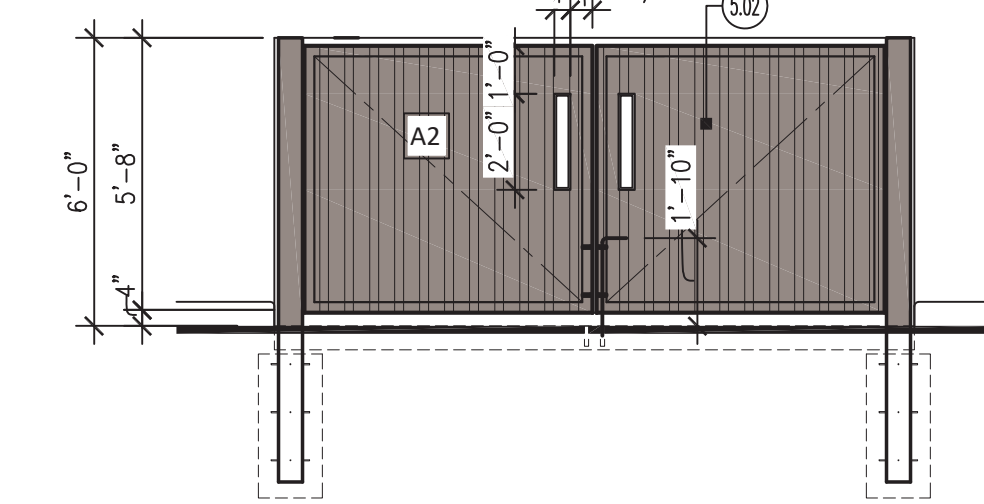
MATERIAL & COLOR LEGEND:

STUCCO PAINT COLORS:

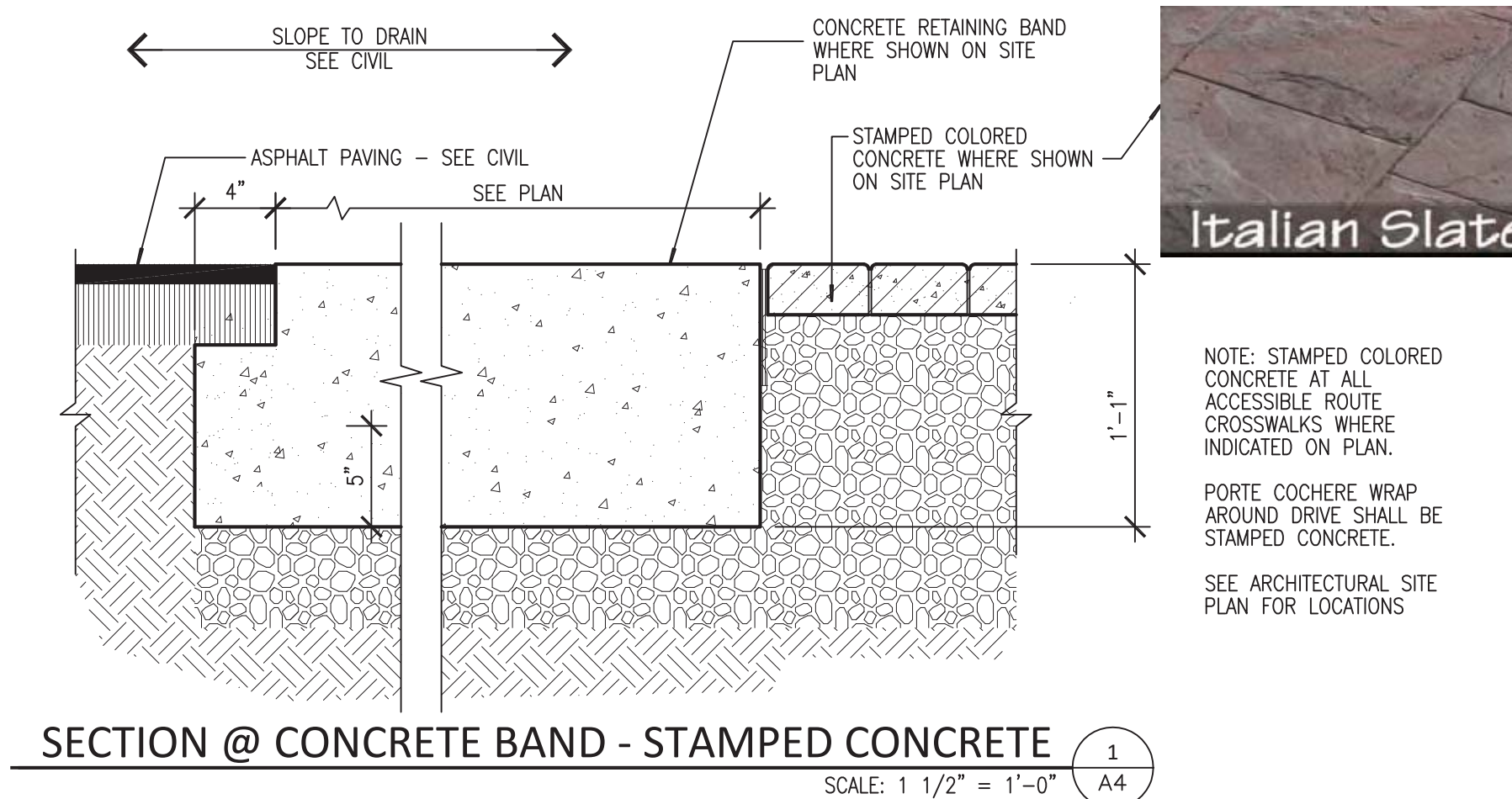
A2 COLOR: DE6388 - SMOKEY MOUNTAIN (FINE FINISH)



REFUSE ENCLOSURE SIDE ELEVATION
SCALE: 1/4" = 1'-0"
WEST ELEVATION IS MIRRORRED



REFUSE ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

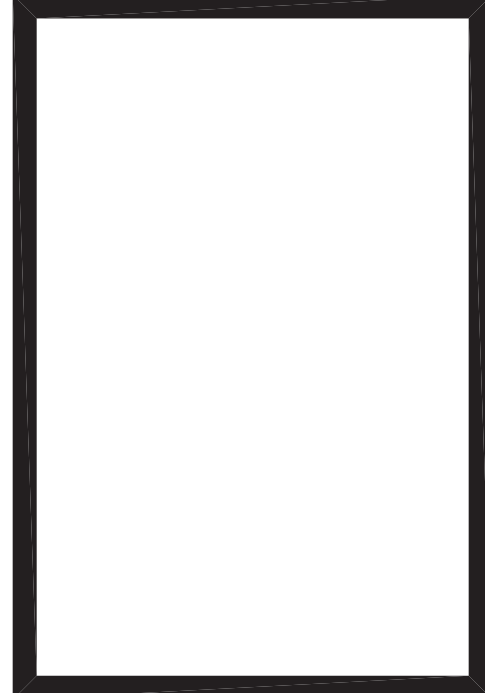


SECTION @ CONCRETE BAND - STAMPED CONCRETE
SCALE: 1 1/2" = 1'-0"

PROGRESS SET
-NOT FOR
CONSTRUCTION

pk ARCHITECTS
© 2016

PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621



SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR

element BY WESTIN

SUPERIOR, COLORADO

PROJECT NO: 16-302
PRINT DATE: 8-24-2016
DRAWN BY: MP
CHECKED BY: SK

SHEET TITLE:
ARCHITECTURAL DETAILS

SHEET NUMBER:
A4 of 17

FINAL DEVELOPMENT PLAN

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN

PROPOSED HOTEL

ELEMENT HOTEL by Westin

Superior, Colorado

LEGAL DESCRIPTION:
 Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The
 Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M.
 Town Of Superior, County Of Boulder, State of Colorado



PK ARCHITECTS, PC
 4515 S. MCCLINTOCK DRIVE, #206
 TEMPE, ARIZONA 85282
 PHONE: (602) 283-1620
 FAX: (602) 283-1621



SUPERIOR TOWN
 CENTER FINAL
 DEVELOPMENT
 PLAN



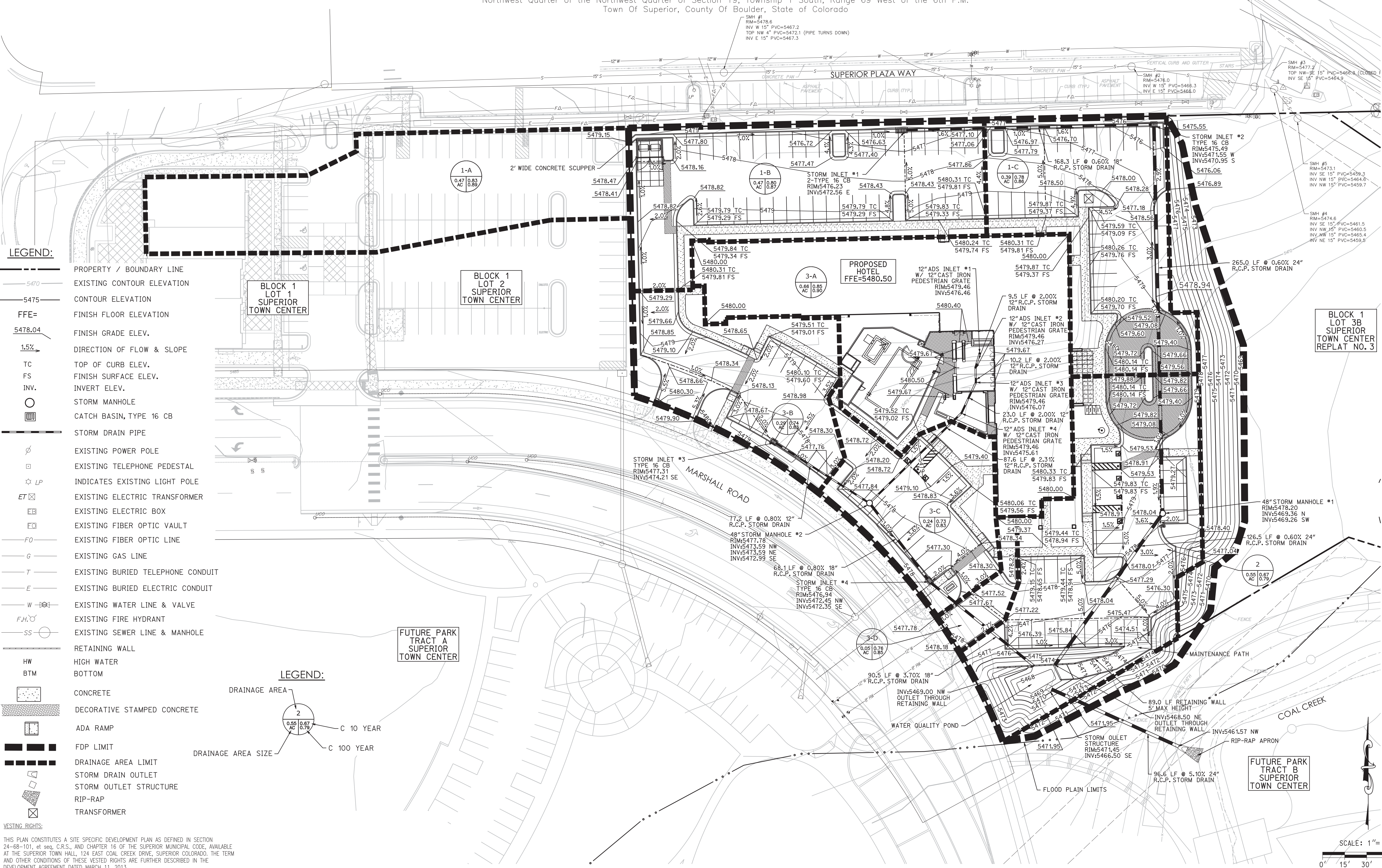
.....
 SUPERIOR,
 COLORADO

PROJECT NO: 1180
 PRINT DATE: 10-18-2016
 DRAWN BY: PHILLIE V.
 CHECKED BY: D. MANN

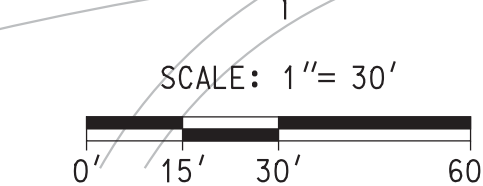
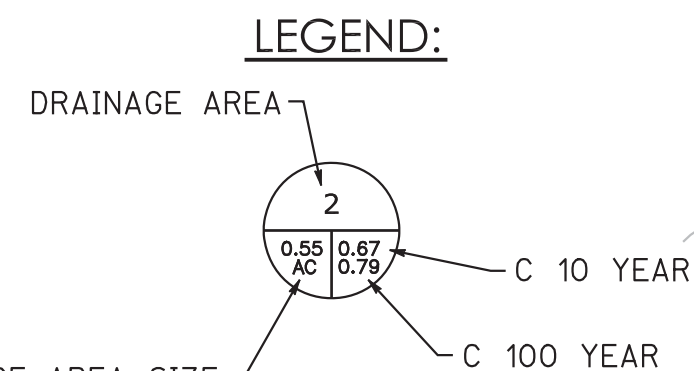
SHEET TITLE:
 DRAINAGE
 PLAN

SHEET NUMBER:
A5 of 17

FINAL DEVELOPMENT PLAN



- LEGEND:**
- PROPERTY / BOUNDARY LINE
 - EXISTING CONTOUR ELEVATION
 - CONTOUR ELEVATION
 - FFE= FINISH FLOOR ELEVATION
 - FINISH GRADE ELEV.
 - DIRECTION OF FLOW & SLOPE
 - TOP OF CURB ELEV.
 - FINISH SURFACE ELEV.
 - INVERT ELEV.
 - STORM MANHOLE
 - CATCH BASIN, TYPE 16 CB
 - STORM DRAIN PIPE
 - EXISTING POWER POLE
 - EXISTING TELEPHONE PEDESTAL
 - INDICATES EXISTING LIGHT POLE
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING ELECTRIC BOX
 - EXISTING FIBER OPTIC VAULT
 - EXISTING FIBER OPTIC LINE
 - EXISTING GAS LINE
 - EXISTING BURIED TELEPHONE CONDUIT
 - EXISTING BURIED ELECTRIC CONDUIT
 - EXISTING WATER LINE & VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING SEWER LINE & MANHOLE
 - RETAINING WALL
 - HIGH WATER
 - BOTTOM
 - CONCRETE
 - DECORATIVE STAMPED CONCRETE
 - ADA RAMP
 - FDP LIMIT
 - DRAINAGE AREA LIMIT
 - STORM DRAIN OUTLET
 - STORM OUTLET STRUCTURE
 - RIP-RAP
 - TRANSFORMER



THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

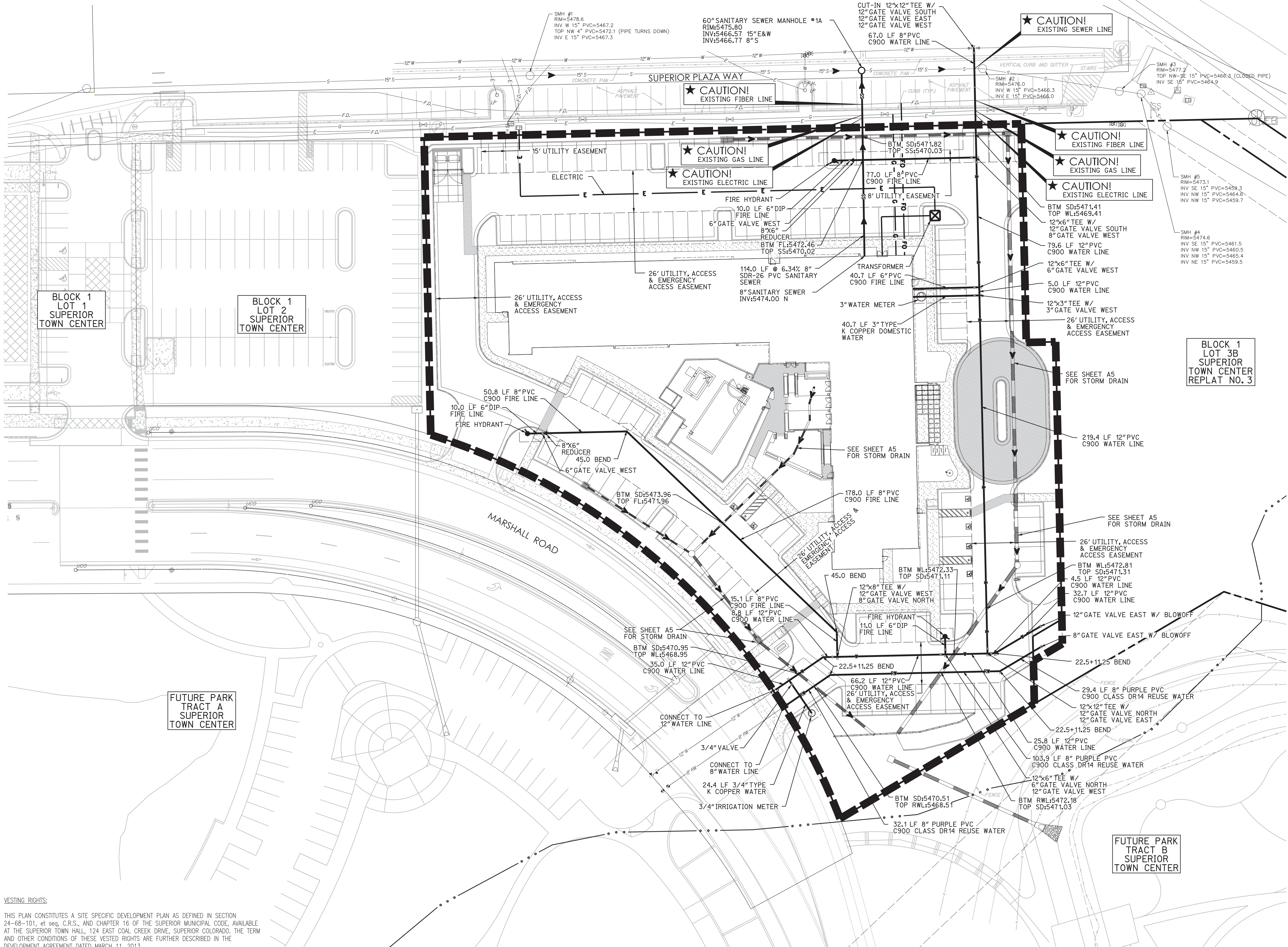
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN

