

**SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN
AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL**
 LOTS 1 AND 2, BLOCK 1, SUPERIOR TOWN CENTER FILING NO. 1B
 NW 1/4 OF THE NW 1/4 OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
 TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 1, SUPERIOR TOWN CENTER FILING NO. 1B
 RECORDED FEBRUARY 02, 2014 AS RECEPTION NO. 3367475 OF
 THE RECORDS OF BOULDER COUNTY, TOWN OF SUPERIOR, COUNTY
 OF BOULDER, STATE OF COLORADO.

LOT 1 CONTAINS 35,771 SQUARE FEET OR 0.821 ACRES, MORE OR
 LESS.

LOT 2 CONTAINS 29,618 SQUARE FEET OR 0.680 ACRES, MORE OR
 LESS.

BENCHMARK

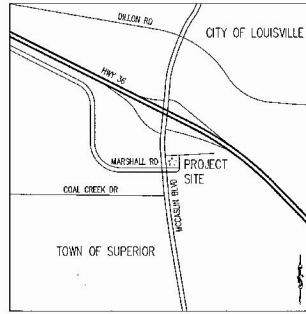
A 3" DIAMETER BRASS CAP EMBEDDED IN THE CONCRETE
 SIDEWALK ALONG THE EASTERLY SIDE OF MCCASLIN BOULEVARD IN
 THE VICINITY OF WHERE WILLIAM STREET WOULD INTERSECT
 MCCASLIN BOULEVARD, NEAR THE BRIDGE CROSSING COAL CREEK.
 STAMPED "LORPE" AND "2004"
 NAVD 1988 ELEVATION 5489.55 (BASED ON GPS OBSERVATION).

BASIS OF BEARINGS

ASSUMING THE WEST LINE OF THE NORTHWEST QUARTER OF THE
 NORTHWEST QUARTER OF SECTION 19, T.1S., R.69W., AS BEARING
 NORTH 00°28'15" WEST BEING A GRID BEARING OF THE COLORADO
 STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH
 AMERICAN DATUM 1983/2007, A DISTANCE OF 1320.41 FEET WITH
 ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

NOTES:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS
 DEFINED IN SECTION 24-68-101, ET SEQ., C.R.S., AND CHAPTER 18
 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE
 SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR,
 COLORADO.



VICINITY MAP

SCALE = 1:1000

CONTACTS

APPLICANT:
 CENTERPOINT DEVELOPMENT COMPANY, LLC
 4014 N. GOLDWATER BLVD, SUITE 204
 SCOTTSDALE, AZ 85261
 CONTACT: CLINT JENSEN, COP
 T: (602) 528-3637
 E: CLINT@CENTERPOINT-DEV.COM

OWNER:
 TOWN OF SUPERIOR
 124 E. COAL CREEK DR
 SUPERIOR, CO 80027

ARCHITECT:
 G3 ARCHITECTURE
 5810 EAST YALE CIRCLE, STE 301
 DENVER, CO 80222
 CONTACT: SCOTT HALL, AIA
 T: (720) 442-8416

CIVIL ENGINEER:
 RIDGETOP ENGINEERING & CONSULTING, LLC
 5255 RONALD REAGAN BLVD, SUITE 210
 JOHNSTOWN, CO 80534
 CONTACT: MIKE BEACH, PE
 T: (303) 322-7480
 E: MIKE@RIDGETOPENG.COM

SURVEYOR:
 KING SURVEYORS
 650 E. GARDEN DRIVE
 WINTER, CO 80555
 CONTACT: STEVEN LINDO, PLS
 T: (970) 888-5011

DRAWING INDEX

SHEET	DRAWING TITLE	# OF #
CV-1	COVER SHEET	1 OF 15
OM-1	OVERALL KEY PLAN	2 OF 15
C-1.0	SITE PLAN	3 OF 15
C-2.0	DRAINAGE PLAN	4 OF 15
C-2.1	STORM DRAINAGE PROFILES	5 OF 15
C-2.2	UTILITY PLAN	6 OF 15
EPI.1	PHOTOMETRIC PLAN	7 OF 15
EPI.2	PHOTOMETRIC CUT SHEET	8 OF 15
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AE2	ARCHITECTURAL ELEVATIONS	10 OF 15
AD1	ARCHITECTURAL DETAILS	11 OF 15
AD2	ARCHITECTURAL DETAILS	12 OF 15
L1	LANDSCAPE COVER SHEET & PLANT LIST	13 OF 15
L2	LANDSCAPE PLAN	14 OF 15
I1	IRRIGATION PLAN	15 OF 15



PROJECT TITLE
**SUPERIOR TOWN
 CENTER FINAL
 DEVELOPMENT
 PLAN AND
 SPECIAL USE
 REVIEW FOR
 SUPERIOR RETAIL**

MARSHALL RD /
 MCCASLIN BLVD
 SUPERIOR, CO

PREPARED FOR
**CENTERPOINT
 DEVELOPMENT
 COMPANY, LLC**

4014 N. GOLDWATER
 BLVD, SUITE 204
 SCOTTSDALE, AZ



CERTIFICATE OF OWNERSHIP

I CERTIFY THAT I, Clint Jensen AM AN OWNER REPRESENTATIVE OF THE PROPERTY AND CONSENT TO THIS PLAN.

IN WITNESS WHEREOF I HEREBY SET MY HAND THIS 6th DAY OF June, 2016.

Clint Jensen
 MAYOR, TOWN OF SUPERIOR

NOTARIAL CERTIFICATE

STATE OF COLORADO

COUNTY OF BOULDER

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF June,

2016, BY Clint Jensen

MY COMMISSION EXPIRES 25-17
 PHILIP L. HARRON
 NOTARY PUBLIC
 STATE OF CO 07-100700
 QUALIFIED BY 10/24/2010
 My Commission Expires Feb. 2, 2017

Philip L. Harron (SEAL)
 NOTARY PUBLIC

BOARD OF TRUSTEES' CERTIFICATE

APPROVED BY THE BOARD OF TRUSTEES' OF THE TOWN OF SUPERIOR, STATE OF COLORADO.

WITNESS MY HAND WITH THE CORPORATE SEAL OF THE TOWN OF SUPERIOR THIS 6th DAY OF June, 2016.

ATTEST:

Philip L. Harron
 TOWN CLERK

Clint Jensen
 MAYOR

TOWN CLERK CERTIFICATE

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS ADOPTED BY THE BOARD OF TRUSTEES BY [RESOLUTION/ORDINANCE]

NO. R-27 SERIES 2016 ON April 11, 2016, AND WAS FILED IN MY OFFICE ON THE 1ST DAY

OF June, 2016, AT 11 O'CLOCK A.M.

Philip L. Harron
 TOWN CLERK

SUBMITTAL
 FINAL DEVELOPMENT PLAN /
 SPECIAL USE REVIEW

DRAWN BY:	PISS
CHECKED BY:	MRS
PROJECT NO.:	15001002
REVISIONS	DATE
TOWN COMMENTS	07/20/16
TOWN COMMENTS	3/04/2016
TOWN COMMENTS	3/09/2016
TOWN COMMENTS	4/04/2016
TOWN COMMENTS	4/06/2016
TOWN COMMENTS	5/17/2016
YEAR:	

DATE

1/18/2016

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1



Know what's below.
 Call before you dig.

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS
 DEFINED IN SECTION 24-68-101, ET SEQ., C.R.S., AND CHAPTER 18
 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR
 TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO.

Memo of Record
 Receipt # 03522597

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

LOTS 1 AND 2, BLOCK 1, SUPERIOR TOWN CENTER FILING NO. 1B
NW 1/4 OF THE NW 1/4 OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO

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L1	LANDSCAPE COVER SHEET & PLANT LIST	13 OF 15
L2	LANDSCAPE PLAN	14 OF 15
I1	IRRIGATION PLAN	15 OF 15

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 1, SUPERIOR TOWN CENTER FILING NO. 1B RECORDED FEBRUARY 25, 2014 AS RECEPTION NO. 3367475 OF THE RECORDS OF BOULDER COUNTY, TOWN OF SUPERIOR, COUNTY OF BOULDER, STATE OF COLORADO.

LOT 1 CONTAINS 35,771 SQUARE FEET OR 0.821 ACRES, MORE OR LESS.

LOT 2 CONTAINS 29,618 SQUARE FEET OR 0.680 ACRES, MORE OR LESS.

BENCHMARK

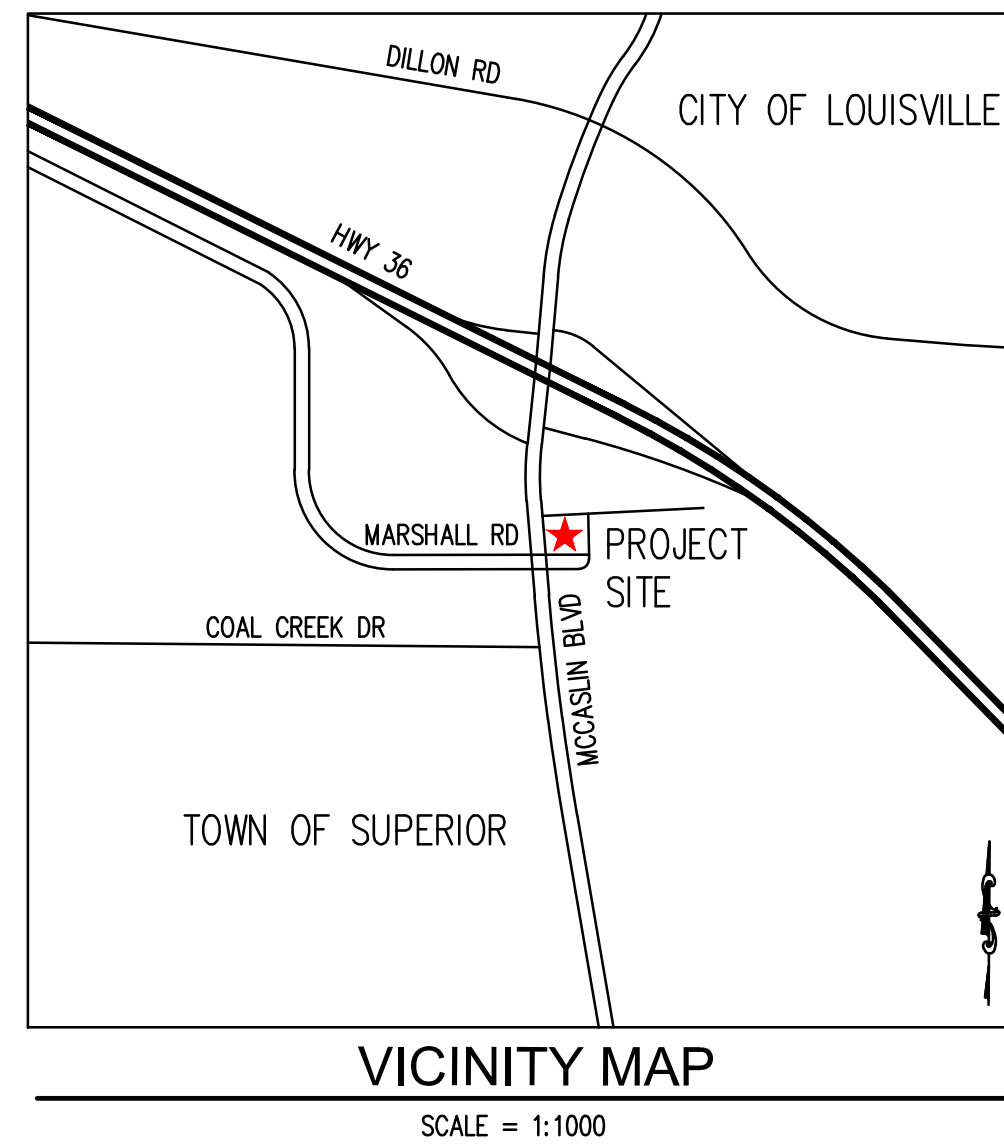
A 3" DIAMETER BRASS CAP EMBEDDED IN THE CONCRETE SIDEWALK ALONG THE EASTERLY SIDE OF MCCASLIN BOULEVARD IN THE VICINITY OF WHERE WILLIAM STREET WOULD INTERSECT MCCASLIN BOULEVARD. NEAR THE BRIDGE CROSSING COAL CREEK. STAMPED "UDFCO" AND "2004"
NAVD 1988 ELEVATION 5489.55 (BASED ON GPS OBSERVATION).

BASIS OF BEARINGS

ASSUMING THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, T.1S., R.69W., AS BEARING NORTH 00°26'15" WEST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2007, A DISTANCE OF 1320.41 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

NOTES:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, ET SEQ., C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO.



CONTACTS

APPLICANT: CENTERPOINTE DEVELOPMENT COMPANY, LLC. 4014 N. GOLDWATER BLVD, SUITE 204 SCOTTSDALE, AZ 85251 CONTACT: J. CLINT JAMESON, CDP T: (602) 538-3637 E: CLINT@CENTERPOINTE-DEV.COM	CIVIL ENGINEER: RIDGETOP ENGINEERING & CONSULTING, LLC. 5255 RONALD REAGAN BLVD, SUITE 210 JOHNSTOWN, CO 80534 CONTACT: MIKE BEACH, PE T: (303) 322-6480 E: MBEACH@RIDGETOPENG.COM
--	---

OWNER: TOWN OF SUPERIOR 124 E. COAL CREEK DR. SUPERIOR, CO 80027	SURVEYOR: KING SURVEYORS 650 E. GARDEN DRIVE WINDSOR, CO 80550 CONTACT: STEVEN LUND, PLS T: (970) 686-5011
--	--

ARCHITECT: C3 ARCHITECTURE 5150 EAST YALE CIRCLE, STE 301 DENVER, CO 80222 CONTACT: SCOTT HIGA, AIA T: (720) 542-9416

CERTIFICATE OF OWNERSHIP

I CERTIFY THAT I, _____, AM AN OWNER REPRESENTATIVE OF THE PROPERTY AND CONSENT TO THIS PLAN.

IN WITNESS WHEREOF I HEREUNTO SET MY HAND THIS _____ DAY OF _____, 20____.

MAYOR, TOWN OF SUPERIOR

NOTARIAL CERTIFICATE

STATE OF COLORADO

COUNTY OF BOULDER

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____,

20____, BY _____

MY COMMISSION EXPIRES _____ (SEAL)

NOTARY PUBLIC

BOARD OF TRUSTEES' CERTIFICATE

APPROVED BY THE BOARD OF TRUSTEES' OF THE TOWN OF SUPERIOR, STATE OF COLORADO.

WITNESS MY HAND WITH THE CORPORATE SEAL OF THE TOWN OF SUPERIOR THIS _____ DAY OF _____, 20____.

ATTEST:

TOWN CLERK

MAYOR

TOWN CLERK CERTIFICATE

I HERBY CERTIFY THAT THIS INSTRUMENT WAS ADOPTED BY THE BOARD OF TRUSTEES BY {RESOLUTION/ORDINANCE}

NO. _____, SERIES 20____ ON _____, 20____, AND WAS FILED IN MY OFFICE ON THE _____ DAY

OF _____, 20____, AT _____ O'CLOCK ____M.

TOWN CLERK

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, ET SEQ., C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO.



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SEAL

PROJECT TITLE

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD SUPERIOR, CO

PREPARED FOR

CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204 SCOTTSDALE, AZ



SUBMITTAL

FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY: RSB

CHECKED BY: MRB

PROJECT NO.: 15001002

REVISIONS DATE

TOWN COMMENTS 2/17/2016

TOWN COMMENTS 3/04/2016

TOWN COMMENTS 3/09/2016

TOWN COMMENTS 4/04/2016

TOWN COMMENTS 4/06/2016

MYLAR 5/12/2016

DATE

1/18/2016

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1

1 OF 15

SEAL

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SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD
SUPERIOR, CO

PREPARED FOR
CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204
SCOTTSDALE, AZ



SUBMITTAL
FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

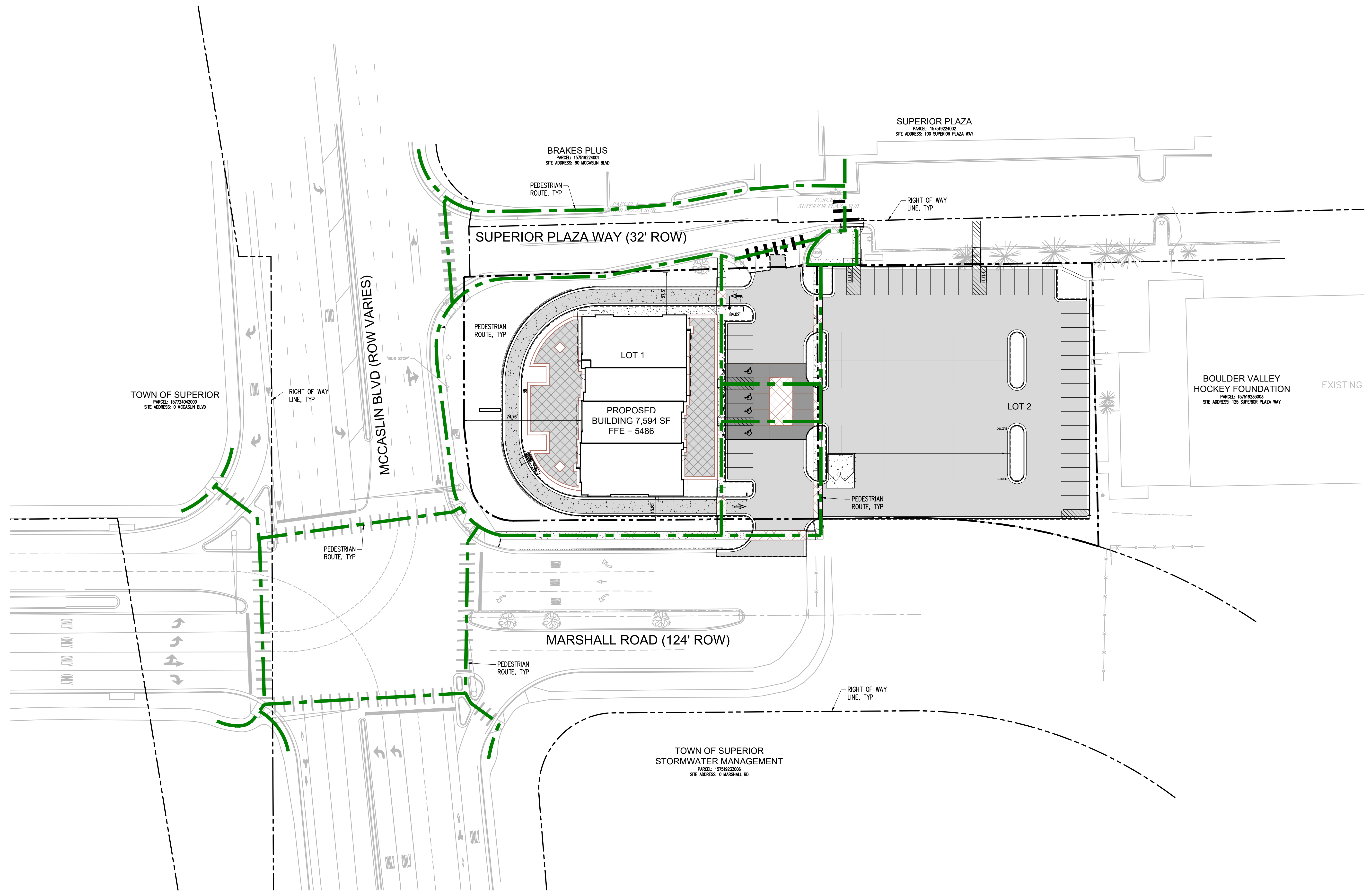
DRAWN BY: RSB
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PROJECT NO.: 15001002

REVISIONS	DATE
TOWN COMMENTS	2/17/2016
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TOWN COMMENTS	4/06/2016
MYLAR	5/12/2016

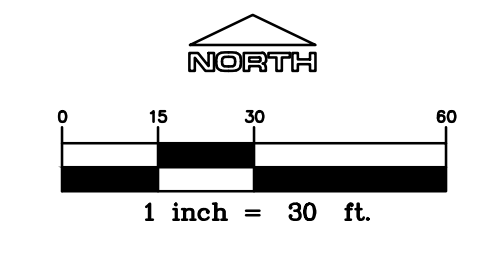
DATE
1/18/2016

SHEET TITLE
OVERALL KEY PLAN

SHEET INFORMATION
OM-1



ALL WORK OUTSIDE BOUNDARIES OF LOTS 1 AND 2 WILL REQUIRE RIGHT-OF-WAY PERMIT.





LEGEND

	PROPERTY LINE
	PORTLAND CEMENT CONCRETE PAVEMENT
	ASPHALTIC CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	NEW CURB AND GUTTER
	NUMBER OF NEW PARKING SPACES
	ADA PARKING SYMBOL
	PAINTED 4" SYSL @ 45°, 2' O.C.

SITE FURNITURE KEY

	BIKE RACK		BENCH
	CHAIR		PLANTER
	TABLE		TRASH CAN

CROSSWALK/PATIO LEGEND

	1P BRUSHED CONCRETE/SCORED PATTERN*
	2P DAVIS COLOR SANTA FE 1117 CONCRETE*
	3P DAVIS COLOR PEBBLE 641 CONCRETE*

* REFER TO ARCHITECTURAL DETAIL SHEETS FOR ADDITIONAL INFORMATION.

