

LEGAL DESCRIPTION

FINAL DEVELOPMENT PLAN 2 (BLOCK 13) SUPERIOR TOWN CENTER PHASE 1B
 SUPERIOR TOWN CENTER PHASE 1B
 SUPERIOR TOWN CENTER PHASE 1B
 SUPERIOR TOWN CENTER PHASE 1B

SIGNATURE BLOCKS

CERTIFICATE OF CONVEYANCE - FDC SUPERIOR, LLC, a Delaware limited liability company, By: Superior Town Center ASU, LP, a Delaware limited liability company, its sole member
 By: Andrew DeBill, Vice President
 My commission expires: May 28, 2019
 My commission expires: May 28, 2019
 My commission expires: May 28, 2019
 My commission expires: May 28, 2019

I certify that Re Supervisor, LLC is the sole owner of the property and consent to this plan.
 Executed this 16 day of August, 2016
 Owners: Re Supervisor, LLC
 Mortgagees or Lien Holders: _____
 State of Florida

County of Orange
 The foregoing certificate of ownership was acknowledged before me this 16 day of August, 2016 by Andrew DeBill, Vice President
 My commission expires: May 28, 2019
 My commission expires: May 28, 2019
 My commission expires: May 28, 2019
 My commission expires: May 28, 2019

**SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 2 (BLOCK 13) &
 FINAL DEVELOPMENT PLAN 3 PHASE 1 (PARTIAL BLOCK 25)**

BOARD OF ADJUSTERS CERTIFICATE

Approved by the Board of Trustees of the Town of Superior, State of Colorado, Witness my hand and the corporate seal of the Town of Superior this 15th day of August, 2016
 Mayor: David Wilson

PLANNING COMMISSION CERTIFICATE

Approved by the Planning Commission, Resolution No. PC-2 Series 2016, by the Town of Superior Planning Commission, Resolution No. PC-2 Series 2016
 Mayor: David Wilson

TOWN CLERK CERTIFICATE

I certify that this instrument as approved by Resolution/Commission No. R-38 Series 2016 was filed in my office on the 16th day of August, 2016 at 10:00 o'clock AM.
 Witness my hand the corporate seal of the Town of Superior this 16th day of August, 2016
 Town Clerk: Stephanie A. Hubbard



PARKING REQUIRED

PARKING REQUIRED PER 2013-1	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)	FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)
2 BEDROOM UNIT - 1.50 SPACES PER UNIT	68	102
3 BEDROOM UNIT - 2.0 SPACES PER UNIT	20	5
4 BEDROOM UNIT - 3.0 SPACES PER UNIT	14	42
GUEST SPACES - 0.10 PER UNIT	92	25
TOTAL	194	493

PARKING PROVIDED

FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)	FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)
SPACES PROVIDED	SPACES PROVIDED
184	50
PERCENTAGE OF SPACES PROVIDED	PERCENTAGE OF SPACES PROVIDED
94.8%	100.0%
INTERNAL BLOCK VISITOR SPACES	INTERNAL BLOCK VISITOR SPACES
3	50
TOTAL	TOTAL
187	100.0%

SITE DATA TABLE

FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)	FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)
ZONING	PD (PLANNED DEVELOPMENT)
GENOS	RESIDENTIAL LOTS
LAND USE	RESIDENTIAL LOTS
DEVELOPED PER THIS FDP	DEVELOPED PER THIS FDP
4.100 AC	6.130 AC
4.100 ACRES (100.0%)	1.351 ACRES (22.0%)
2.311 AC	0.605 AC
1.789 AC	4.778 AC
0.000 AC	0.605 AC
4.100 AC	6.130 AC
100.0%	100.0%
0.761 AC	0.140 AC
1.028 AC	0.607 AC
2.311 AC	0.605 AC
56.4%	9.9%
4.778 AC	4.778 AC
100.0%	100.0%
4.100 AC	6.130 AC
100.0%	100.0%

CONSTRUCTION

CONSTRUCTION	CONSTRUCTION
SEE SHEETS AW 01, AW 10 AND AW 10	SEE SHEETS AW 01, AW 10 AND AW 10
MAXIMUM ALLOWABLE PERIOD	MAXIMUM ALLOWABLE PERIOD
55'-0"	55'-0"
47'-6"	47'-6"
49'-2"	47'-6"
45'-2"	45'-2"

CONSTRUCTION

CONSTRUCTION	CONSTRUCTION
SEE SHEETS AW 01, AW 10 AND AW 10	SEE SHEETS AW 01, AW 10 AND AW 10
MAXIMUM ALLOWABLE PERIOD	MAXIMUM ALLOWABLE PERIOD
55'-0"	55'-0"
47'-6"	47'-6"
49'-2"	47'-6"
45'-2"	45'-2"

SHEET INDEX

1. Cover	CS10
2. Overall Site Plan	CS11
3. Parcel Site Plan 1	CS12
4. Parcel Site Plan 2	CS13
5. Parcel Site Plan 3	CS14
6. Lot Area, Area, and Elevation	CS15
7. Lot Area, Area, and Elevation	CS16
8. Lot Area, Area, and Elevation	CS17
9. Lot Area, Area, and Elevation	CS18
10. Overall Challenge Plan	CS19
11. Overall Challenge Plan	CS20
12. Overall Challenge Plan	CS21
13. Overall Challenge Plan	CS22
14. Overall Challenge Plan	CS23
15. Overall Challenge Plan	CS24
16. Overall Challenge Plan	CS25
17. Overall Challenge Plan	CS26
18. Overall Challenge Plan	CS27
19. Overall Challenge Plan	CS28
20. Overall Challenge Plan	CS29
21. Overall Challenge Plan	CS30
22. Overall Challenge Plan	CS31
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24. Overall Challenge Plan	CS33
25. Overall Challenge Plan	CS34
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27. Overall Challenge Plan	CS36
28. Overall Challenge Plan	CS37
29. Overall Challenge Plan	CS38
30. Overall Challenge Plan	CS39
31. Overall Challenge Plan	CS40
32. Overall Challenge Plan	CS41
33. Overall Challenge Plan	CS42
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35. Overall Challenge Plan	CS44
36. Overall Challenge Plan	CS45
37. Overall Challenge Plan	CS46
38. Overall Challenge Plan	CS47
39. Overall Challenge Plan	CS48
40. Overall Challenge Plan	CS49
41. Overall Challenge Plan	CS50
42. Overall Challenge Plan	CS51
43. Overall Challenge Plan	CS52
44. Overall Challenge Plan	CS53
45. Overall Challenge Plan	CS54
46. Overall Challenge Plan	CS55
47. Overall Challenge Plan	CS56
48. Overall Challenge Plan	CS57
49. Overall Challenge Plan	CS58
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52. Overall Challenge Plan	CS61
53. Overall Challenge Plan	CS62
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55. Overall Challenge Plan	CS64
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90. Overall Challenge Plan	CS99
91. Overall Challenge Plan	CS100

**SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)**

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08/16/16
2	ISSUED FOR PERMIT	08/16/16
3	ISSUED FOR PERMIT	08/16/16
4	ISSUED FOR PERMIT	08/16/16
5	ISSUED FOR PERMIT	08/16/16

COVER SHEET

CS1.0

DESIGNED BY: JAL DATE: 6/16/16
 CHECKED BY: JAL DATE: 6/16/16
 DRAWN BY: JAL DATE: 6/16/16
 SCALE: AS SHOWN
 SHEET NO.: 250 OF 264
 PROJECT NAME: SUPERIOR TOWN CENTER

15minutes Town Center 07/26/2016/07/26/2016 7: J:\BOOK 13 & 25\Drawings\15minutes\15minutes.dwg, Author: jpal

LEGAL DESCRIPTION

FINAL DEVELOPMENT PLAN 2:
SUBDIVISION PLAT OF LOT 1, BLOCK 13, SUPERIOR TOWN CENTER FILING NO. 18

FINAL DEVELOPMENT PLAN 3:
SUBDIVISION PLAT OF LOT 1, BLOCK 25, DISCOVERY OFFICE PARK/SUPERIOR TOWN CENTER REPLAT

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN 2 (BLOCK 13) & FINAL DEVELOPMENT PLAN 3 PHASE 1 (PARTIAL BLOCK 25)

SHEET INDEX

1. Cover	CS1.0
2. Context Site Plan	CS1.1
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4. Partial Site Plan 1	C1.1
5. Partial Site Plan 2	C1.2
6. Partial Site Plan 3	C1.3
7. Lane Access, Fire and Hydrant Exhibit	C1.4
8. Overall Utility Plan	C2.0
9. Partial Utility Plan 1	C2.1
10. Partial Utility Plan 2	C2.2
11. Partial Utility Plan 3	C2.3
12. Overall Drainage Plan	C3.0
13. Partial Drainage Plan 1	C3.1
14. Partial Drainage Plan 2	C3.2
15. Partial Drainage Plan 3	C3.3
16. Overall Landscape Plan	L1.0
17. Landscape Plan 1	L1.1
18. Landscape Plan 2	L1.2
19. Landscape Plan 3	L1.3
20. Plant List and Notes	L2.0
21. Landscape Materials, Finishes and Character Imagery	L2.1
22. Overall Irrigation Plan	IR1.0
23. Partial Irrigation Plan	IR1.1
24. Partial Irrigation Plan	IR1.2
25. Partial Irrigation Plan	IR1.3
26. Overall Site Lighting Plan	LT1.0
27. Partial Lighting Plan - 1	LT1.1
28. Partial Lighting Plan - 2	LT1.2
29. Partial Lighting Plan - 3	LT1.3
30. Lighting Details	LT1.4
31. Lighting Details	LT1.5
32. Wonderland Homes Site Plan	AW.01
33. Wonderland: Building Type 3A Front Elevation	AW.02
34. Wonderland: Building Type 3A Side Elevations	AW.03
35. Wonderland: Building Type 3A Rear Elevation	AW.04
36. Wonderland: Building Type 3B Front Elevation	AW.05
37. Wonderland: Building Type 3B Side Elevations	AW.06
38. Wonderland: Building Type 3A Rear Elevation	AW.07
39. Wonderland: Building Type 4 Front Elevation	AW.08
40. Wonderland: Building Type 4 Side Elevations	AW.09
41. Wonderland: Building Type 4 Rear Elevation	AW.10
42. Wonderland: Building Type 5 Front Elevation	AW.11
43. Wonderland: Building Type 5 Side Elevations	AW.12
44. Wonderland: Building Type 5 Rear Elevation	AW.13
45. Wonderland: Color Schemes	AW.14
46. Remington: Remington Urban Villa Site Plan	AR0.1
47. Remington: Building Elevations 6 Unit Building	AR2.1
48. Remington: Building Elevations 6 Unit Building	AR2.2
49. Remington: Remington SF Site Plan And Plotting	AD0.1
50. Remington: Plan One Front Elevations	AD1.1
51. Remington: Plan Two Front Elevations	AD2.1
52. Remington: Plan Three Front Elevations	AD3.1
53. Remington: Color And Material Schemes-1	AD4.1
54. Remington: Color And Material Schemes-2	AD4.2

SIGNATURE BLOCKS

CERTIFICATE OF OWNERSHIP : RC SUPERIOR, LLC, a Delaware limited liability company
By: Superior Town Center ASLI VII Holdings, LLC, a Delaware limited liability company, its sole Member
By: Avanti Strategic Land Investors VII, L.L.P., a Delaware limited liability limited partnership, its sole Member
By: Avanti Properties Group II, L.L.P., a Delaware limited liability limited partnership, its Managing General Partner
By: Avanti Management Corporation, a Florida corporation, its sole General Partner

I certify that I, _____, am the sole owner of the property and consent to this plan.