PROPOSED HOTEL

ELEMENT HOTEL by Westin

Superior, Colorado

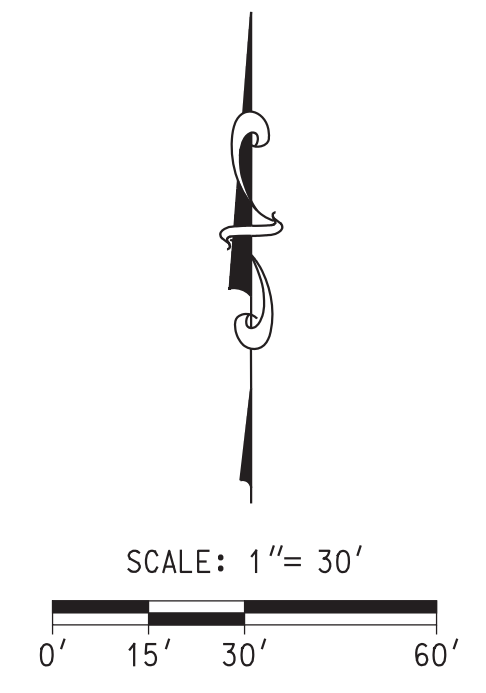
LEGAL DESCRIPTION:
 Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado



LEGEND:

	PROPERTY / BOUNDARY LINE
	EXISTING POWER POLE
	EXISTING TELEPHONE PESTAL
	INDICATES EXISTING LIGHT POLE
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC BOX
	EXISTING FIBER OPTIC VAULT
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING BURIED TELEPHONE CONDUIT
	EXISTING BURIED ELECTRIC CONDUIT
	EXISTING WATER LINE & VALVE
	WATER LINE & V.B.&C.
	WATER TEE
	WATER BEND
	EXISTING FIRE HYDRANT
	FIRE HYDRANT
	EXISTING SEWER LINE & MANHOLE
	SEWER PIPE
	SEWER MANHOLE
	WATER METER
	STORM MANHOLE
	STORM DRAIN
	FDP LIMIT
	STORM DRAIN OUTLET
	STORM OUTLET STRUCTURE
	DIRECTION OF FLOW
	TRANSFORMER
	ELECTRIC LINE
	GAS LINE
	FIBER OPTIC
	CONCRETE
	DECORATIVE STAMPED CONCRETE
	ADA RAMP
	RIP-RAP

NOTE:
 GAS, ELECTRIC, AND FIBER OPTIC LINE LOCATIONS ARE TO BE FINALIZED WITH UTILITY PROVIDERS AND THE EASEMENTS FOR THESE LINES WILL BE DONE BY SEPARATE INSTRUMENT, ONCE APPROVALS ARE GRANTED.



VESTING RIGHTS:
 THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.



pk ARCHITECTS
 © 2016
PK ARCHITECTS, PC
 4515 S. MCCLINTOCK DRIVE, #206
 TEMPE, ARIZONA 85282
 PHONE: (602) 283-1620
 FAX: (602) 283-1621

3eengineering
 CIVIL ENGINEERING
 1100 S. GARDEN AVENUE, SUITE 100
 DENVER, CO 80202
 PHONE: (303) 733-8888
 FAX: (303) 733-8889

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN

SUPERIOR, COLORADO

PROJECT NO:	1180
PRINT DATE:	10-18-2016
DRAWN BY:	PHILLIE V.
CHECKED BY:	D. MANN

SHEET TITLE:
OVERALL UTILITIES PLAN

SHEET NUMBER:
A6 of 17

FINAL DEVELOPMENT PLAN

VESTING RIGHTS:

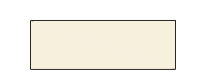




THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
ELEMENT HOTEL by Westin
Superior, Colorado**

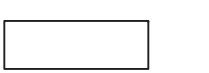
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado

**MATERIAL &
COLOR LEGEND:**

E.I.F.S. COLORS:

- A1  COLOR: 9433 1TS - WHITE (FINE FINISH)
- A2  COLOR: DE6388 - SMOKEY MOUNTAIN (FINE FINISH)
- A3  COLOR: 36300 - GREEN (FINE FINISH)
- A4  PRODUCT: EIFS (LIGHT)
COLOR: FLASH SILVER (MATCH ALUMA-KOR MI-2811)
- A5  PRODUCT: EIFS (DARK)
COLOR: SILVER GREY (MATCH ALUMA-KOR MI-2117)


PAINT COLORS:

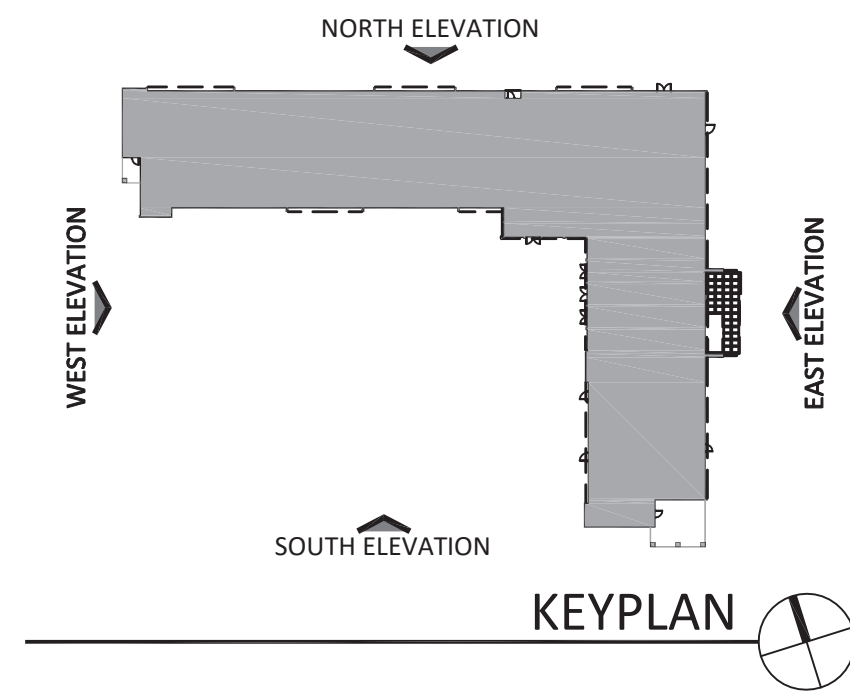
- B1  HOLLOW METAL DOORS, FRAMES, AND LOUVERS TO BE PAINTED TO MATCH ADJACENT EXTERIOR CLADDING

STONE VENEER:

- C1  PRODUCT: CORONADO 12"X24" FRENCH LIMESTONE
COLOR: BLACK FOREST

VENTILATED COMPOSITE FACADE COLORS:

- D1  PRODUCT: TRESPA EXTERIOR NW08/ST
COLOR: WOOD LOOK - ITALIAN WALNUT (DARK COLOR)



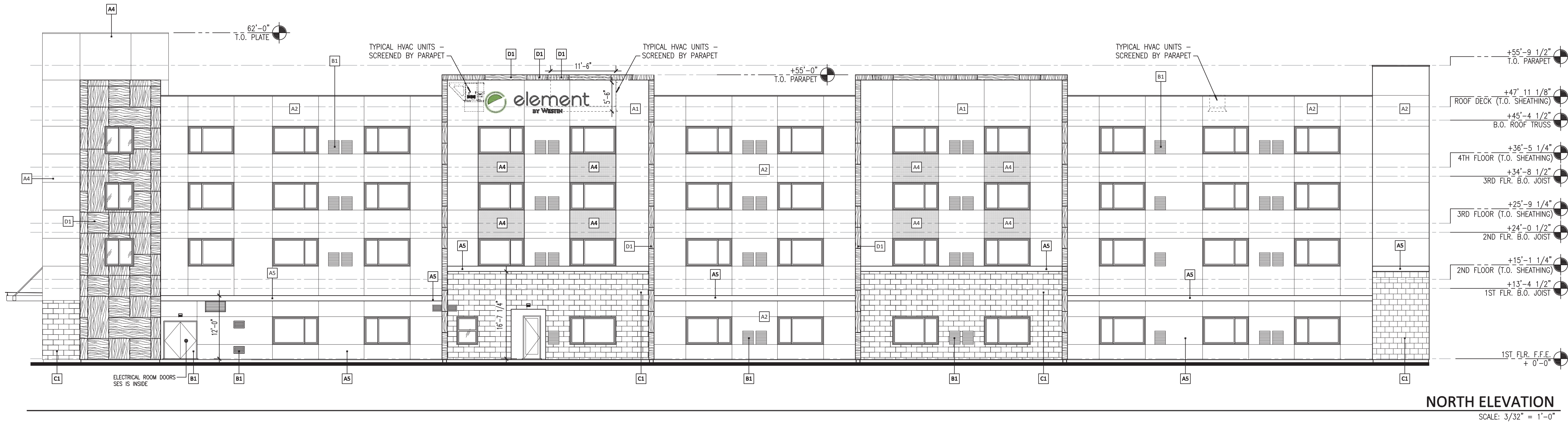
GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT AS SHOWN.
- PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE APPLICATION AND PERMIT
- SIGNAGE PROGRAM WILL BE ESTABLISHED FOR PROPERTY PRIOR TO SIGN PERMIT BEING ISSUED
- ALL SIGNS WILL REQUIRE A TOWN OF SUPERIOR SIGN PERMIT PRIOR TO BEING CONSTRUCTED AND MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SECTION 11 OF THE SUPERIOR TOWN CENTER DESIGN GUIDELINES.
- ANY CHANGES TO ROOF-TOP HVAC LOCATIONS OR PARAPET DESIGN WILL REQUIRE ADDITIONAL REVIEW BY STAFF AT THE TIME OF CONSTRUCTION DRAWINGS.
- WITH THE EXCEPTION OF THE 24 HOUR ILLUMINATION ALLOWANCE GRANTED THROUGH THIS FDP, ALL SIGNS WILL REQUIRE A TOWN OF SUPERIOR SIGN PERMIT PRIOR TO BEING CONSTRUCTED AND MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SECTION 11 OF THE SUPERIOR TOWN CENTER DESIGN GUIDELINES.
- SIGNS WILL BE COMPLIMENTARY TO THE ARCHITECTURE OF THE BUILDING. CABINET SIGNS WILL NOT BE PERMITTED.

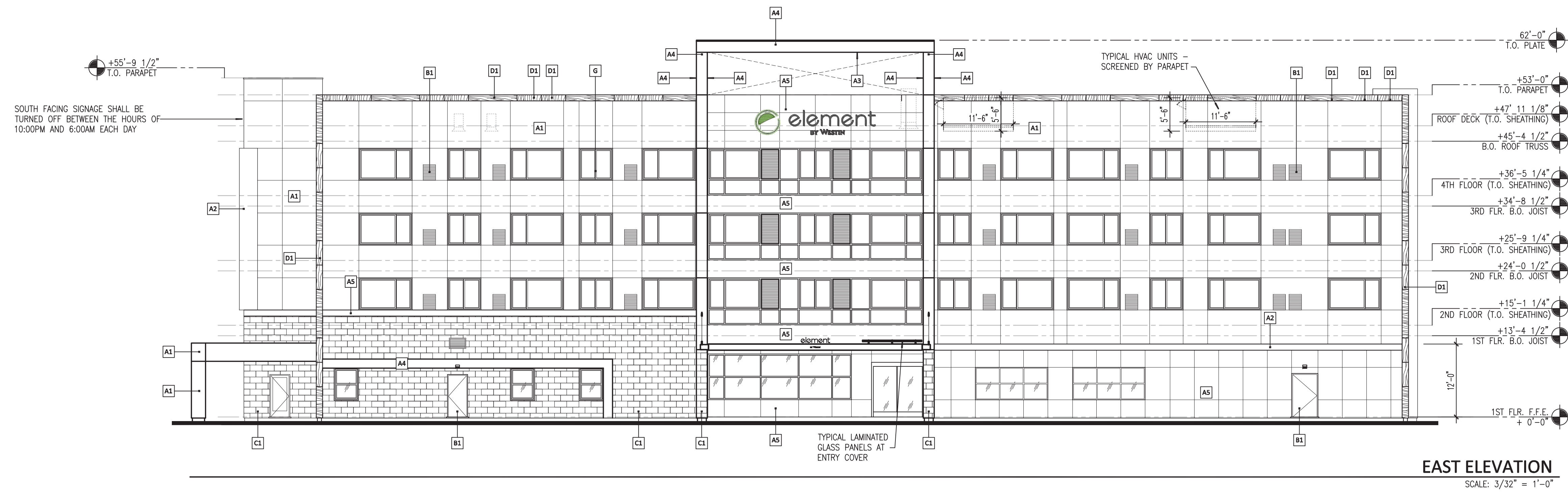
PROGRESS SET
-NOT FOR
CONSTRUCTION



PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR

.....
SUPERIOR, COLORADO

PROJECT NO: 16-302
PRINT DATE: 8-24-2016
DRAWN BY: MP
CHECKED BY: SK

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A7 of 17

FINAL DEVELOPMENT PLAN

VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
ELEMENT HOTEL by Westin
Superior, Colorado**

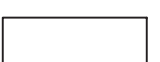
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State Of Colorado

**MATERIAL &
COLOR LEGEND:**

E.I.F.S. COLORS:

- A1  COLOR: 9433 1TS - WHITE (FINE FINISH)
- A2  COLOR: DE6388 - SMOKEY MOUNTAIN (FINE FINISH)
- A3  COLOR: 36300 - GREEN (FINE FINISH)
- A4  PRODUCT: EIFS (LIGHT)
COLOR: FLASH SILVER (MATCH ALUMA-KOR MI-2811)
- A5  PRODUCT: EIFS (DARK)
COLOR: SILVER GREY (MATCH ALUMA-KOR MI-2117)


PAINT COLORS:

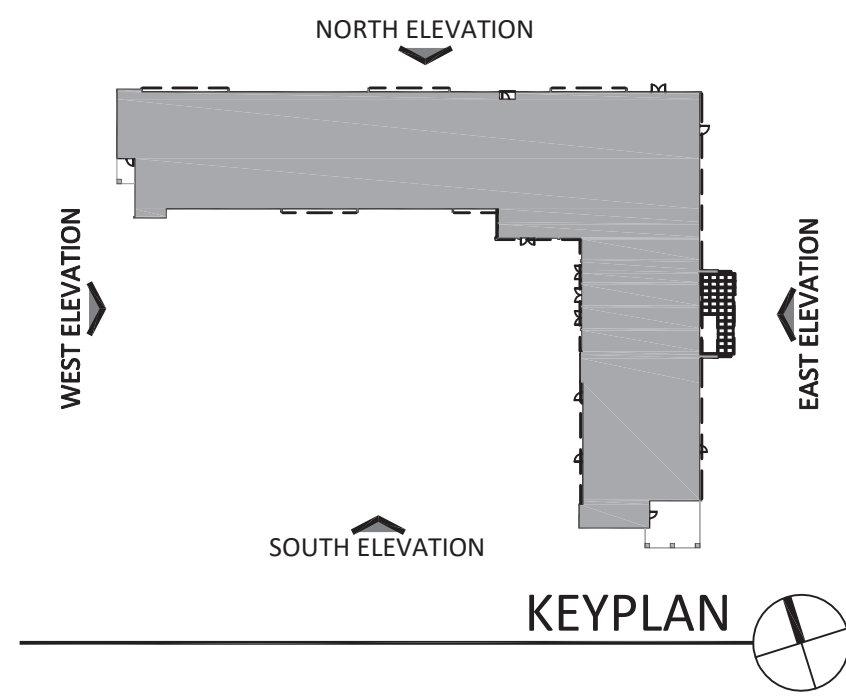
- B1  HOLLOW METAL DOORS, FRAMES, AND LOUVERS TO BE PAINTED TO MATCH ADJACENT EXTERIOR CLADDING

STONE VENEER:

- C1  PRODUCT: CORONADO
12"x24" FRENCH LIMESTONE
COLOR: BLACK FOREST

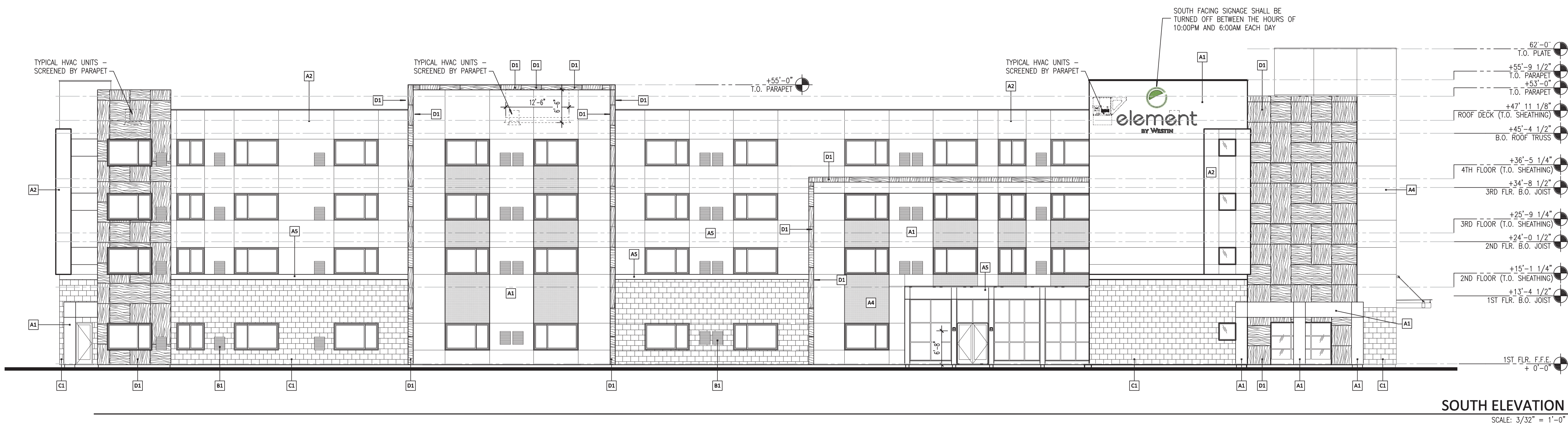
VENTILATED COMPOSITE FACADE COLORS:

- D1  PRODUCT: TRESPA EXTERIOR NW08/ST
COLOR: WOOD LOOK - ITALIAN WALNUT (DARK COLOR)



GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT AS SHOWN.
- PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE APPLICATION AND PERMIT.
- SIGNAGE PROGRAM WILL BE ESTABLISHED FOR PROPERTY PRIOR TO SIGN PERMIT BEING ISSUED.
- ALL SIGNS WILL REQUIRE A TOWN OF SUPERIOR SIGN PERMIT PRIOR TO BEING CONSTRUCTED AND MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SECTION 11 OF THE SUPERIOR TOWN CENTER DESIGN GUIDELINES.
- ANY CHANGES TO ROOF-TOP HVAC LOCATIONS OR PARAPET DESIGN WILL REQUIRE ADDITIONAL REVIEW BY STAFF AT THE TIME OF CONSTRUCTION DRAWINGS.
- *WITH THE EXCEPTION OF THE 24 HOUR ILLUMINATION ALLOWANCE GRANTED THROUGH THIS FDP, ALL SIGNS WILL REQUIRE A TOWN OF SUPERIOR SIGN PERMIT PRIOR TO BEING CONSTRUCTED AND MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SECTION 11 OF THE SUPERIOR TOWN CENTER DESIGN GUIDELINES.*
- *SIGNS WILL BE COMPLIMENTARY TO THE ARCHITECTURE OF THE BUILDING. CABINET SIGNS WILL NOT BE PERMITTED.*



PROGRESS SET
-NOT FOR
CONSTRUCTION



PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN
FOR
element
BY WESTIN

SUPERIOR,
COLORADO

PROJECT NO: 16-302
PRINT DATE: 8-24-2016
DRAWN BY: MP
CHECKED BY: SK

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

SHEET NUMBER:
A8 of 17

FINAL DEVELOPMENT PLAN

VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
ELEMENT HOTEL by Westin
Superior, Colorado**

Of Block 1, Lot 3, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado

**MATERIAL &
COLOR LEGEND:**

E.I.F.S. COLORS:

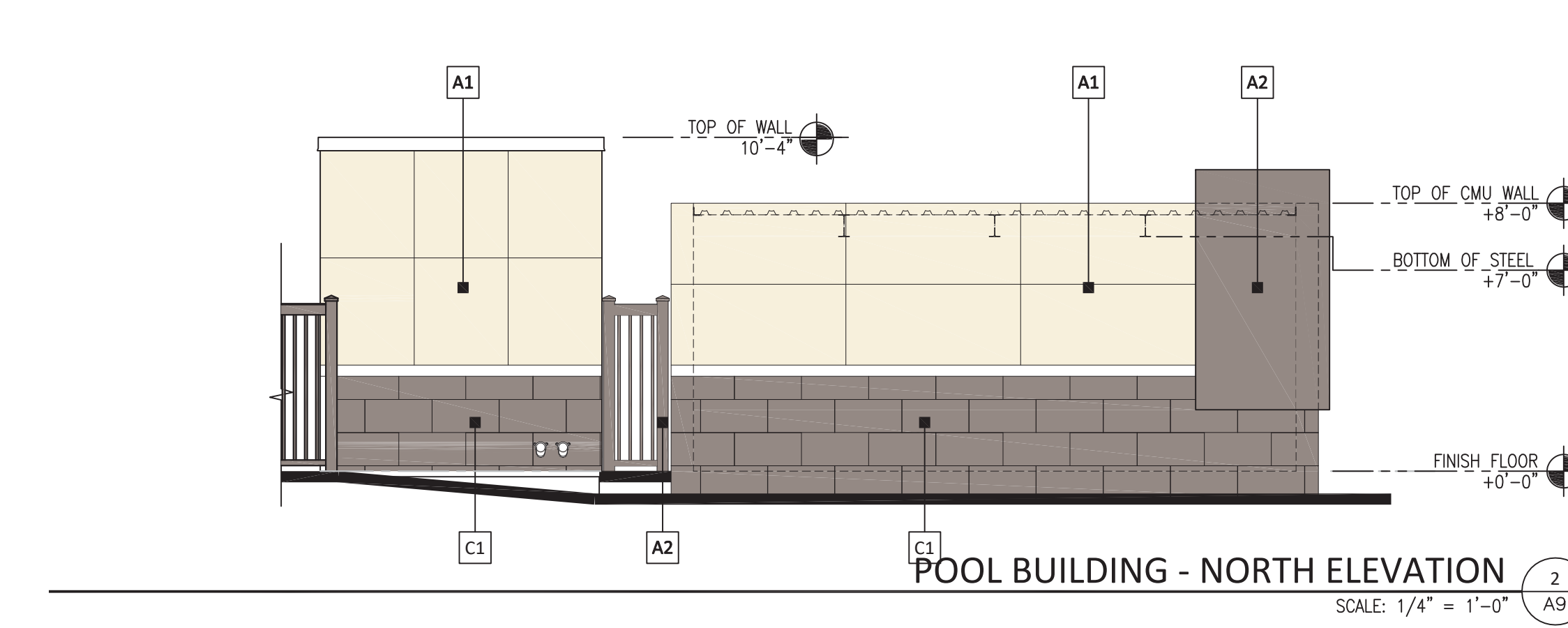
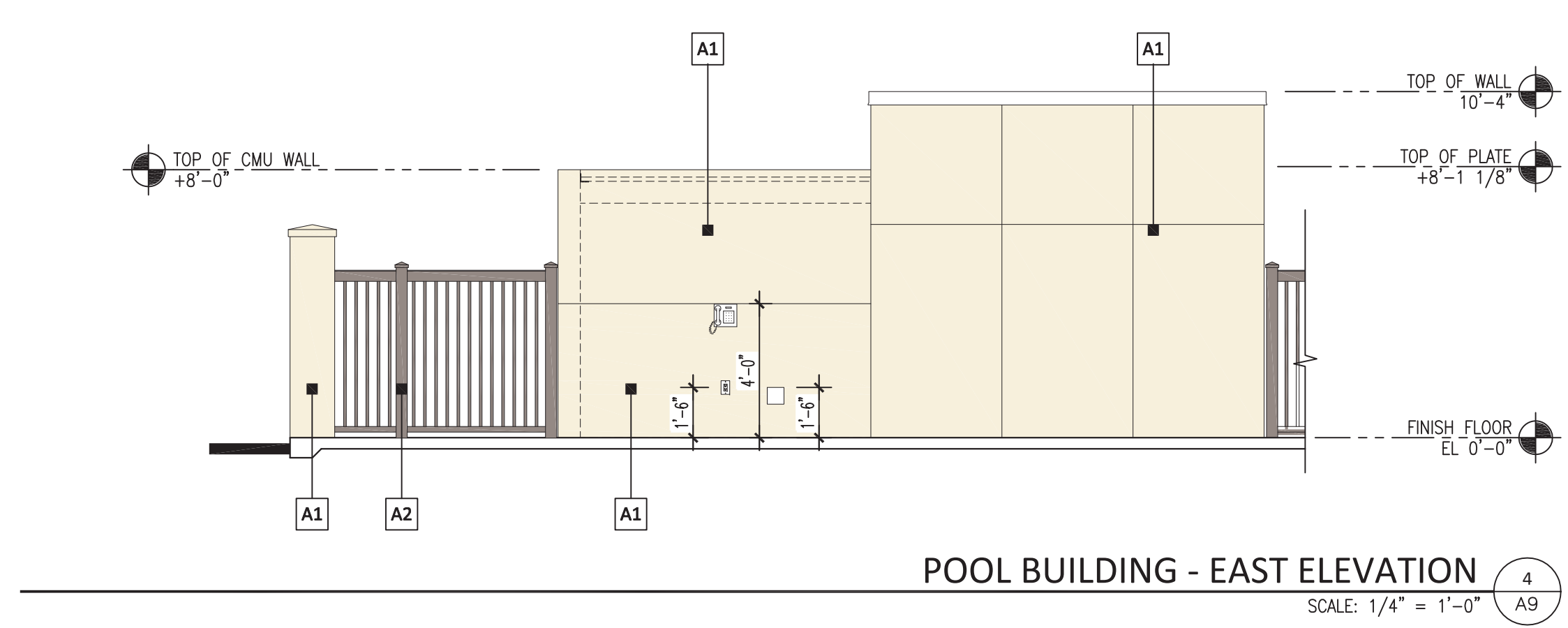
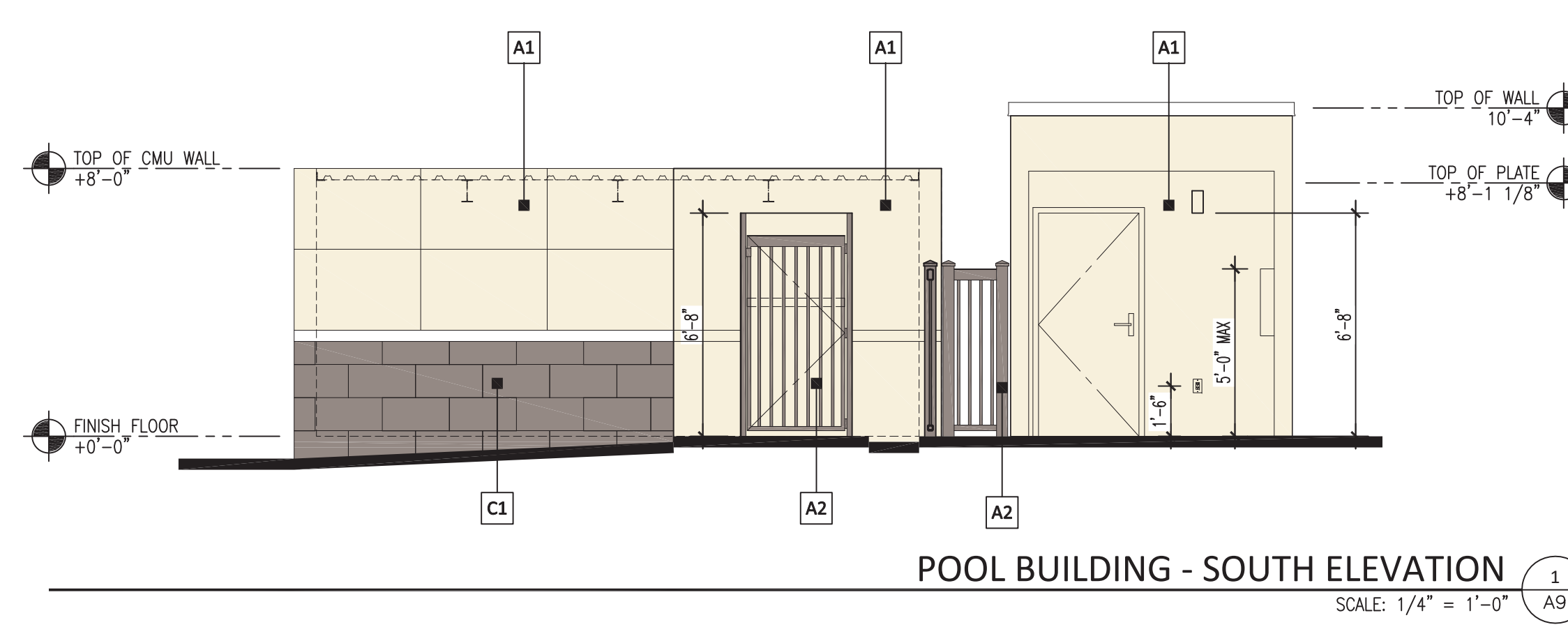
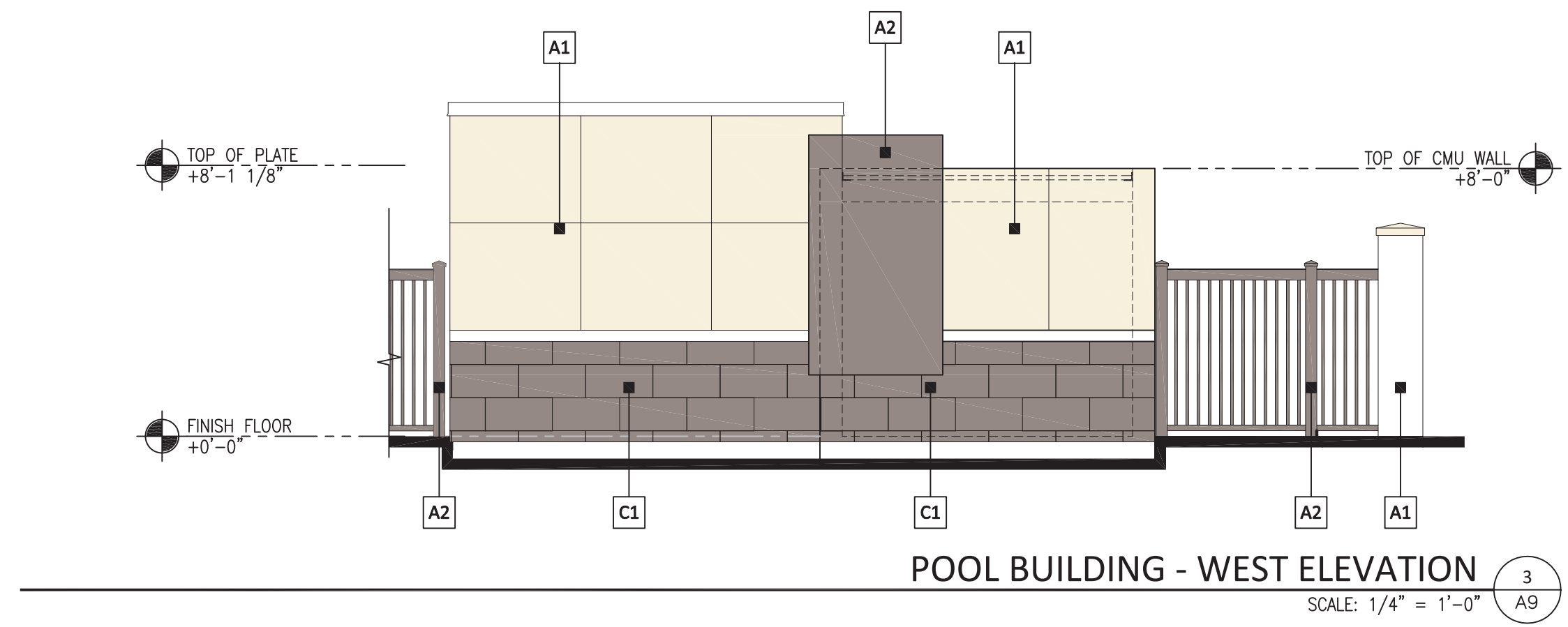
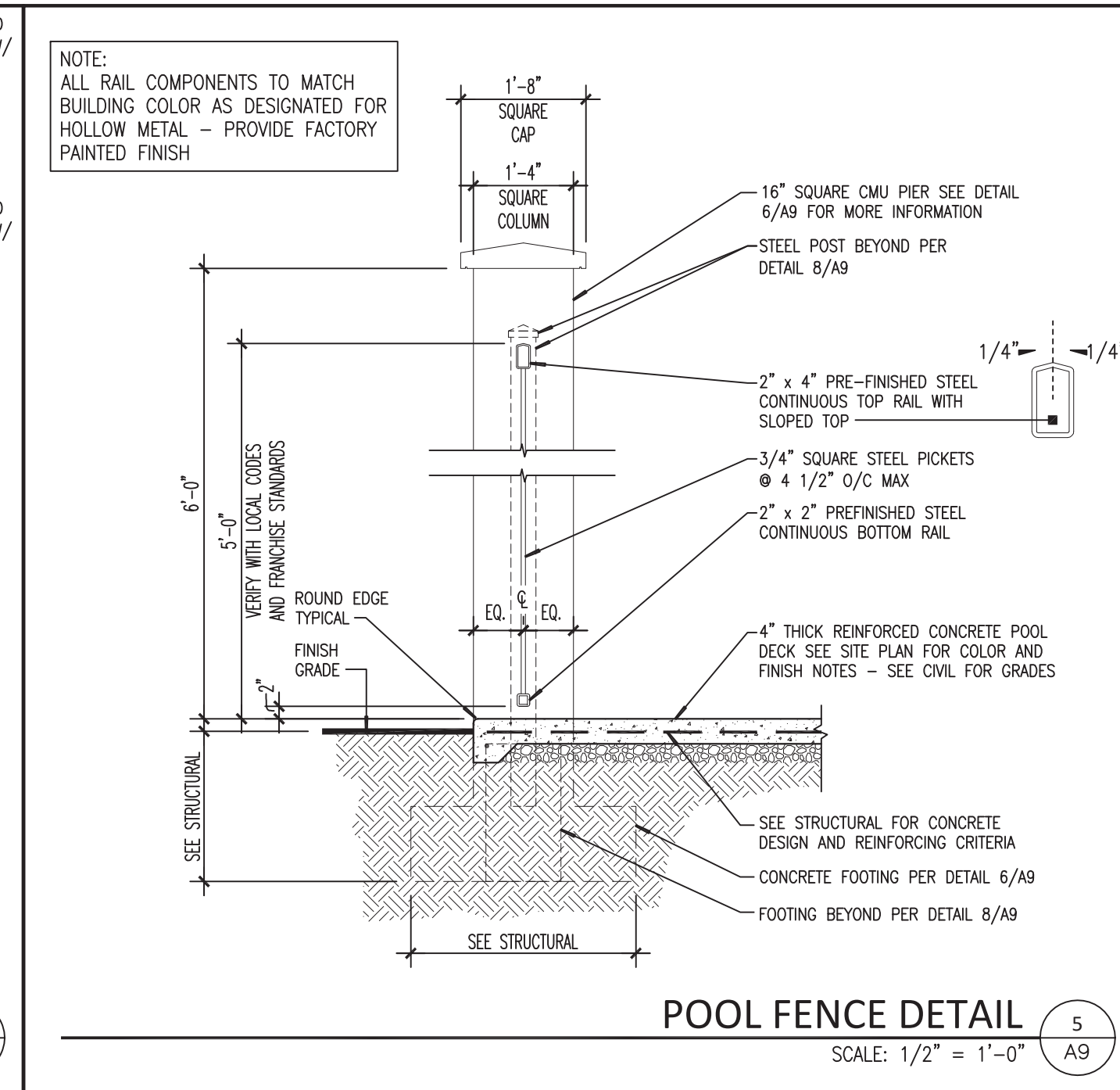
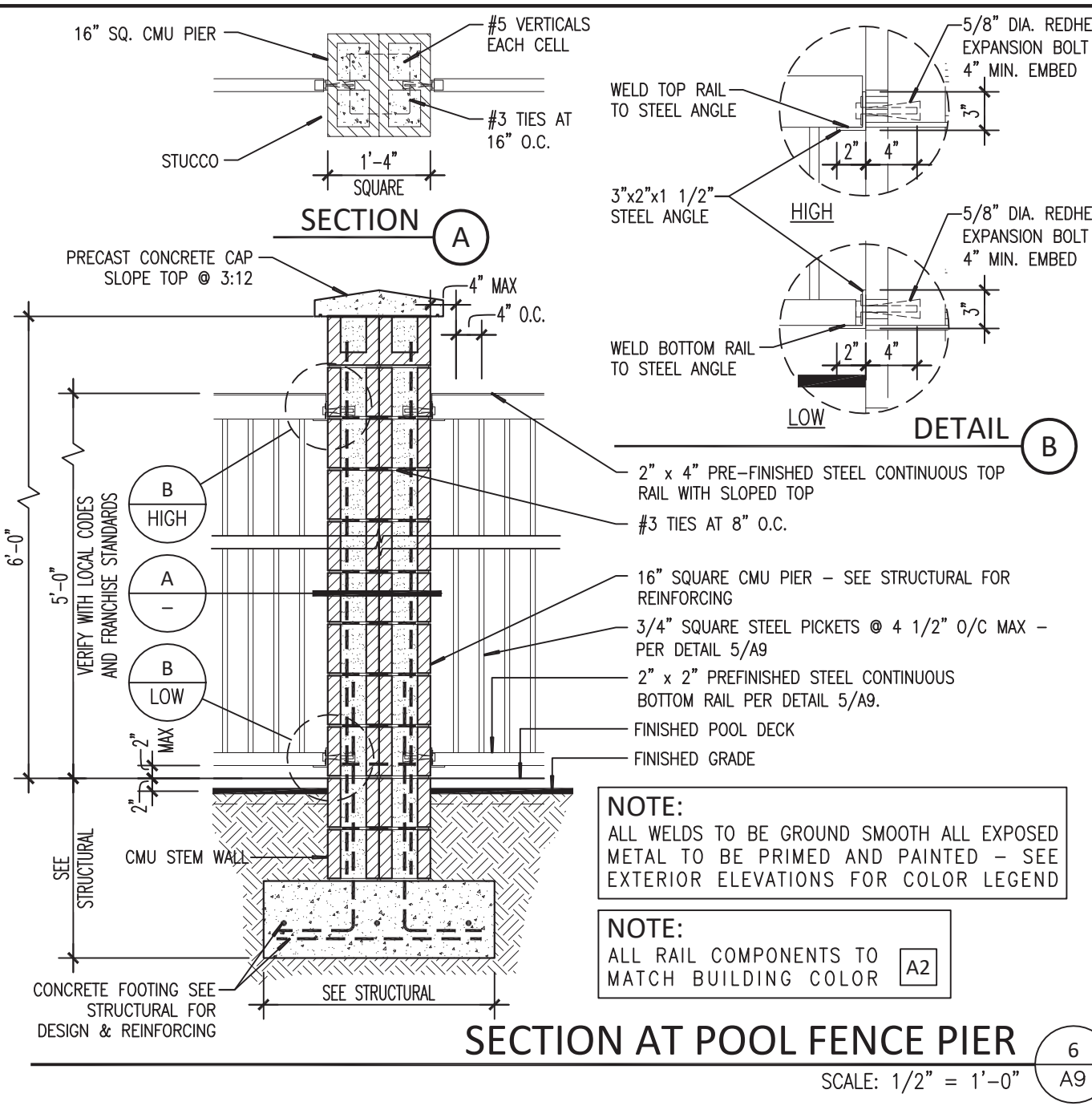
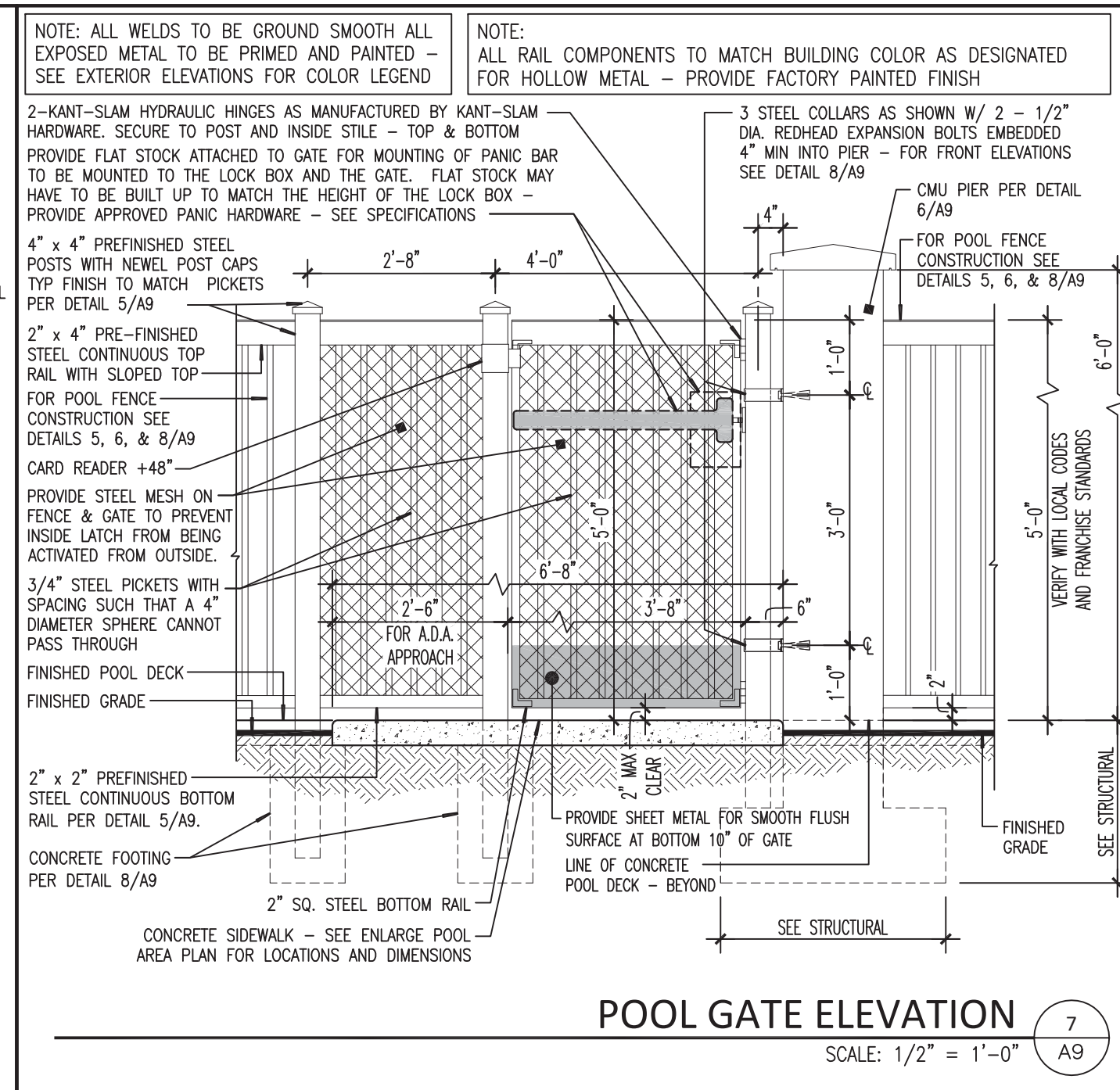
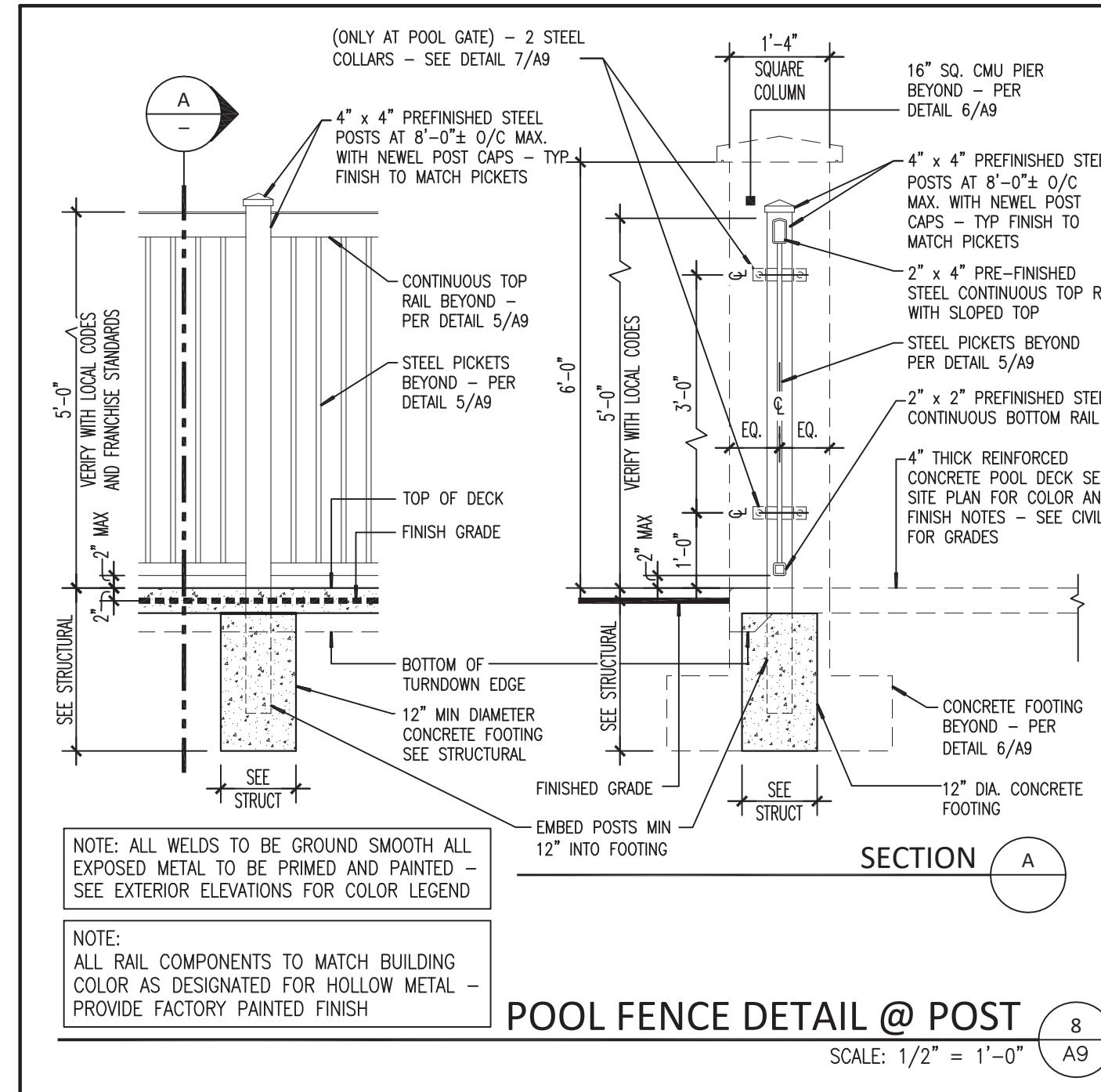
- A1** COLOR: 9433 1TS - WHITE (FINE FINISH)
- A2** COLOR: DE6388 - SMOKEY MOUNTAIN (FINE FINISH)
- C1** PRODUCT: CORONADO
12"x24" FRENCH LIMESTONE
COLOR: BLACK FOREST

GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT AS SHOWN.
- PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE APPLICATION AND PERMIT
- SIGNAGE PROGRAM WILL BE ESTABLISHED FOR PROPERTY PRIOR TO SIGN PERMIT BEING ISSUED
- ALL SIGNS WILL REQUIRE A TOWN OF SUPERIOR SIGN PERMIT PRIOR TO BEING CONSTRUCTED AND MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SECTION 11 OF THE SUPERIOR TOWN CENTER DESIGN GUIDELINES.