SITE DATA - LOT 1

SITE AREA:	0.821± AC (35,771 SF)
OWNER:	TOWN OF SUPERIOR
LAND USE CLASSIFICATION:	RETAIL AND RESTAURANT
ZONING CLASSIFICATION:	PD - PLANNED DEVELOPMENT
LOCAL JURISDICTION:	SUPERIOR, CO
APN:	157519233001
ADDRESS:	100 SOUTH MCCASLIN BOULEVARD
BUILDING HEIGHT:	28' (PROPOSED) / 65' (MAX. REQ'D)
BUILDING SETBACKS:	10' ALL SIDES (MIN REQ'D) - SEE SITE PLAN FOR PROPOSED SETBACKS

SITE DATA - LOT 2

SITE AREA:	0.680± AC (29,618 SF)
OWNER:	TOWN OF SUPERIOR
ZONING CLASSIFICATION:	PD - PLANNED DEVELOPMENT
LOCAL JURISDICTION:	SUPERIOR, CO
APN:	157519233002
ADDRESS:	0 MARSHALL ROAD
BUILDING HEIGHT:	N/A
BUILDING SETBACKS:	N/A

BUILDING DATA

RESTAURANT:	= 5,380 SF
RETAIL:	= 2,214 SF
TOTAL:	= 7,594 SF

PARKING DATA

USE:	RETAIL AND RESTAURANT
REQUIRED PARKING (PER PD):	43 STALLS TOTAL
RESTAURANT:	1 PER 150 SF (5,380 SF = 36 STALLS)
RETAIL:	1 PER 330 SF (2,214 SF = 7 STALLS)

	REQUIRED	PROPOSED
STANDARD SPACES	38 STALLS	83 STALLS
ACCESSIBLE SPACES	3 STALLS	4 STALLS
CHARGING STATION	2 STALLS	2 STALLS
COMPACT SPACES	0 STALLS	0 STALLS
TOTAL VEHICLE SPACES	43 STALLS	89 STALLS

STALL DIMENSIONS:
COMPACT/ELECTRIC: 9' x 18'
HANDICAP: 9' x 18'
STANDARD: 9' x 18'

SUBMITTAL
FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY: RSB
CHECKED BY: MRB

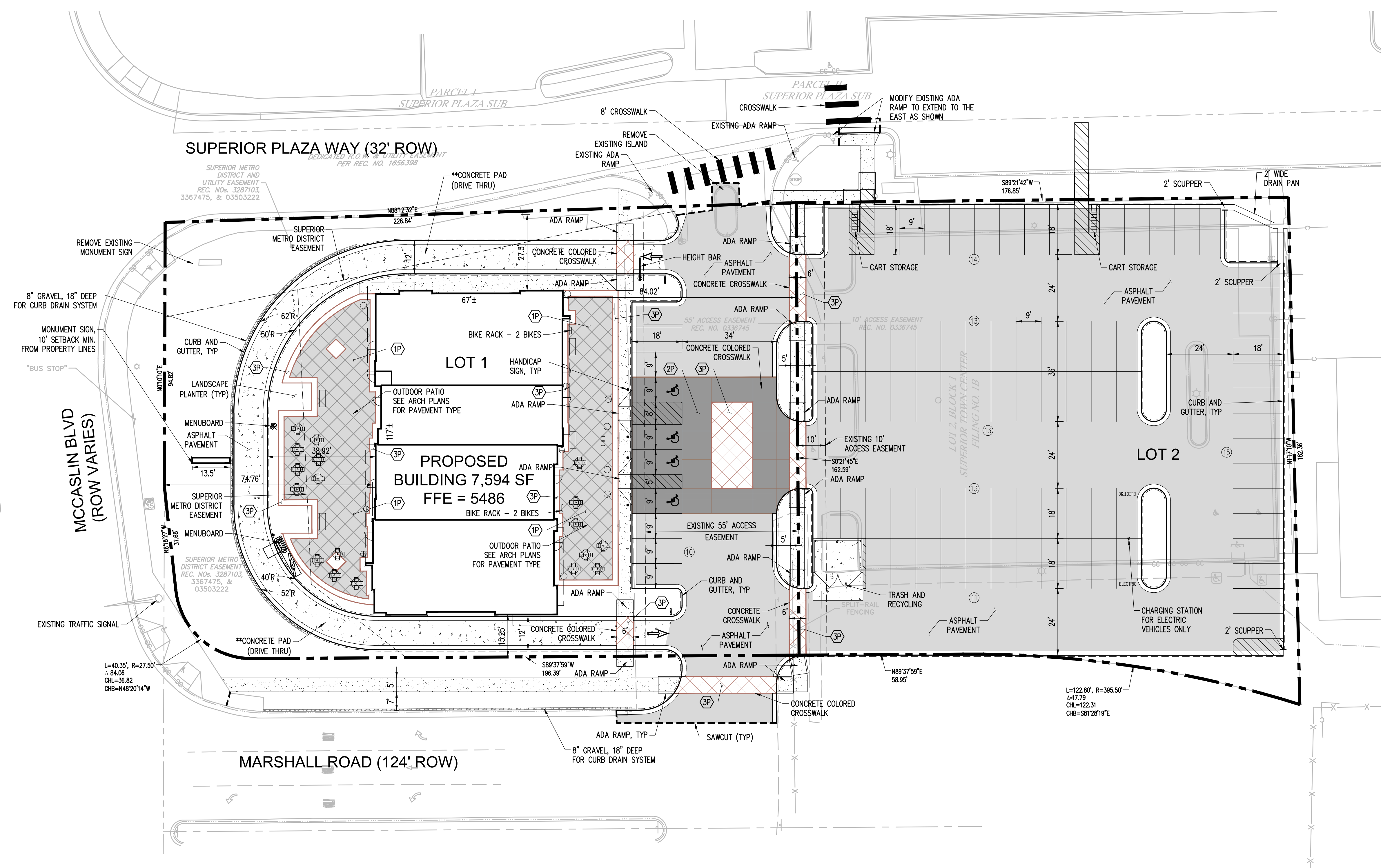
PROJECT NO: 15001002

REVISIONS	DATE
TOWN COMMENTS	2/17/2016
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TOWN COMMENTS	3/09/2016
TOWN COMMENTS	4/04/2016
TOWN COMMENTS	4/06/2016
MYLAR	5/12/2016

DATE
1/18/2016

SHEET TITLE
SITE PLAN

SHEET INFORMATION
C-1.0

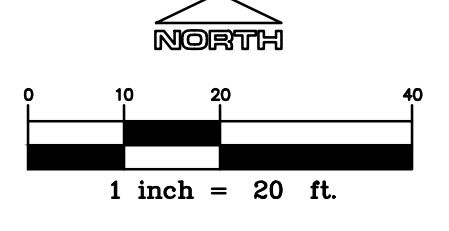


MONUMENT SIGNS:
ALL MONUMENT SIGNS SHALL BE SETBACK A MINIMUM OF 10' FROM ALL PROPERTY LINES

****CONCRETE PAD NOTE**
PROVIDE PAD CONSTRUCTED OF 6" THICK, REINFORCED WITH WIRE MESH, CONCRETE. THE WIDTH OF THE PAD SHALL BE THE WIDTH OF THE DRIVE-THRU LANE OR NO LESS THAN 12' WIDE AND THE LENGTH SHALL EXTEND FROM THE ENTRANCE TO THE EXIT (THE FULL EXTENT/LENGTH OF THE DT LANE).

EXISTING SURVEY LEGEND

	EDGE OF ASPHALT		TRAFFIC MAST
	FLOWLINE		CURB CUT
	FENCE LINE		LIGHT POLE
	EASEMENT LINE		SIGN
	RIGHT-OF-WAY LINE		REFLECTOR POST
	CHAIN LINK FENCE		HANDICAP RAMP
	MAILBOX		





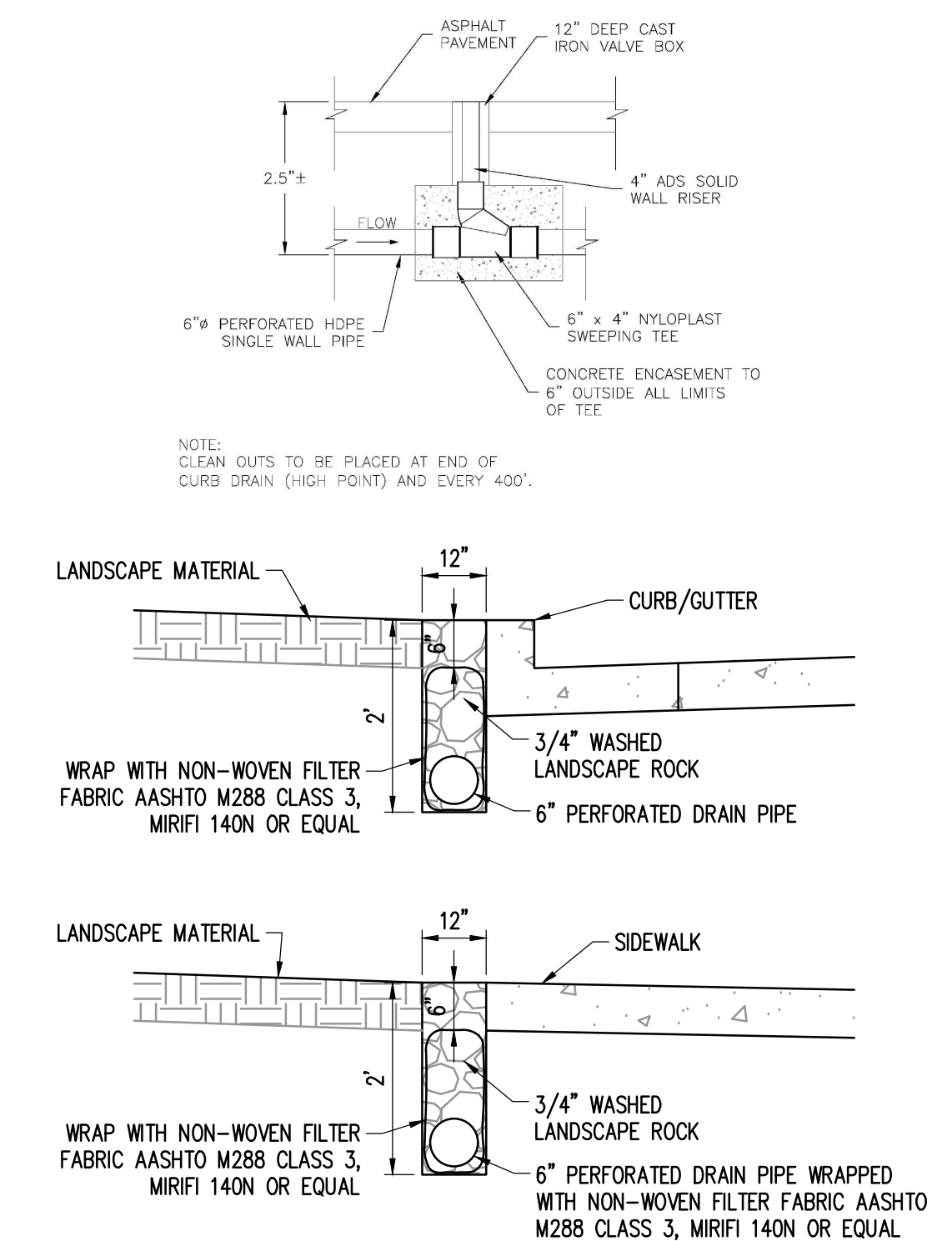
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TOWN COMMENTS	3/04/2016
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TOWN COMMENTS	4/04/2016
TOWN COMMENTS	4/06/2016
MYLAR	5/12/2016

LEGEND

- EX. CONTOUR
- PROPOSED CONTOUR
- PROPERTY LINE
- PROPOSED STORM DRAIN
- TYPE 16 CB
- TYPE R INLET
- SPOT ELEVATION

GRADING NOTES

- ALL DRAINAGE DESIGN AND CONSTRUCTION SHALL COMPLY WITH CHAPTER 11, ARTICLE III OF THE SUPERIOR MUNICIPAL CODE, STORMWATER DRAINAGE.



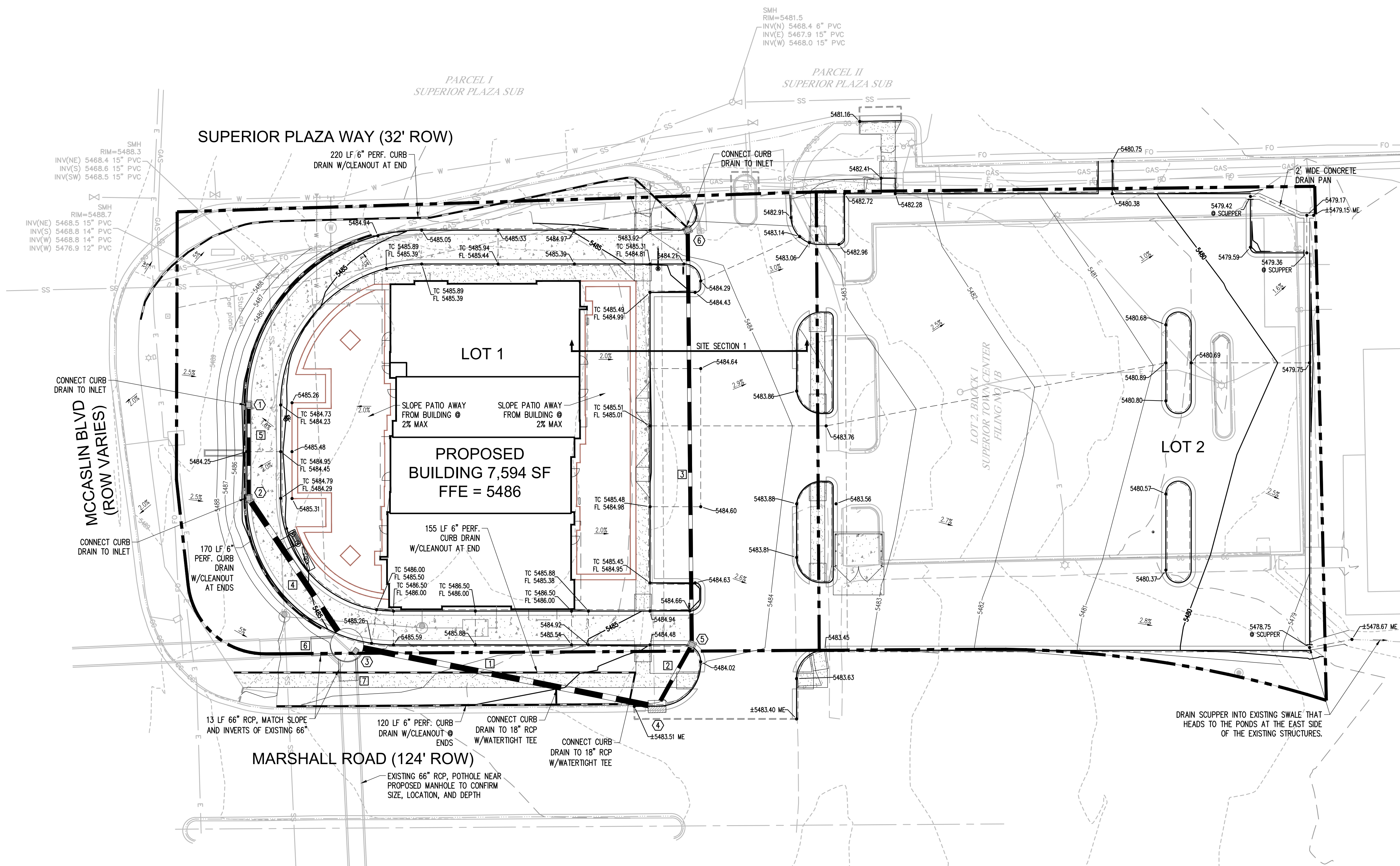
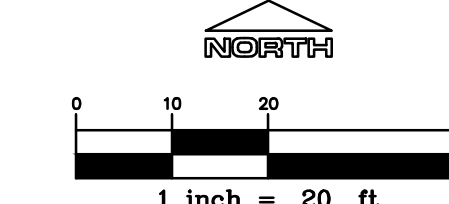
UNDERDRAIN PIPE SHALL BE CONNECTED TO A STORM SEWER INLET PER PLAN. PIPE TO BE INSERTED THROUGH WALL OF INLET AND PENETRATION SHALL BE GROUTED AROUND PIPE TO ENSURE IT IS WATER TIGHT.

UNDERDRAIN SYSTEM

NOT TO SCALE

1

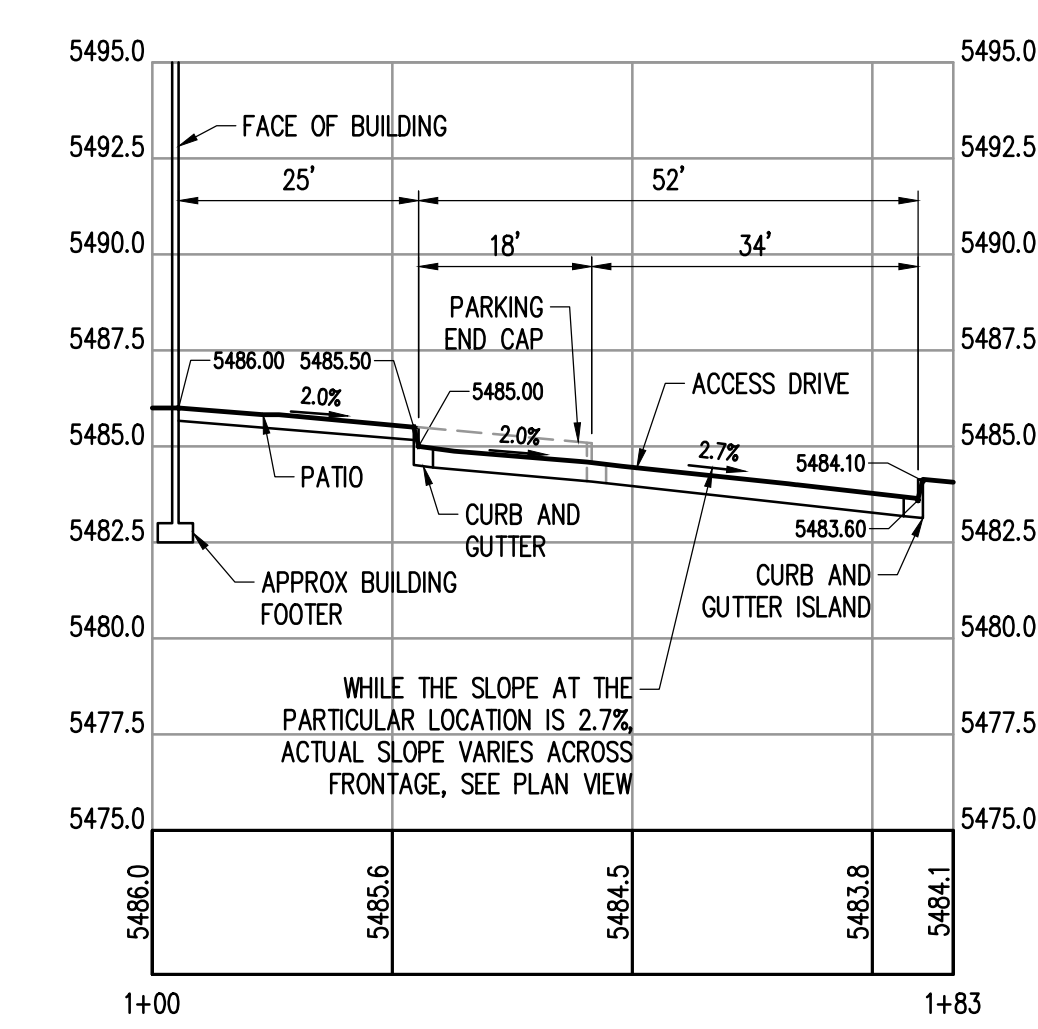
ALL DRAINAGE DESIGN AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER 11, ARTICLE III OF THE SUPERIOR MUNICIPAL CODE, STORMWATER DRAINAGE.



PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING PROPOSED STORM SEWER SYSTEM WITHIN THE SMD EASEMENT AND ROW.

#	TYPE	RIM	INVERT
1	TYPE 16 CB	RIM = 5484.09	5480.50 12" (S)
2	TYPE 16 CB	RIM = 5484.09	5480.17 12" (N) 5480.07 18" (SE)
3	120" MANHOLE	RIM = 5485.91	5479.44 18" (NW) 5477.15 66" (W) 5478.48 18" (E) 5477.15 66" (S)
4	TYPE R CB	RIM = 5483.44	5479.14 12" (NE) 5479.04 18" (W)
5	TYPE 16 CB COMBINATION INLET	RIM = 5484.41	5479.36 12" (N) 5479.26 12" (SW)
6	TYPE 16 CB COMBINATION INLET	RIM = 5483.36	5480.10 12" (S)

#	SIZE	LENGTH	SLOPE
1	18"	112'	0.50%
2	12"	25'	0.50%
3	12"	147'	0.50%
4	18"	63'	1.00%
5	12"	33'	1.00%
6	66"	13'	0.70%
7	66"	13'	0.70%



SITE SECTION 1

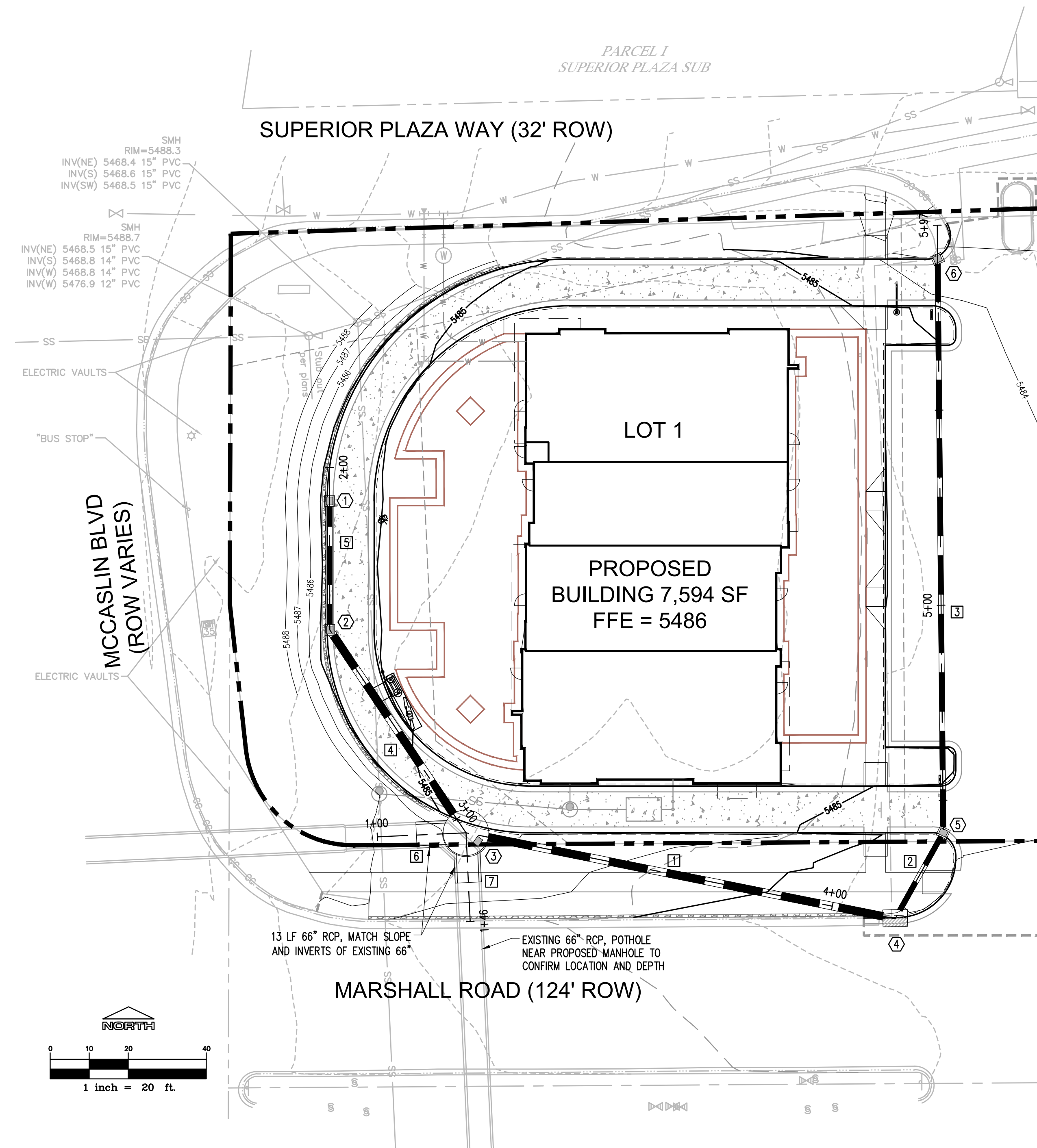
HORIZONTAL = 1:20
VERTICAL = 1:5

EXISTING SURVEY LEGEND

- EDGE OF ASPHALT
- FLOWLINE
- WATER LINE
- FIBER OPTIC LINE
- GAS LINE
- UNDERGROUND POWER LINE
- UNDERGROUND TELEPHONE LINE
- SANITARY LINE
- ONE FOOT CONTOUR
- 5 FOOT CONTOUR
- CURB CUT
- CABLE TV PEDESTAL
- LIGHT POLE
- SANITARY MANHOLE
- TELEPHONE PEDESTAL
- FIRE HYDRANT
- WATER VALVE

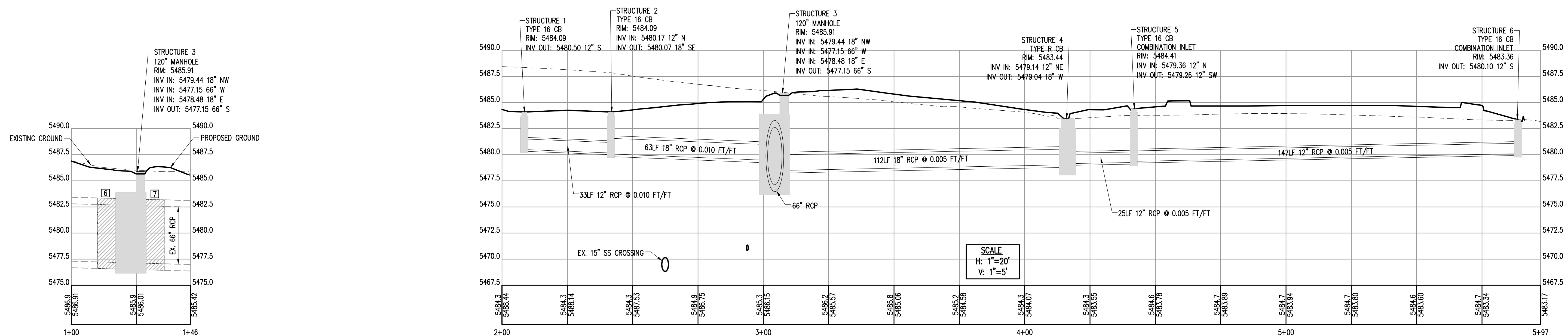
GRADING NOTES

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STRUCTURE TABLE			
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PIPE TABLE			
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PROJECT TITLE
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD
SUPERIOR, CO

PREPARED FOR
CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204
SCOTTSDALE, AZ



SUBMITTAL
FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY: RSB
CHECKED BY: MRB