Executed this _____ day of _____, 20__.

Owners _____ Mortgagees or Lien Holders _____

STATE OF _____)

) ss.

County of _____)

The foregoing certificate of ownership was acknowledged before me this _____ day of _____, 20__, by _____.

My commission expires: _____

Notary Public

BOARD OF TRUSTEES CERTIFICATE:

Approved by the Board of Trustees of the Town of Superior, State of Colorado. Witness my hand the corporate seal of the Town of Superior _____ on the day of _____, 20__.

Attest: _____ Mayor
Town Clerk

PLANNING COMMISSION CERTIFICATE:

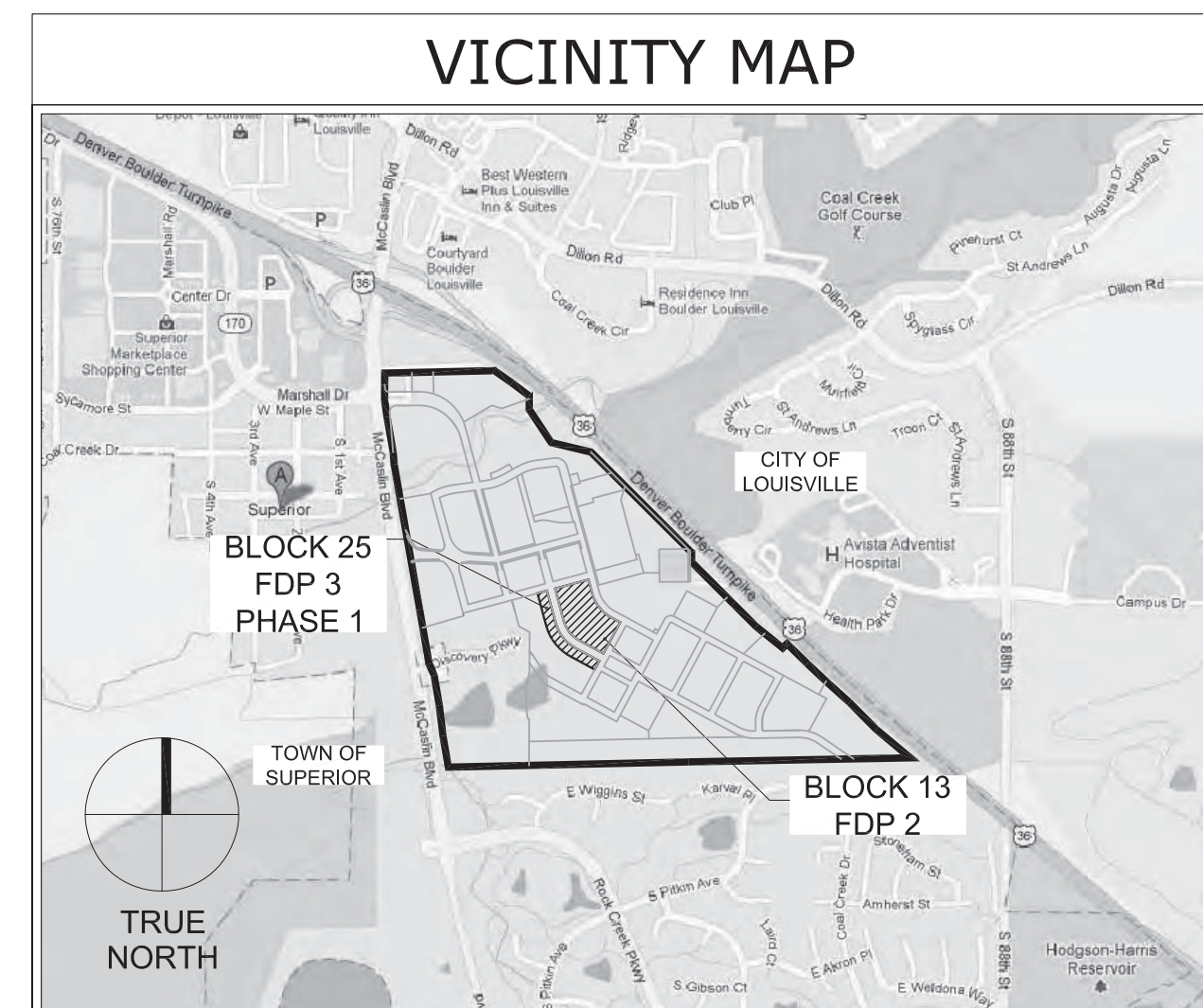
Recommended approved this _____ day of _____, 20__, by the Town of Superior Planning Commission, Resolution No. PC _____ Series 20__

TOWN CLERK CERTIFICATE

I certify that this instrument as approved by (Resolution/Ordinance) No. _____ Series 20____, was filed in my office on the _____ day of _____, 20____, at _____ o'clock am/pm.

Witness my hand the corporate seal of the Town of Superior _____ on the day of _____, 20__.

Town Clerk



DEVELOPER

RC SUPERIOR, LLC
BILL JENCKS
VICE PRESIDENT OF REAL ESTATE
12275 EL CAMINO REAL, SUITE 110
SAN DIEGO, CALIFORNIA 92130
658-345-3843
BJENCKS@RANCHCAPITAL.COM

ENGINEER

CIVIL RESOURCES, LLC
JIM BRZOSTOWICZ, P.E.
PRINCIPAL / CIVIL ENGINEER
323 5TH STREET, P.O. BOX 680
FREDERICK, CO 80530
303-833-1416 X 203
JIM@CIVILRESOURCES.COM

LANDSCAPE ARCHITECT

MIG, INC.
PAUL KUHN
SENIOR LANDSCAPE ARCHITECT
158 FILLMORE STREET
DENVER, CO 80206
303.440.9200 | WWW.MIGCOM.COM
PAULK@MIGCOM.COM

LIGHTING

CLANTON & ASSOCIATES, INC
APRIL STEVENSON
4699 NAUTILUS COURT SOUTH #102
BOULDER, CO 80301
303-403-7229
PAPRIL@CLANTONASSOCIATES.COM

IRRIGATION

HYDROSYSTEMS-KDI, INC.
KEN DIPALO
PRESIDENT
690 LABOR STREET, SUITE 200
LAKEWOOD, COLORADO 80401
303-980-5327
KEND@HYDROSYSTEMSKDI.COM

WONDERLAND HOMES

WONDERLAND HOMES
STEVE PHUA
PRESIDENT/CEO
8246 NORTHFIELD BLVD, SUITE 2600
DENVER, CO 80238
720-394-3893
PHUA@WONDERLANDHOMES.COM

REMINGTON HOMES

REMINGTON HOMES
GUILLAUME POUCHOT
9468 W 58TH AVE
ARVADA, CO 80002
303-420-2899
GP@REMINGTONHOMES.NET

PARKING RATIO PER P2013-1	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)		FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)	
	UNITS PROPOSED	SPACES REQUIRED	UNITS PROPOSED	SPACES REQUIRED
2 BEDROOM UNIT - 1.50 SPACES PER UNIT	68	102	20	30
3 BEDROOM UNIT - 2.0 SPACES PER UNIT	10	20	5	10
4 BEDROOM UNIT - 3.0 SPACES PER UNIT	14	42	0	0
GUEST SPACES - 0.10 PER UNIT	-	10	-	3
TOTAL	92	174	25	43

PARKING SPACE TYPE	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)		FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)	
	SPACES PROVIDED	PERCENTAGE OF TOTAL PARKING PROVIDED	SPACES PROVIDED	PERCENTAGE OF TOTAL PARKING PROVIDED
INTERNAL PRIVATE GARAGE (2 PER LOT)	184	98.4%	50	100.0%
INTERNAL BLOCK VISITOR SPACES	3	1.6%	0	0.0%
TOTAL	187	100.0%	50	100.0%

ZONING	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)		FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)	
	ACRES	PERCENTAGE	ACRES	PERCENTAGE
PD	PD (PLANNED DEVELOPMENT)		PD (PLANNED DEVELOPMENT)	
SITE ACREAGE				
GROSS	4.100	AC	6.130	AC
DEVELOPED PER THIS FDP	4.100	ACRES (100.0%)	1.351	ACRES (22.0%)
LAND USE				
RESIDENTIAL LOTS	2.311	AC	0.605	AC
OUTLOTS	1.789	AC	0.747	AC
SUPERLOTS (FUTURE DEVELOPMENT)	0.000	AC	4.778	AC
TOAL AREA OF FDP BOUNDARY	4.100	AC	100.0%	6.130
TOTAL NUMBER OF RESIDENTIAL UNITS	92		25	
SITE				
LANDSCAPING / OPEN SPACE (IN OUTLOTS)	0.761	AC	18.6%	0.140
PAVED SURFACE (PRIVATE LANES IN OUTLOTS)	1.028	AC	25.1%	0.607
BUILDING LOTS	2.311	AC	56.4%	0.605
SUPERLOTS (FUTURE DEVELOPMENT)	-	-	-	4.778
TOTAL	4.100	AC	100.0%	6.130
SETBACKS				
SEE SHEETS AW.01, AR1.0 AND AD1.0				
BUILDING HEIGHT				
MAXIMUM ALLOWABLE PER PDA	55'-0"	FT	55'-0"	FT
PROPOSED*				
WONDERLAND	47'-6"	FT	47'-6"	FT
REMINGTON TOWNHOMES	40'-2"	FT	-	-
REMINGTON SINGLE FAMILY	45'-2"	FT	-	-

*PROPOSED HEIGHTS NOTED FROM FINISH FLOOR TO ROOF PEAK. BUILDING HEIGHT IN RELATION TO AVERAGE SURROUNDING GRADE (PER TOWN CODE) TO BE DETERMINED AS PART OF BUILDING PERMIT APPLICATION BASED ON DESIGN FINISH FLOOR ELEVATION. IN NO CASE SHALL BUILDING HEIGHT EXCEED 55 FEET.