PROGRESS SET
-NOT FOR
CONSTRUCTION

pk
ARCHITECTS
PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621



SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN
FOR
element
BY WESTIN
SUPERIOR,
COLORADO

PROJECT NO: 16-302
PRINT DATE: 8-24-2016
DRAWN BY: MP
CHECKED BY: SK

SHEET TITLE:
**POOL BUILDING
AND
ARCHITECTURAL
DETAILS**

SHEET NUMBER:
A9 of 17

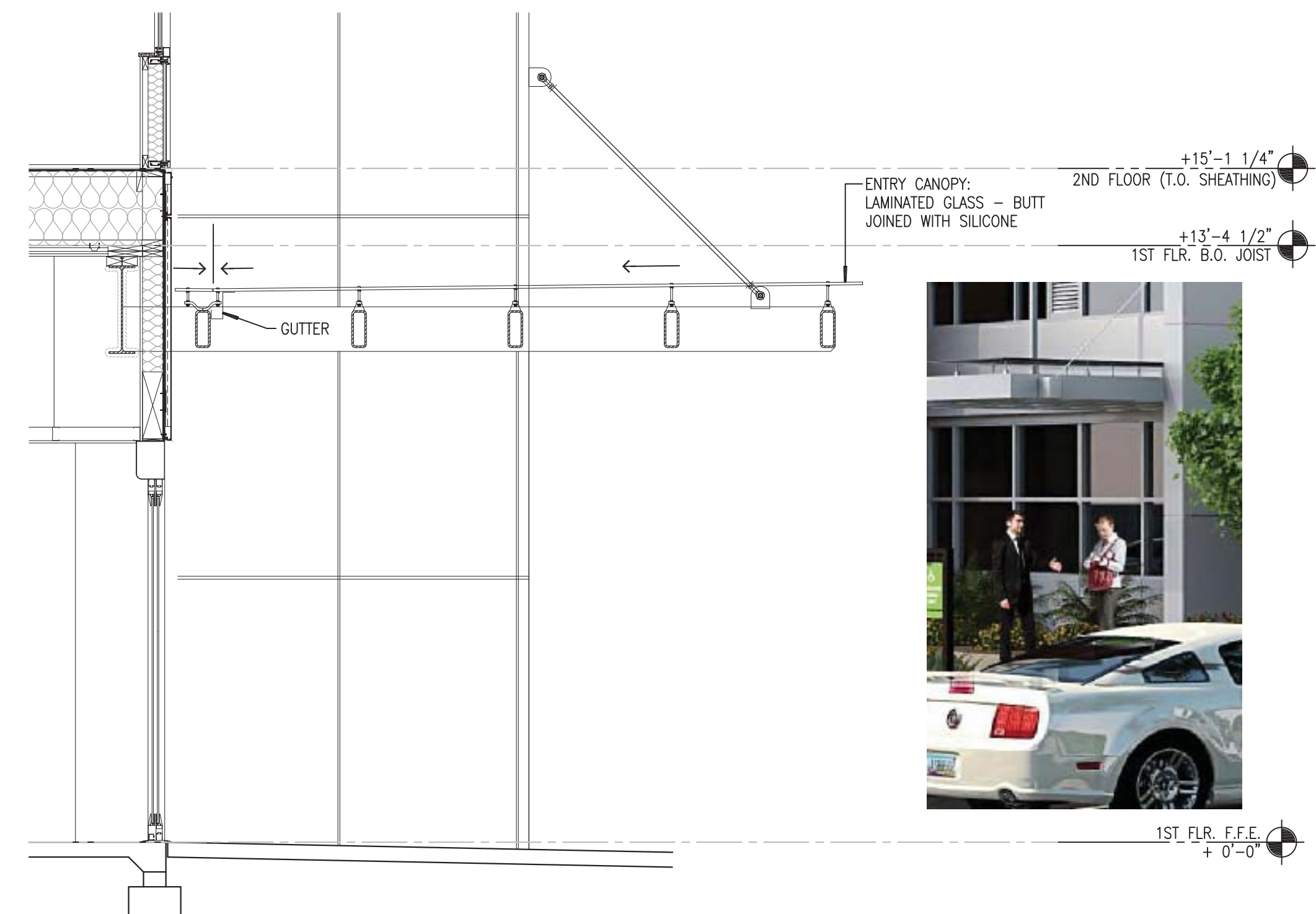
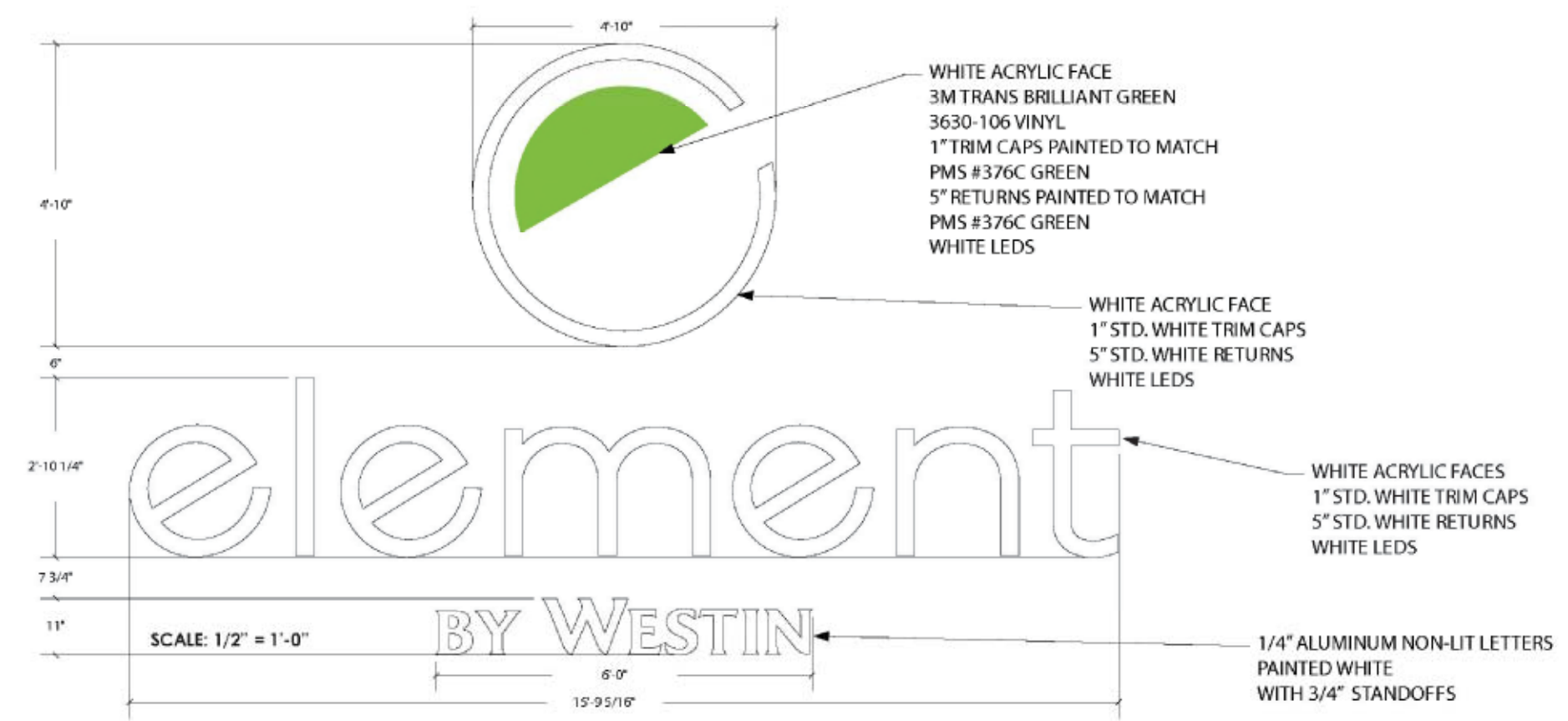
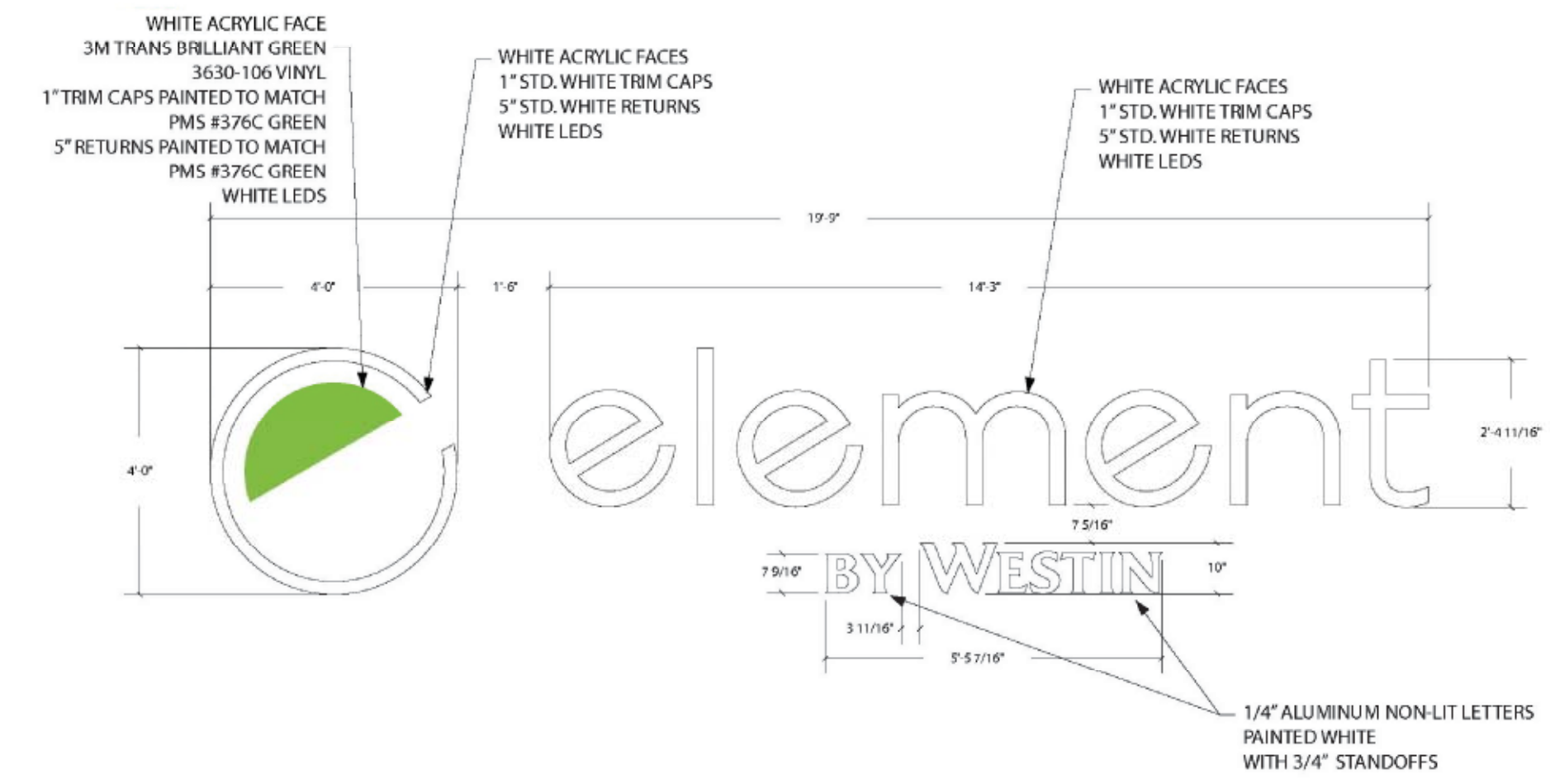
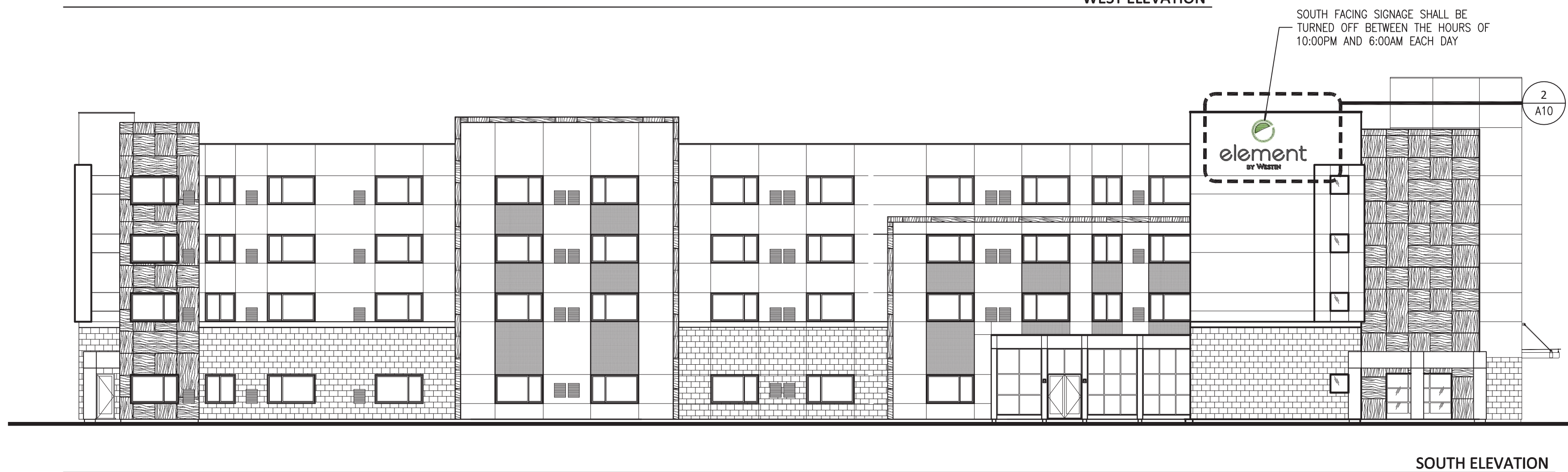
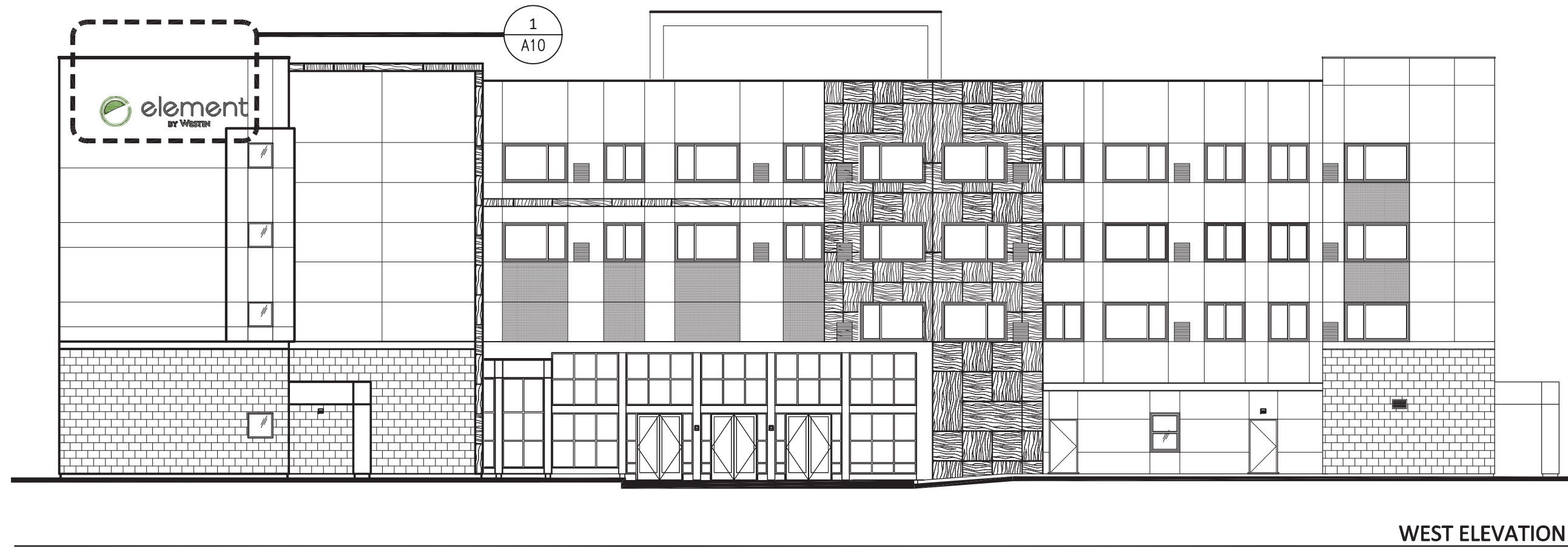
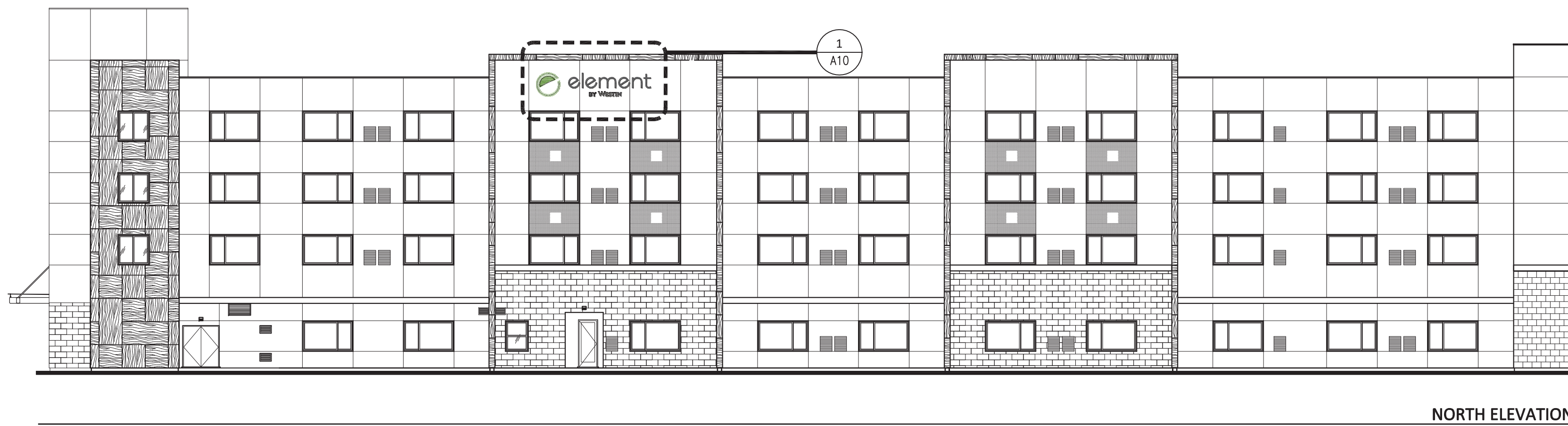
FINAL DEVELOPMENT PLAN

VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
ELEMENT HOTEL by Westin
Superior, Colorado**

Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado



PROGRESS SET
NOT FOR
CONSTRUCTION



PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

**SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN
FOR**

BY WESTIN

**SUPERIOR,
COLORADO**

PROJECT NO: 16-302
PRINT DATE: 8-24-2016
DRAWN BY: MP
CHECKED BY: SK

SHEET TITLE:
**BUILDING
SIGNAGE
AND
ARCHITECTURAL
DETAILS**

SHEET NUMBER:
A10 of 17

FINAL DEVELOPMENT PLAN

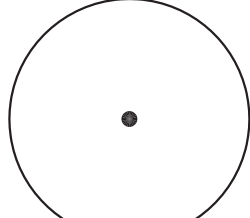

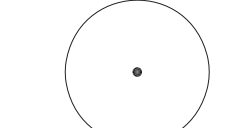
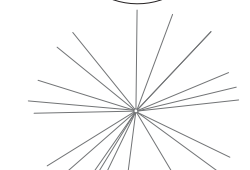




VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.