PROJECT NO.: 15001002

REVISIONS	DATE
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TOWN COMMENTS	3/04/2016
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DATE
1/18/2016

SHEET TITLE
STORM DRAINAGE PROFILES

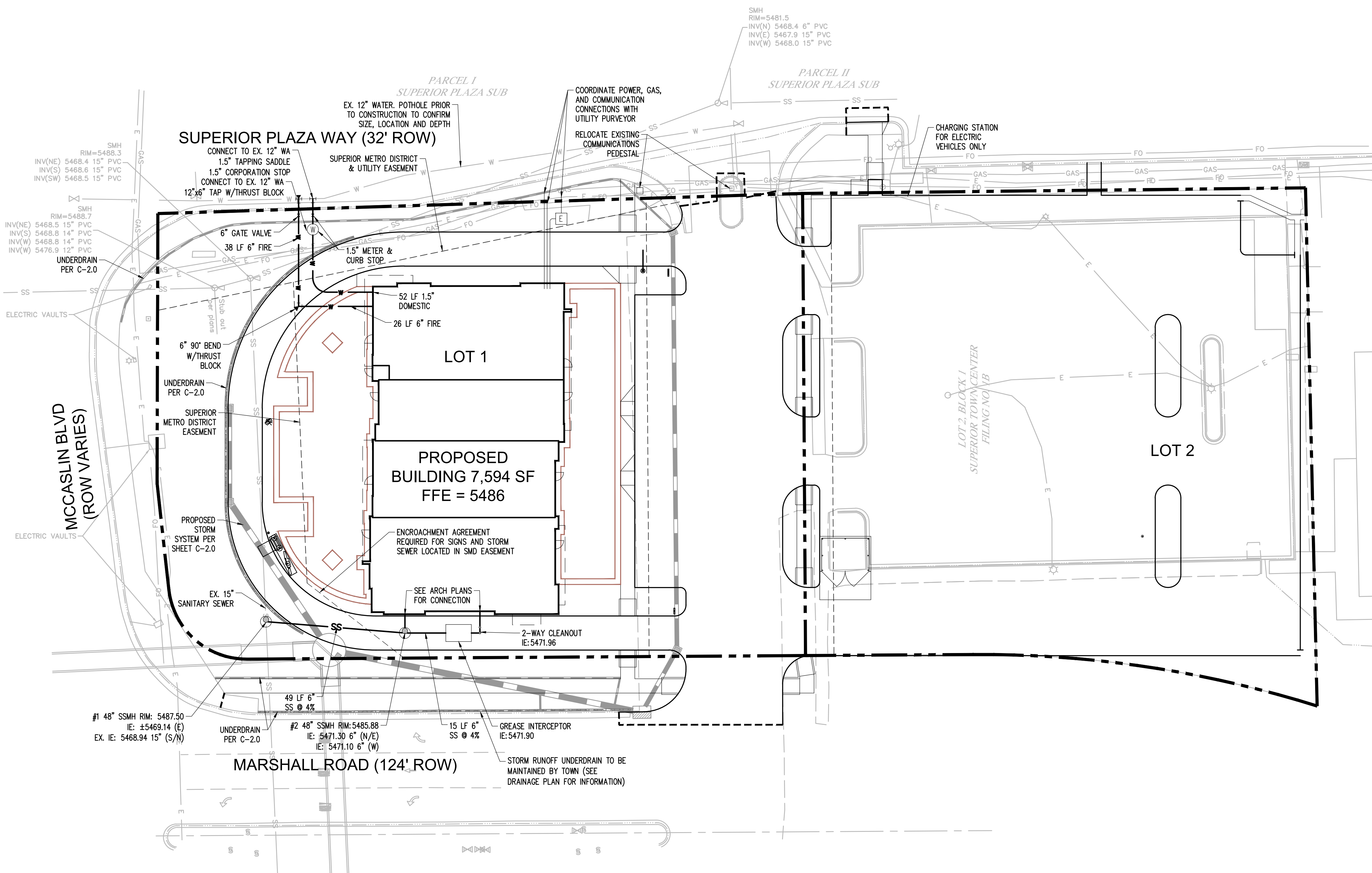
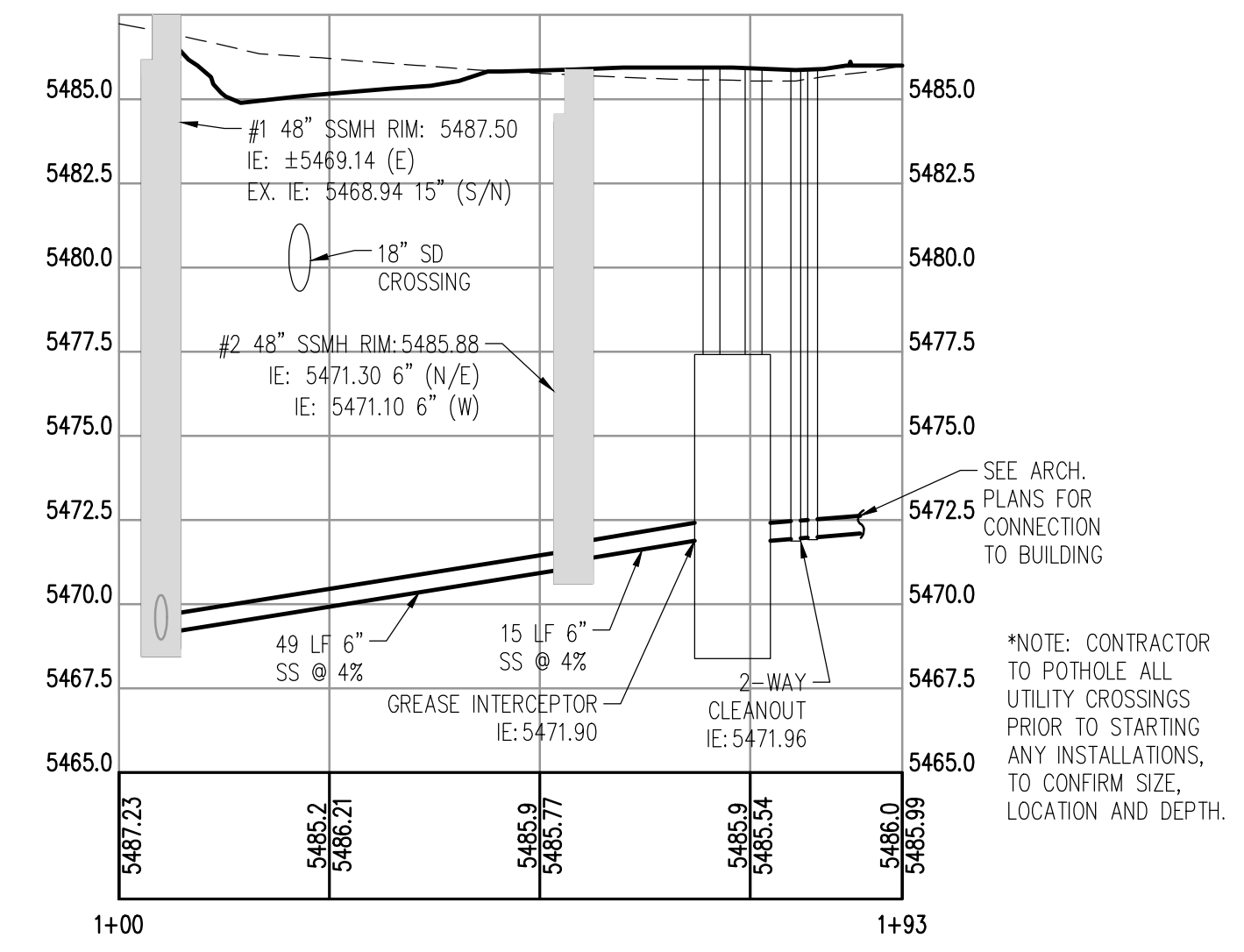
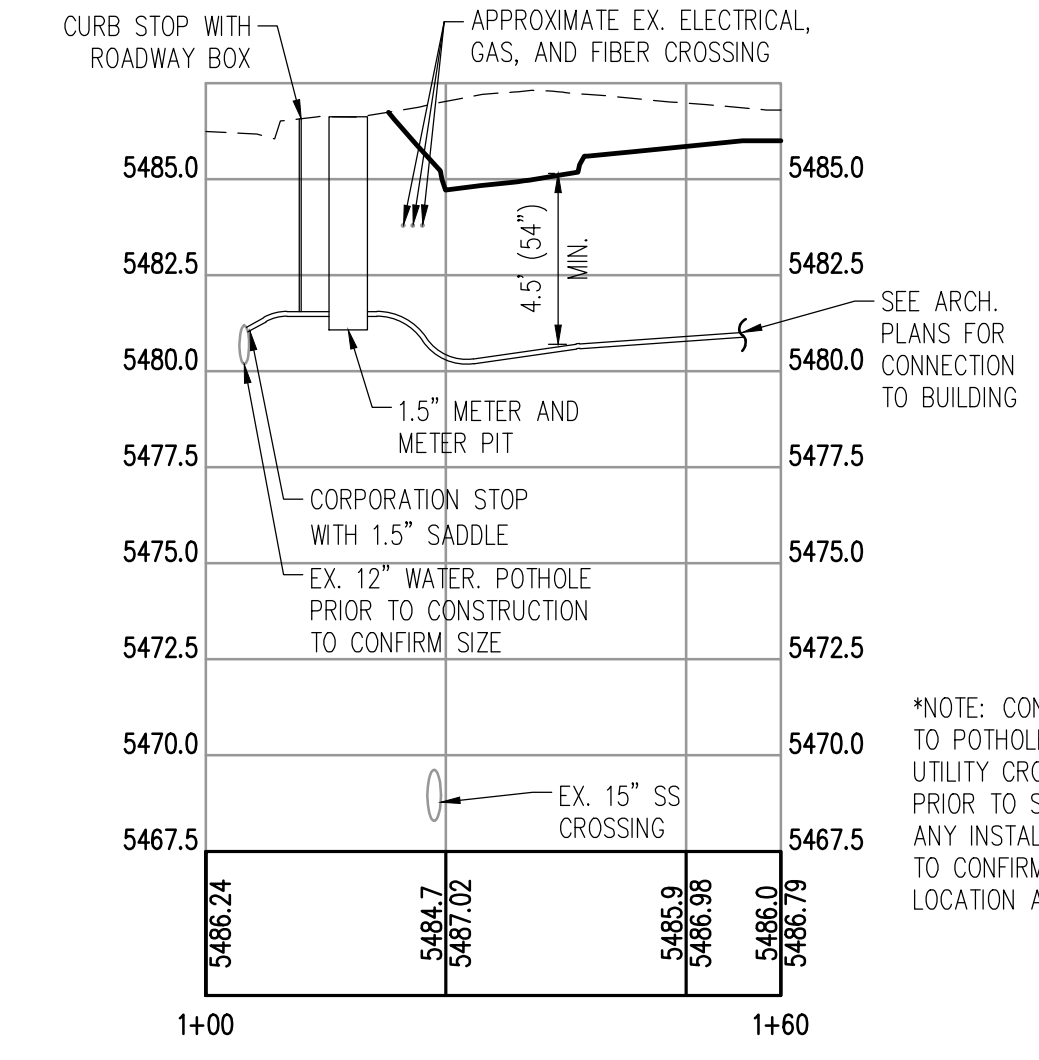
SHEET INFORMATION
C-2.1



REVISIONS	DATE
TOWN COMMENTS	2/17/2016
TOWN COMMENTS	3/04/2016
TOWN COMMENTS	3/09/2016
TOWN COMMENTS	4/04/2016
TOWN COMMENTS	4/06/2016
MYLAR	5/12/2016

LEGEND

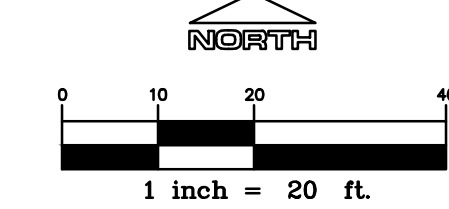
---	PROPERTY LINE
W	WATER LINE
SS	SEWER LINE
⊙	WATER METER
•	SEWER CLEANOUT
⊙	SEWER MANHOLE

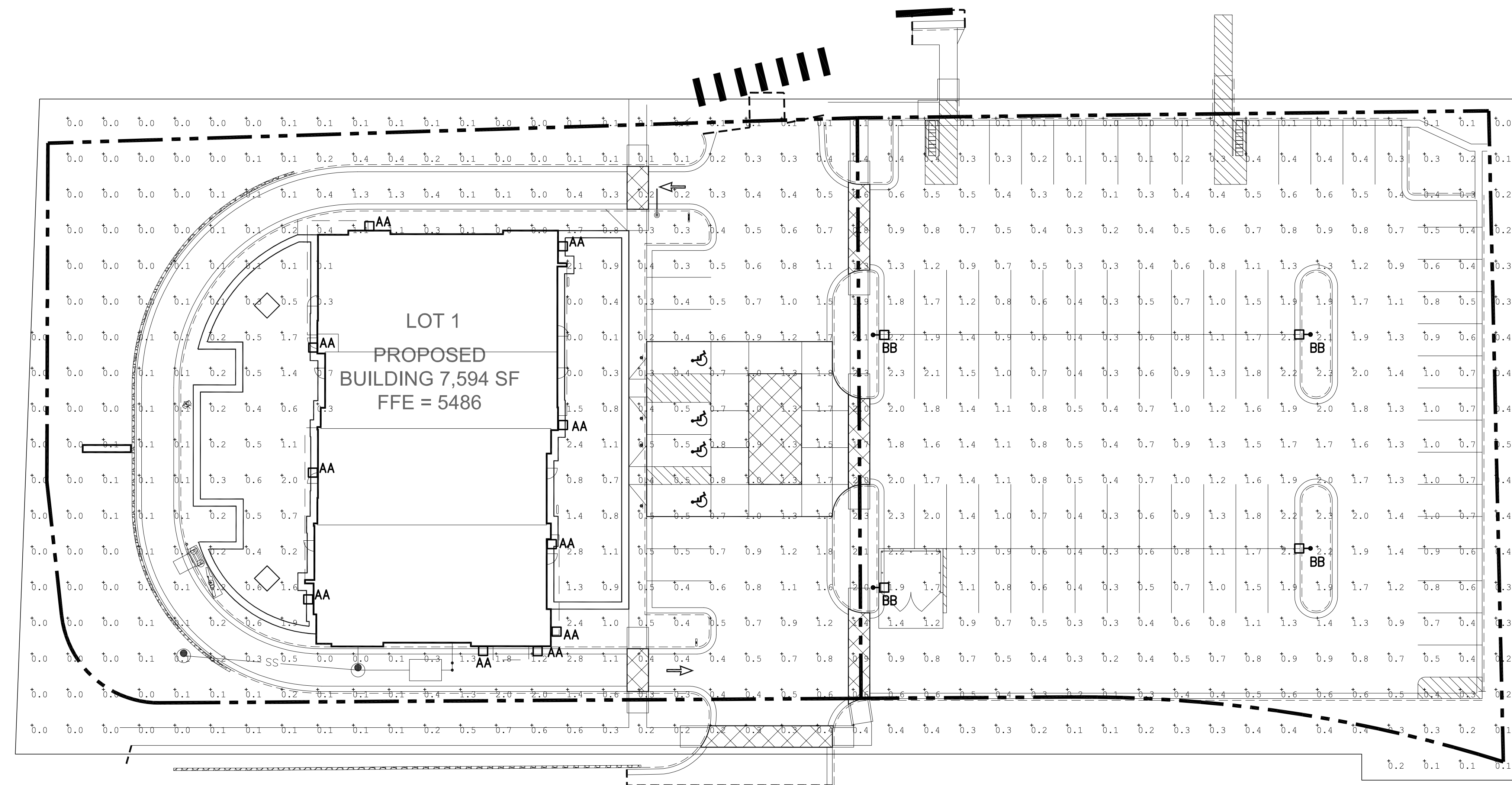


EXISTING SURVEY LEGEND

---	EDGE OF ASPHALT	⊙	CABLE TV PEDESTAL
---	FLOWLINE	☆	LIGHT POLE
W	WATER LINE	⊙	SANITARY MANHOLE
FO	FIBER OPTIC LINE	⊠	TELEPHONE PEDESTAL
GAS	GAS LINE	⊙	FIRE HYDRANT
E	UNDERGROUND POWER LINE	⊙	WATER VALVE
T	UNDERGROUND TELEPHONE LINE		
SS	SANITARY LINE		

ALL WORK OUTSIDE BOUNDARIES OF LOTS 1 AND 2 WILL REQUIRE RIGHT-OF-WAY PERMIT.





A PHOTOMETRIC SITE PLAN
1" = 20'-0"

FIXTURE SCHEDULE

FIXT. TYPE	MANUFACTURER		VOLT AMPS	MOUNTING	LAMP TYPE	REMARKS	VOLT
	NAME	CATALOG NUMBER					
AA	LEDS-C4	05-9368-34-37	150	8' A.F.G BUILDING	LED	DIRECT BUILDING MOUNTED. TO BE MOUNTED 8'-0" TO BOTTOM OF LUMINAIRE DARK SKY COMPLIANT	UNV
BB	PHILIPS GARDCO	EH14L-5-85LA-NW-BRA-PC	85	20'-0" POLE	LED	POLE MOUNTED SITE LUMINAIRE FULL CUT OFF	UNV

FINAL DEVELOPMENT PLAN /
SPECIAL USE REVIEW

DRAWN BY: TPL
CHECKED BY: CB
PROJECT NO: 15001002

TOWN COMMENTS 2/17/2016
TOWN COMMENTS 3/04/2016
TOWN COMMENTS 3/09/2016
TOWN COMMENTS 4/04/2016
TOWN COMMENTS 4/06/2016
MYLAR 5/12/2016

1/18/2016

PHOTOMETRIC
PLAN

EP1.1

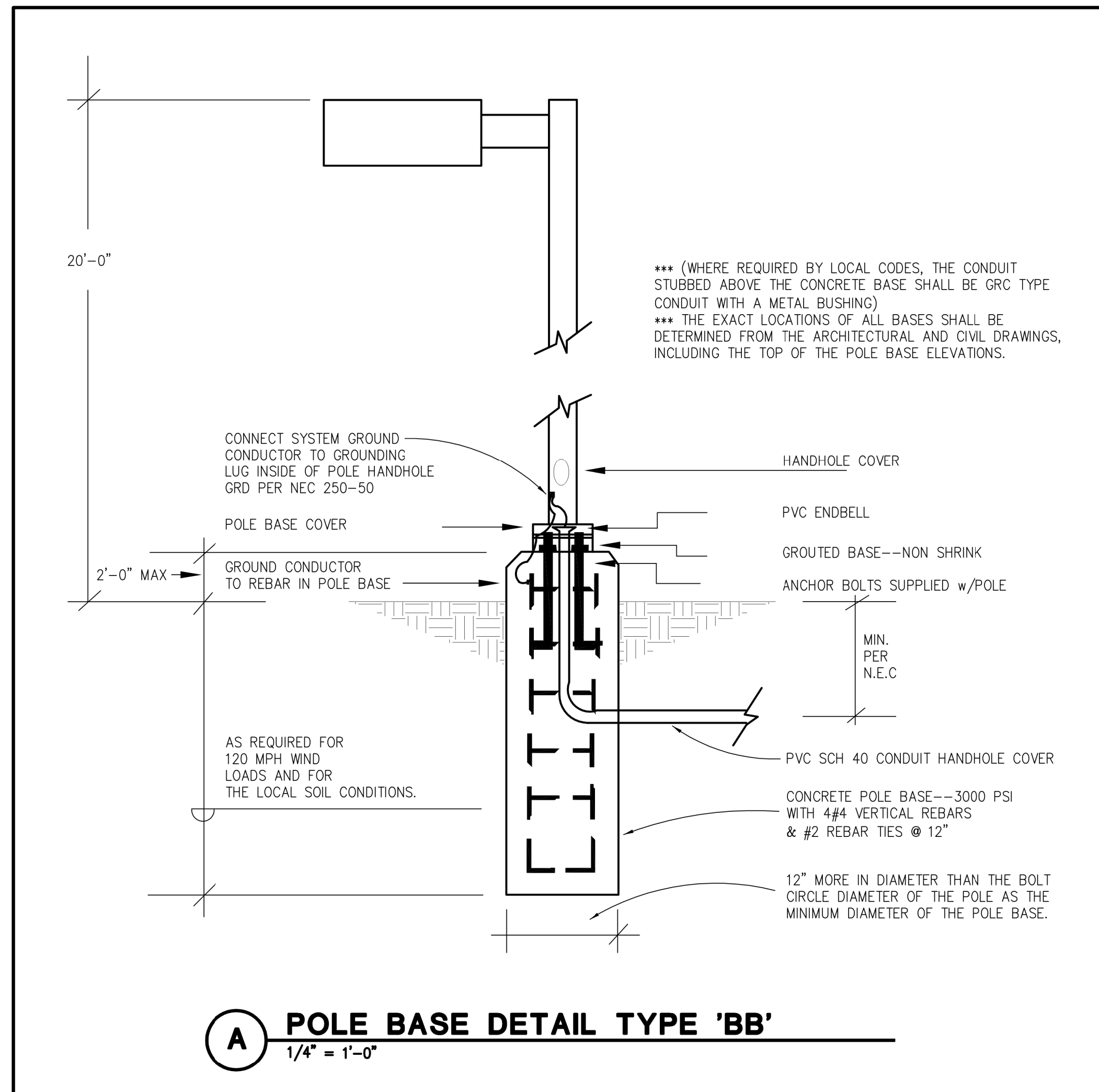
7 OF 15



Know what's below.
Call before you dig.



JCAA
4100 Wadsworth Blvd.
Wheat Ridge, CO 80033
p 303.985.3260 #16.004



NOTICE

- SEE SHEET EP1.1 FOR LUMINAIRE SCHEDULE
- STC DESIGN GUIDELINES STATE THAT MASONRY BASES FOR POLE LIGHTS SHALL BE NO HIGHER THAN 2' ABOVE FINISHED GRADE.

DARK SKY COMPLIANT

TYPE 'AA'



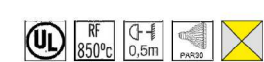
AFRODITA
05-9368-34-37U

OUT



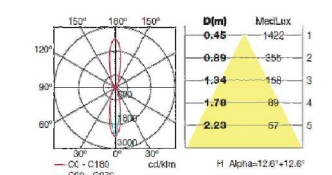
TECHNICAL CHARACTERISTICS

Type:	Wall fixture
IP Protection degrees:	IP65
Location:	WET
IK Protection degrees:	IK06
Light source 1:	2 x E2E MAX 75W
Total power consumption (W):	150
Voltage / Frequency:	120V/60Hz
Warranty (Years):	2
Units per box:	6
Pes net (lb):	3.97
EAN:	8435381430597



MATERIALS / FINISHES

Structure material:	High purity aluminum	Diffuser material:	Glass
Structure finish:	Grey	Diffuser finish:	Tempered



Download photometric file .ldt / .ies

LEDS-C4 reserves the right to make the necessary technical changes they deem adequate, in order to improve the features of the product.
 Please consult the sales team to clarify any doubt.