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

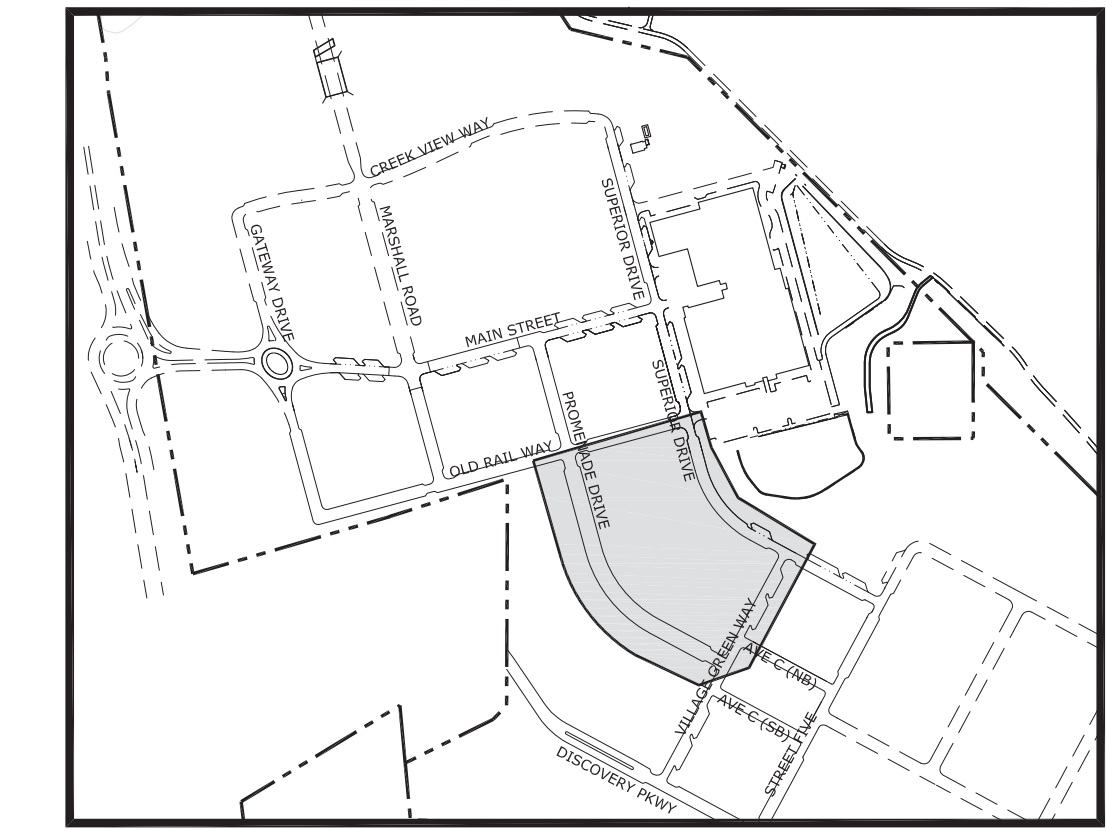
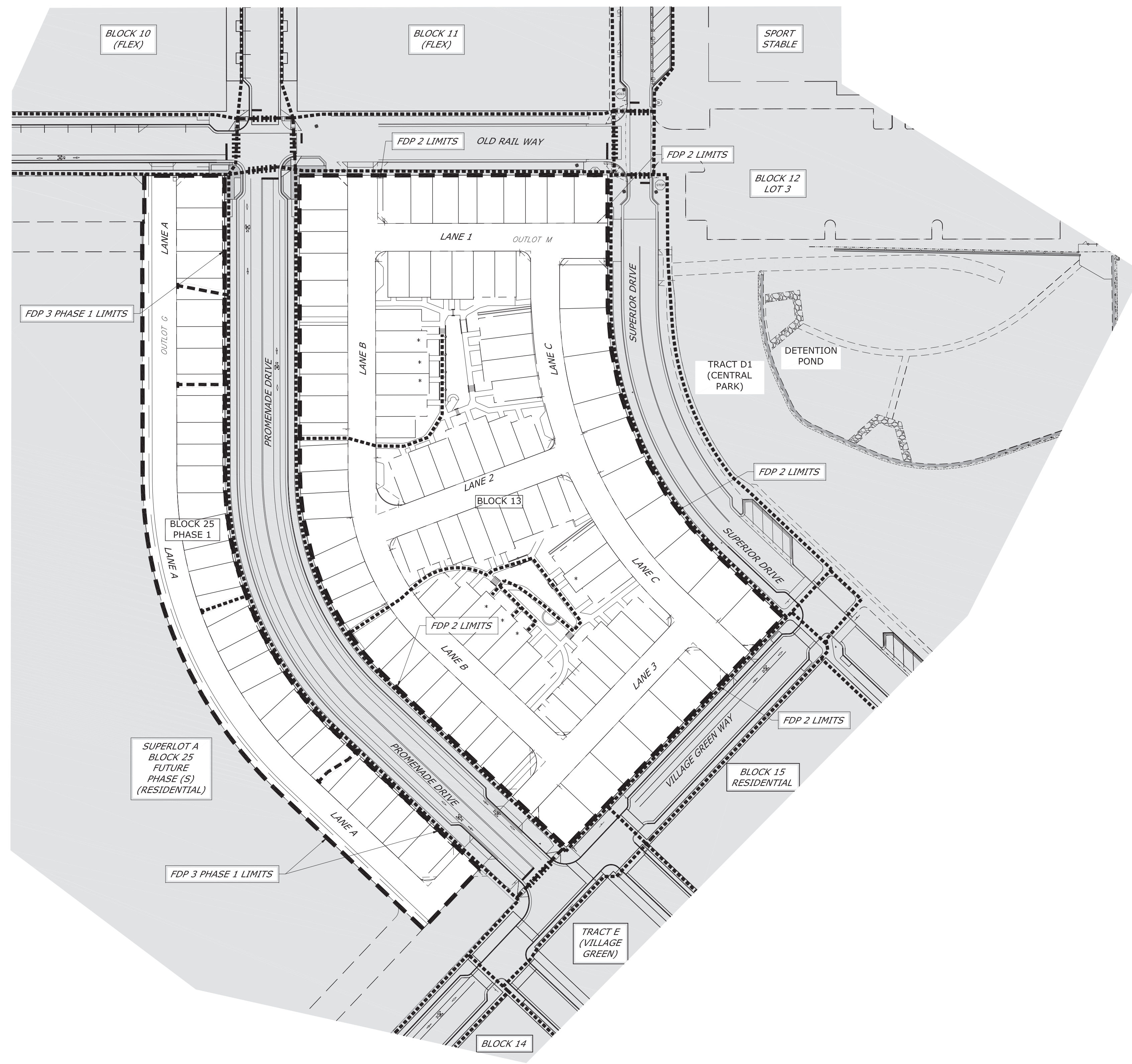
REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/14/16
4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS - MYLAR PRINTING	08/17/16

Vested Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 4/1/2016
DRAWN BY: CAL SCALE: 1"=40'
CHECKED BY: JAB
JOB NO.: 228.001.04
DWG NAME:

COVER SHEET

SHEET:
CS1.0



KEY MAP
NORTH

- CONTEXT SITE LEGEND:**
- FDP LIMIT LINES
 - PROPERTY OUTSIDE FDP LIMITS
 - ACCESSIBLE ROUTE
 - ACCESSIBLE HOUSING

NOTE: ALL LANES ARE TO BE OWNED AND MAINTAINED BY THE SUPERIOR TOWN CENTER METROPOLITAN DISTRICT.



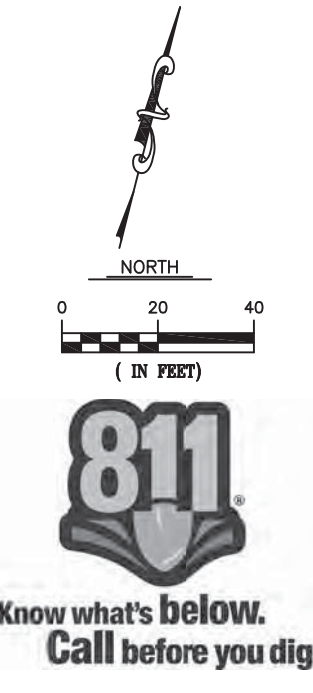
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

**SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO**

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
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DESIGNED BY: JAB DATE: 4/1/2016
DRAWN BY: CAL SCALE: 1"=40'
CHECKED BY: JAB
JOB NO.: 228.001.04
DWG NAME: BLK13_CONTEXTSP.DWG

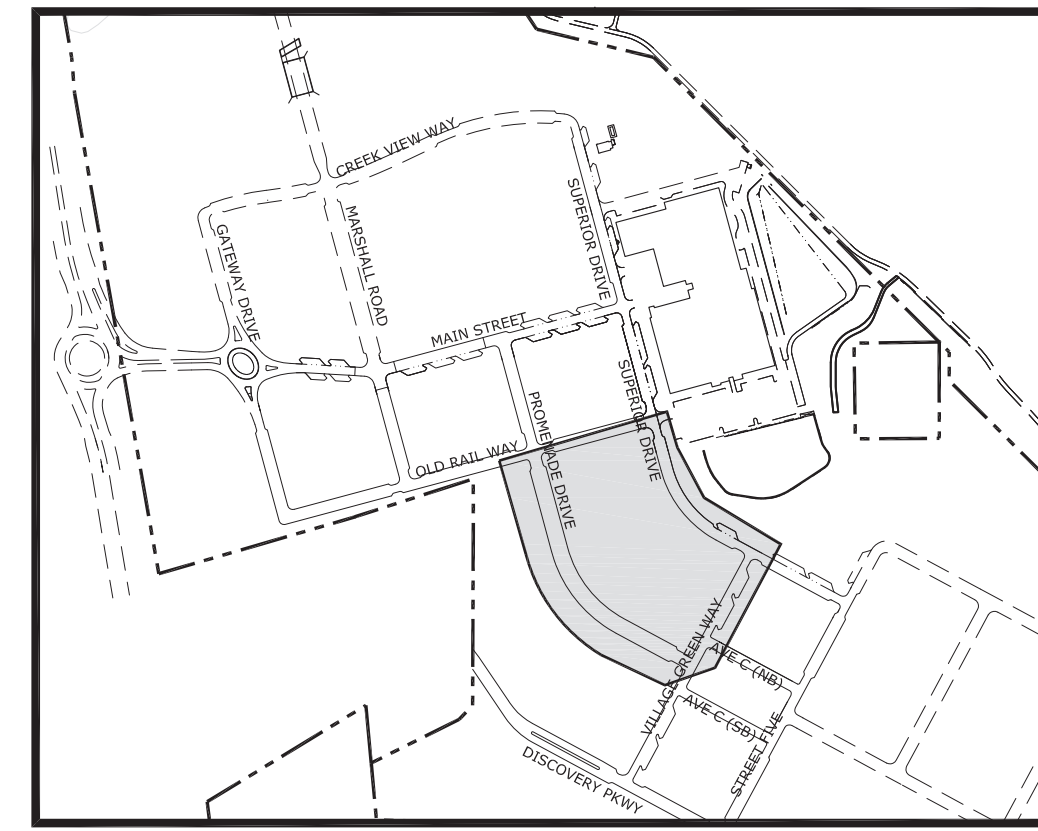


**CONTEXT
SITE PLAN**

SHEET:
CS1.1



323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM



KEY MAP

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

SITE LEGEND:

- FDP LIMIT LINES
- ASPHALT (SEPARATE FDP)
- CONCRETE
- PATTERNED & COLORED CONCRETE
- ACCESSIBLE ROUTE
- ACCESSIBLE HOUSING
- SETBACK
- ELECTRIC PEDESTAL
- WATER METER
- TRANSFORMER
- WONDERLAND LOT
- REMINGTON LOT
- SANITARY MANHOLE
- STORM MANHOLE - ROUND
- STORM MANHOLE - BOX
- STORM INLET
- LIGHT POLE

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

RESIDENTIAL TYPOLOGY	
BUILDER	DESIGN GUIDELINES RESIDENTIAL TYPOLOGY
WONDERLAND HOMES	J: TOWNHOMES
REMINGTON (TOWNHOMES)	I: URBAN VILLAS
REMINGTON (SINGLE FAMILY)	H: VILLAS

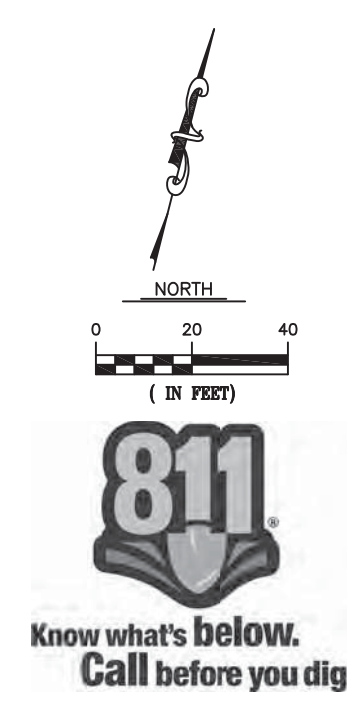
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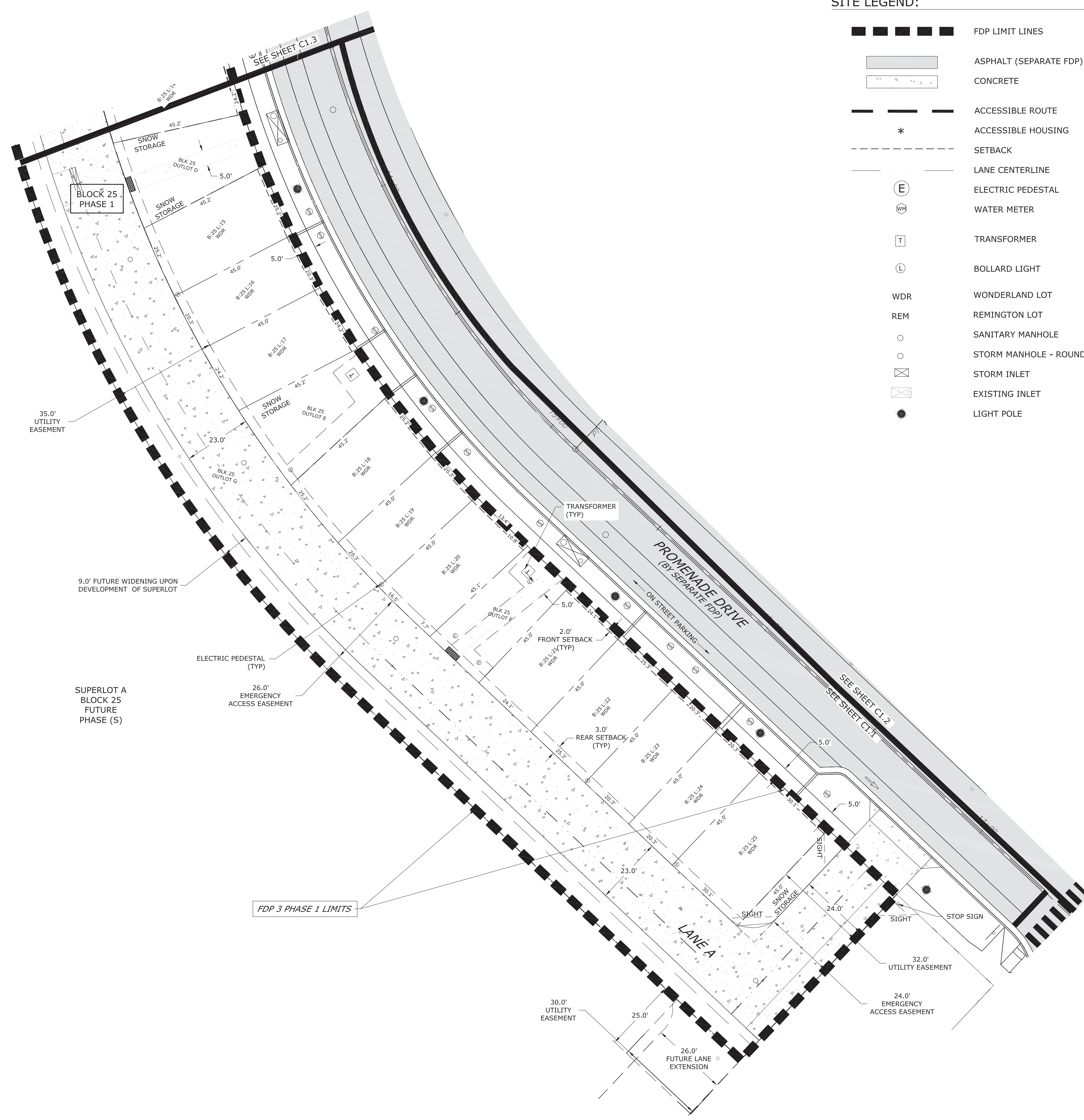
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DESIGNED BY: JAB	DATE: 4/1/2016
DRAWN BY: CAL	SCALE: 1"=40'
CHECKED BY: JAB	
JOB NO.: 228.001.04	
DWG NAME: BLK13_OSP.DWG	

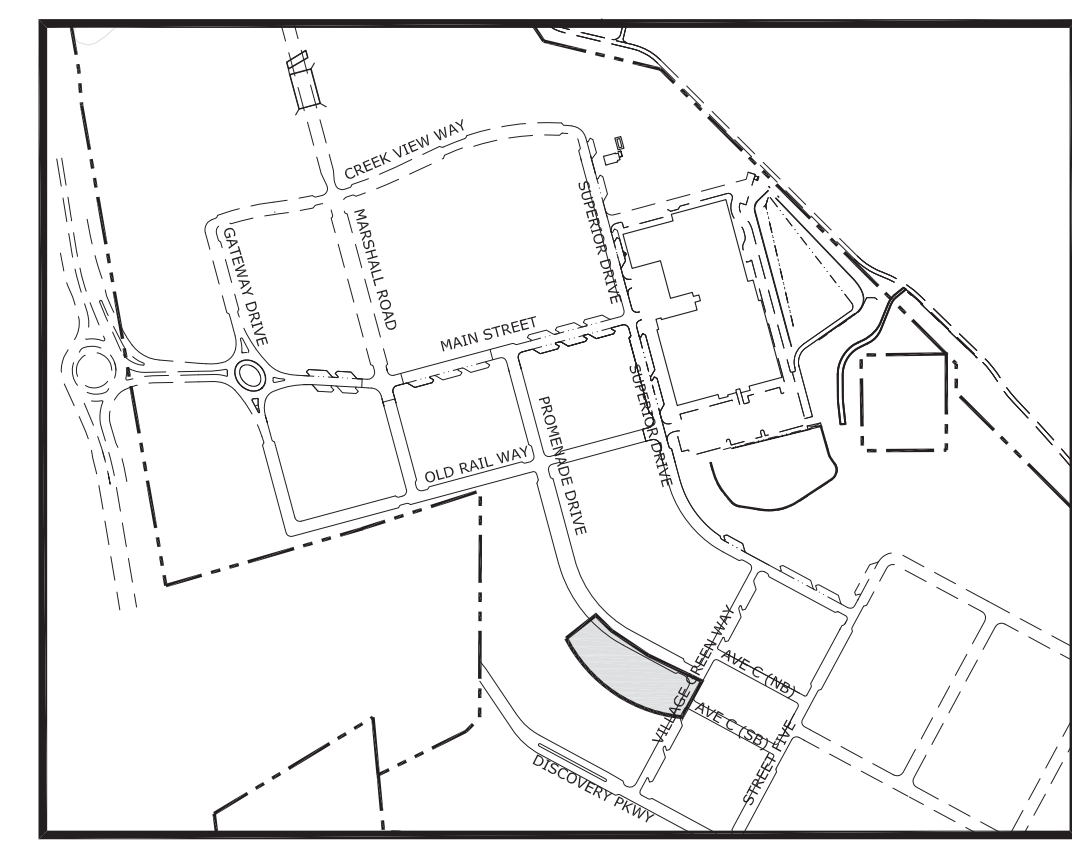
OVERALL
SITE PLAN

SHEET:
C1.0





- SITE LEGEND:**
- █ FDP LIMIT LINES
 - ▬ ASPHALT (SEPARATE FDP)
 - ▬ CONCRETE
 - ACCESSIBLE ROUTE
 - * ACCESSIBLE HOUSING
 - - - SETBACK
 - LANE CENTERLINE
 - ⊕ ELECTRIC PEDESTAL
 - ⊕ WATER METER
 - ⊕ TRANSFORMER
 - ⊕ BOLLARD LIGHT
 - WDR WONDERLAND LOT
 - REM REMINGTON LOT
 - SANITARY MANHOLE
 - STORM MANHOLE - ROUND
 - ⊠ STORM INLET
 - ⊠ EXISTING INLET
 - LIGHT POLE



KEY MAP
NORTH

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



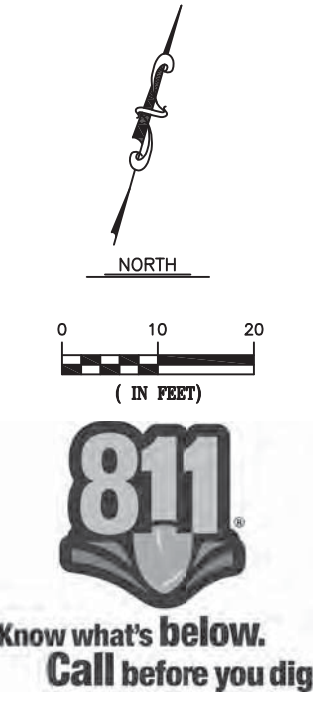
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SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