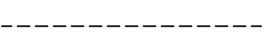




**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
PROPOSED HOTEL
ELEMENT by Westin
Superior, Colorado**

LEGAL DESCRIPTION:
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado

PLANTING LEGEND:

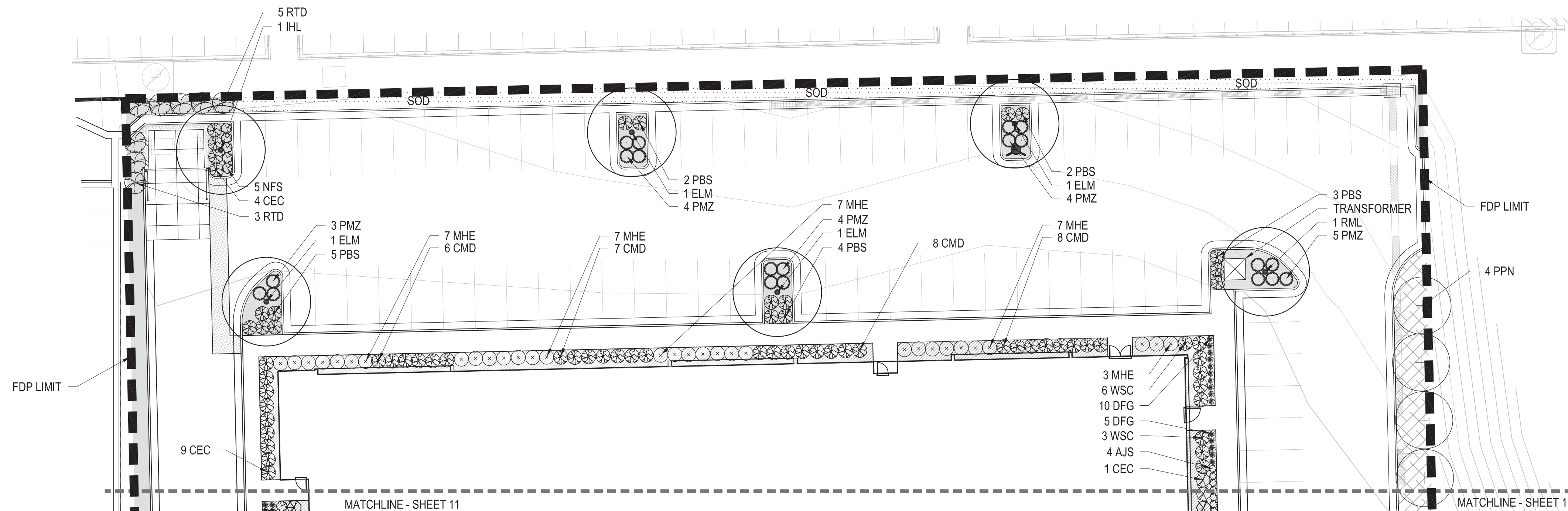
-  DECIDUOUS SHADE TREE
-  EVERGREEN TREE
-  ORNAMENTAL TREE
-  EXISTING TREE
-  EVERGREEN SHRUB
-  DECIDUOUS SHRUB
-  ORNAMENTAL GRASS
-  PERENNIALS

MATERIAL LEGEND:

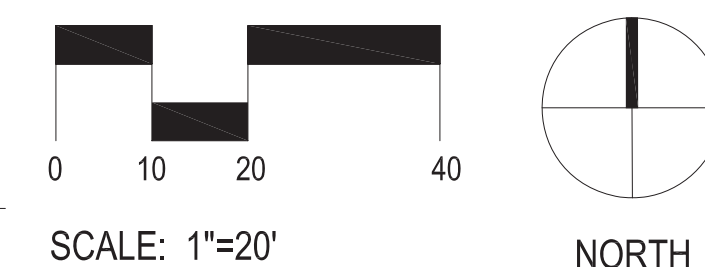
-  FDP LIMIT
-  STEEL EDGER 1/8" X 6" X 10' ROLLED TOP STEEL POWDER COATED BLACK INSTALLED FLUSH WITH GRADE ANCHORED WITH (4) 14" STAKES PER LENGTH
-  ROCK MULCH 1-1/2" RIVER ROCK
-  WOOD MULCH 3" DEPTH NON-DYED CEDAR MULCH BY PIONEER SAND COMPANY. (303) 340-1440
-  SOD TEXAS BLUEGRASS HYBRID
-  NATIVE SEED ROCK CREEK NATIVE IRRIGATED SEED MIX

NOTE:

NATIVE SEED ALONG EASTERN PROPERTY LINE SHALL BE UPDATED TO SOD OR OTHER COMPLIMENTARY LANDSCAPING AFTER THE DEVELOPMENT OF LOT 3B OR WITHIN 2 YEARS OF CO, WHICHEVER OCCURS FIRST



1 LANDSCAPE PLAN
SCALE: 1"= 20'



PROGRESS SET
- NOT FOR
CONSTRUCTION

pk
ARCHITECTS
© 2016

PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

oxbow
DESIGN COLLABORATIVE

1509 YORK ST., SUITE 2J
DENVER, CO 80206
P - 720.465.6168

SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN

element
BY WESTIN

SUPERIOR,
COLORADO

PROJECT NO:	16-302
PRINT DATE:	9-29-2016
DRAWN BY:	JY
CHECKED BY:	DG

SHEET TITLE:
**LANDSCAPE
PLAN**

SHEET NUMBER:
A12 of 17

FINAL DEVELOPMENT PLAN

VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

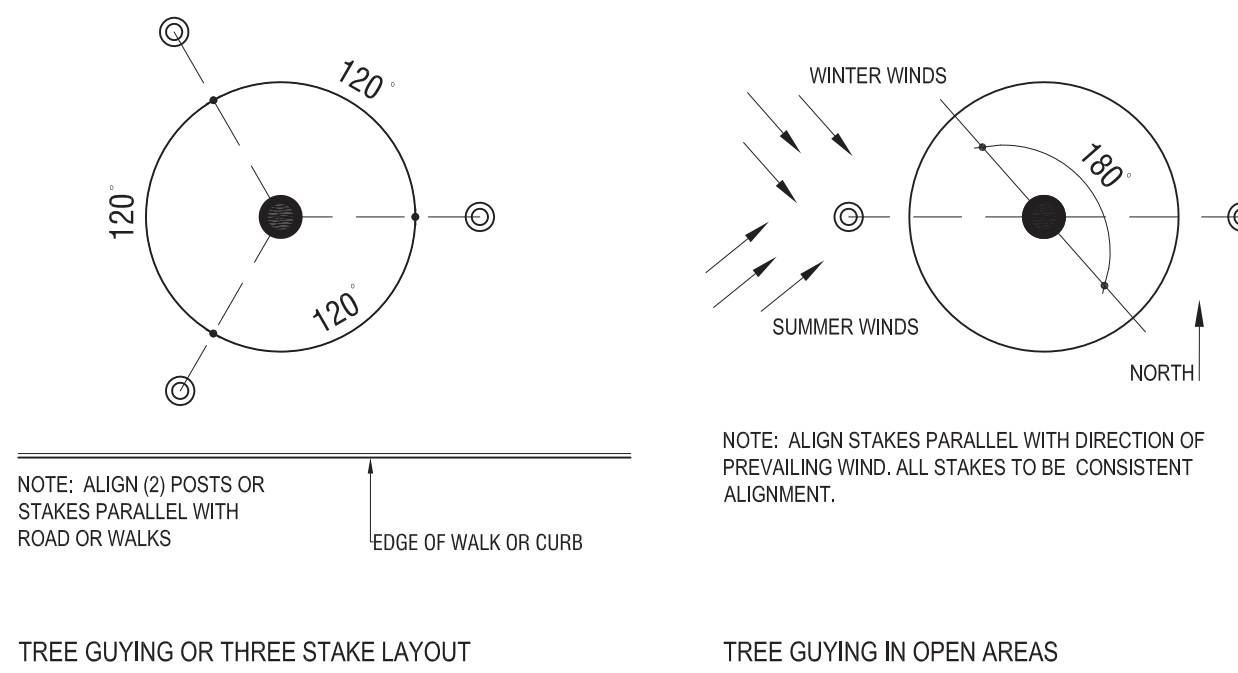
**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
PROPOSED HOTEL
ELEMENT by Westin
Superior, Colorado**

LEGAL DESCRIPTION:
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado

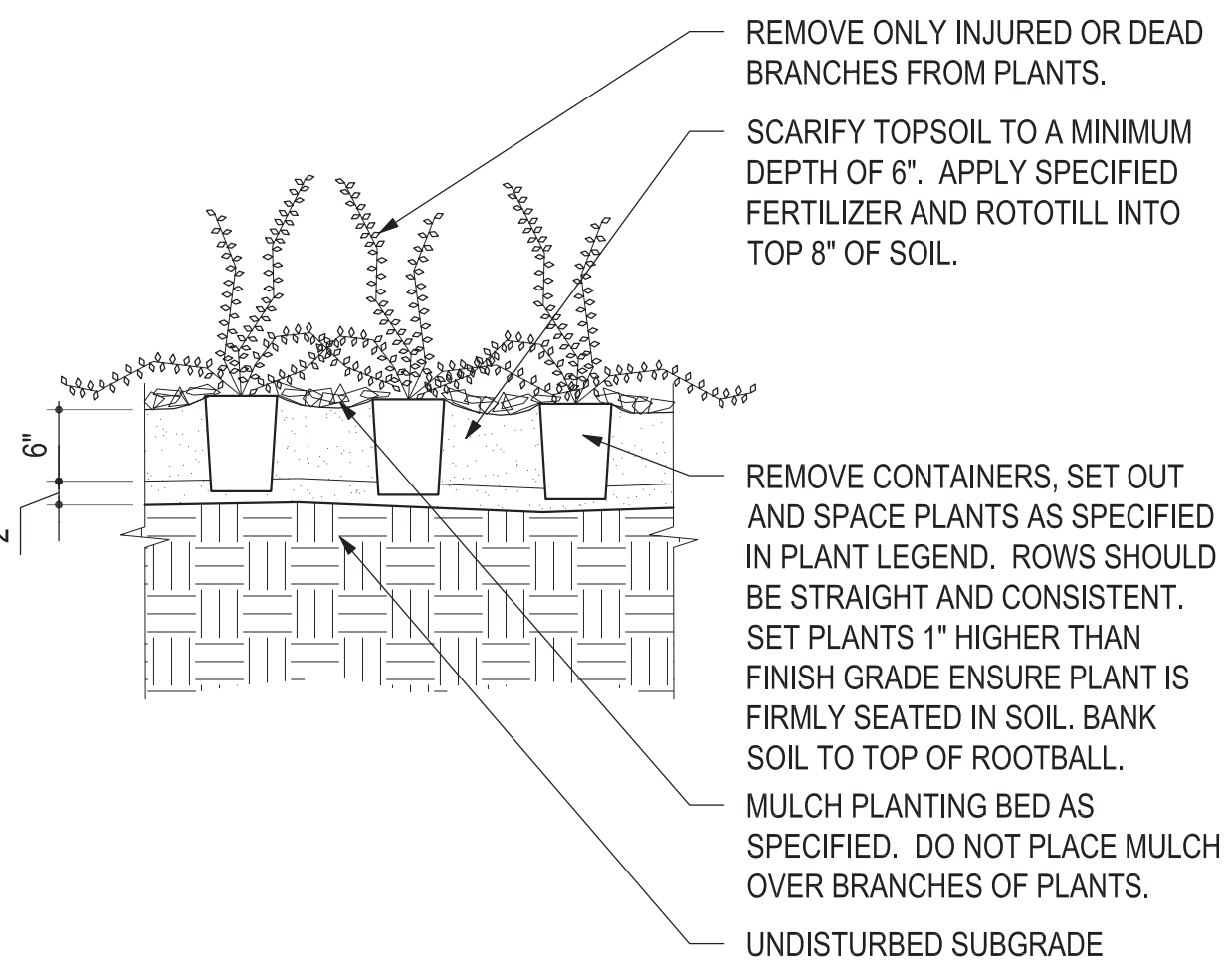
PLANTING SCHEDULE:

DECIDUOUS SHADE TREES								
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING	HEIGHT	WIDTH	WATER
ELM	<i>Acer platanoides</i> 'Emerald Lustre'	Emerald Lustre Maple	4	2.5" cal.	as shown	40 - 50'	30-40'	M
WCA	<i>Catalpa speciosa</i>	Western Catalpa	2	2.5" cal.	as shown	40-60'	30-50'	L
ENO	<i>Quercus robur</i>	English Oak	2	2.5" cal.	as shown	40-60'	40-60'	L - M
IHL	<i>Gleditsia triacanthos inermis</i> 'Imperial'	Imperial Honeylocust	2	2.5" cal.	as shown	30-35'	30-35'	L
RML	<i>Tilia americana</i> 'Redmond'	Redmond Linden	3	2.5" cal.	as shown	40-50'	30-40'	L - M
EVERGREEN TREES								
PPN	<i>Pinus ponderosa</i>	Ponderosa Pine	5	10"	as shown	40'	25'	L
APN	<i>Pinus nigra</i>	Austrian Pine	7	10"	as shown	50'	20-25'	L
ORNAMENTAL TREES								
SSC	<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	2	2" cal.	as shown	20'	15'	M
CSP	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Pear	3	2" cal.	as shown	20-30'	15-20'	M
SCA	<i>Populus tremula</i> 'Erecta'	Swedish Columnar Aspen	4	2" cal.	as shown	30-40"	10'	M
EVERGREEN SHRUBS								
PMZ	<i>Arctostaphylos coloradoensis</i>	Panchito Manzanita	85	#5	4' o.c.	12-24"	4'	L
MMP	<i>Pinus mugo</i> 'Mops'	Miniature Mugo Pine	10	#5	4' o.c.	3-4'	3-4'	L
MIHE	<i>Euonymus kiautschovica</i> 'Manhattar'	Manhattan Euonymus	31	#5	4' o.c.	4-6'	6-8'	M
DECIDUOUS SHRUBS								
RTD	<i>Cornus sericea</i> 'Bailey'	Bailey Redtwig Dogwood	34	#5	6' o.c.	6-8'	6-10'	M
PBB	<i>Buddleia davidii</i> 'Pink Delight'	Pink Butterfly Bush	3	#5	6' o.c.	6-8'	6-8'	L
CMD	<i>Daphne x burkwoodii</i> 'Carol Mackie'	Carol Mackie Daphne	29	#5	4' o.c.	3-5'	3-5'	M
CEC	<i>Viburnum opulus</i> 'Compactum'	Compact European Cranberrybush	105	#5	4' o.c.	4-5'	4-5'	M
KOR	<i>Rosa x 'Knockout'</i>	Knockout Rose	92	#5	3' o.c.	3-4'	3-4'	M
DKS	<i>Caryopteris x clandonensis</i> 'Dark Knight'	Dark Knight Blue Mist Spirea	41	#5	3' o.c.	3-4'	3-4'	L
NFS	<i>Spirea japonica</i> 'Neon Flash'	Neon Flash Spirea	35	#5	3' o.c.	3'	3'	L
WSC	<i>Prunus besseyi</i>	Western Sandcherry	76	#5	4' o.c.	4-6'	4-6'	L
PBS	<i>Prunus besseyi</i> 'Pawnee Buttes'	Creeping Western Sandcherry	68	#5	4' o.c.	1-2'	4-6'	M
MWP	<i>Potentilla fruticosa</i> 'McKay's White'	McKay's White Potentilla	20	#5	3' o.c.	2-3'	2-3'	L
ORNAMENTAL GRASSES								
BAG	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	88	#1	24" o.c.	2-3'	2'	M
DFG	<i>Pennisetum alopecuroides</i> 'Hamelit'	Dwarf Fountain Grass	95	#1	2' o.c.	2-3'	2'	L
FRG	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	149	#1	2-3' o.c.	3-4'	2-3'	M
PERENNIALS								
AJS	<i>Sedum spectabile</i> 'Autumn Joy'	Autumn Joy Sedum	17	#1	24" o.c.	18-36"	18-24"	L
SDY	<i>Leucanthemum sp.</i>	Shasta Daisy	24	#1	24" o.c.	12-24"	12-24"	M
MBC	<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Coreopsis	63	#1	18" o.c.	12-18"	12-18"	M
YAR	<i>Achillea</i> 'Moonshine'	Moonshine Yarrow	29	#1	24" o.c.	18-24"	2-3'	L