(+34) 973 468 100
 leds-c4@leds-c4.com
 www.leds-c4.com

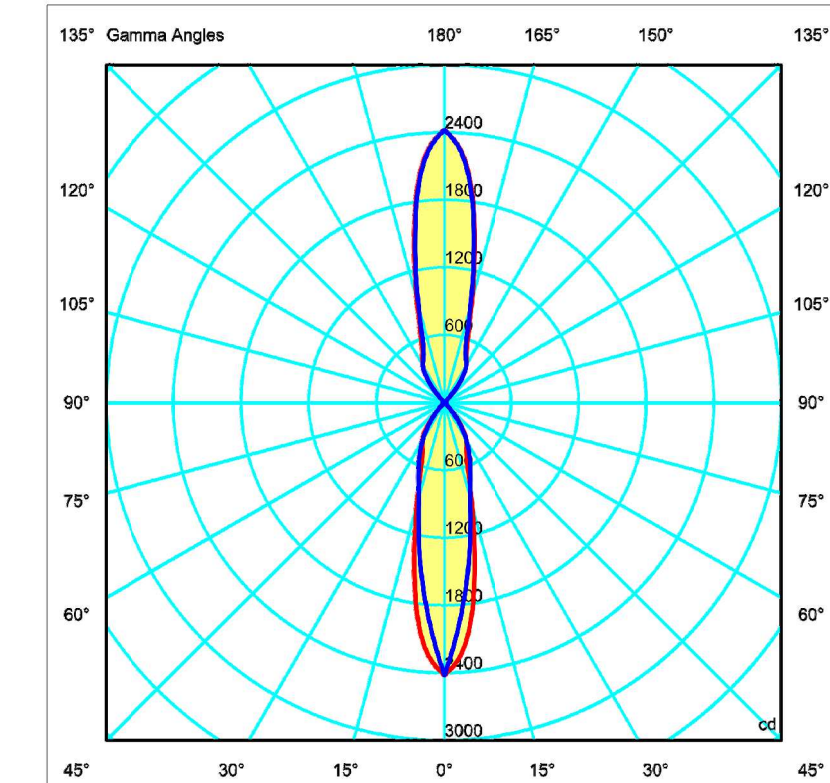
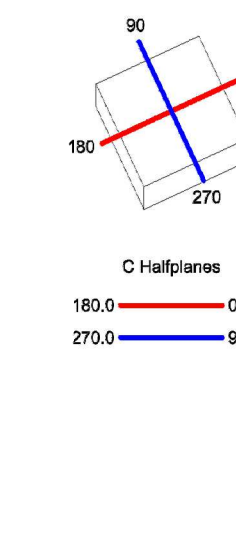
DARK SKY COMPLIANT

TYPE 'AA'



Luminaire Code: 05-9368-34-37 Name: AFRODITA 2x75W PAR 30 Line: 05-09-3059	Measurem. Code: 05-9368-34-37 Name: AFRODITA 2x75W PAR 30 Line: 05-09-3059	Lamp Code: H-Spot 95-CB 75W 30 Number: 2 Position:
Efficiency: 86.74%	Coordinate system: CG	Total Flux: 2200.00 lm
Maximum value: 2420.00 cd	Position: C=0.00 G=0.00	Double Symmetrical
Rectangular Luminous Area: Length 110 mm, Width 70 mm	Height: 110 mm	Double Symmetrical
Horizontal Luminous Area: 0.004900 m ²	Emitting area on Plane 0°: 0.000070 m ²	Emitting area on Plane 180°: 0.000070 m ²
Symmetry Type: Double Symmetrical	Measurement Distance: 2 x E2E	Maximum Gamma Angle: 180°
Operator: Anadol	Temperature: 25.00 °C	Humidity: 60.00 %

110mm x 110mm



ULOR: 43.92 %
 DLOR: 42.82 %
 RN: 56.64 %

LITESTAR (c)DyTech Srl www.caylsh.it

Page 1

TYPE 'BB', FULL CUT-OFF

Site & Area
Form Ten LED
Square arm mount

Philips Gardco Form 10 LED square arm mount luminaires are cutoff area luminaires featuring LED arrays. These products provide performance excellence and feature advanced Philips Gardco LED thermal management technology. High performance Class I LED systems offer the potential for energy savings up to 50% when compared to HID systems. The EH units are manufactured from mitered extruded aluminum and finished in an Architectural Class I anodizing. The H style luminaires are die formed aluminum with a thermoseal polyester finish. Form 10 LED square luminaires provide full cutoff performance and feature a flat glass lens.

Example: EH14L-DIM-1-4-70LA-NW-120-SRA-LF

Prefix	Controls	Mounting	Wattage	Color Temp	Voltage	Finish	Options
EH14L	Standard Luminaires	Single Top 2	70LA	NW	120	EH14L	F ¹ Fitting
EH19L	Standard Luminaires	Top 3	10LA	BRN	120	BRN	LF In-Line/In-Pole Fitting
DIM	DIM	Top 3	BRN, 350mA	70-CH	240	BRN	PHACoustic and Resonance/Indicates (RO)
90°	90°	Top 4	10LA	BRN	270	BLA	PCIP Photocell (heatspike only)
180°	180°	Top 5	10LA	BRN	347	NAT	Natural Anodized
270°	270°	Top 6	10LA	BRN	480	UVW	UVW UV Inhibitor
OC	OC	Top 7	10LA	BRN	530	OC	OC Optional Color Specify optional color or PAL, in OC-SP or OC-RA/304
OC-SP	OC-SP	Top 8	10LA	BRN	530	OC-SP	OC-SP Optional Color Specify optional color or PAL, in OC-SP or OC-RA/304
OC-RA	OC-RA	Top 9	10LA	BRN	530	OC-RA	OC-RA Optional Color Specify optional color or PAL, in OC-RA or OC-RA/304
OC-RA/304	OC-RA/304	Top 10	10LA	BRN	530	OC-RA/304	OC-RA/304 Optional Color Specify optional color or PAL, in OC-RA/304 or OC-RA/304

1. Available in 70LA and 85LA wattages only.
 2. Available in 120V and 240V wattages only.
 3. Type 2, Type 3, and Type 4 options are held rotatable.
 Type 5 options feature an optional lens.
 4. H beam, concrete specific input voltage.
 5. Not available in 480V. Provides specific input voltage.
 6. Requires 2-3/8" mast arm.

Form_10_EH_H_LED 02/16 page 1 of 3

TYPE 'BB', FULL CUT-OFF

EH/H14L & EH/H19L Form Ten LED luminaires
Square arm mount

Dimensions and EPA

Size	Width	B	C	D
EH14	14"	7"	6"	5"
H14	35.56 cm	17.78 cm	15.24 cm	12.70 cm
EH19	19"	10"	9"	5"
H19	48.26 cm	25.40 cm	22.86 cm	12.70 cm

Size	Effective Projected Area (EPA)			Approximate Weight
	Single	Twin	3/4	
14"	1.1 m ²	2.1 m ²	2.9 m ²	30 lbs
19"	1.9 m ²	3.7 m ²	5.1 m ²	55 lbs
27.0"	2.9 m ²	5.7 m ²	7.6 m ²	75 lbs

Technical Data

Size	Ordering Code	No. of LEDs	Average System Watts ¹	LED Current (mA)	LED Selection	Luminaire Initial Absolute Lumen ^{2,3}				Basis of Lumen Data: Photometric tests performed in compliance with IESNA LM-79, except where otherwise indicated.
						TYPE 2	TYPE 3	TYPE 4	TYPE 5	
EH14L & H14L	70LA	64	70	350	NW	7,240	7,467	7,303	7,362	Notes: 1. Wattage may vary by +/- 8% due to LED manufacturer forward output specifications and ambient temperature. Wattage shown is average for 120V through 270V output. Actual wattage may vary by an additional +/- 10% due to actual input voltage. 2. Values shown are for luminaires without the H5 lensed shield option. Tests are in process for luminaires with the H5 option and H5 luminaires. Contact Gardco representative for complete information estimates are required for design purposes. 3. LED arrays feature LEDs that provide from 300 to 100 lumens per watt when operated at 350 mA. Lumen values based on tests performed in compliance with IESNA LM-79.
EH19L & H19L	110LA	96	110	350	NW	10,928	11,053	11,050	10,795	
EH19L & H19L	160LA	96	160	530	NW	15,252	15,639	15,109	15,422	

Luminaire Configuration Information

Standard LED luminaires provide constant wattage and constant light output when power to the luminaire is energized.

Dimming "DIM" Configurations
Dimmable LED luminaires are provided with 0-10V dimming for connection to a control system provided by others.

FULL CUTOFF PERFORMANCE: Full cutoff performance means a luminaire distribution where zero candela intensity occurs at an angle of or above 90° above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 90° above nadir. This applies to all lateral angles around the luminaire.

CUTOFF PERFORMANCE: Cutoff performance means a luminaire distribution where the candela per 1000 lamp lumens does not numerically exceed 23 (2.3 percent) at an angle of or above 90° above nadir, and 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.

Form_10_EH_H_LED 02/16 page 2 of 3

TYPE 'BB', FULL CUT-OFF

EH/H14L & EH/H19L Form Ten LED luminaires
Square arm mount

Specifications

General Description
The Philips Gardco Form 10 LED square arm mounted products are cutoff luminaires featuring LED arrays. Form 10 LED square luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class I LED systems offer the potential for energy savings up to 50% when compared to HID systems. The EH units are manufactured from mitered extruded aluminum and finished in an Architectural Class I anodizing. The H style luminaires are die formed aluminum with a thermoseal polyester finish. Form 10 LED square luminaires provide full cutoff performance and feature a flat glass lens.

Housing
Extruded housings (EH style) are composed of precisely mitered anodized aluminum extrusions. Fabricated (H style) units are one piece, multi-formed aluminum with an integral reinforcing spine and a single concealed joint. Pressure injected silicone provides a continuous weather tight seal at all millers and points of material transition.

Arm
Extruded aluminum arm is secured to prewired fixture by contractor. Assembly is suitable for mounting to pole without requiring access to luminaires.

Lens
Mitered, extruded anodized aluminum door frame retains the optically clear, heat and impact resistant tempered flat glass in a sealed manner using silicone rubber. High compliance, memory retentive extruded silicone rubber. Concealed stainless steel latch and hinge permit easy toolless access to the luminaire.

Thermal Management
Form 10 LED square luminaires utilize extruded aluminum integral thermal radiation fins to provide the excellent thermal management so critical to long LED system life.

LED Reliability
Predicted Lumen Depreciation Data

Ambient Temperature °C	L ₈₀ Hours ¹	
	500 mA	350 mA
25 °C	350 mA	150,000
	550 mA	100,000
40 °C	350 mA	100,000
	550 mA	70,000

1. Predicted performance derived from LED manufacturer's data and engineering design estimates. Based on IESNA LM-80 methodology. Actual operating may vary due to field application conditions. L₈₀ is the predicted time when LED performance deprecates to 80% of initial lumen output.

Labels
All luminaires bear UL or CUL (where applicable) Wet Location labels.
Limited Warranty
5 year limited warranty. See Philips.com/luminaires for complete details and exclusions.

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 Philips reserves the right to make changes in specifications and/or to discontinue any product at any time without notice or obligation and will not be liable for consequences resulting from the use of this publication.
 philips.com/luminaires

Philips Lighting North America Corporation
 2200 Harbor Square Drive, Somerset, NJ 08853
 Tel: 856-486-2216
 Philips Lighting Canada Ltd.
 281 Humber Rd., Markham, ON, Canada L6C 2S3
 Tel: 800-568-9008

Form_10_EH_H_LED 02/16 page 3 of 3

RIDGE TOP
ENGINEERING & CONSULTING
5355 Ronald Reagan Blvd.,
Ste. 210
Johnstown, CO 80534
T 303-525-6180
W ridge-topeng.com

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD SUPERIOR, CO

CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204 SCOTTSDALE, AZ



FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY: TPL
 CHECKED BY: CB
 PROJECT NO: 15001002

TOWN COMMENTS	DATE
	2/17/2016
	3/04/2016
	3/09/2016
	4/04/2016
	4/06/2016
	5/12/2016

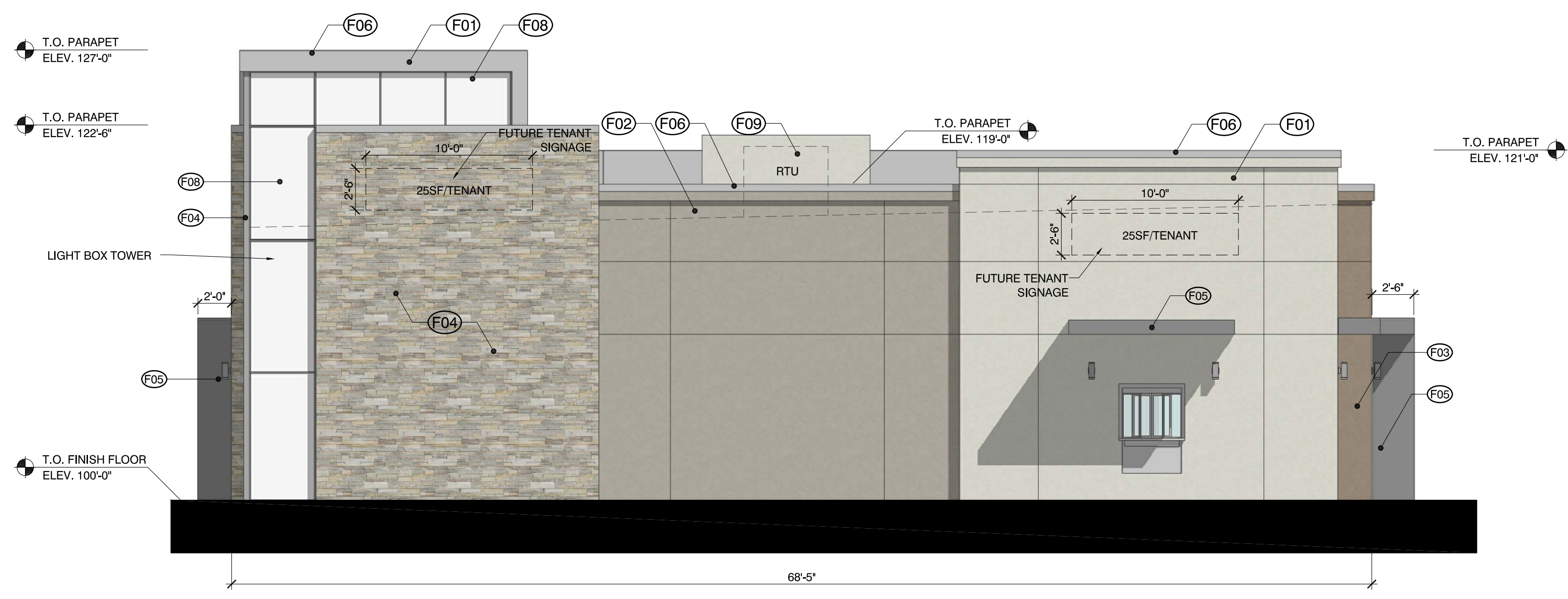
1/18/2016

PHOTOMETRIC CUT SHEETS

EP1.2

8 OF 15





1 SOUTH ELEVATION
SCALE: 3/16" = 1' - 0"

* 50SF OF SIGNAGE ALLOWED ON SOUTH ELEVATION

SIGNAGE NOTE:

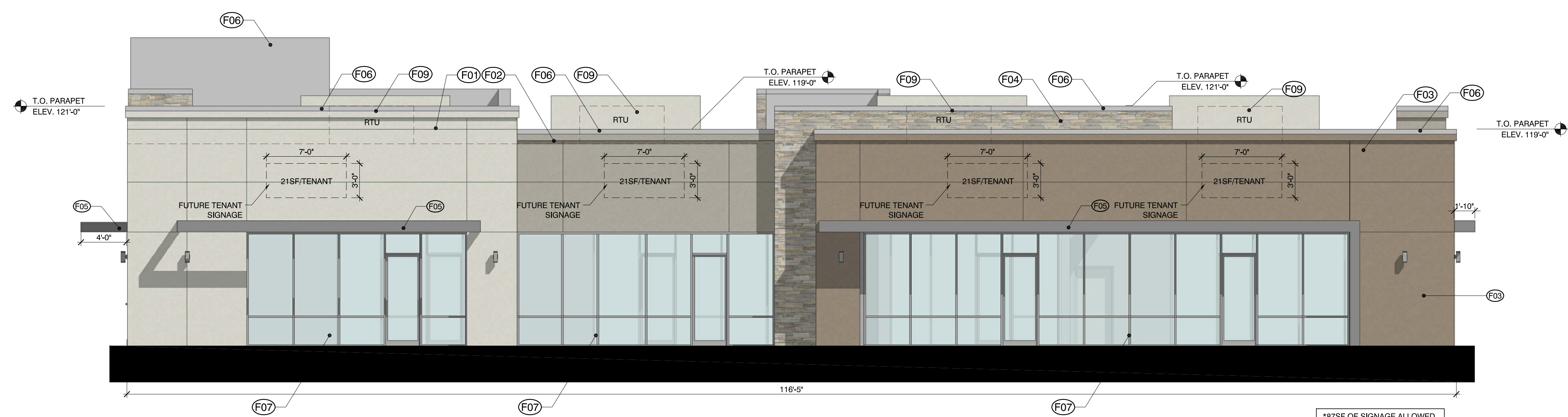
1. SIGNAGE PROGRAM WILL BE ESTABLISHED FOR PROPERTY PRIOR TO SIGN PERMIT BEING ISSUED.
2. ALL SIGNS WILL REQUIRE A TOWN OF SUPERIOR SIGN PERMIT PRIOR TO BEING CONSTRUCTED AND MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SECTION 11 OF THE SUPERIOR TOWN CENTER DESIGN GUIDELINES
3. MAXIMIZE SIZE AND LOCATION OF SIGNS WILL BE AS SHOWN ON THE ARCHITECTURAL ELEVATIONS, AND SIGNS WILL BE COMPLEMENTARY TO THE ARCHITECTURE OF THE BUILDING. CABINET SIGNS WILL NOT BE PERMITTED.

LIGHT TOWER NOTE:

1. LIGHTING TOWER ELEMENT ON THE SOUTHWEST BUILDING CORNER WILL NOT INCLUDE SIGNAGE.
2. NEITHER THE PROPOSED LIGHTED TOWER ELEMENT NOR SITE/BUILDING SIGNAGE SHALL BE ILLUMINATED BETWEEN THE HOURS OF 1030PM AND 5AM.

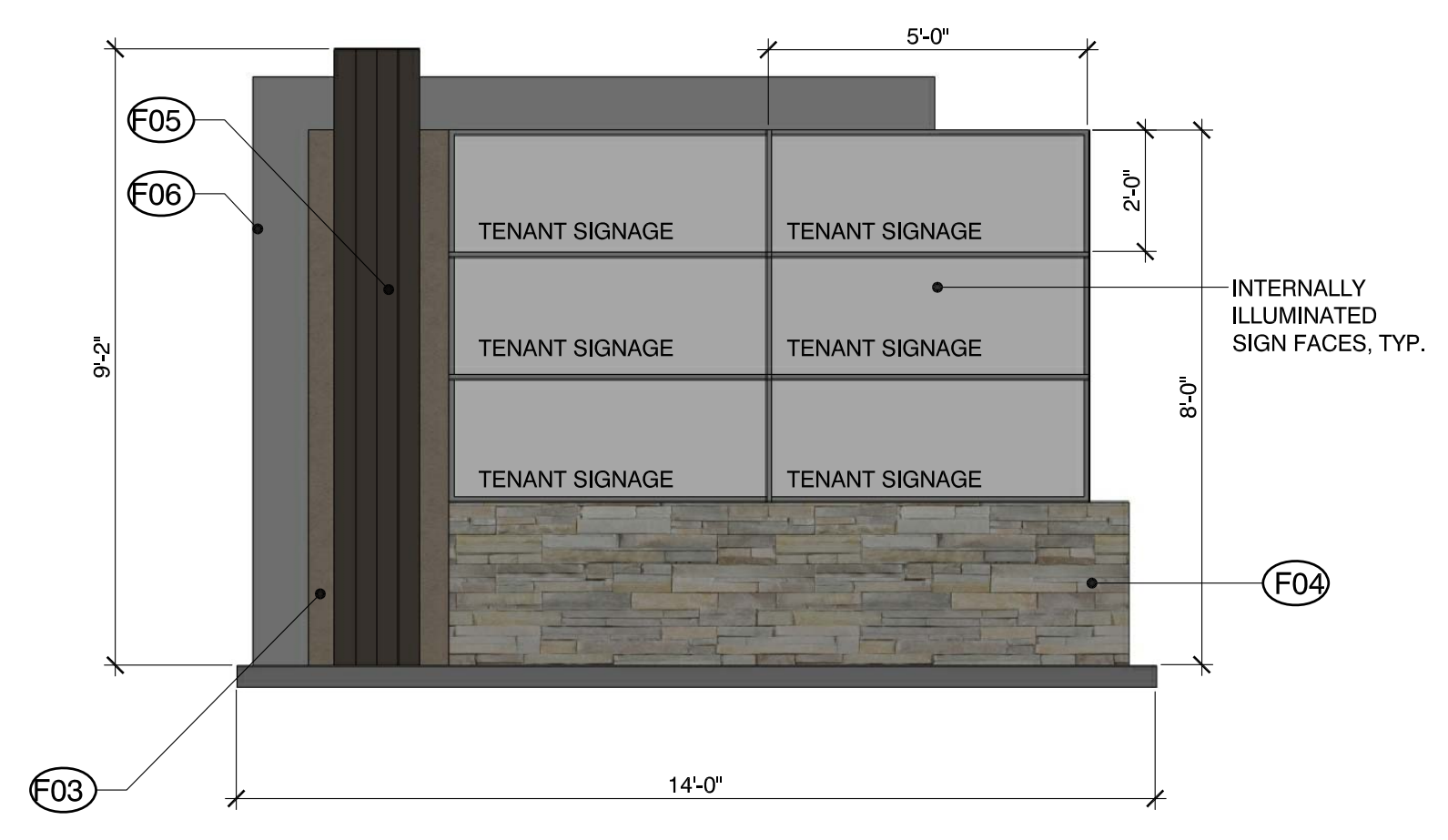
MATERIAL KEY NOTES:

DESCRIPTION	MANUFACTURER/COLOR
(F01) 2" THK. EIFS, SAND PEBBLE FINISH	SHERWIN WILLIAMS "SIMPLIFY BEIGE" SW 6085
(F02) 2" THK. EIFS, SAND PEBBLE FINISH	SHERWIN WILLIAMS "TRUSTY TAN" SW 6087
(F03) 2" THK. EIFS, SAND PEBBLE FINISH	SHERWIN WILLIAMS "NUTHATCH" SW 6088
(F04) STONE VENEER	CULTURED STONE BY BORAL, PROFIT LEDGESTONE, SOUTHWEST BLEND
(F05) ALUMINUM COMPOSITE PANEL	UNA-CLAD, MEDIUM BRONZE
(F06) PREFINISHED METAL COPING	UNA - CLAD, SLATE GRAY
(F07) ALUMINUM STOREFRONT SYSTEM	KAWNEER, CLEAR ANODIZED ALUMINUM & 1" INSULATED CLEAR GLAZING
(F08) ACRYLIC "LIGHT BOX"	INTERNALLY ILLUMINATED BOX WITH ACRYLIC FACE. ACRYLIC FACE WILL DIFFUSE ALL LIGHT. LIGHT BOX FEATURE WILL NOT ALLOW VISIBILITY INTO THE BUILDING. FEATURE TO NOT BE USED TO DISPLAY SIGNAGE
(F09) ROOF TOP UNIT / SCREENING	ENVISOR SCREENING, PAN FORMED PANEL WITH SAND PEBBLE FINISH, PAINT FINISH TO MATCH SW 6085 "SIMPLIFY BEIGE"