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NO.	DESCRIPTION	DATE
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DESIGNED BY: JAB DATE: 4/1/2016
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: BLK25_OSP.DWG



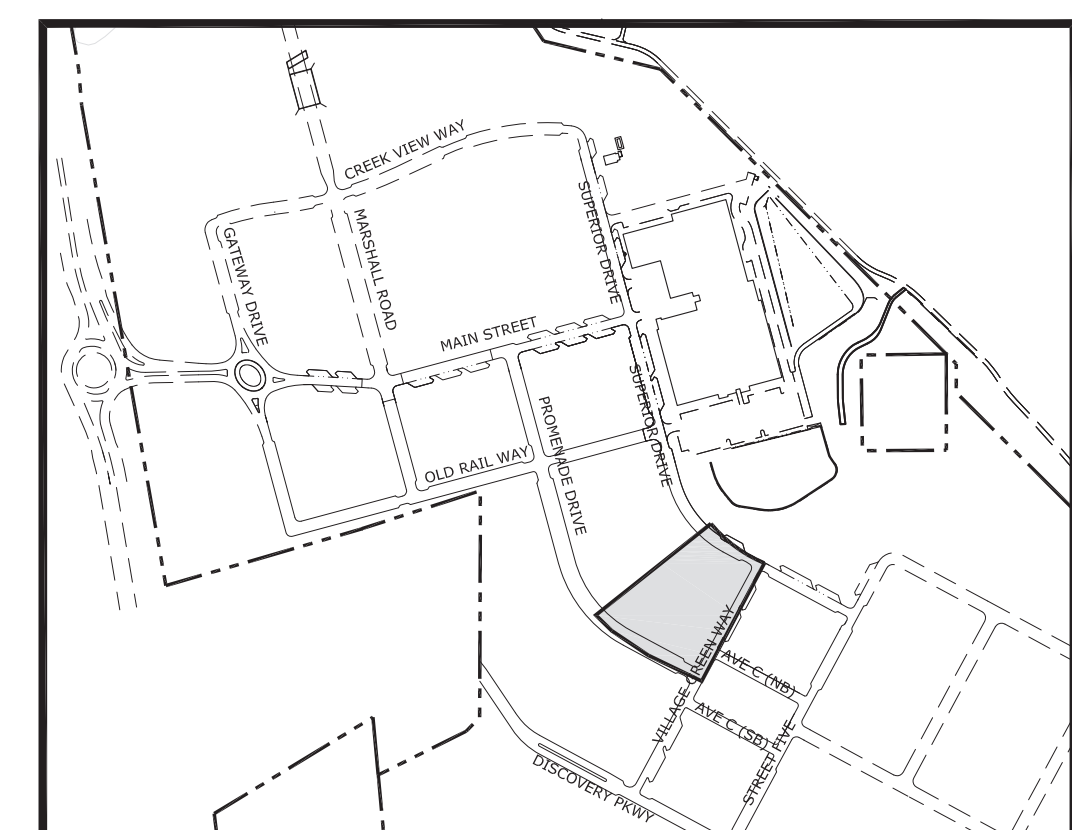
PARTIAL SITE
PLAN 1

SHEET:
C1.1



SITE LEGEND:

- FDP LIMIT LINES
- ASPHALT (SEPARATE FDP)
- CONCRETE
- PATTERNED & COLORED CONCRETE
- ACCESSIBLE ROUTE
- * ACCESSIBLE HOUSING
- - - SETBACK
- LANE CENTERLINE
- ⓔ ELECTRIC PEDESTAL
- Ⓜ WATER METER
- Ⓣ TRANSFORMER
- Ⓛ BOLLARD LIGHT
- WDR WONDERLAND LOT
- REM REMINGTON LOT
- SANITARY MANHOLE
- STORM MANHOLE - ROUND
- ⊠ STORM INLET
- ⊠ EXISTING INLET
- LIGHT POLE



KEY MAP NORTH

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



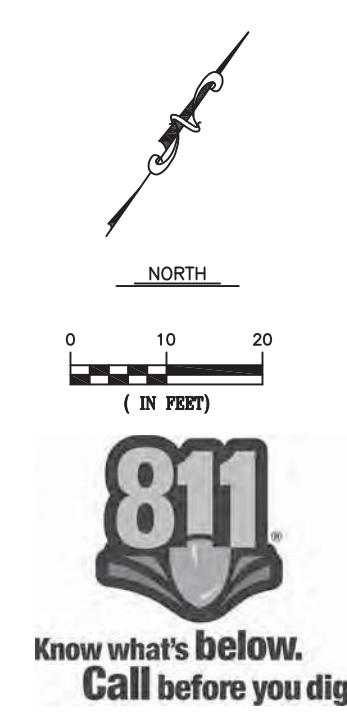
CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/14/16
4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

Vested Rights:
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DESIGNED BY: JAB	DATE: 4/1/2016
DRAWN BY: CAL	SCALE: 1"=20'
CHECKED BY: JAB	
JOB NO.: 228.001.04	
DWG NAME: BLK13_PSP_2.DWG	



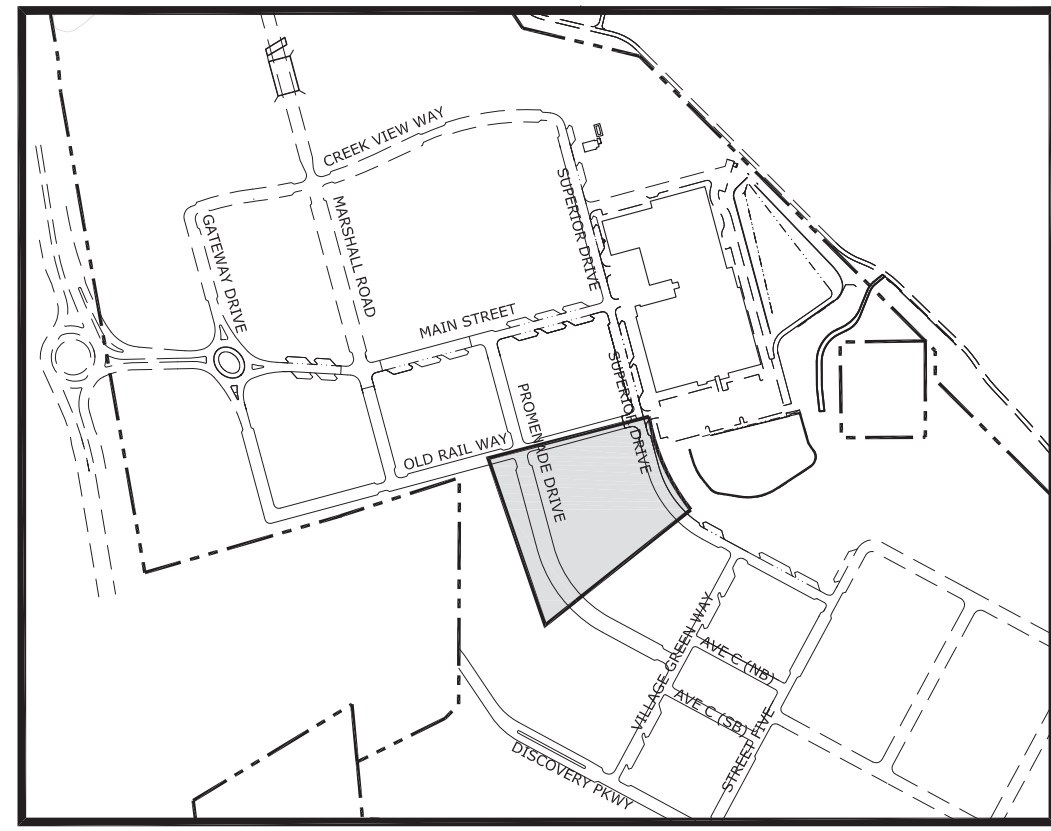
PARTIAL SITE PLAN 2

SHEET:
C1.2

SITE LEGEND:

- FDP LIMIT LINES
- ▨ ASPHALT (SEPARATE FDP)
- ▨ CONCRETE
- ▨ PATTERNED & COLORED CONCRETE
- ACCESSIBLE ROUTE
- * ACCESSIBLE HOUSING
- - - SETBACK
- LANE CENTERLINE
- ⓔ ELECTRIC PEDESTAL
- Ⓜ WATER METER
- Ⓣ TRANSFORMER
- Ⓛ BOLLARD LIGHT
- WDR WONDERLAND LOT
- REM REMINGTON LOT
- SANITARY MANHOLE
- STORM MANHOLE - ROUND
- ⊠ STORM INLET
- ⊠ EXISTING INLET
- LIGHT POLE

NOTE:
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KEY MAP
NORTH



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SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