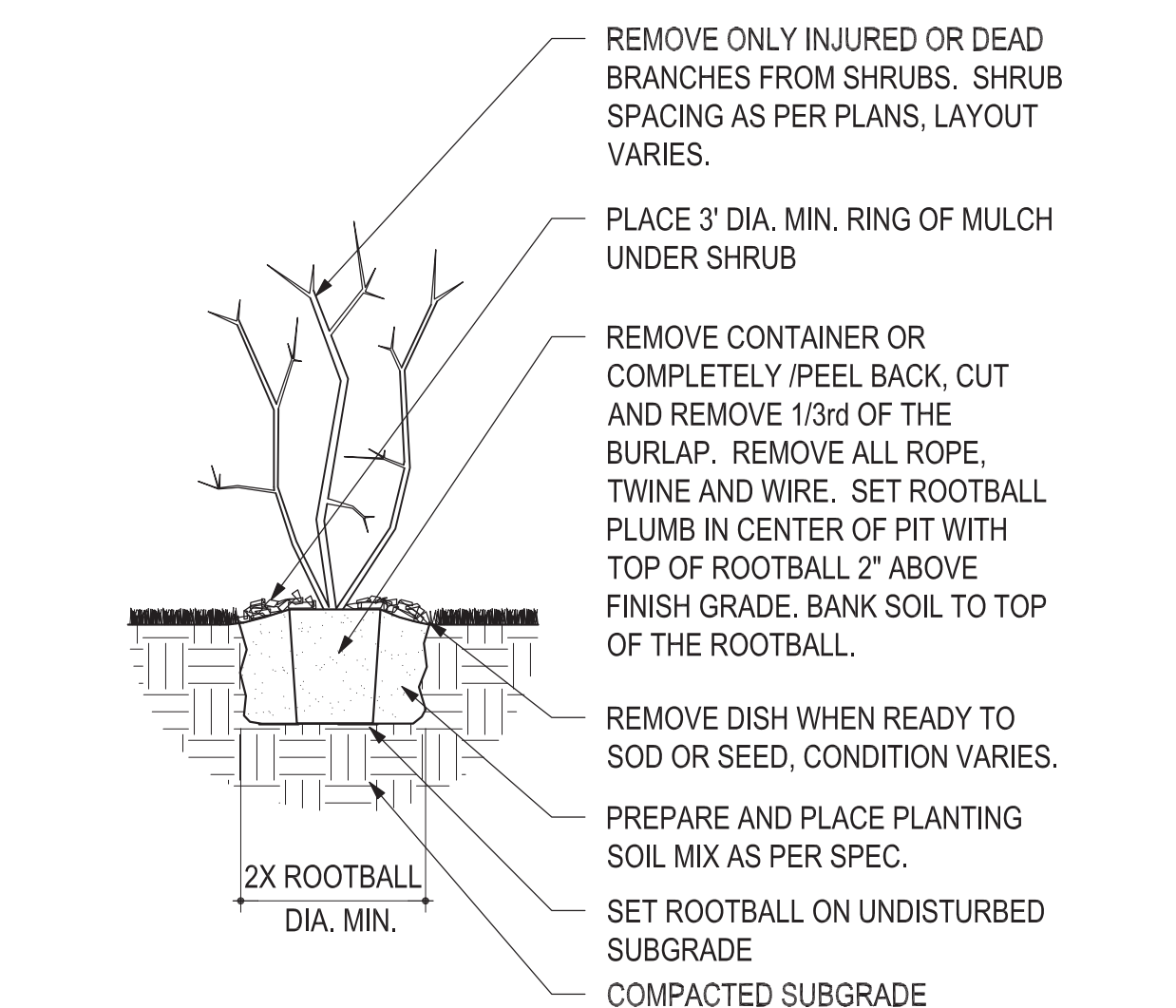
LANDSCAPE DENSITIES			
LANDSCAPE AREA	UNIT	REQUIRED	PROVIDED
OPEN SPACE LANDSCAPE AREA (DEVELOPED LANDSCAPE):	13,337 SF	12-TREES 134-SHRUBS	10-TREES 363-SHRUBS
OPEN SPACE LANDSCAPE AREA (NATURALIZED LANDSCAPE):	2,665 SF	1-TREES 6-SHRUBS	3-TREES 0-SHRUBS
DETENTION POND EDGE LANDSCAPES	246 LF	5-TREES 25-SHRUBS	5-TREES 25-SHRUBS
FOUNDATION PLANTING	661 LF	165-SHRUBS	170-SHRUBS
BUFFER ADJACENT TO COMMERCIAL, RETAIL, AND OFFICE USES	838 LF	21-TREES	21-TREES (13 ON ADJACENT PROPERTY)
PARKING LOT ISLANDS LESS THAN 360 S.F.	2,021 SF	12-TREES 68-SHRUBS	10-TREES 98-SHRUBS



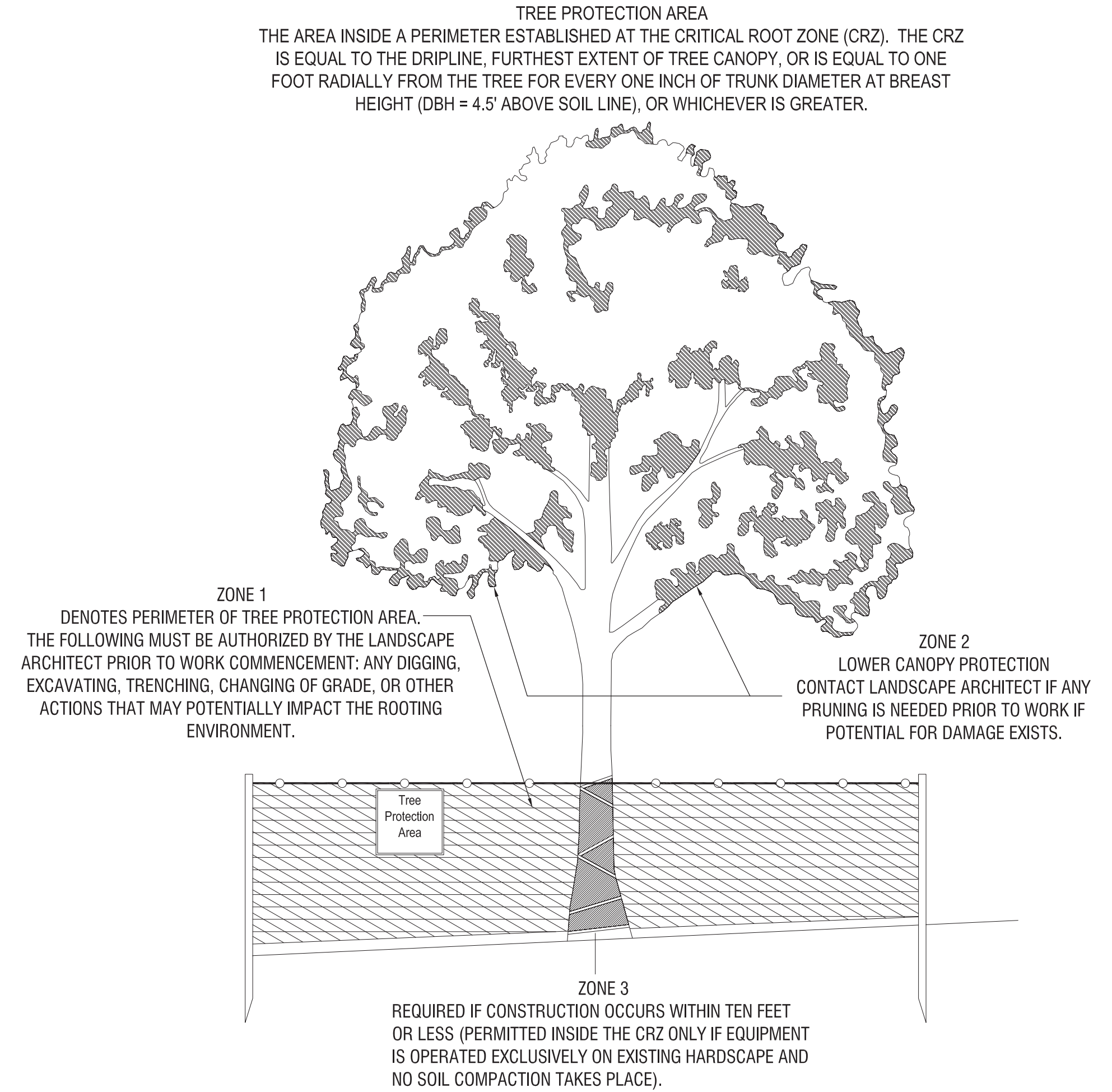
3 TREE GUYING DETAIL
SCALE: 1/2" = 1'-0"



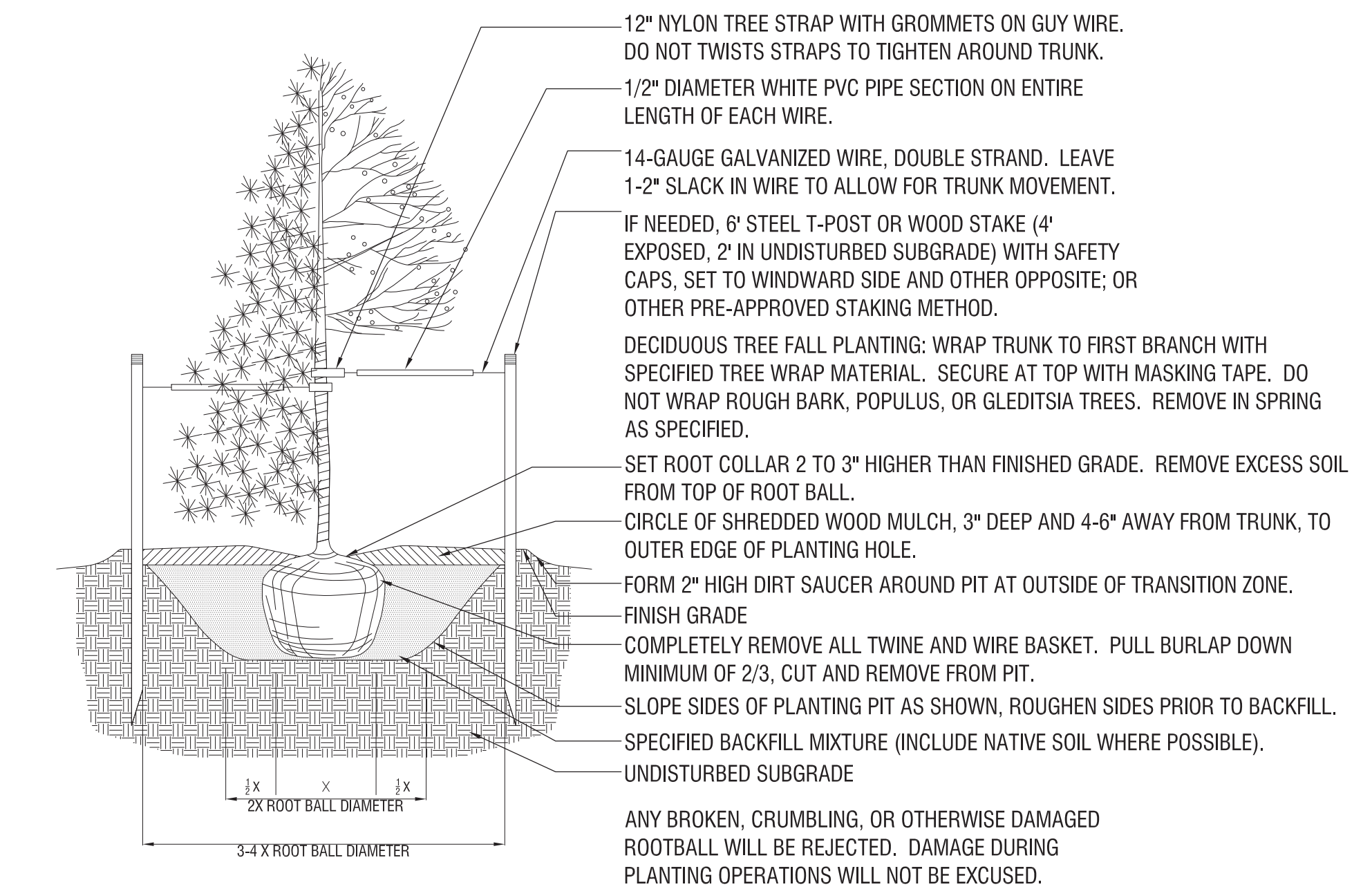
4 GROUNDCOVER DETAIL
SCALE: 1/2" = 1'-0"



4 SHRUB PLANTING DETAIL
SCALE: 1/2" = 1'-0"



1 TREE PRESERVATION DETAIL
SCALE: 1/2" = 1'-0"



2 TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"

PROGRESS SET
- NOT FOR
CONSTRUCTION

pk
ARCHITECTS
© 2016

PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

oxbow
DESIGN COLLABORATIVE

1509 YORK ST., SUITE 2J
DENVER, CO 80206
P - 720.465.6168

SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN

element
BY WESTIN

.....
**SUPERIOR,
COLORADO**

PROJECT NO: 16-302
PRINT DATE: 9-29-2016
DRAWN BY: JY
CHECKED BY: DG

SHEET TITLE:
**LANDSCAPING
SCHEDULES**

SHEET NUMBER:
A13 of 17

VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-69-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
PROPOSED HOTEL
ELEMENT by Westin
Superior, Colorado**

LEGAL DESCRIPTION:
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado

EXTEND FOUR SPARE CONTROL WIRES WITH COMMONS FROM CONTROLLER "A" TO INDICATED LOCATION. ROUTE TWO (OF FOUR) GREEN SPARE WIRES IN CLOCKWISE DIRECTION AROUND MAINLINE LOOP. ROUTE TWO REMAINING BLACK SPARE WIRES IN COUNTER-CLOCKWISE DIRECTION AROUND MAINLINE LOOP. STUB ALL WIRES IN VALVE BOX CONTAINING QUICK COUPLING VALVE.

Irrigation Construction Notes

- ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY OXBOW DESIGN COLLABORATIVE.
- REFER TO TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS FOR INSTALLATION PROCEDURES.
- CONTRACTOR SHALL FIELD VERIFY PRESSURE AT BACKFLOW PREVENTER LOCATION FOR EACH TAP PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCES FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS. EACH SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF XXX PSI.

TAP LOCATION NUMBER	REQUIRED PRESSURE
1	64 PSI

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVE
3/4" & 1" PIPING	ONE 2" PVC SLEEVE EA.
1-1/2" & 2" PIPING	ONE 4" PVC SLEEVE EA.
1-25 CONTROL WIRES	ONE 2" PVC SLEEVE

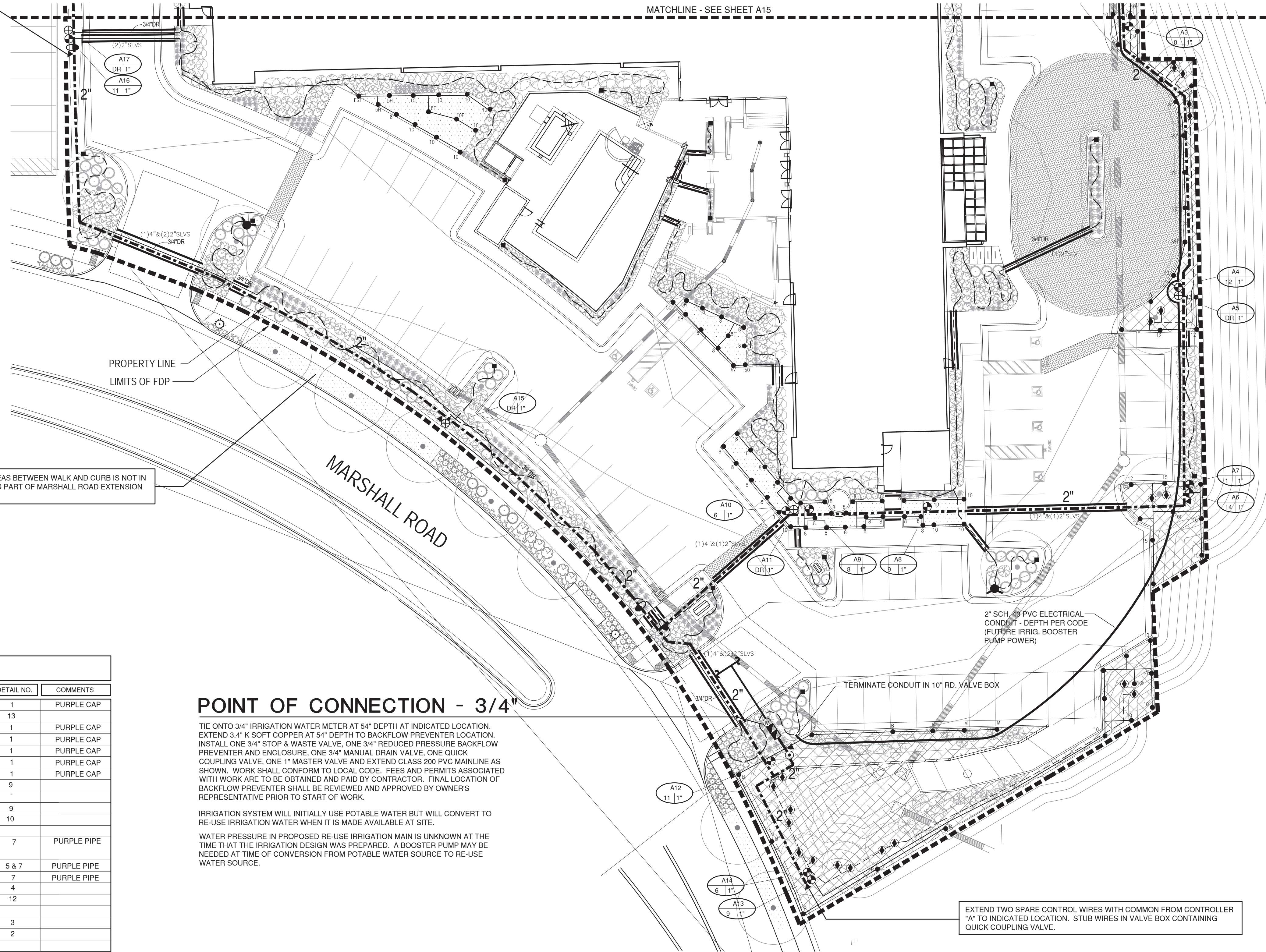
- NOTE: EACH LENGTH OF SLEEVED PIPE SHOWN SHALL BE ROUTED THROUGH SEPARATE SLEEVE. IRRIGATION WIRE BUNDLE SHALL BE ROUTED IN SEPARATE SLEEVE/CONDUIT WITHOUT IRRIGATION PIPING
- WHERE NOT NOTED ON IRRIGATION PLANS CONTRACTOR TO INSTALL PLASTIC 15 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED GREATER THAN 12 FEET. INSTALL 12 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 10-12 FEET. INSTALL 10 SERIES NOZZLES ON ALL POP-UP SPRAY HEADS SPACED 8-10 FEET. INSTALL 8 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 8 FEET AND LESS.
 - REFER TO PLANTING PLAN FOR EXACT TREE LOCATIONS AND QUANTITIES. TREES SHOWN ON IRRIGATION PLANS ARE APPROXIMATE.
 - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION EQUIPMENT, TURF, PLANT MATERIAL OR SITE FEATURES DAMAGED DURING NEW INSTALLATION. REPLACEMENT OR REPAIR OF DAMAGED EQUIPMENT OR MATERIAL SHALL BE DETERMINED BY THE OWNER AND THE CONSULTANT.
 - VALVE BOXES SHALL BE LOCATED 36" MINIMUM FROM CENTERLINE OF ALL SWALES, 24" MINIMUM FROM EDGES OF ALL WALKS, CURBS, DRIVES AND OTHER HARD SURFACE AREAS.
 - REFER TO IRRIGATION TECHNICAL SPECIFICATIONS FOR PLANTING AND IRRIGATION LAY-OUT REQUIREMENTS, COORDINATION AND PRIORITIES.
 - LATERAL PIPING DIAMETERS SHALL INCLUDE 1" AND 1 1/2". 3/4" AND 1 1/4" DIAMETER LATERAL PIPE IS NOT ACCEPTABLE.