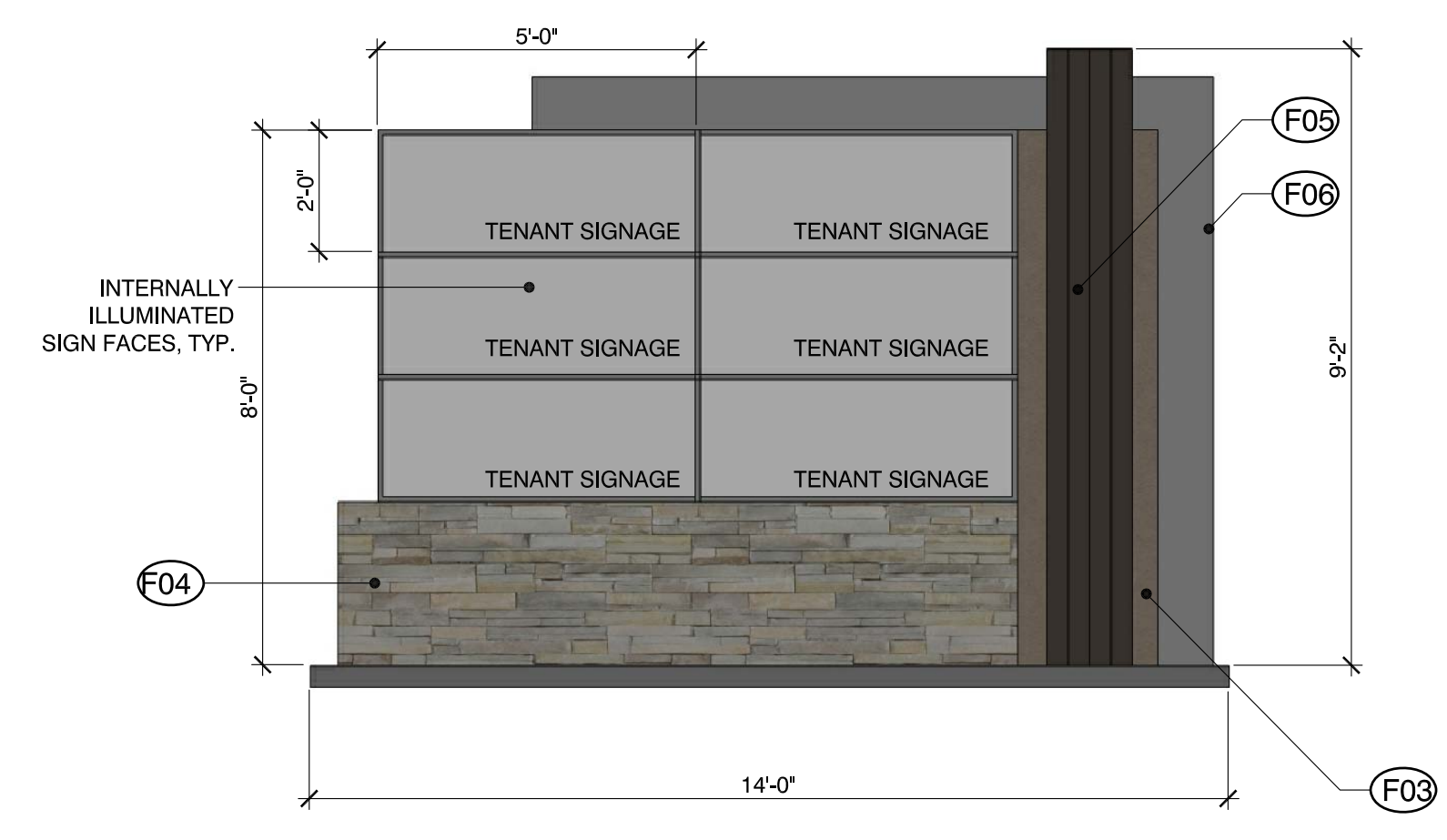


2 EAST ELEVATION
SCALE: 3/16" = 1' - 0"

* 87SF OF SIGNAGE ALLOWED ON EAST ELEVATION



3 MONUMENT SIGN - FRONT ELEVATION
SCALE: 3/8" = 1' - 0"



4 MONUMENT SIGN - BACK ELEVATION
SCALE: 3/8" = 1' - 0"



REVISIONS	DATE
TOWN COMMENTS	2/17/2016
TOWN COMMENTS	3/04/2016
TOWN COMMENTS	3/09/2016
TOWN COMMENTS	4/04/2016
TOWN COMMENTS	4/06/2016
MYLAR	5/12/2016





DRAWN BY:	RSB
CHECKED BY:	MRB
PROJECT NO.:	15001002
REVISIONS	DATE
TOWN COMMENTS	2/17/2016
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TOWN COMMENTS	3/09/2016
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MATERIAL KEY NOTES:

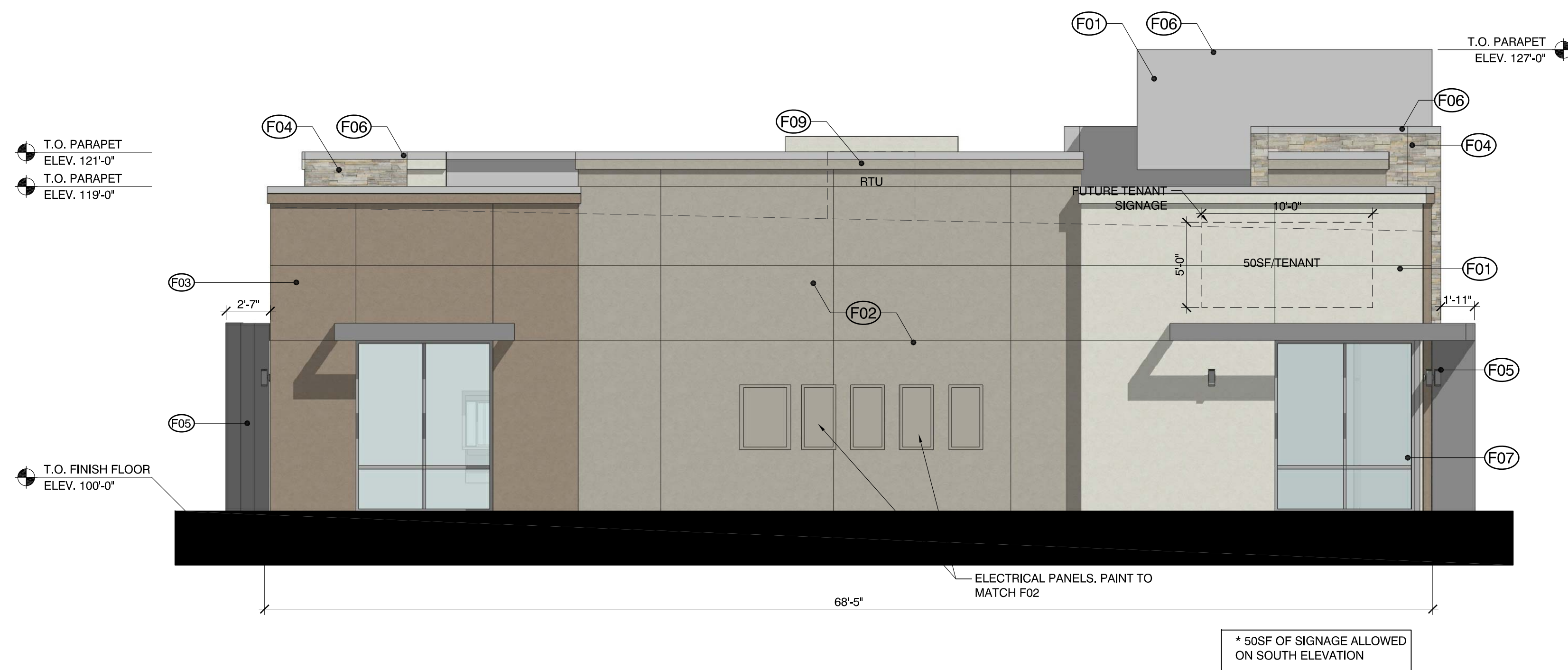
	DESCRIPTION	MANUFACTURER/COLOR
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(F03)	2" THK. EIFS, SAND PEBBLE FINISH	SHERWIN WILLIAMS "NUTHATCH" SW 6088
(F04)	STONE VENEER	CULTURED STONE BY BORAL, PROFIT LEDGESTONE, SOUTHWEST BLEND
(F05)	ALUMINUM COMPOSITE PANEL	UNA-CLAD, MEDIUM BRONZE
(F06)	PREFINISHED METAL COPING	UNA - CLAD, SLATE GRAY
(F07)	ALUMINUM STOREFRONT SYSTEM	KAWNEER, CLEAR ANODIZED ALUMINUM & 1" INSULATED CLEAR GLAZING
(F08)	ACRYLIC "LIGHT BOX"	INTERNALLY ILLUMINATED BOX WITH ACRYLIC FACE. ACRYLIC FACE WILL DIFFUSE ALL LIGHT. LIGHT BOX TO BE INSTALLED BY A SIGN MANUFACTURER. LIGHT BOX FEATURE WILL NOT ALLOW VISIBILITY INTO THE BUILDING. FEATURE TO NOT BE USED TO DISPLAY SIGNAGE
(F09)	ROOF TOP UNIT / SCREENING	ENVISOR SCREENING, PAN FORMED PANEL WITH SAND PEBBLE FINISH. PAINT FINISH TO MATCH SW 6085 "SIMPLIFY BEIGE"

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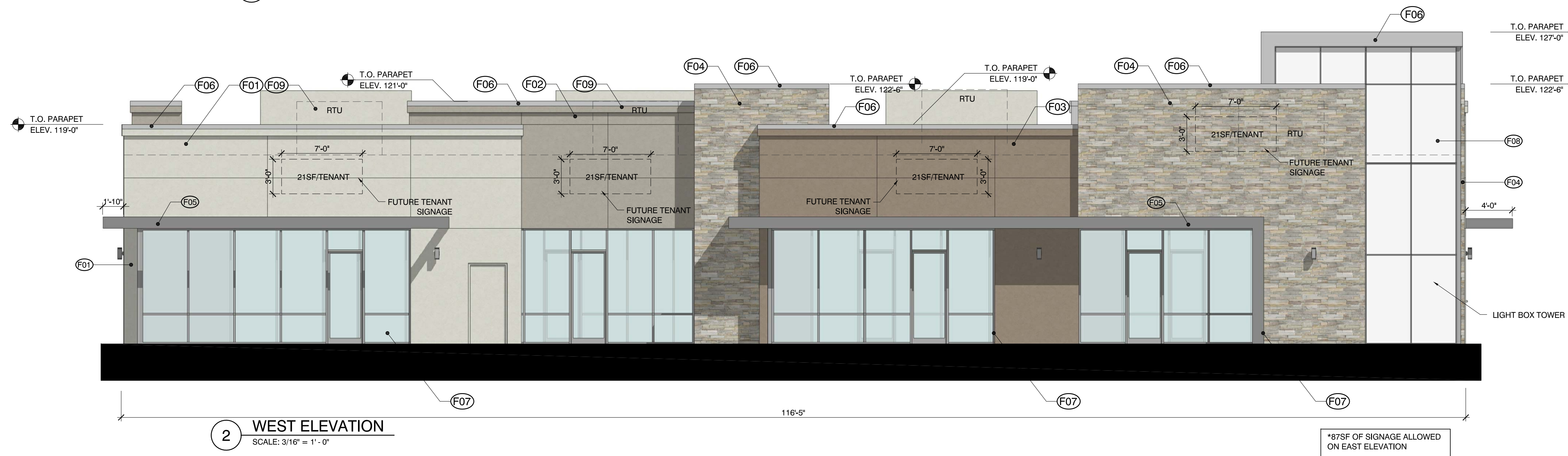
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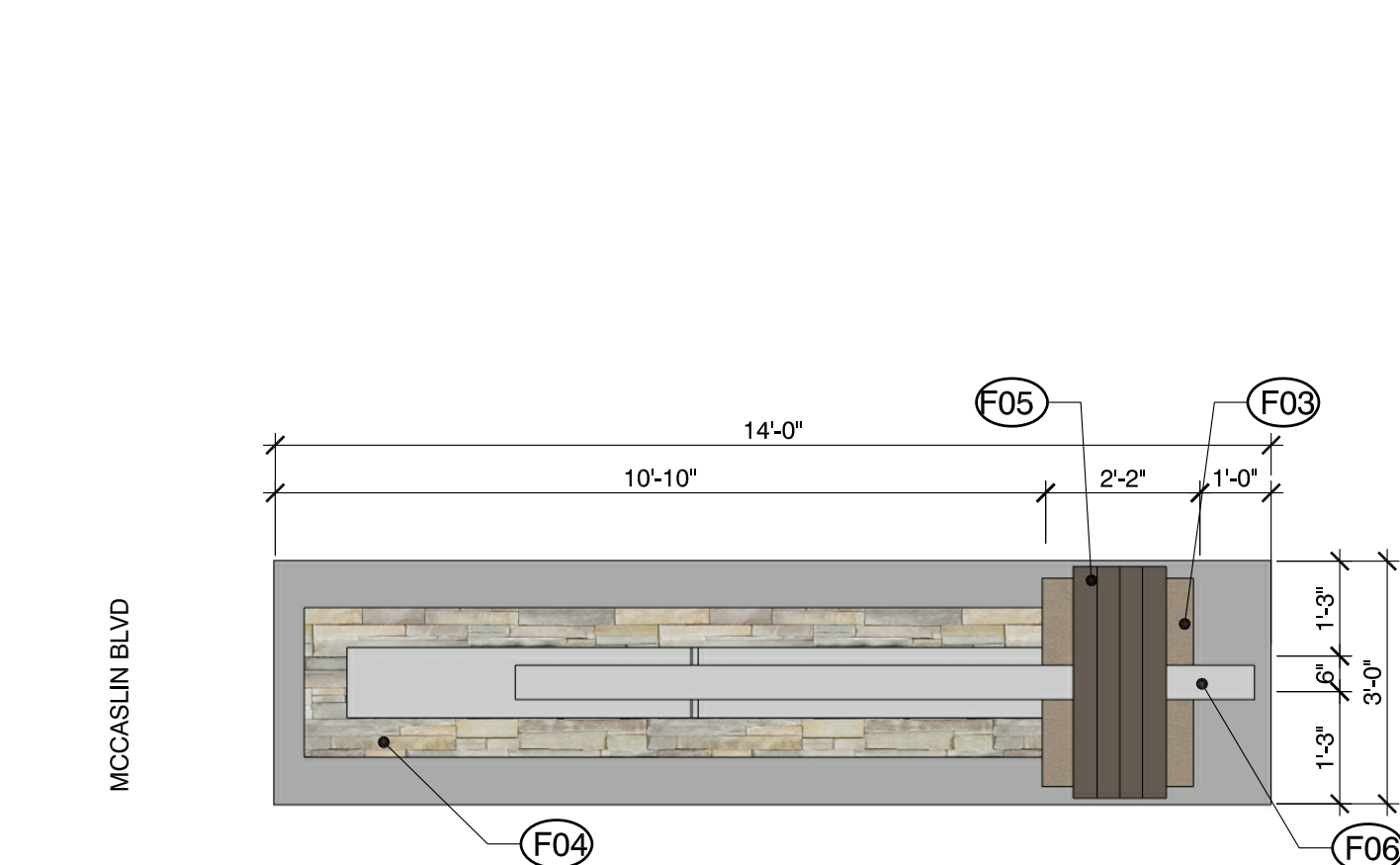
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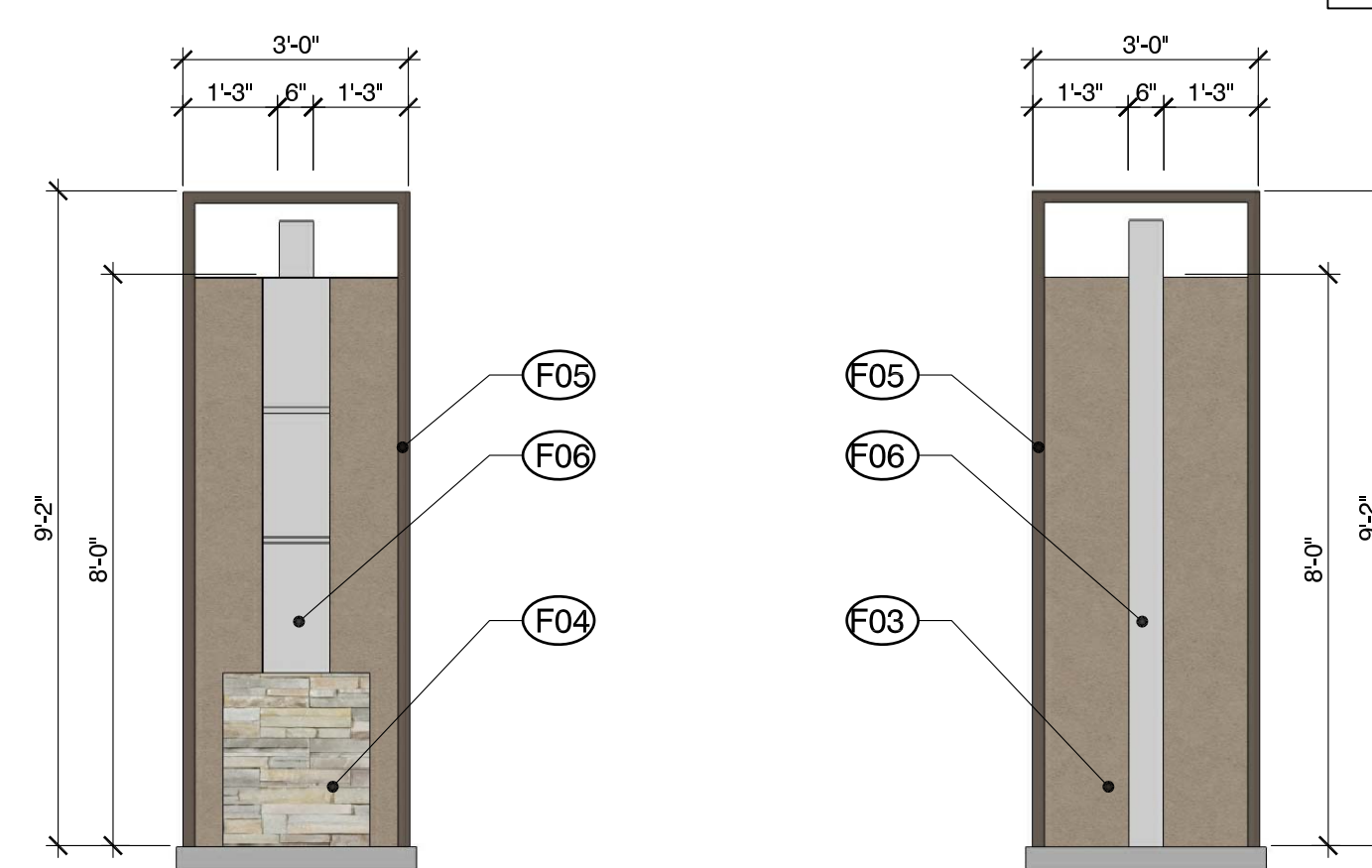
1 NORTH ELEVATION
SCALE: 3/16" = 1' - 0"



2 WEST ELEVATION
SCALE: 3/16" = 1' - 0"



3 MONUMENT SIGN - PLAN VIEW
SCALE: 3/8" = 1' - 0"



4 MONUMENT SIGN - STREET FACING
SCALE: 3/8" = 1' - 0"

5 MONUMENT SIGN - BUILDING FACING
SCALE: 3/8" = 1' - 0"





SUBMITTAL
FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY: RSB
CHECKED BY: MRB
PROJECT NO.: 15001002

REVISIONS	DATE
TOWN COMMENTS	2/17/2016
TOWN COMMENTS	3/04/2016
TOWN COMMENTS	3/09/2016
TOWN COMMENTS	4/04/2016
TOWN COMMENTS	4/06/2016
MYLAR	5/12/2016

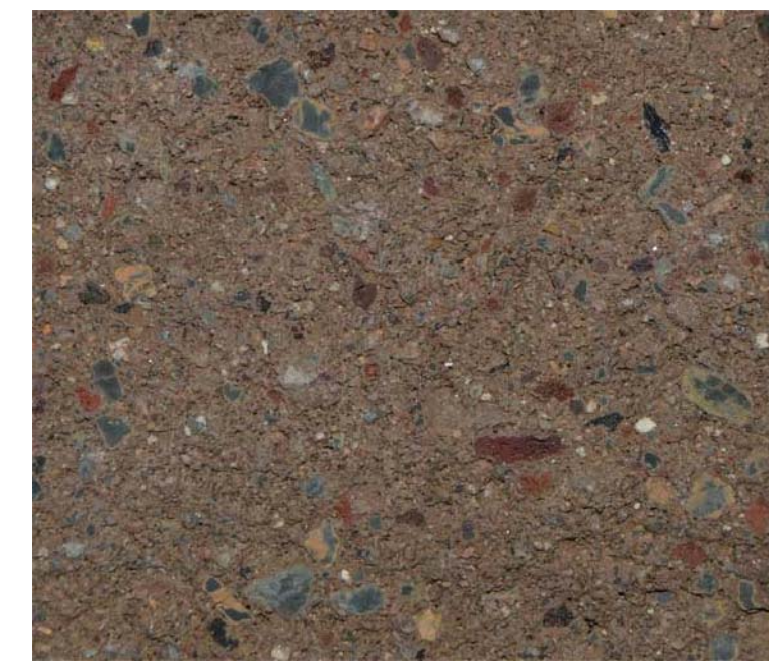
DATE
1/18/2016

SHEET TITLE
ARCHITECTURAL DETAILS

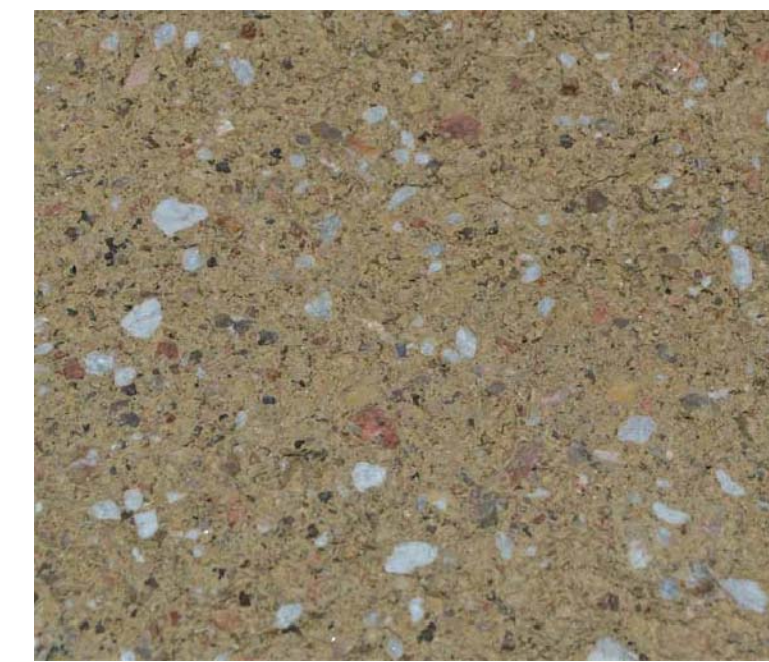
SHEET INFORMATION
AD1

MATERIAL KEYED NOTES: (SF0)
FINISHES REFERENCED ON THIS SHEET ONLY

MARK	DESCRIPTION	MANUFACTURER/COLOR
SF01	RIBBED STEEL	SHERWIN WILLIAMS "6087 TRUSTY TAN"
SF02	EXTERIOR PAINT - GLOSS ENAMEL	SHERWIN WILLIAMS "6087 TRUSTY TAN"
SF03	SPLIT FACE CMU	BASALITE "228" WITH SGS-60A GROUT
SF04	GROUND FACE CMU	BASALITE "338" WITH SGS-60A GROUT
SF05	PRE-CAST STONE CAP	BASALITE GABLE CAP, COLOR TO MATCH BASALITE "701" WITH SGS-60A GROUT