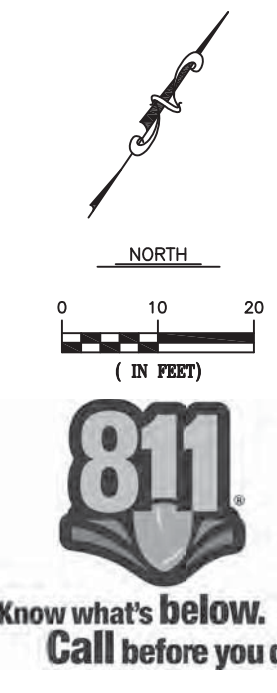
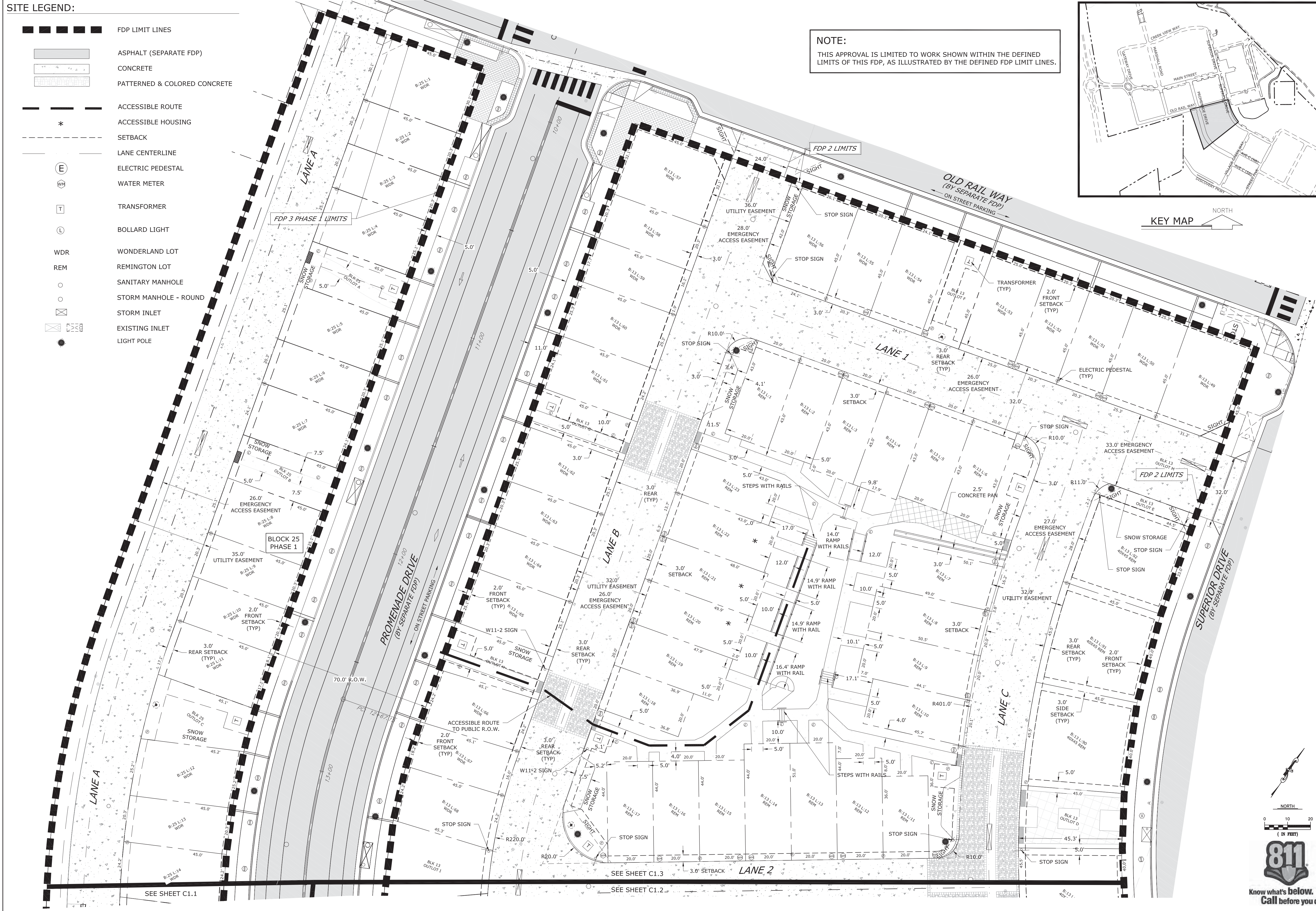
REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/14/16
4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

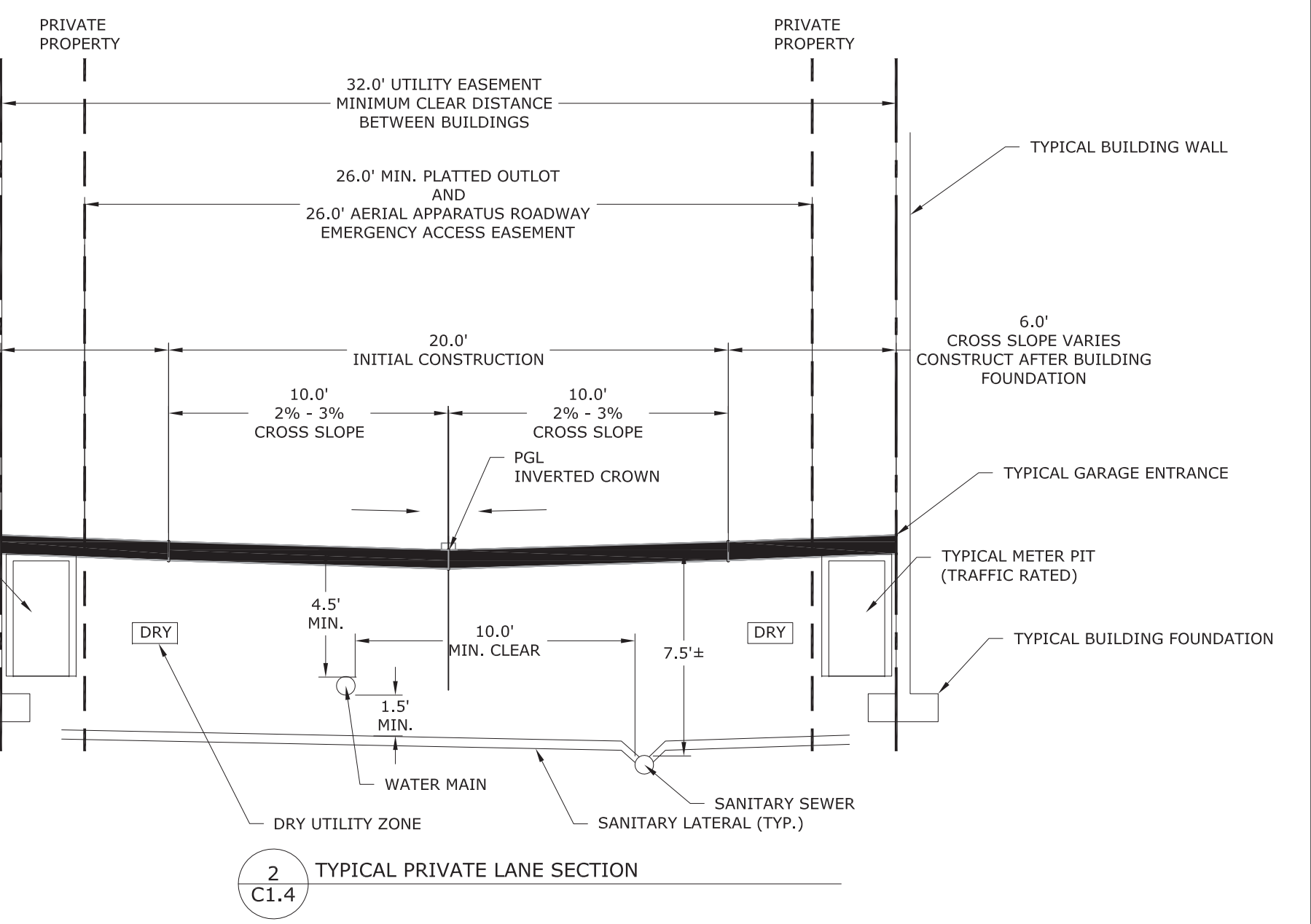
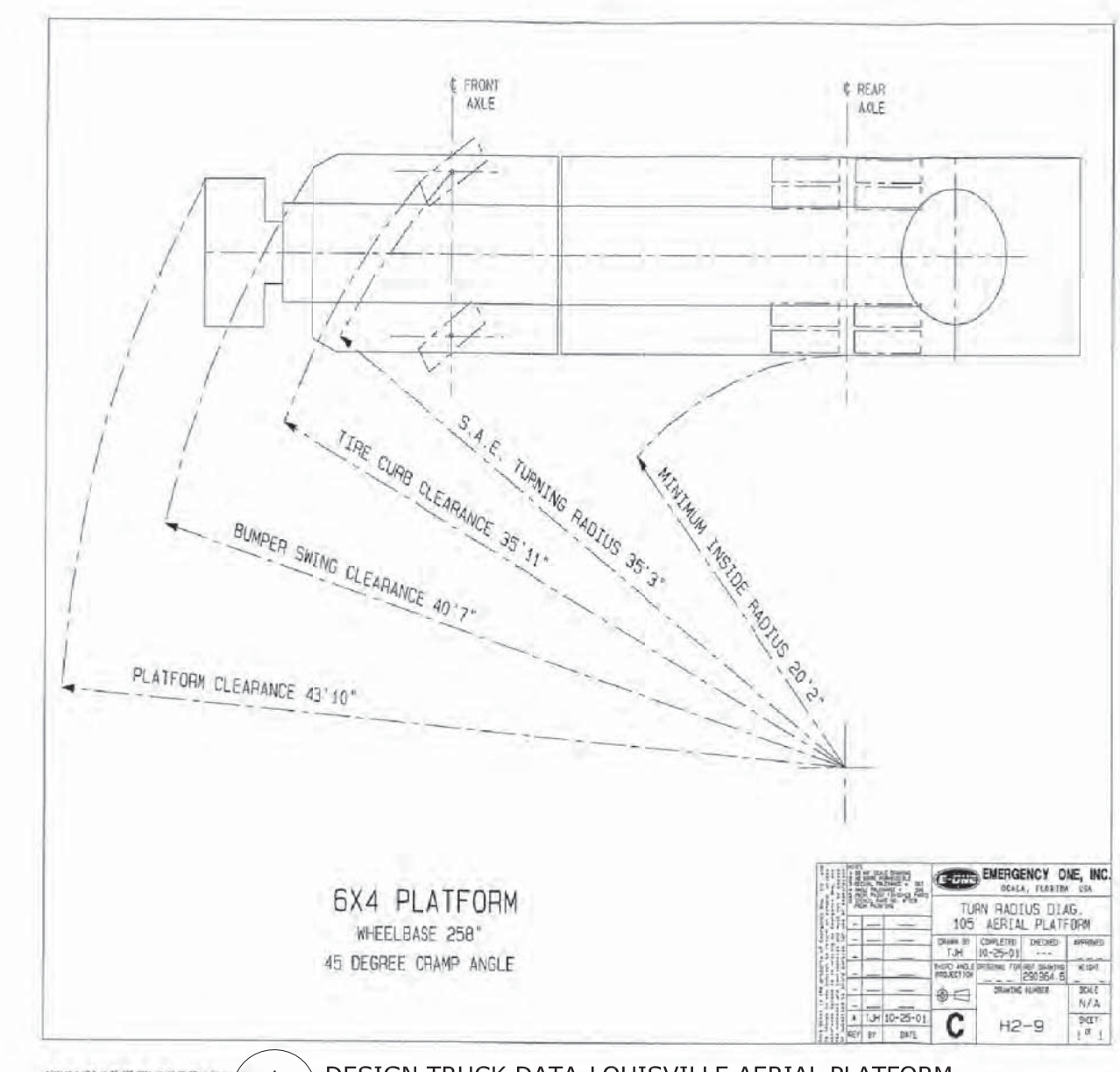
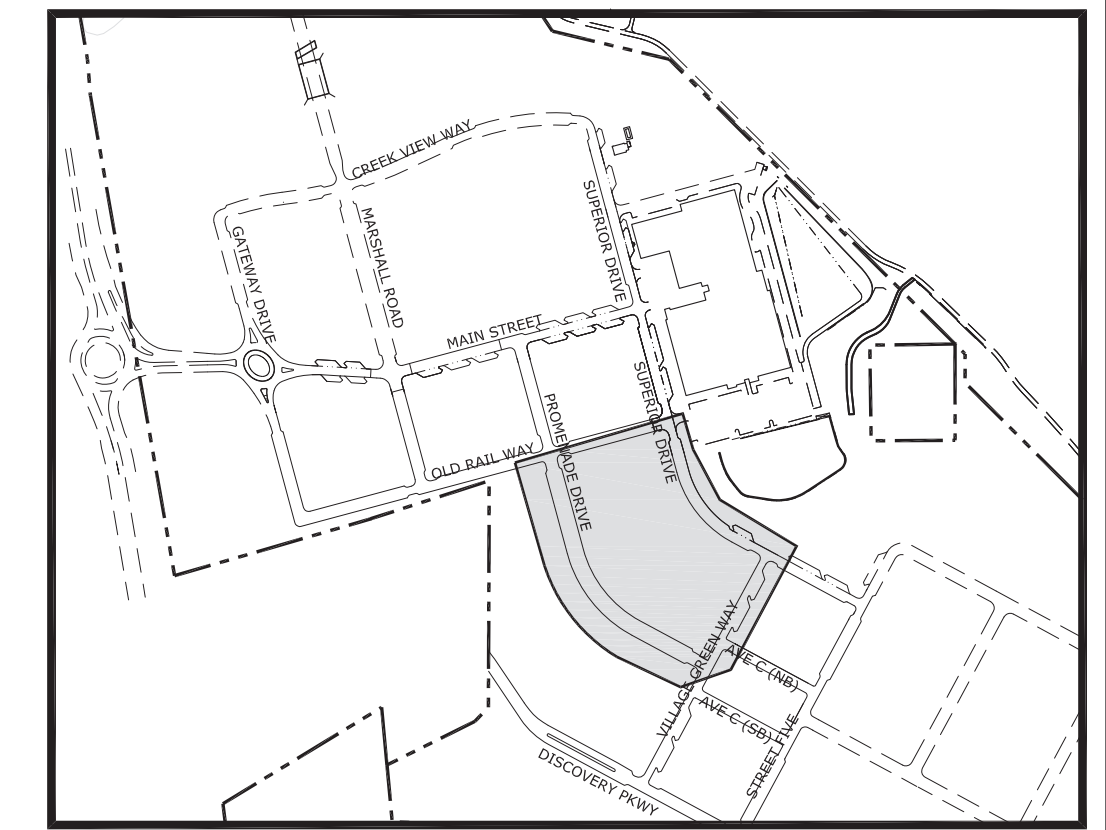
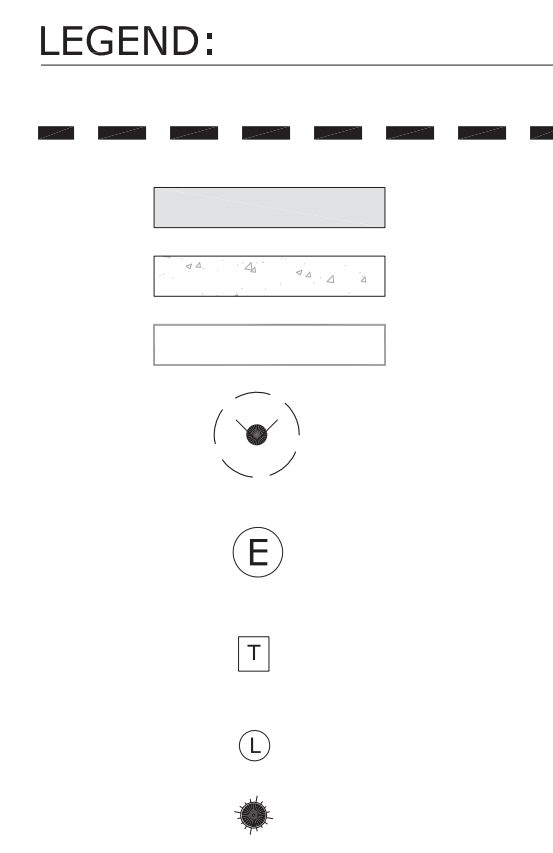
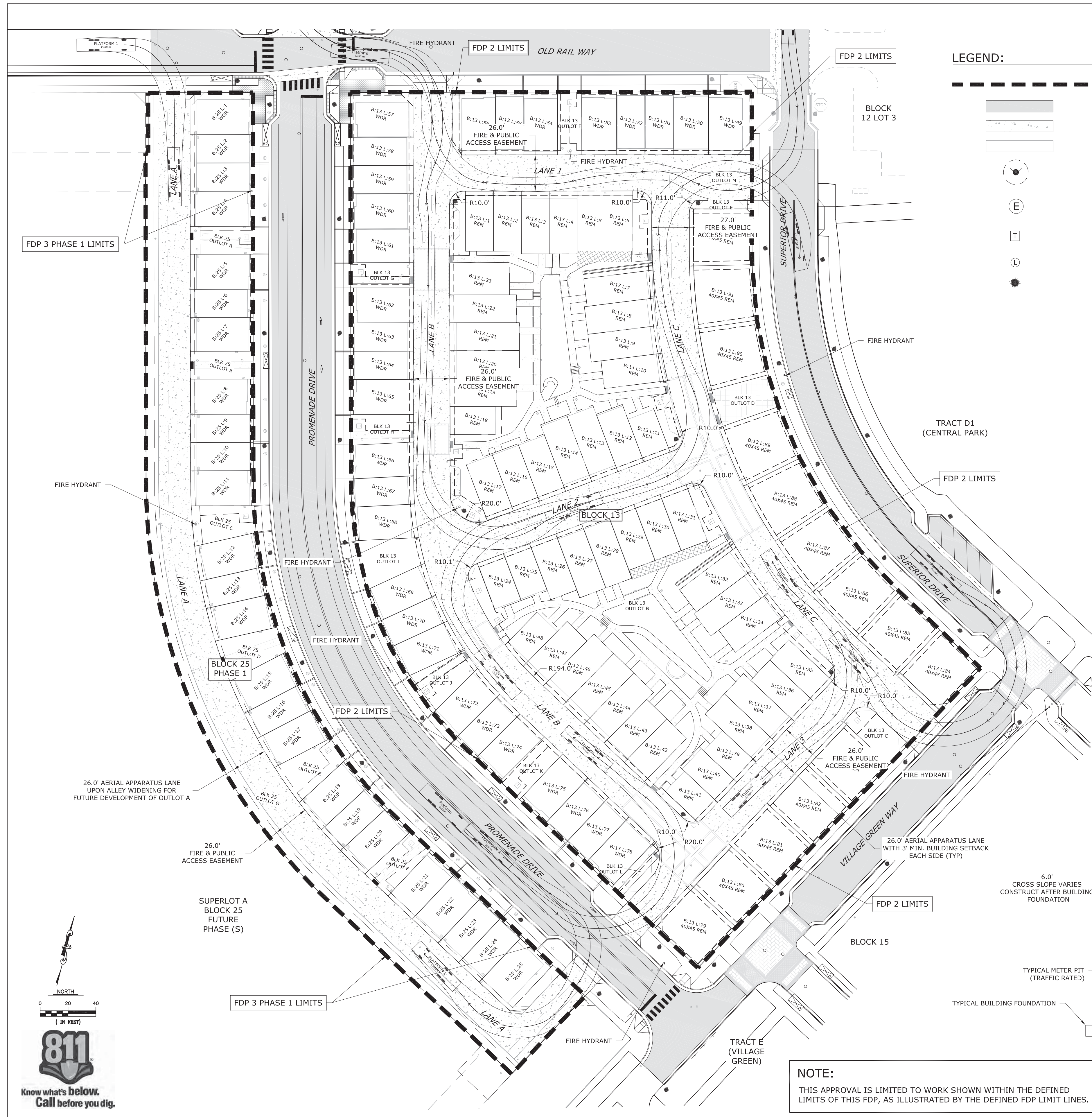
Vested Rights:
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DESIGNED BY: JAB	DATE: 4/1/2016
DRAWN BY: CAL	SCALE: 1"=20'
CHECKED BY: JAB	
JOB NO.: 228.001.04	
DWG NAME: BLK13_PSP_1.DWG	