Irrigation Equipment and Materials Schedule

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	COMMENTS
•	HUNTER	PROS-06-PRS30-CV-R W/ RAIN BIRD HE-VAN NOZZ.	POP-UP SPRAY HEAD	1	PURPLE CAP
•	HUNTER	RWS-M-B-C-1402 W/ RWS SOCK	ROOT WATERING SYSTEM	13	
•	HUNTER	PROS-06-PRS40-CV-R W/ MP1000-90 NOZZ.	POP-UP HEAD W/ ROTARY NOZZ.	1	PURPLE CAP
•	HUNTER	PROS-06-PRS40-CV-R W/ MP2000-90NOZZ.	POP-UP HEAD W/ ROTARY NOZZ.	1	PURPLE CAP
•	HUNTER	PROS-06-PRS40-CV-R W/ MP2000-360 NOZZ.	POP-UP HEAD W/ ROTARY NOZZ.	1	PURPLE CAP
•	HUNTER	PROS-06-PRS40-CV-R W/ MP3000-90 NOZZ.	POP-UP HEAD W/ ROTARY NOZZ.	1	PURPLE CAP
•	HUNTER	PROS-06-PRS40-CV-R W/ MP3000-360 NOZZ.	POP-UP HEAD W/ ROTARY NOZZ.	1	PURPLE CAP
•	BY OTHERS	LINE SIZE	GATE VALVE	9	
⊕	RAIN BIRD	3/4" - BY OTHERS	IRRIG. WATER METER	-	
⊕	TORO	XCZ-100-PRB-COM	DRIP VALVE ASSEMBLY	9	
—		DURA-POL	POLY DRIP TUBING	10	
—		SCHEDULE 40 SOLVENT WELD	PVC SLEEVING		PURPLE PIPE
—		CLASS 200 SOLVENT WELD - 1" DIA.	PVC LATERAL	7	
—		UNLESS NOTED OTHERWISE			
—		CLASS 200 SOLVENT WELD	PVC MAINLINE	5 & 7	PURPLE PIPE
—		CLASS 315 SOLVENT WELD - 3/4"	PVC DRIP SUPPLY LATERAL	7	PURPLE PIPE
⊙	BUCKNER-SUPERIOR	3200 SERIES - 1"	MASTER VALVE	4	
⊙	HUNTER	WRF-CLIK	WIRELESS RAIN/FREEZE SENSOR	12	
—		LINE SIZE	DRIP LINE BLOW-OUT STOP		
⊙	RAIN BIRD	44 NP	QUICK COUPLING VALVE	3	
⊙	RAIN BIRD	PES-B SERIES	ELECTRIC CONTROL VALVE	2	
⊙	HUNTER	I-CORE-PL SERIES	ELECTRIC CONTROLLER		
⊙		3/4" DIA.	MANUAL DRAIN VALVE	5	
⊙	FEBCO	825YA - 3/4" DIA.	IRRIG. BACKFLOW PREVENTER	14 & 15	
—			LIMITS OF FDP		

— CONTROLLER & STATION NO.
— CONTROL VALVE SIZE

IRRIGATION IN AREAS BETWEEN WALK AND CURB IS NOT IN CONTRACT AND IS PART OF MARSHALL ROAD EXTENSION FDP PROJECT.

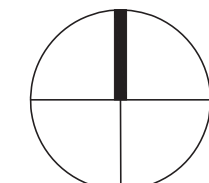
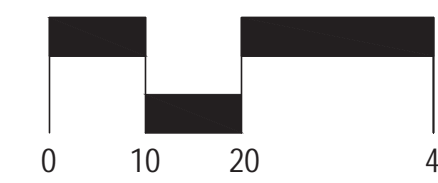


POINT OF CONNECTION - 3/4"

TIE ONTO 3/4" IRRIGATION WATER METER AT 54" DEPTH AT INDICATED LOCATION. EXTEND 3.4" K SOFT COPPER AT 54" DEPTH TO BACKFLOW PREVENTER LOCATION. INSTALL ONE 3/4" STOP & WASTE VALVE, ONE 3/4" REDUCED PRESSURE BACKFLOW PREVENTER AND ENCLOSURE, ONE 3/4" MANUAL DRAIN VALVE, ONE QUICK COUPLING VALVE, ONE 1" MASTER VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

IRRIGATION SYSTEM WILL INITIALLY USE POTABLE WATER BUT WILL CONVERT TO RE-USE IRRIGATION WATER WHEN IT IS MADE AVAILABLE AT SITE.

WATER PRESSURE IN PROPOSED RE-USE IRRIGATION MAIN IS UNKNOWN AT THE TIME THAT THE IRRIGATION DESIGN WAS PREPARED. A BOOSTER PUMP MAY BE NEEDED AT TIME OF CONVERSION FROM POTABLE WATER SOURCE TO RE-USE WATER SOURCE.



1 IRRIGATION PLAN
SCALE: 1" = 20'

PROGRESS SET
- NOT FOR
CONSTRUCTION



PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

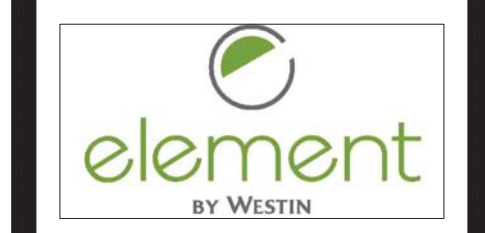


1509 YORK ST., SUITE 2J
DENVER, CO 80206
P - 720.465.6168



1714 W. JEFFERSON AVENUE, SUITE 201
LAKESIDE, CO 80402
VOICE: 303.986.2175
FAX: 303.989.5814

SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN



SUPERIOR,
COLORADO

PROJECT NO: 16-302
PRINT DATE: 9-29-2016
DRAWN BY: DZ
CHECKED BY: DZ

SHEET TITLE:
IRRIGATION
PLAN

SHEET NUMBER:
A14 of 17

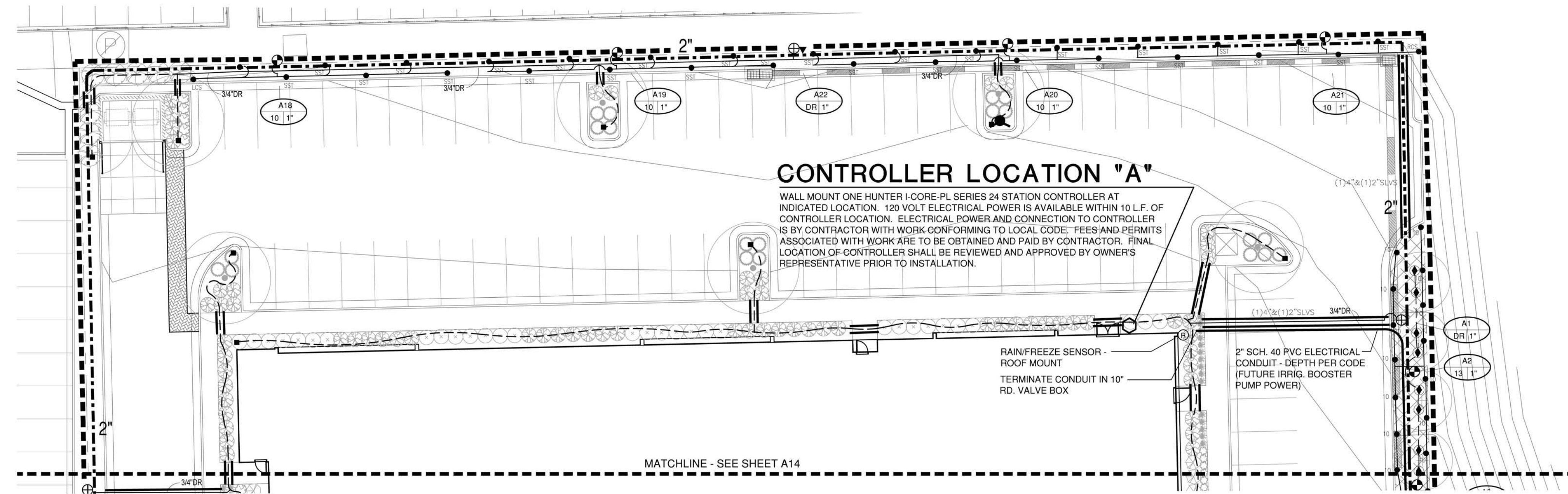
FINAL DEVELOPMENT PLAN

VESTING RIGHTS:

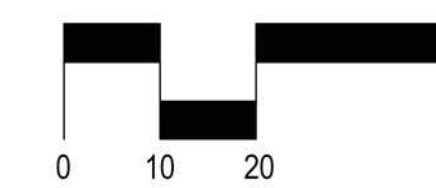
THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR
PROPOSED HOTEL
ELEMENT by Westin
Superior, Colorado**

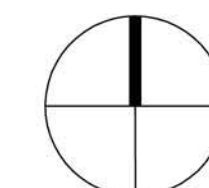
LEGAL DESCRIPTION:
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State of Colorado



1 IRRIGATION PLAN
SCALE: 1"= 20'



SCALE: 1"=20'



NORTH

PROGRESS SET
- NOT FOR
CONSTRUCTION



PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621



1509 YORK ST., SUITE 2J
DENVER, CO 80206
P - 720.465.6168



**SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN**



**SUPERIOR,
COLORADO**

PROJECT NO:	16-302
PRINT DATE:	9-29-2016
DRAWN BY:	DZ
CHECKED BY:	DZ

SHEET TITLE:
**IRRIGATION
PLAN**

SHEET NUMBER:
A15 of 17

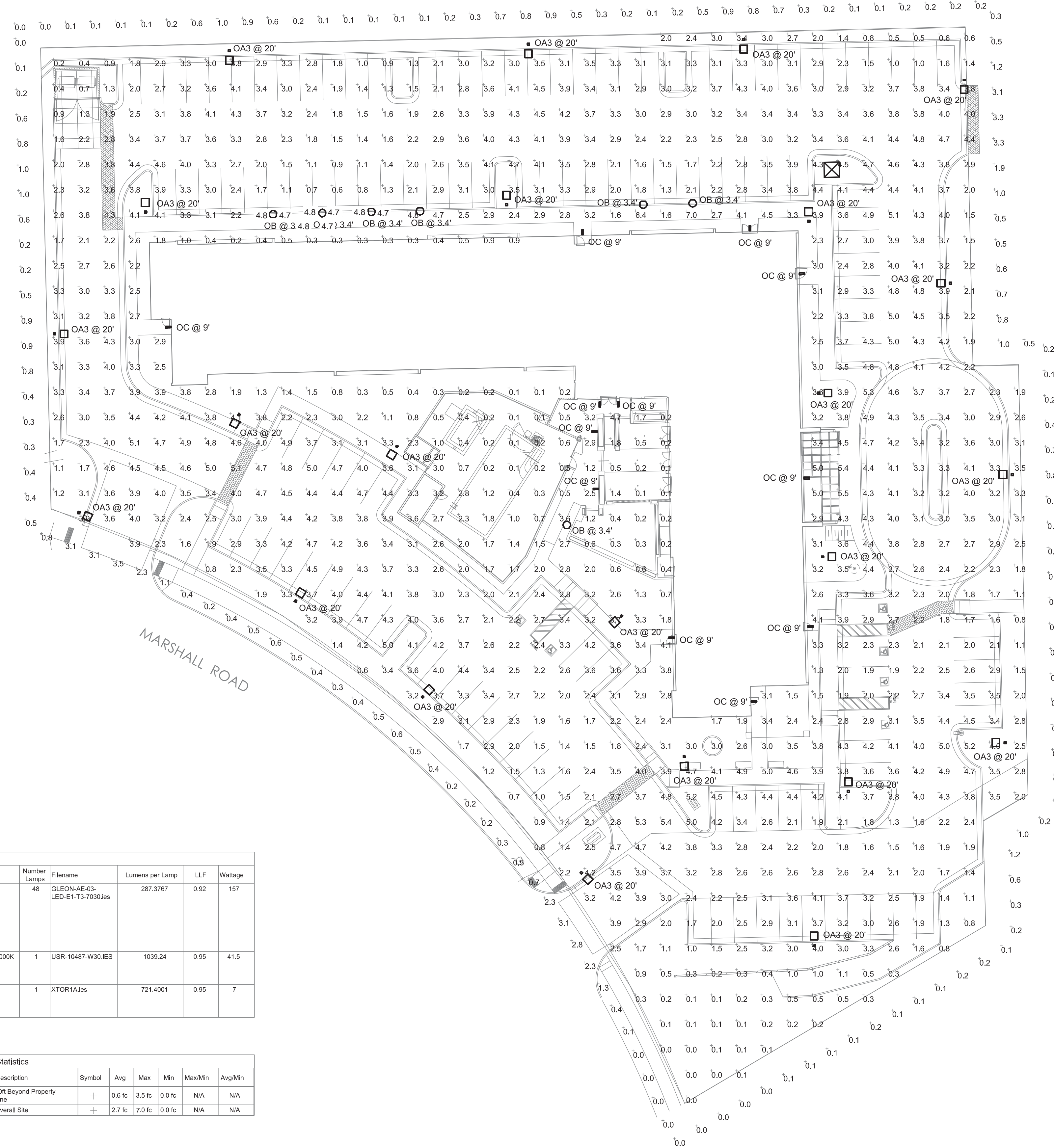
FINAL DEVELOPMENT PLAN

VESTING RIGHTS:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. THE TERM AND OTHER CONDITIONS OF THESE VESTED RIGHTS ARE FURTHER DESCRIBED IN THE DEVELOPMENT AGREEMENT DATED MARCH 11, 2013.

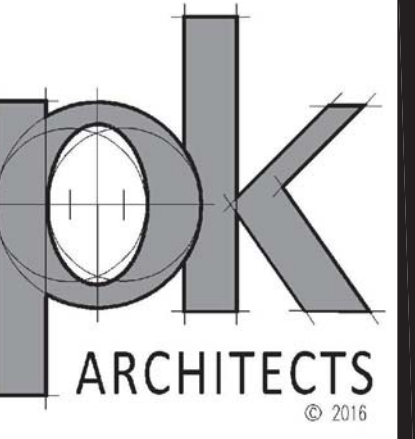
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR ELEMENT HOTEL by Westin Superior, Colorado

LEGAL DESCRIPTION:
Of Block 1, Lot 3A, Superior Town Center Filing No. 1B, Replat No. 3, Situate In The Northwest Quarter of the Northwest Quarter of Section 19, Township 1 South, Range 69 West of the 6th P.M. Town Of Superior, County Of Boulder, State Of Colorado



Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
□	OA3	24	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AE-03-LED-E-1-73-7030	GALLEON LED AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 3000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS. ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		48	GLEON-AE-03-LED-E-1-73-7030.ies	287.3767	0.92	157
○	OB	7	LIGMAN	USR-10487-W30	Strand bollard LED	1 LED 3000K	1	USR-10487-W30.IES	1039.24	0.95	41.5
▮	OC	12	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR1A	LUMARK CROSSSTOUR 1A - 5000K CCT		1	XTOR1A.ies	721.4001	0.95	7

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
10ft Beyond Property Line	+	0.6 fc	3.5 fc	0.0 fc	N/A	N/A
Overall Site	+	2.7 fc	7.0 fc	0.0 fc	N/A	N/A



PK ARCHITECTS, PC
4515 S. MCCLINTOCK DRIVE, #206
TEMPE, ARIZONA 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT
PLAN



.....
SUPERIOR,
COLORADO

PROJECT NO: 16-302
PRINT DATE: 8-24-2016
DRAWN BY: EV
CHECKED BY: BH

SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
A16 of 17

LIGHTING PLAN
SCALE: 1" = 25'-0"
NORTH

FINAL DEVELOPMENT PLAN