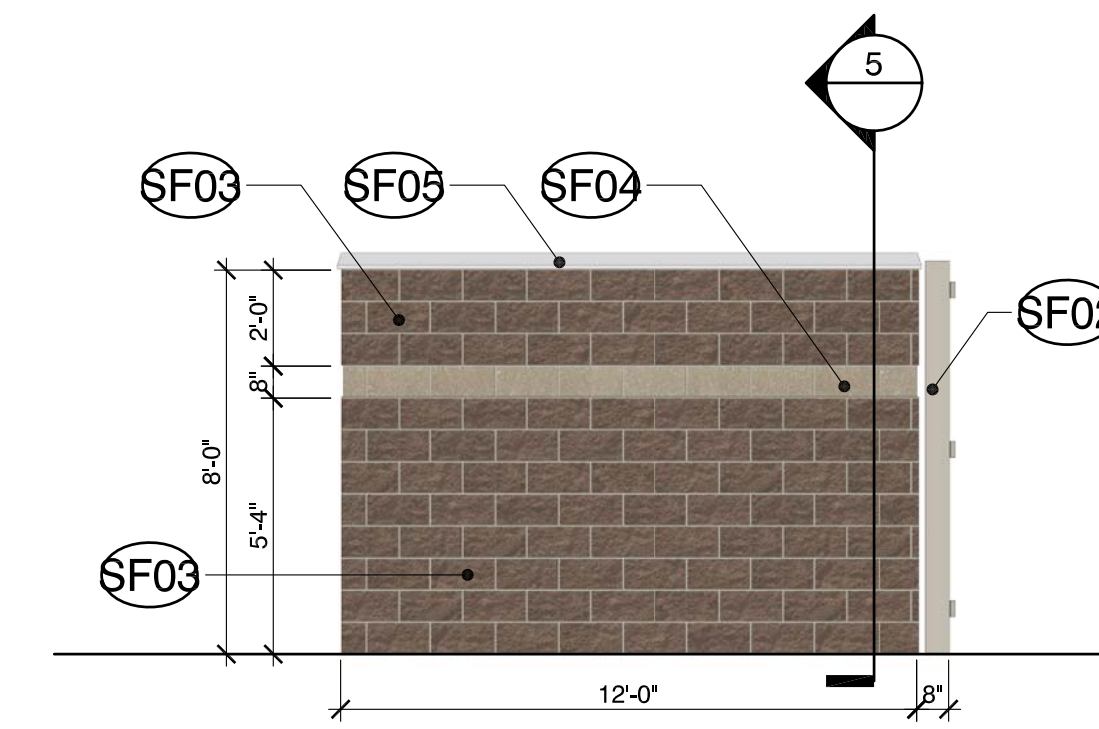
CMU 228



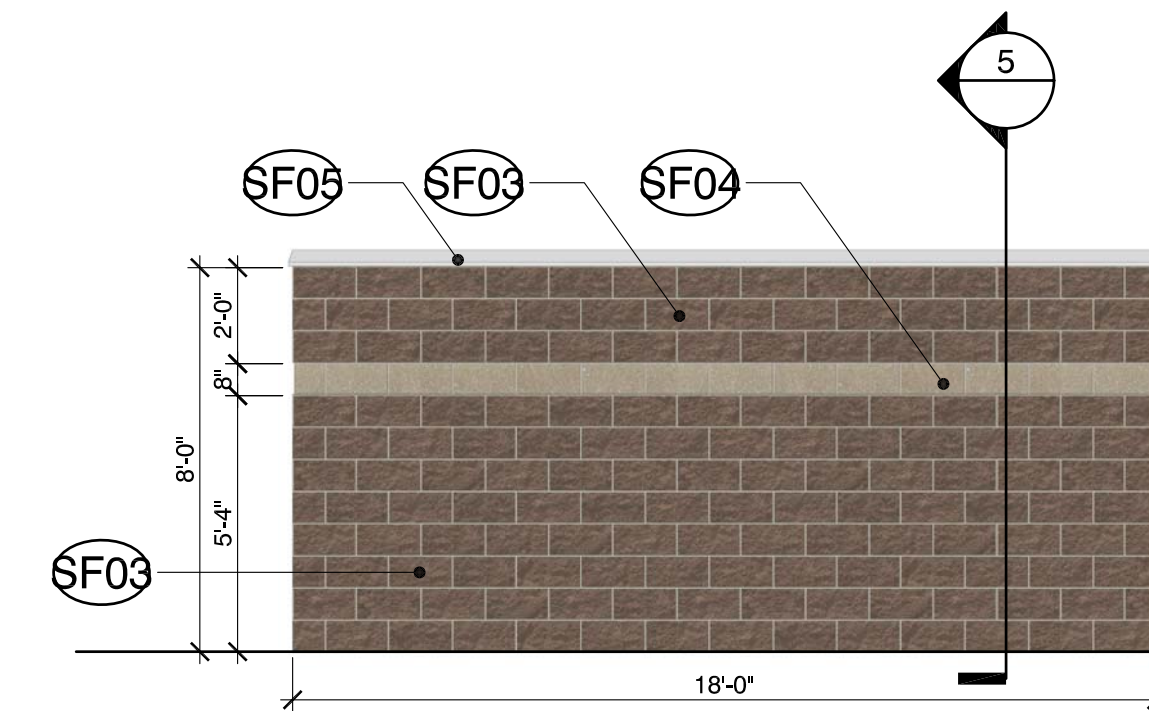
CMU 338

* CMU FINISHES TO MATCH COLORS FOUND IN BUILDING ARCHITECTURE

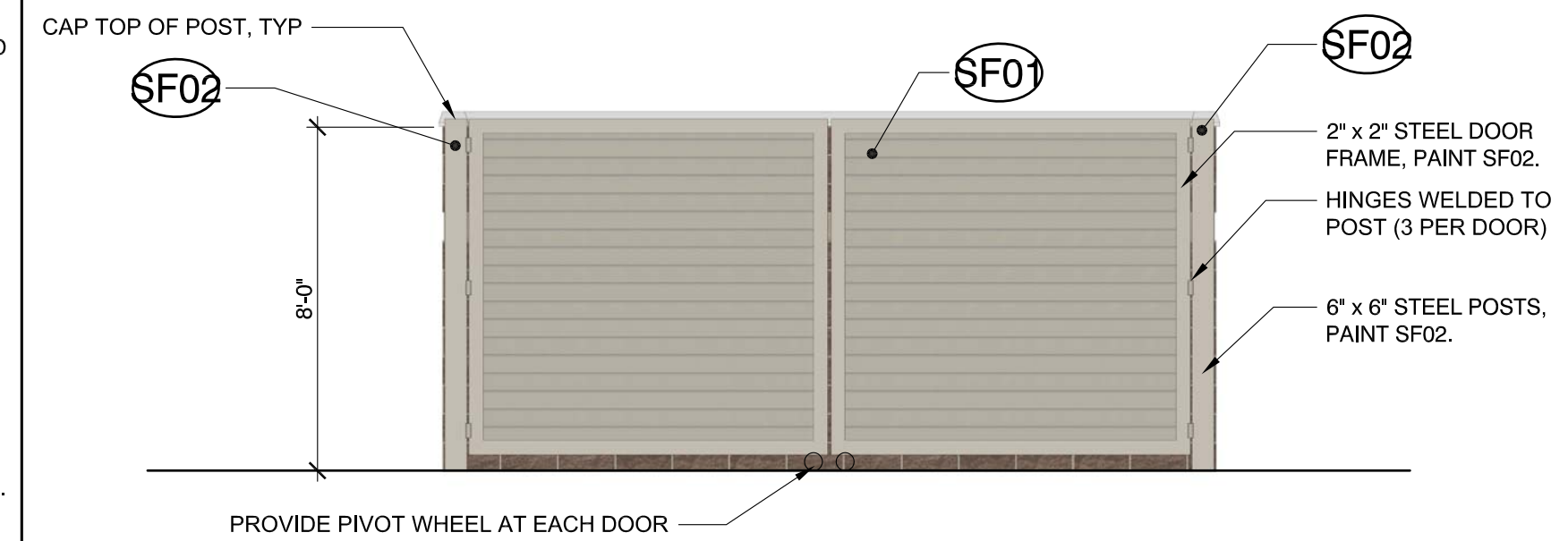
CMU COLORS
DETAIL NO SCALE 8



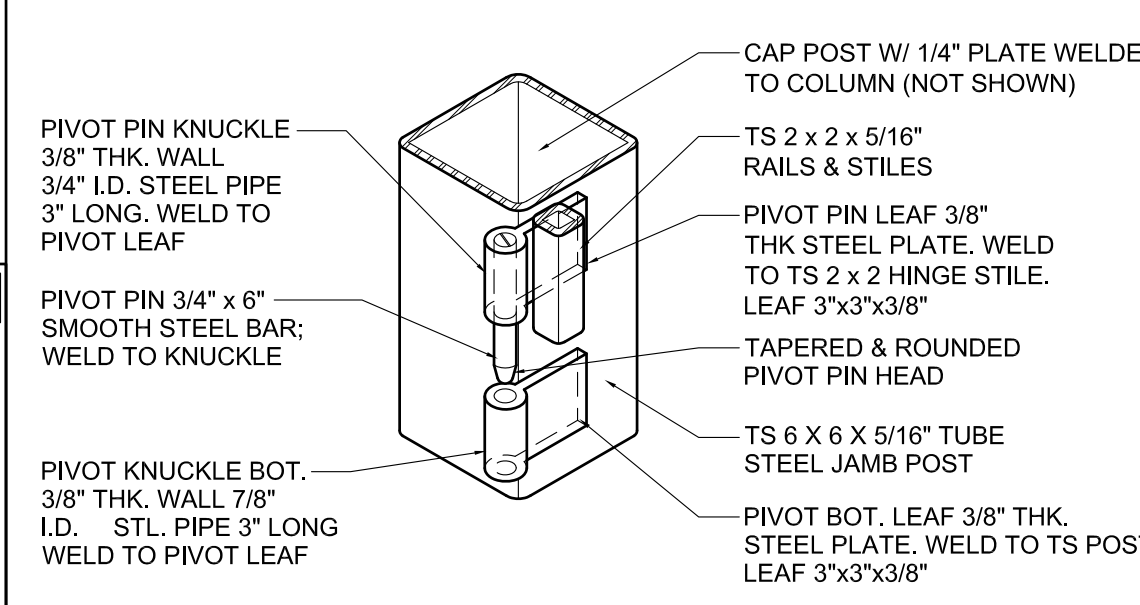
TRASH ENCLOSURE / RECYCLING SIDE
SCALE 1/4" = 1'-0" 4



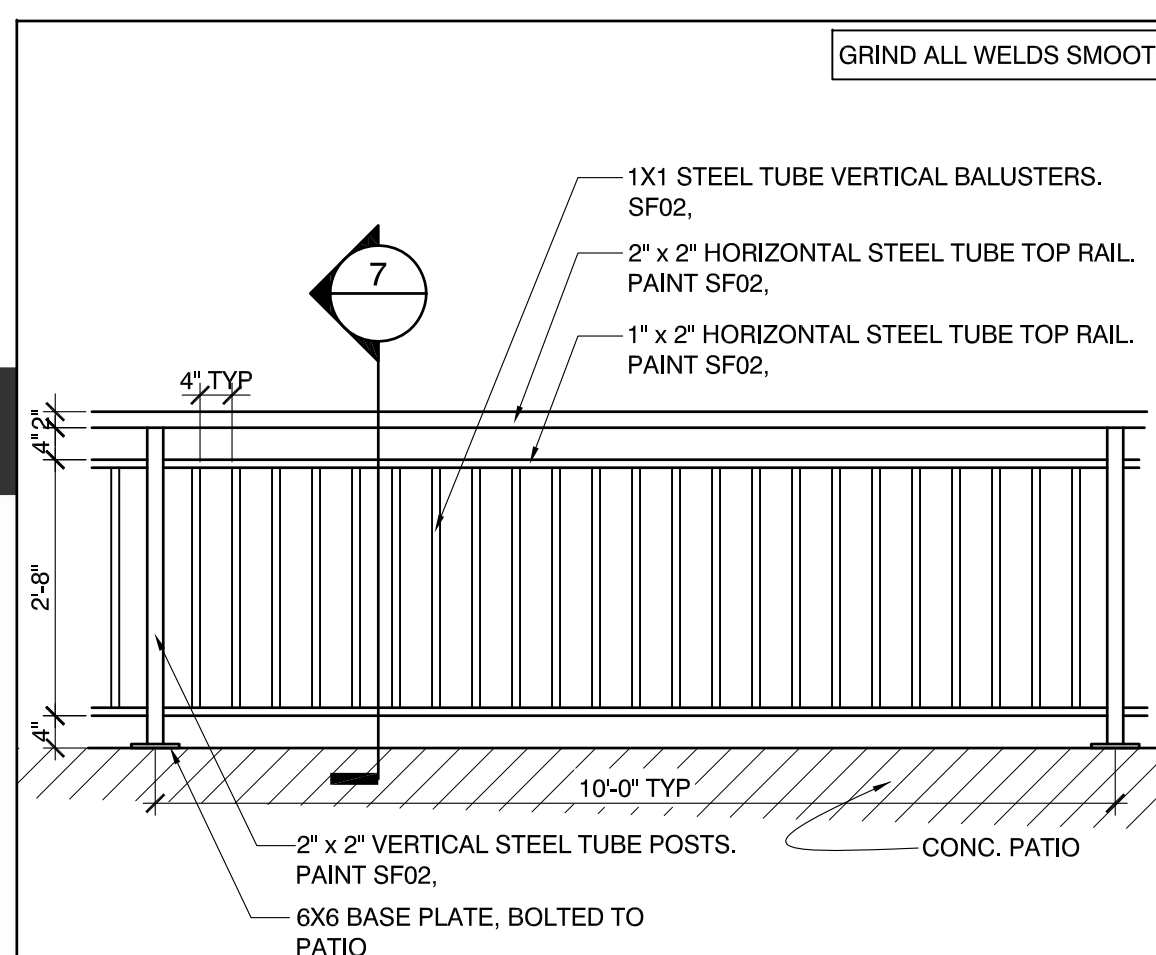
TRASH ENCLOSURE / RECYCLING BACK
SCALE 1/4" = 1'-0" 3



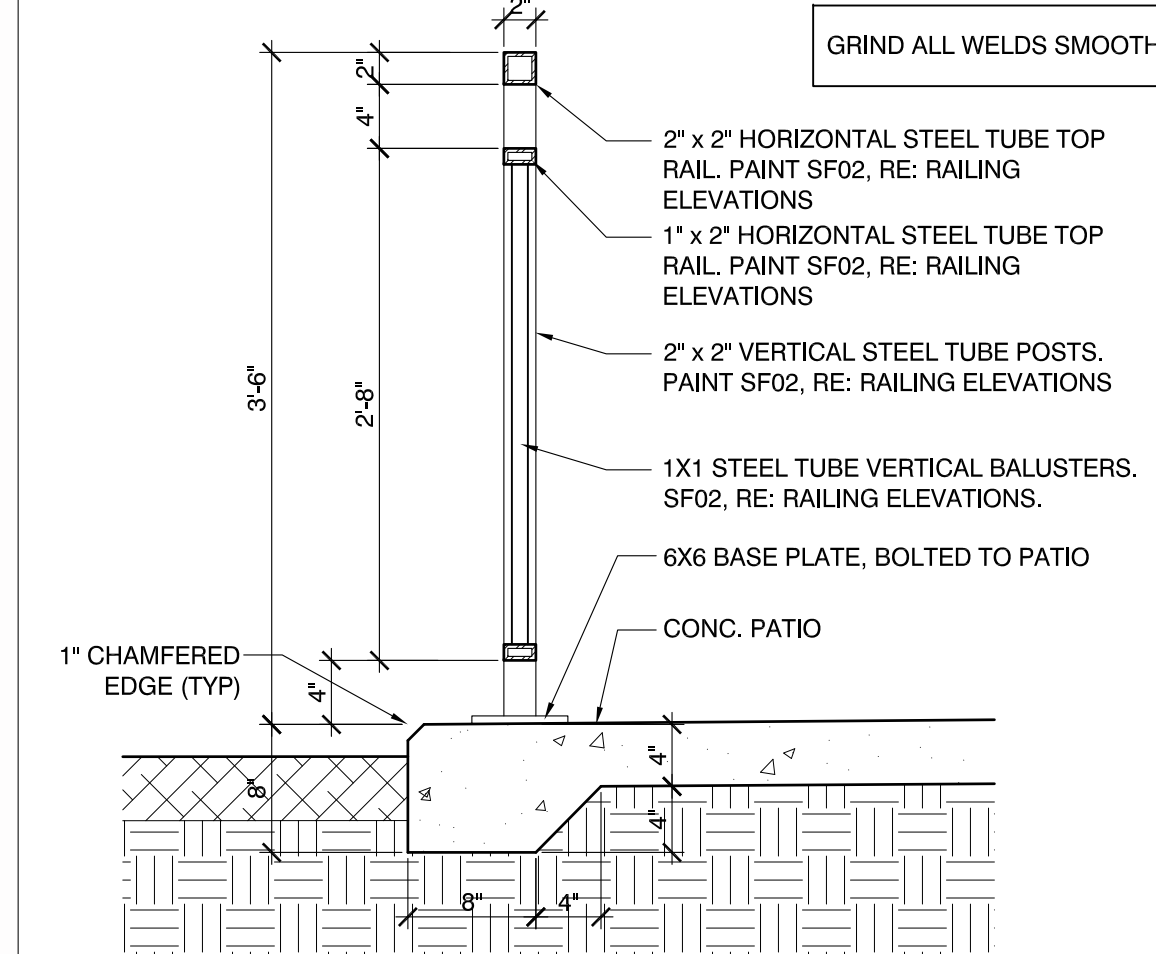
TRASH ENCLOSURE / RECYCLING FRONT
SCALE 1/4" = 1'-0" 2



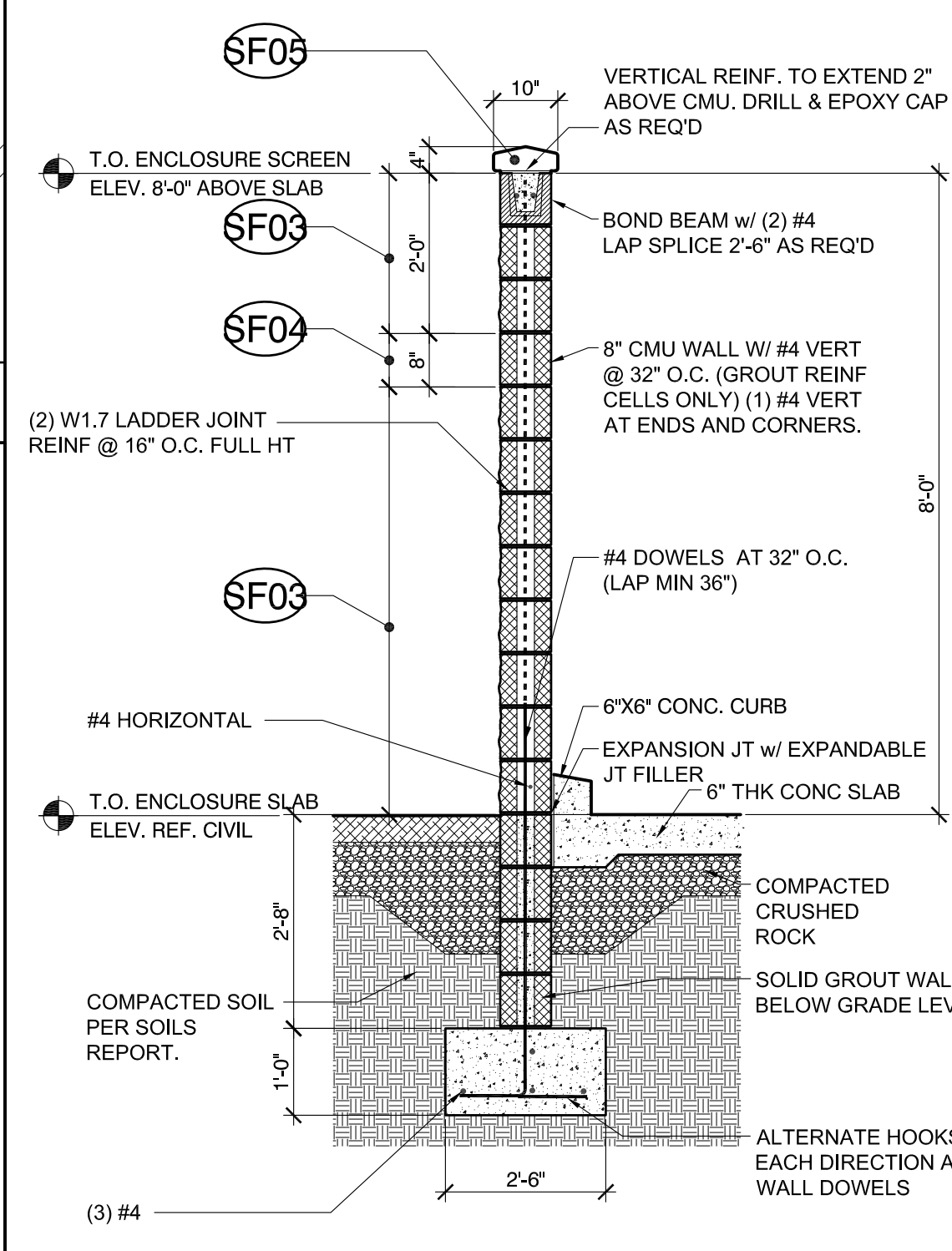
GATE PIVOTS DETAIL
DETAIL NO SCALE 6



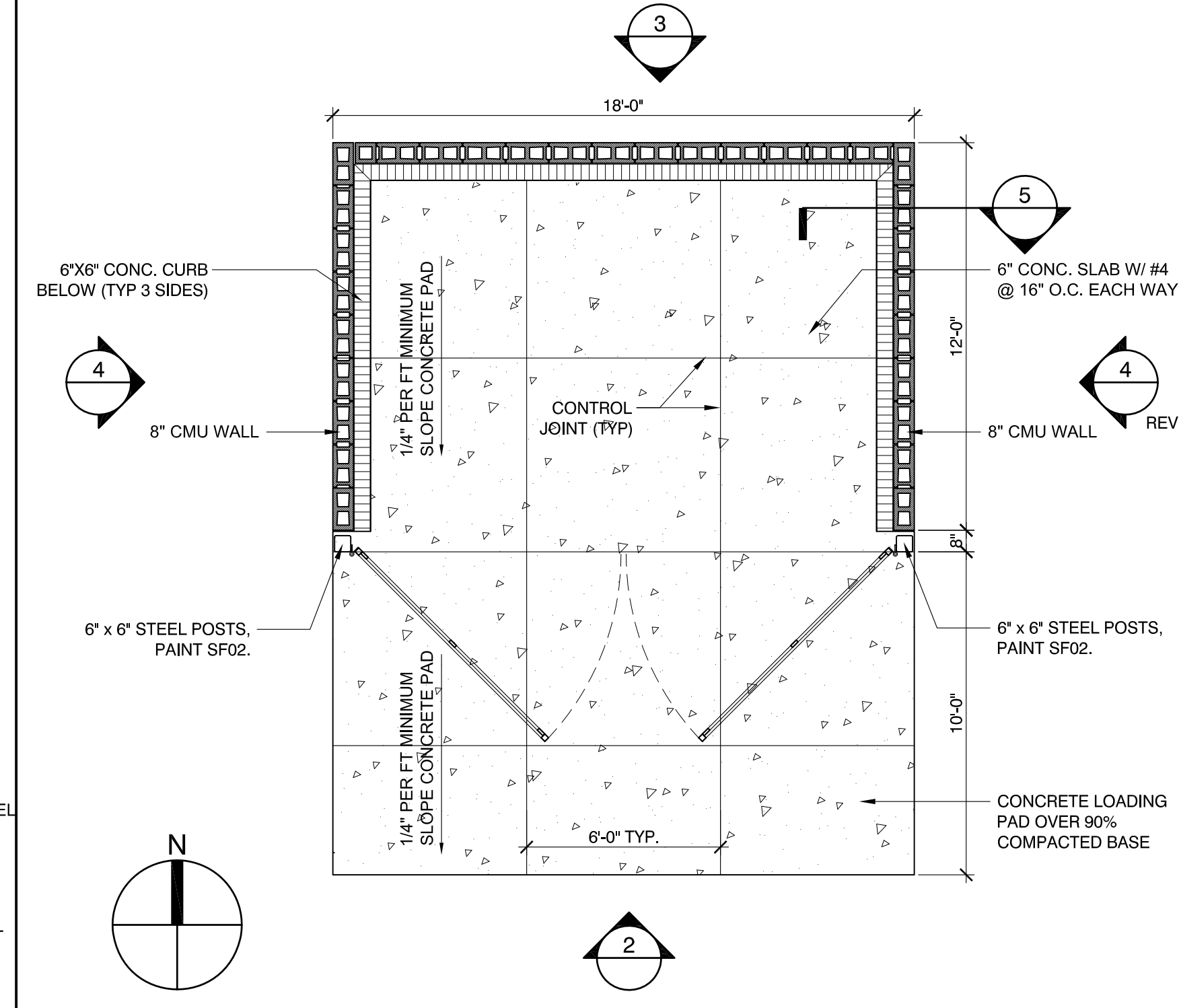
PATIO RAILING ELEVATION
TYP. SCALE 1/2" = 1'-0" 8



PATIO RAILING SECTION
SCALE 1" = 1'-0" 7



TRASH ENCL. WALL SECTION
SCALE 1/2" = 1'-0" 5



TRASH ENCLOSURE / RECYCLING PLAN
SCALE 1/4" = 1'-0" 1

COLOR GROUP: Subtle

COLOR GROUP: Standard

Colors for Concrete

Davis Colors™ mix into any concrete, transforming it into a new design feature for building and paving projects or to enhance appearance around the home. Davis Colors™ are strong, durable and last as long as the concrete. Installation is cleaner and easier than any other color coat, and requires less labor.

less labor. There are bold and intense premium colors, standard colors that make an attractive upgrade for any project, and

toppings, stains or coatings and requires less labor. There are bold and intense premium colors, standard colors that make an attractive upgrade for any project, and

This pdf color card is just for ideas. If you choose a color by viewing this on your PC or iOS or print a printout of this pdf file, your colored concrete may be a tiny register. Please make your selection from our printed color card, hand samples or ask your rep.