PARTIAL SITE PLAN 3

C1.3





NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



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SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

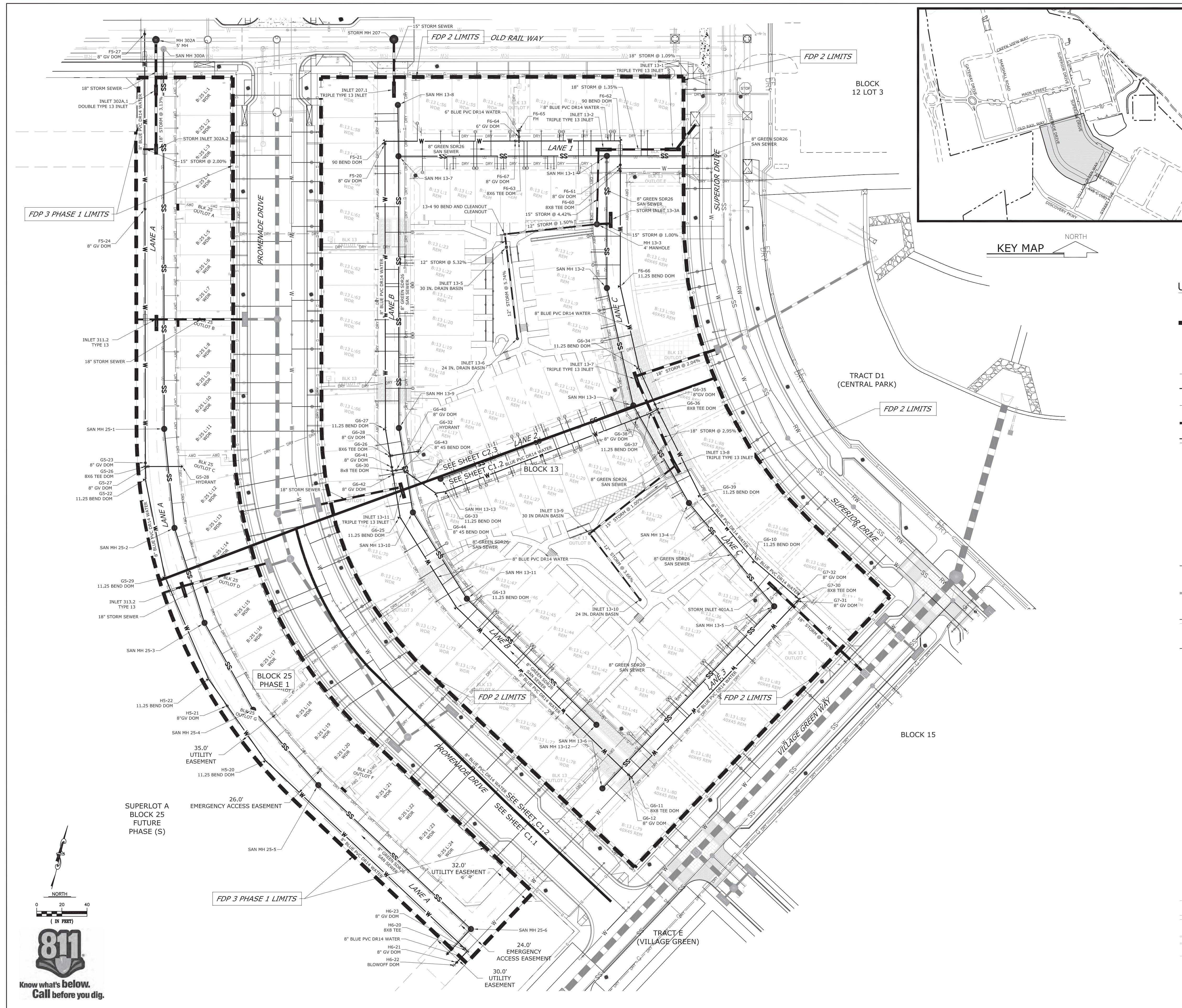
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/14/16
4	STAFF COMMENTS	07/29/16