Concrete Base Color
The neutral base color of concrete, featuring a clean, smooth, and uniform appearance that will last for years. It is the perfect choice for a light, bright, and clean look. It is a light, neutral color that will complement any color coat, stain, or coating. It is a clean, smooth, and uniform appearance that will last for years. It is the perfect choice for a light, bright, and clean look. It is a light, neutral color that will complement any color coat, stain, or coating.



2/12/2016

PRG-10 | Victor Stanley | Site Furniture

VICTOR STANLEY®

Create a timeless moment.®



PRS-10

6 lengths. Nominal 2-3 (38x63 mm) slats. Surface mount.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

OPTIONS

Intermediate armrests (bolt-on). Wood slat seating, cherry.

SLATS

Recycled Plastic

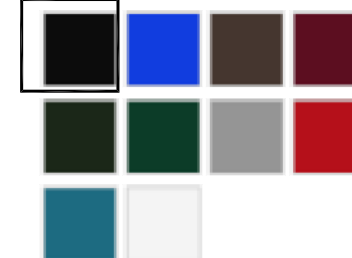


Wood



COLORS

Standard



Optional RAL



<http://www.victorstanley.com/products/prs-10?view=print>

1/3

2/12/2016

BRNS-301 | Victor Stanley | Site Furniture

VICTOR STANLEY®

Create a timeless moment.®



BRNS-301

Single loop constructed of 2.375 in (60 mm) OD tubular steel pipe with central steel plaque. Optional decals available with custom designed messages or advertising. Designed to make maximum effectiveness of the often-recommended security U-LOCKS.

US Patent D624,207 S; D622,873 S; Canada (D) 130252.

CAPACITY

2 bikes.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

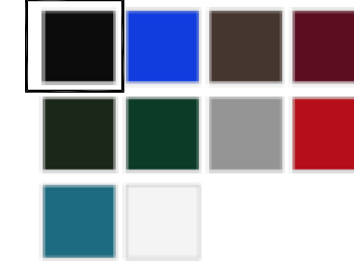
OPTION

<http://www.victorstanley.com/products/brns-301?view=print>

1/3

COLORS

Standard



Optional RAL



RETURN TO STANDARD VIEW

FEATURES

Central Steel Plaque for Signage

MATERIAL

Recycled Solid Steel Bar
Tubular Steel

CAPACITY

2 Bikes

2/12/2016

S-24 | Victor Stanley | Site Furniture

VICTOR STANLEY®

Create a timeless moment.®



S-24

The elegant Ironsites® planter matches the rest of the products in this series but can be used alone as a beautiful and durable accessory that will fit into any site design.

18 gal (68 L) capacity. Lid not included. Black plastic liner. Leveling feet. Bottom recessed pedestal.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

OPTION

Wide-mouth formed lid.

RETURN TO STANDARD VIEW

MATERIAL

Recycled Solid Steel Bar

COLORS

Standard



<http://www.victorstanley.com/products/s-24?view=print>

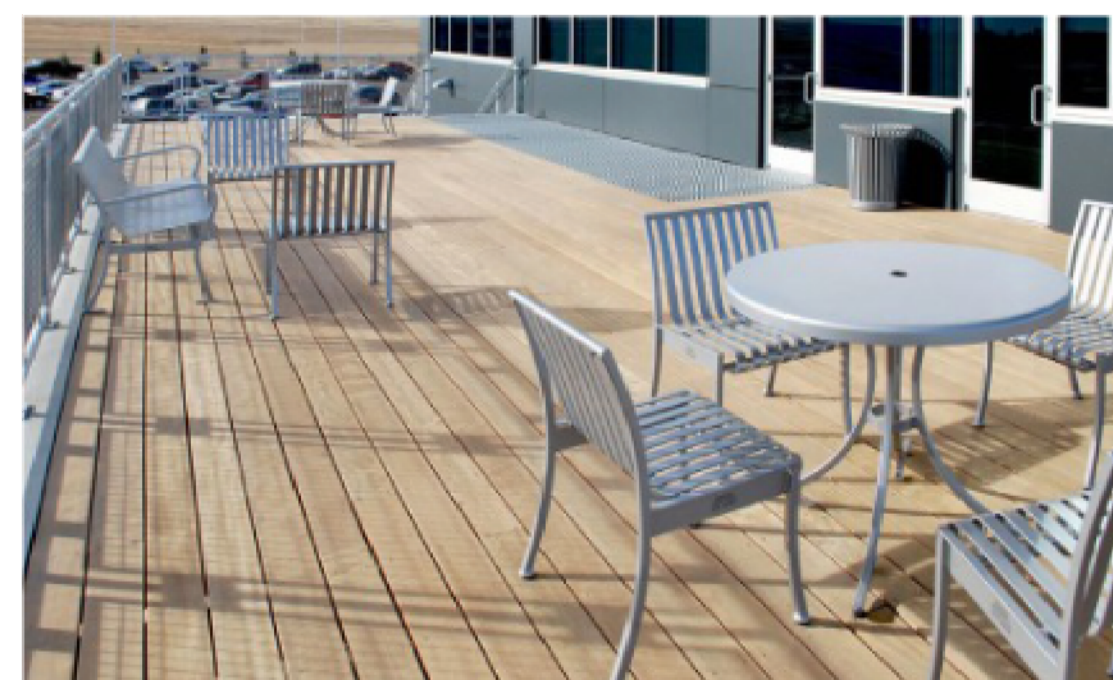
1/3

2/12/2016

PRSC-36R | Victor Stanley | Site Furniture

VICTOR STANLEY®

Create a timeless moment.®



PRSCT-36R

Round café table.

Available with 42 in (1067 mm) round top as model PRSCT-42R.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

OPTIONS

Umbrella hole.

RETURN TO STANDARD VIEW

MATERIAL

Spun Steel Tabletop

LENGTH

42 in (1067 mm) Round Tabletop

<http://www.victorstanley.com/products/prsct-36r?view=print>

1/3

2/12/2016

PRSCA-8 | Victor Stanley | Site Furniture

VICTOR STANLEY®

Create a timeless moment.®



PRSCA-8

Armless all-steel café chair.

Width 23 inches (584 mm). Vertical steel scrolls. Standard freestanding with factory attached glides.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

RETURN TO STANDARD VIEW

MATERIAL

Recycled Solid Steel Bar

COLORS

Standard



<http://www.victorstanley.com/products/prsca-8?view=print>

1/3

2/12/2016

S-35 | Victor Stanley | Site Furniture

VICTOR STANLEY®

Create a timeless moment.®



S-35

Standard tapered formed lid. Bottom recessed pedestal.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

Other standard features include a formed lid attached to the frame with two vinyl-coated steel aircraft cables, a high-density plastic liner, and rubber-tipped leveling feet on the base.

Interior plastic liners for our litter receptacles offer substantial value and are produced on molds that we designed and own. These plastic cans are reinforced, ribbed, and molded for durability, ease of use, and greater capacity.

OPTIONS

RETURN

FEATURES

.375 x 1 in (10 x 25 mm) Bars

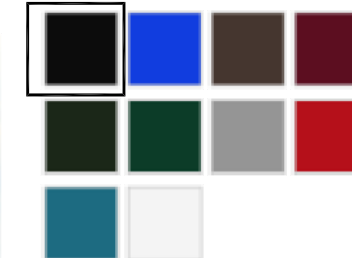
Bottom Recessed Pedestal

MATERIAL

Recycled Solid Steel Bar

COLORS

Standard



Optional RAL



LIDS



<http://www.victorstanley.com/products/s-35?view=print>

1/3

SEAL

PROJECT TITLE

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD SUPERIOR, CO

PREPARED FOR

CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204 SCOTTSDALE, AZ



SUBMITTAL
FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY: RSB

CHECKED BY: MRB

PROJECT NO.: 15001002

REVISIONS

DATE

TOWN COMMENTS 2/17/2016

TOWN COMMENTS 3/04/2016

TOWN COMMENTS 3/09/2016

TOWN COMMENTS 4/04/2016

TOWN COMMENTS 4/06/2016

MYLAR 5/12/2016

DATE

1/18/2016

SHEET TITLE

ARCHITECTURAL DETAILS

SHEET INFORMATION

AD2

12 OF 15



SUPERIOR RETAIL

Superior Town Center Final Development Plan for Superior Retail - Landscape Plans Superior, CO

LANDSCAPE PLANT LIST

DECIDUOUS SHADE TREES									
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY	
DBM	Deborah Maple	Acer x platanoides 'Deborah'	40-50'	30-40'	Medium	Sun	2.5' Cal., B&B	4	
RRN	Royal Red Norway Maple	Acer platanoides 'Royal Red'	30-40'	25-30'	Medium	Sun / Part Shade	2.5' Cal., B&B	1	
CHO	Chinkapin Oak	Quercus muehlenbergii	35-50'	35-50'	Low	Sun	3' Cal., B&B	1	

ORNAMENTAL TREES									
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY	
CCP	Chanticleer Pear	Pyrus calleryana 'Chanticleer'	20-30'	15-20'	Medium	Sun	2' Cal., B&B	6	

EVERGREEN TREES									
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY	
BBE	Baby Blue Eyes Spruce	Picea pungens 'Baby Blue Eyes'	20-30'	10-15'	Medium	Sun	6' ht., B&B	1	

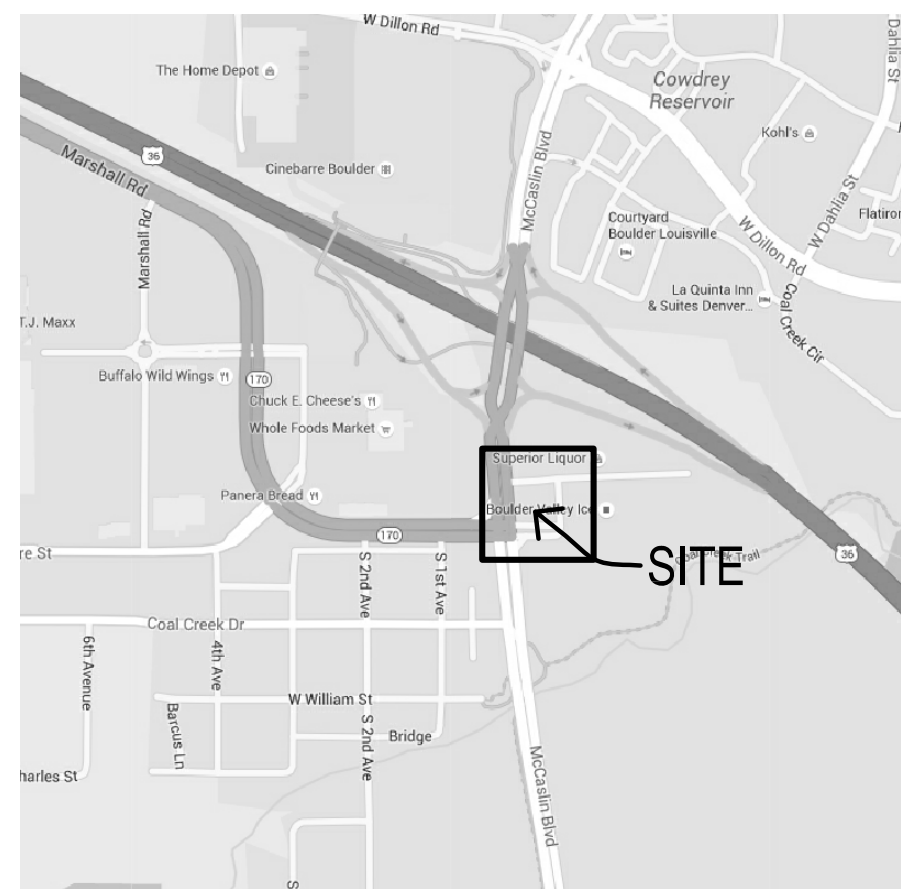
DECIDUOUS SHRUBS									
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY	
CPB	Crimson Pygmy Barberry	Berberis thunbergii 'Crimson Pygmy'	1-2'	2-3'	Low	Sun	5 Gallon Cont.	16	
RGB	Rose Glow Barberry	Berberis thunbergii 'Rose Glow'	3-5'	3-4'	Low	Sun	5 Gallon Cont.	24	
BMS	Blue Mist Spirea	Caryopteris x clandonensis 'Blue Mist'	3-4'	2-3'	Low	Sun	5 Gallon Cont.	13	
RLR	Red-Leaved Rose	Rosa glauca	6-7'	4-6'	Low	Sun	5 Gallon Cont.	5	
LMS	Limemound Spirea	Spiraea japonica 'Limemound'	18-24"	2-3'	Medium	Sun / Part Shade	5 Gallon Cont.	25	

EVERGREEN SHRUBS									
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY	
SCJ	Scandia Juniper	Juniperus sabina 'Scandia'	18-24"	4-6"	Low	Sun / Part Shade	5 Gallon Cont.	6	
BTM	Big Tuna Mugo Pine	Pinus mugo 'Big Tuna'	6-8"	5-6"	Low	Sun	5 Gallon Cont.	6	
WBM	White Bud Mugo Pine	Pinus mugo 'White Bud'	2-3'	3-4'	Low	Sun / Part Shade	5 Gallon Cont.	10	

ORNAMENTAL GRASSES									
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY	
FRG	Feather Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	4-5'	18-24"	Low	Sun / Part Shade	1 Gallon Cont.	27	
BAG	Blue Avena Grass	Helictotrichon sempervirens	2-3'	18-24"	Low	Sun	1 Gallon Cont.	76	
SRS	Shenandoah Red Switch Grass	Panicum virgatum 'Shenandoah'	3-4'	12-18"	Low	Sun	1 Gallon Cont.	21	
FOG	Fountain Grass	Pennisetum alopecuroides	3-4'	24-30"	Low	Sun	1 Gallon Cont.	21	

PERENNIALS									
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND SPACING	QTY	
MOY	Moonshine Yarrow	Achillea 'Moonshine'	24-30"	18-24"	Low	Sun	4" Pot / 36" O.C.	7	
MBC	Moonbeam Coreopsis	Coreopsis verticillata 'Moonbeam'	18-24"	18-24"	Low	Sun	4" Pot / 36" O.C.	8	
SBI	Starburst Toeplant	Delosperma floribundum 'Starburst'	4-8"	10-12"	Low	Sun	4" Pot / 18" O.C.	4	
PCF	Purple Coneflower	Echinacea purpurea	2-3'	18-24"	Low	Sun	1 Gal. / 36" O.C.	17	
DBF	Goblin Dwarf Blanket Flower	Gaillardia x grandiflora 'Goblin'	12-14"	12-14"	Low	Sun	4" Pot / 24" O.C.	18	
TOR	Torch Lily	Kniphofia 'Corallina'	3-4'	18-24"	Low	Sun	1 Gal. / 36" O.C.	11	
SHD	Shasta Daisy	Leucanthemum x superbum 'Alaska'	24-30"	18-24"	Medium	Sun	4" Pot / 24" O.C.	6	
LTC	Little Trudy Catmint	Nepeta x Little Trudy	8-12"	18-24"	Low	Sun	1 Gal. / 36" O.C.	7	
MNS	May Night Salvia	Salvia nemorosa 'May Night'	18-24"	12-18"	Low	Sun	1 Gal. / 36" O.C.	8	
AJS	Autumn Joy Stonecrop	Sedum 'Autumn Joy'	18-24"	12-18"	Low	Sun	1 Gal. / 36" O.C.	3	

VICINITY MAP



PLAN SET INDEX

SHEET	NAME
L1	LANDSCAPE COVER SHEET & PLANT LIST
L2	LANDSCAPE PLAN
I1	IRRIGATION PLAN

GENERAL LANDSCAPE NOTES

- ALL PERENNIAL PLANTING AREAS SHALL BE MULCHED WITH SHREDDED WESTERN RED CEDAR WOOD MULCH, AT A DEPTH OF 2". WEED BARRIER FABRIC IS NOT REQUIRED UNDER WOOD MULCH.
- ALL OTHER PLANTING BED AREAS SHALL BE MULCHED WITH 1-1/2" LOCAL RIVER ROCK, AT A DEPTH OF 3", INSTALLED OVER PERMEABLE WEED BARRIER FABRIC. DO NOT INSTALL EDGING BETWEEN WOOD MULCH AND ROCK MULCH AREAS.
- COBBLE ROCK MULCH AREAS WILL BE MULCHED WITH 2-4" COBBLE 'GRAY ROSE' COLOR, OVER PERMEABLE WEED BARRIER FABRIC. NO FABRIC SHALL BE VISIBLE THROUGH THE MULCH OR AT THE EDGES OF BEDS. DO NOT INSTALL EDGING BETWEEN THE LARGE COBBLE ROCK MULCH AND THE SMALL ROCK MULCH.
- SOD EDGER SHALL BE 14 GAUGE ROLLED TOP STEEL EDGING (DARK GREEN COLOR) IN THE LOCATIONS SHOWN ON THE PLANS. EDGER IS NOT REQUIRED WHERE SOD ABUTS CONCRETE.
- ALL AREAS TO BE LANDSCAPED SHALL HAVE ORGANIC AMENDMENTS THOROUGHLY INCORPORATED INTO THE SOIL AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, AND TILLED TO A DEPTH OF 6 INCHES.
- ALL SOD AREAS, BED AREAS, AND LANDSCAPE AREAS SHALL BE FINE GRADED PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. ROCKS, WOOD, AND ANY MATERIAL LARGER THAN 1" IN DIAMETER SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO SODDING AND PLANTING NEW MATERIALS.
- EXISTING TURF, SHRUBS, TREES, AND PLANT MATERIAL TO BE REMOVED SHALL BE FULLY REMOVED FROM THE SITE, INCLUDING ALL ROOTS.
- ALL LANDSCAPED AREAS SHALL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- SOD AREAS SHALL BE ZONED SEPARATELY THAN BEDS, AND SHALL BE IRRIGATED VIA POP-UP SPRAY HEADS PROVIDING FULL (HEAD TO HEAD) COVERAGE. HEADS SHALL BE COMMERCIAL GRADE WITH REPLACEABLE NOZZLES, PRESSURE REGULATORS, AND CHECK VALVES.
- BED AREAS SHALL BE ZONED SEPARATELY THAN SOD AREAS, AND SHALL BE IRRIGATED BY INDIVIDUAL DRIP EMITTERS TO EACH PLANT. DRIP COMPONENTS SHALL BE COMMERCIAL GRADE RAIN-BIRD OR EQUAL POINT SOURCE EMITTERS, WITH ALL PLANTS RECEIVING IRRIGATION.

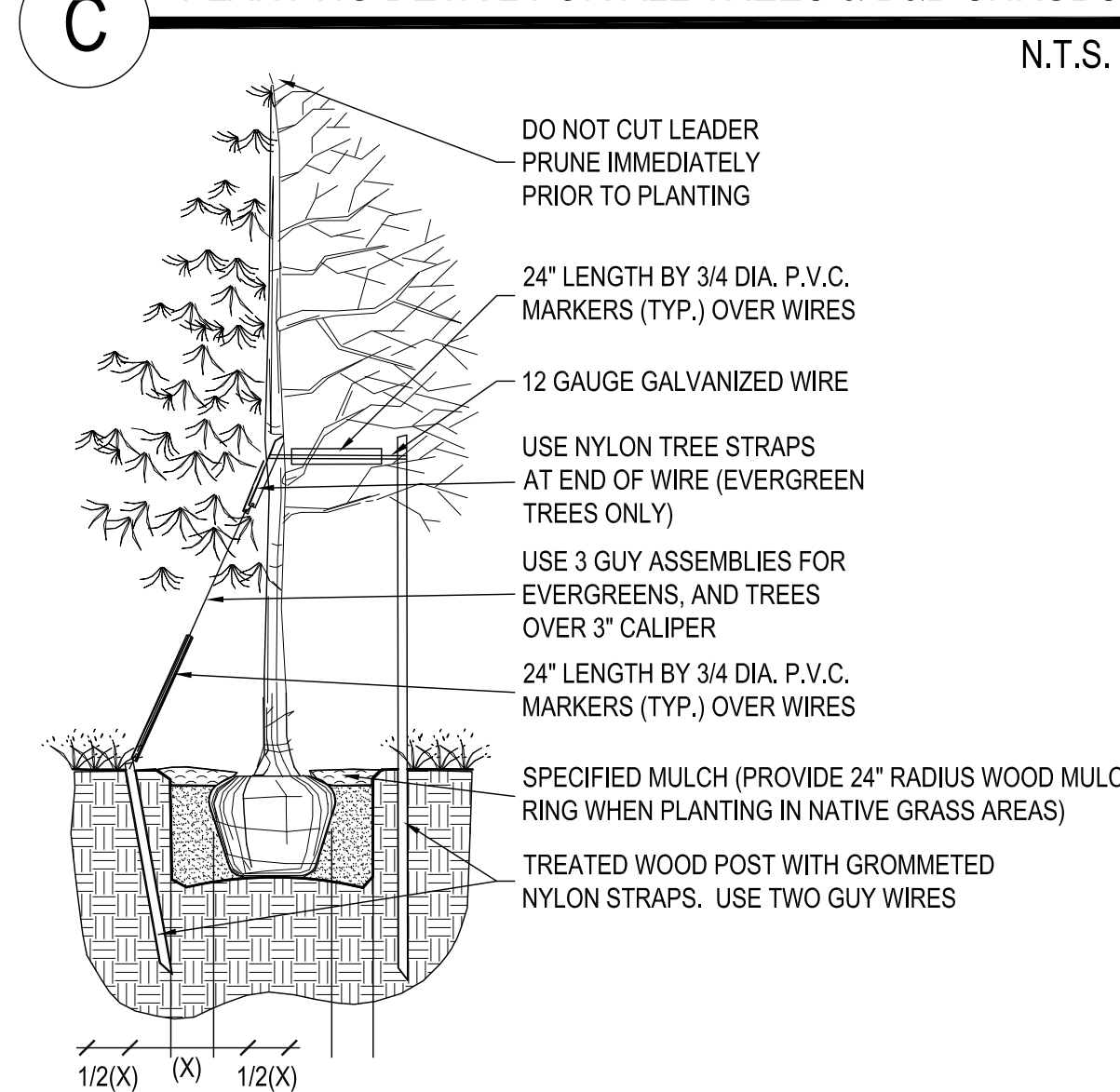
LANDSCAPE REQUIREMENTS - COMMERCIAL/RETAIL CATEGORY

LANDSCAPE AREA	TREES REQUIRED	SHRUBS REQUIRED	TREES PROVIDED	SHRUBS PROVIDED
OPEN SPACE LANDSCAPE REQUIREMENTS (DEVELOPED LANDSCAPE)	1/825 S.F. *(9,508 S.F. = 12)	1/100 S.F. *(9,508 S.F. = 95)	7	**151
STREET ROWS (MCCASLIN BLVD.)	1/40 L.F. (170 L.F. = 4)	N/A	***1	N/A
STREET ROWS (MARSHALL RD.)	1/40 L.F. (200 L.F. = 5)	N/A	***0	N/A
STREET ROWS (SUPERIOR PLAZA WAY)	1/40 L.F. (180 L.F. = 5)	N/A	***3	N/A
PARKING LOT ISLANDS LESS THAN 360 S.F.	1/180 S.F. (<180 S.F. = 4 ISLANDS) = 0 TREES (180-360 S.F. = 5 ISLANDS) = 5 TREES	1/30 S.F. (1,788 S.F. = 60)	6	**99

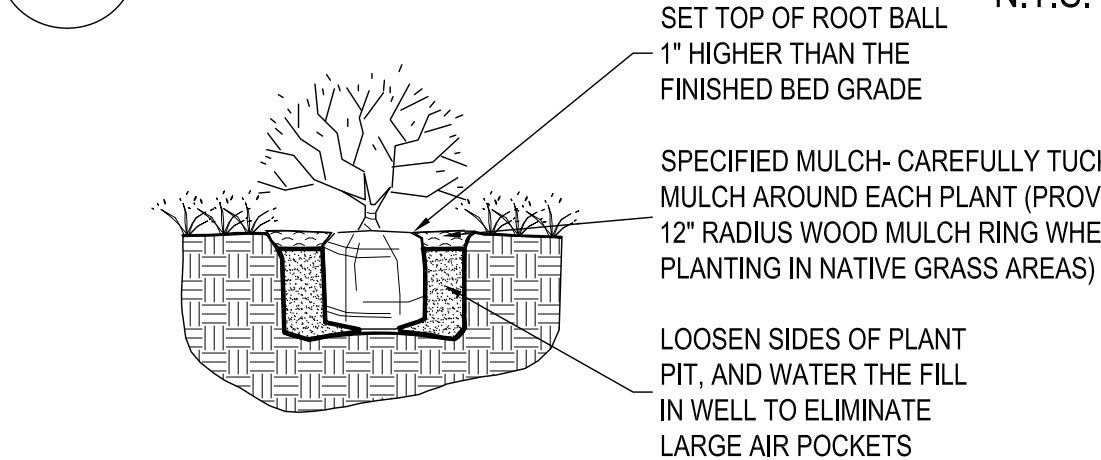
LANDSCAPE REQUIREMENTS NOTES:

- *TOTAL S.F. OF LANDSCAPE AREAS DOES NOT INCLUDE PARKING LOT ISLANDS (SEPARATE CATEGORY)
- **ONE GALLON ORNAMENTAL GRASSES HAVE BEEN COUNTED AS SHRUBS
- ***AS PER THE TOWN OF SUPERIOR PLANNING COMMISSION, REDUCED TREES WILL BE PROVIDED ALONG MCCASLIN ROW AND MARSHALL ROW AT THIS TIME. THIS IS DUE TO SIGN & BUILDING VISIBILITY ALONG MCCASLIN, AND FOR FUTURE DEVELOPMENT PURPOSES ALONG MARSHALL.
- ****THERE IS NOT ADEQUATE ROOM ALONG SUPERIOR PLAZA WAY DUE TO UTILITIES AND OTHER CONFLICTS
- 5) ACCORDING TO THE TABLE IN SECTION 16-21-10 OF THE TOWN OF SUPERIOR GENERAL LANDSCAPE REQUIREMENTS, NO SHRUBS ARE REQUIRED IN STREET ROWS.
- 6) GIVEN THE TOTAL LANDSCAPE SQUARE FOOTAGE OF THE SITE, WE ARE SHORT TREES IN THE 'OPEN SPACE LANDSCAPE REQUIREMENTS' CATEGORY (SEE NOTE #3 FOR REASONS OF THIS PROPOSAL).

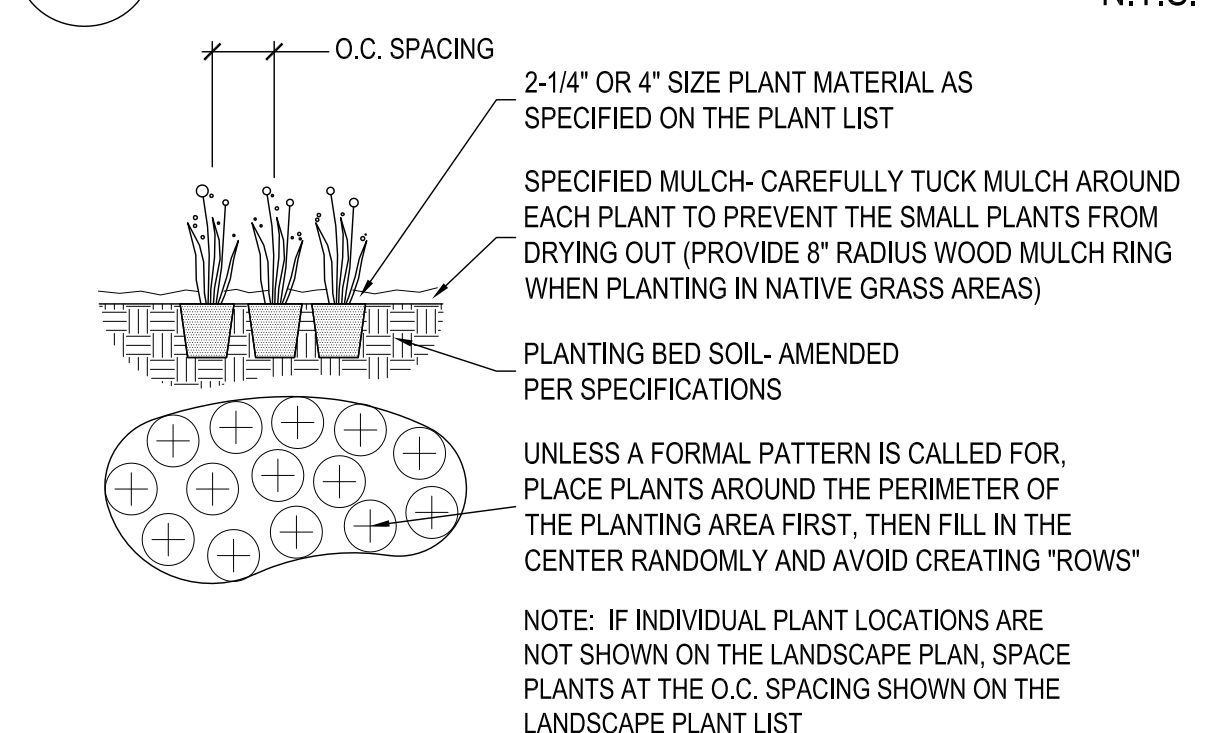
C PLANTING DETAIL FOR ALL TREES & B&B SHRUBS



A PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON



B PLANTING DETAIL FOR PERENNIALS, ANNUALS, & ALL CONTAINER PLANTS 1 GALLON OR SMALLER



FOR REVIEW -
NOT FOR CONSTRUCTION

PROJECT TITLE

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD SUPERIOR, CO

PREPARED FOR

CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204 SCOTTSDALE, AZ



SUBMITTAL

FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY:

CHECKED BY:

PROJECT NO.:

REVISIONS

REVISIONS	DATE
Town Submittal	1-12-16
Town Submittal	2-17-16
Town Submittal	3-09-16
Client Review	3-17-16
Town Submittal	4-04-16
Town Submittal	4-06-16
Client Review	4-22-16
MYLAR	5-17-16

DATE

1/18/2016

SHEET TITLE

LANDSCAPE COVER SHEET & PLANT LIST

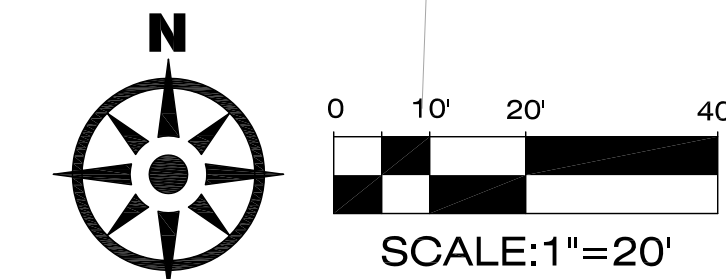
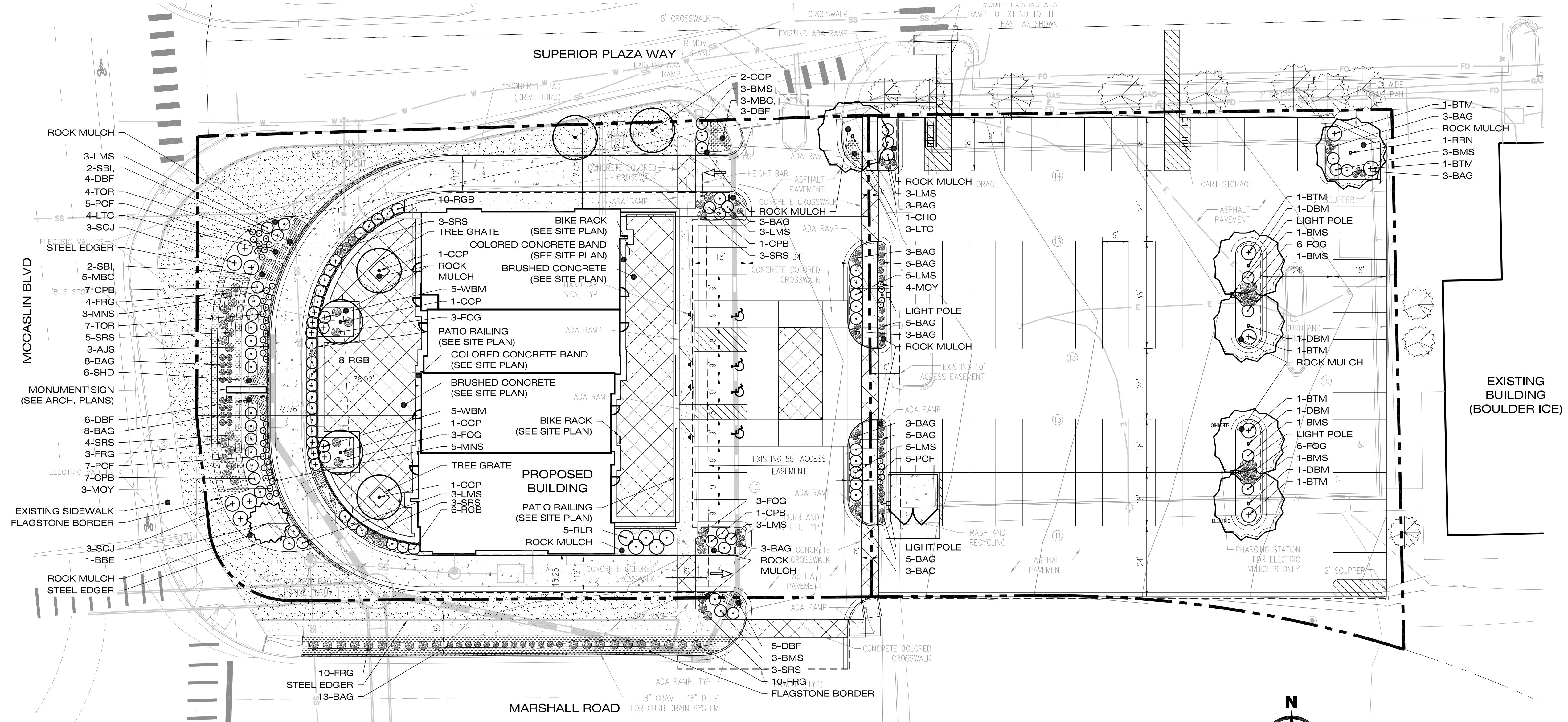
SHEET INFORMATION

L1



Know what's below.
Call before you dig.

LANDSCAPE PLAN



LANDSCAPE LEGEND

(SEE SHEET L1 FOR FULL PLANT LIST)

- | | | | |
|--|-----------------------|--|-------------------------------|
| | DECIDUOUS SHADE TREES | | LARGE PERENNIALS |
| | ORNAMENTAL TREES | | LOW PERENNIALS & GROUNDCOVERS |
| | EVERGREEN TREES | | SOD |
| | DECIDUOUS SHRUBS | | EXISTING TREES TO REMAIN |
| | EVERGREEN SHRUBS | | |
| | ORNAMENTAL GRASSES | | |

NOTE:

LOT 1 IS OWNED BY CENTERPOINTE DEVELOPMENT COMPANY, LLC. AND LOT 2 IS OWNED BY THE TOWN OF SUPERIOR.

CENTERPOINTE DEVELOPMENT COMPANY, LLC. WILL PROVIDE LANDSCAPE MAINTENANCE ON BOTH LOTS 1 AND 2, INCLUDING THE PUBLIC RIGHT-OF-WAY ALONG MCCASLIN BLVD. AND MARSHALL ROAD.

FOR REVIEW -
NOT FOR CONSTRUCTION

PROJECT TITLE
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD SUPERIOR, CO

PREPARED FOR
CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204 SCOTTSDALE, AZ



SUBMITTAL
FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY:
CHECKED BY:
PROJECT NO.:

REVISIONS	DATE
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Town Submittal	2-17-16
Town Submittal	3-09-16
Client Review	3-17-16
Town Submittal	4-04-16
Town Submittal	4-06-16
Client Review	4-22-16
MYLAR	5-17-16

DATE
1/18/2016

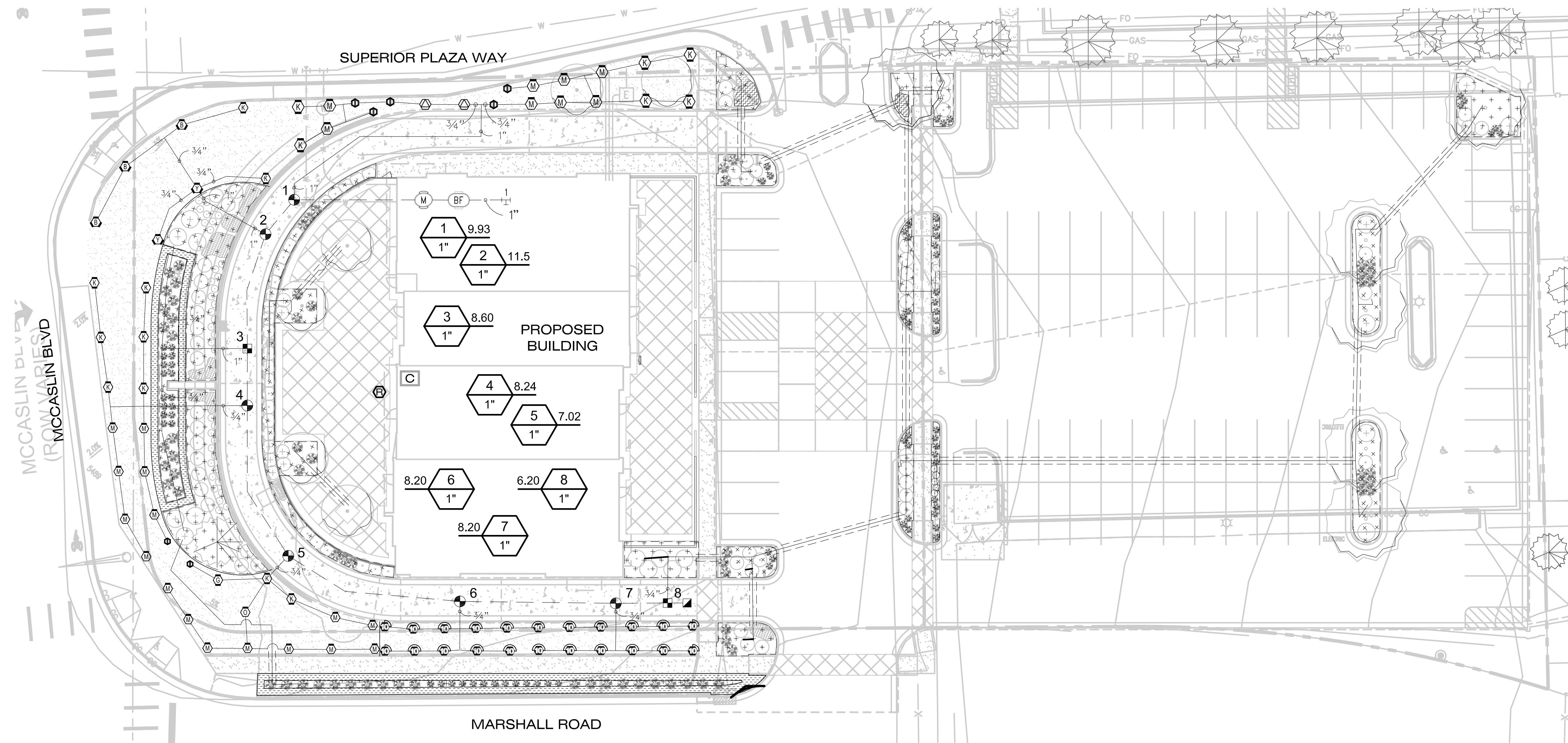
SHEET TITLE
LANDSCAPE PLAN

SHEET INFORMATION
L2

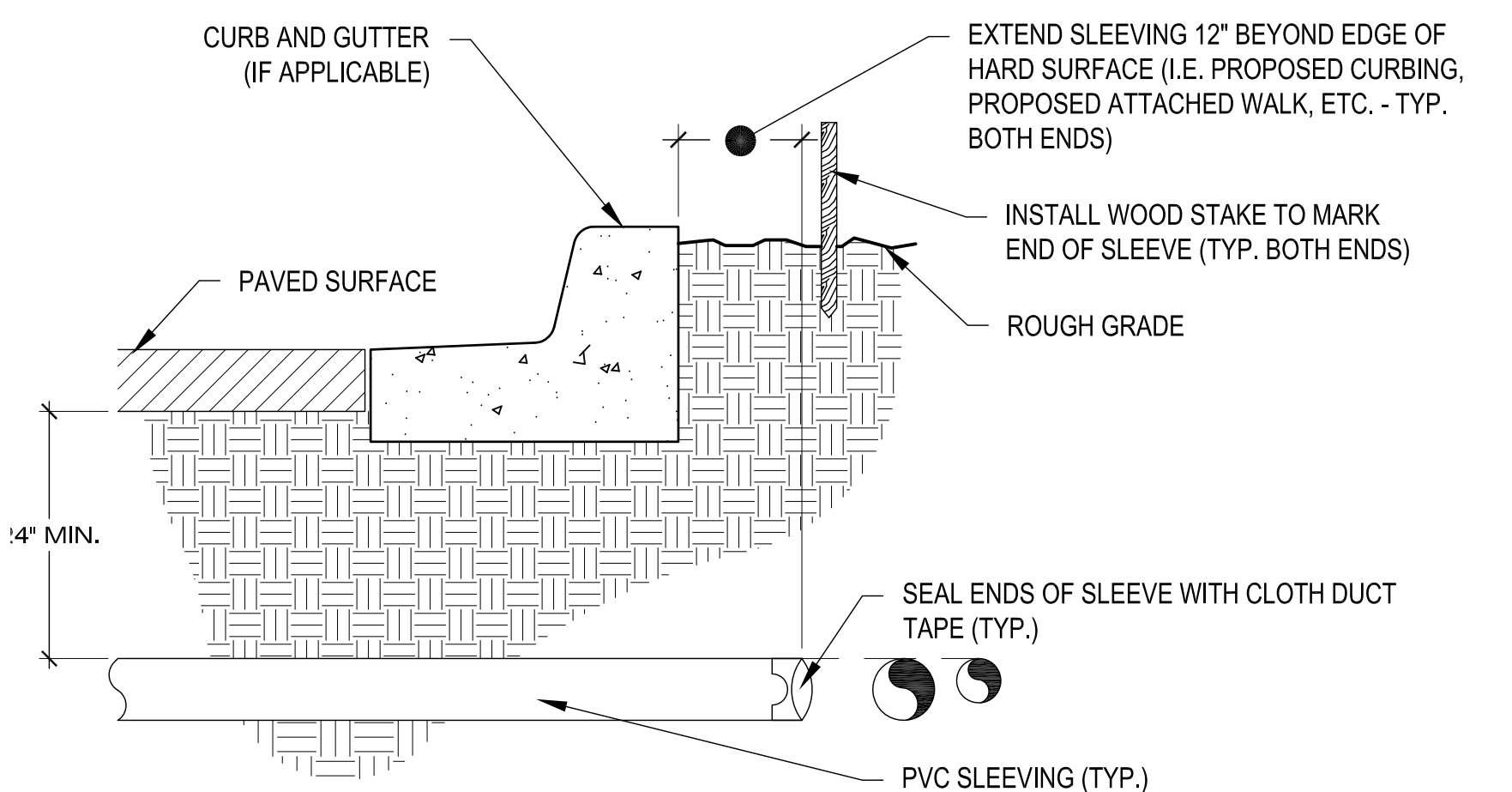


Know what's below.
Call before you dig.

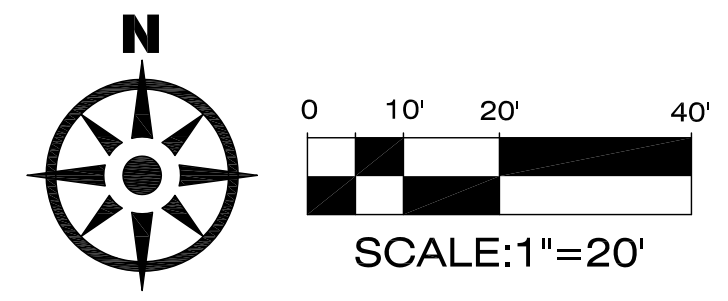
IRRIGATION PLAN



1 SLEEVE DETAIL N.T.S.



- NOTES:
- 1.) ALL SLEEVING TO BE SCH. 40 SOLVENT WELD PVC, SIZE AS NOTED.
 - 2.) INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION AT MULTIPLE SLEEVE LOCATIONS (DO NOT VERTICALLY STACK SLEEVING).
 - 3.) BACKFILL AND COMPACTION SHALL CONFORM TO ROAD CONSTRUCTION REQUIREMENTS IN 6" LIFTS.



IRRIGATION DRIP EMITTER SCHEDULE

PLANT TYPE	WATER REQUIREMENT *	COMMERCIAL EMITTER SIZE	QTY. PER PLANT
TREES	LOW	1.0 GPH	2
	MEDIUM	2.0 GPH	3
	HIGH	2.0 GPH	5
SHRUBS	VERY LOW	0.5 GPH	1
	LOW	0.5 GPH	2
	MEDIUM	1.0 GPH	2
ORNAMENTAL GRASSES & PERENNIALS	VERY LOW	0.5 GPH	1
	LOW	0.5 GPH	1
	MEDIUM	1.0 GPH	1
	HIGH	1.0 GPH	2

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird RD-06-5-U U10 Series Turf Spray, 6.0' Pop-Up with Seal-A-Matic check valve, 1/2" NPT female threaded inlet.	22
	Hunter MP1000 PRO5-04-PR540-CV Turf Rotator, 4" (10.16 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	25
	Hunter MP2000 PRO5-04-PR540-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	17
	Hunter MP3000 PRO5-04-PR540-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	5
	Hunter MP8005R PRO5-04-PR540-CV Turf Rotator, 4.0' pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. ADJ=Orange and Gray (arc 90-210), 3G0=Lime Green and Gray (arc 360)	7
	Hunter MP Strp PRO5-04-PR540-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. LST=Ivory left strp, SST=Brown side strp, RST=Copper right strp.	2
	Rain Bird XC2-100-PRB-COM 1" Medium Plus Flow Dnp Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 3gpm to 20gpm.	2
	Area to Receive Dnp Emitters Single Outlet, Pressure Compensating Dnp Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet.	4,289 s.f.
	Rain Bird PEB 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	6
	Rain Bird 44-LRC 1" 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	1
	Rain Bird PEB 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1
	Febco 860U 1" Reduced Pressure Backflow Preventer	1
	Rain Bird ESP4-SMTE with (1) ESP-SMG 10 Station Outdoor Smart Modular Control System for Residential and Light Commercial Use. Wall Mount, Tipping Bucket Rain Sensor that Measures Rainfall.	1
	Rain Bird WR2-RC Wireless Rain Sensor Combo, includes 1 receiver and 1 rain	1
	Point of Connection 1" Jim Widner P.E. Utilities Superintendent Town of Superior 303-381-2013	1
	Irrigation Lateral Line: Polyethylene and PVC Class 160 Polyethylene SDR-7 up to 1-1/4, then PVC Class 160 SDR 26 for 1-1/2" and larger.	16,31 f.
	Irrigation Lateral Line: Polyethylene and PVC Class 160 3/4" Polyethylene SDR-7 up to 1-1/4, then PVC Class 160 SDR 26 for 1-1/2" and larger.	1,773 f.
	Irrigation Lateral Line: Polyethylene and PVC Class 160 1" Polyethylene SDR-7 up to 1-1/4, then PVC Class 160 SDR 26 for 1-1/2" and larger.	119,31 f.
	Irrigation Mainline: PVC Schedule 40 1"	289,21 f.
	Pipe Sleeve: Polyethylene Pipe SDR-7 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 12 inches beyond edges of paving or construction.	415,11 f.
	Valve Callout # Valve Number # Valve Flow # Valve Size	



SEAL

FOR REVIEW - NOT FOR CONSTRUCTION -

PROJECT TITLE

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AND SPECIAL USE REVIEW FOR SUPERIOR RETAIL

MARSHALL RD / MCCASLIN BLVD SUPERIOR, CO

PREPARED FOR

CENTERPOINTE DEVELOPMENT COMPANY, LLC

4014 N. GOLDWATER BLVD, SUITE 204 SCOTTSDALE, AZ



SUBMITTAL

FINAL DEVELOPMENT PLAN / SPECIAL USE REVIEW

DRAWN BY:

CHECKED BY:

PROJECT NO.:

REVISIONS	DATE
Town Submittal	1-12-16
Town Submittal	2-17-16
Town Submittal	3-09-16
Client Review	3-17-16
Town Submittal	4-04-16
MYLAR	5-17-16

DATE

1/18/2016

SHEET TITLE

IRRIGATION PLAN

SHEET INFORMATION

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