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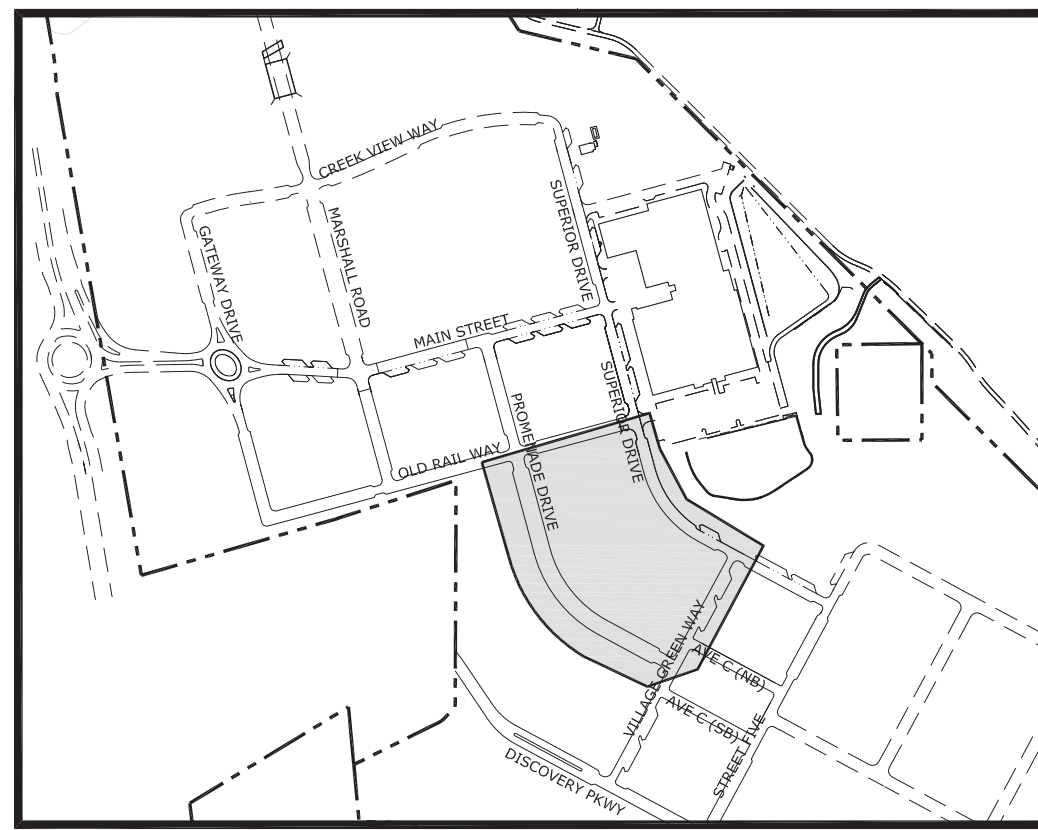
DESIGNED BY: JAB DATE: 4/1/2016
DRAWN BY: CAL SCALE: 1"=40'
CHECKED BY: JAB
JOB NO.: 228.001.04
DWG NAME: BLK13_TURN.DWG

LANE ACCESS, FIRE AND HYDRANT EXHIBIT

SHEET:
C1.4



NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



UTILITY LEGEND:

	FDP LIMIT LINES
	PATTERNED & COLORED CONCRETE
	FUTURE PHASES
	WATER LINE - THIS FDP
	DRY ELECTRIC - THIS FDP (TELECOM LOCATIONS PENDING SERVICE PROVIDER DESIGN)
	STORM SEWER - THIS FDP
	SANITARY SEWER WITH UNDERDRAIN - THIS FDP
	GAS LINE - THIS FDP
	STORM MANHOLE - THIS FDP
	STORM INLET - THIS FDP
	SANITARY MANHOLE - THIS FDP
	FIRE HYDRANT - THIS FDP
	WATER VALVE - THIS FDP
	WATER LINE - BY SEPARATE FDP
	STORM SEWER - BY SEPARATE FDP
	SANITARY SEWER WITH UNDERDRAIN - BY SEPARATE FDP
	REUSE WATER - BY SEPARATE FDP
	STORM MANHOLE - BY SEPARATE FDP
	STORM INLET - BY SEPARATE FDP
	SANITARY MANHOLE - BY SEPARATE FDP
	FIRE HYDRANT - BY SEPARATE FDP
	WATER VALVE - BY SEPARATE FDP
	LIGHT POLE
	ELECTRIC PEDESTAL
	GAS METER
	WATER METER
	TRANSFORMER
	BOLLARD LIGHT
	EXISTING REUSE LINE
	EXISTING SANITARY SEWER WITH UNDERDRAIN
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING INLET
	LIGHT POLE



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SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

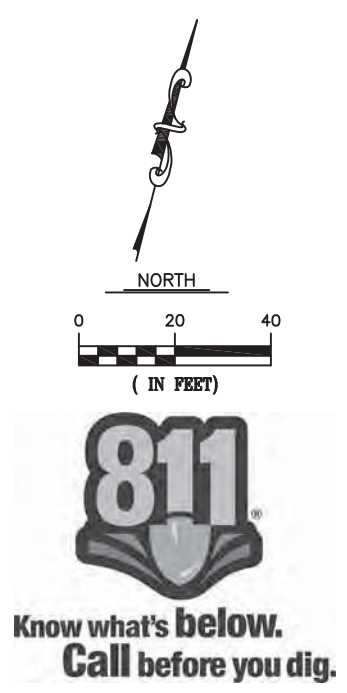
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/14/16
4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

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DESIGNED BY: JAB	DATE: 4/1/2016
DRAWN BY: CAL	SCALE: 1"=40'
CHECKED BY: JAB	
JOB NO.: 228.001.04	
DWG NAME: BLK13_OUTP (2).DWG	

OVERALL UTILITY PLAN

SHEET:
C2.0





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SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

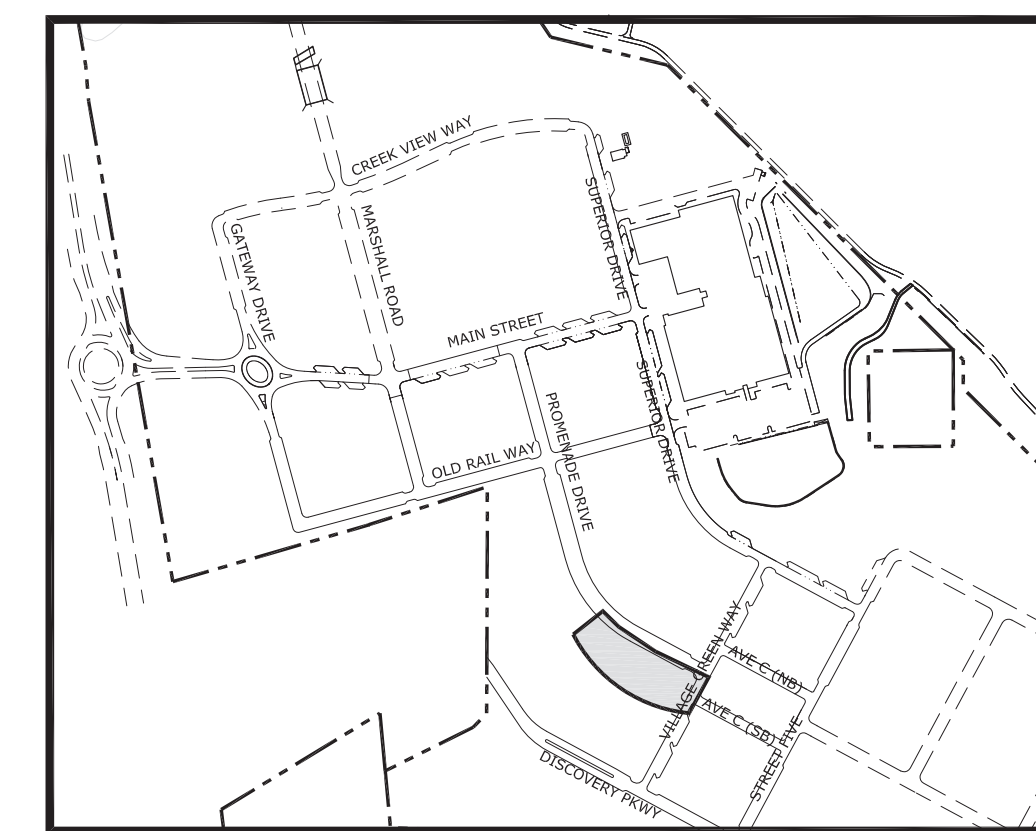
REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/14/16
4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

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DESIGNED BY: JAB DATE: 4/1/2016
DRAWN BY: CAL SCALE: 1"=20'
CHECKED BY: JAB
JOB NO.: 228.001.04
DWG NAME: BLK25_OUTP.DWG

PARTIAL UTILITY PLAN 1

SHEET:
C2.1

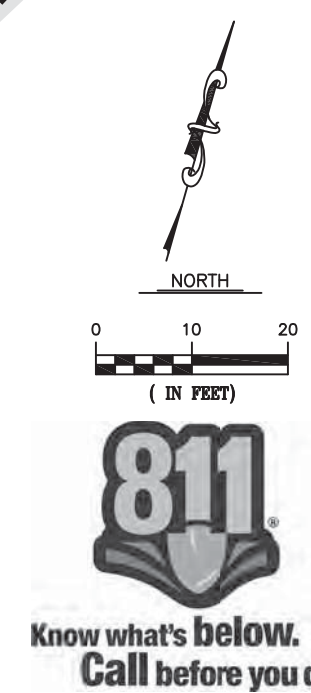
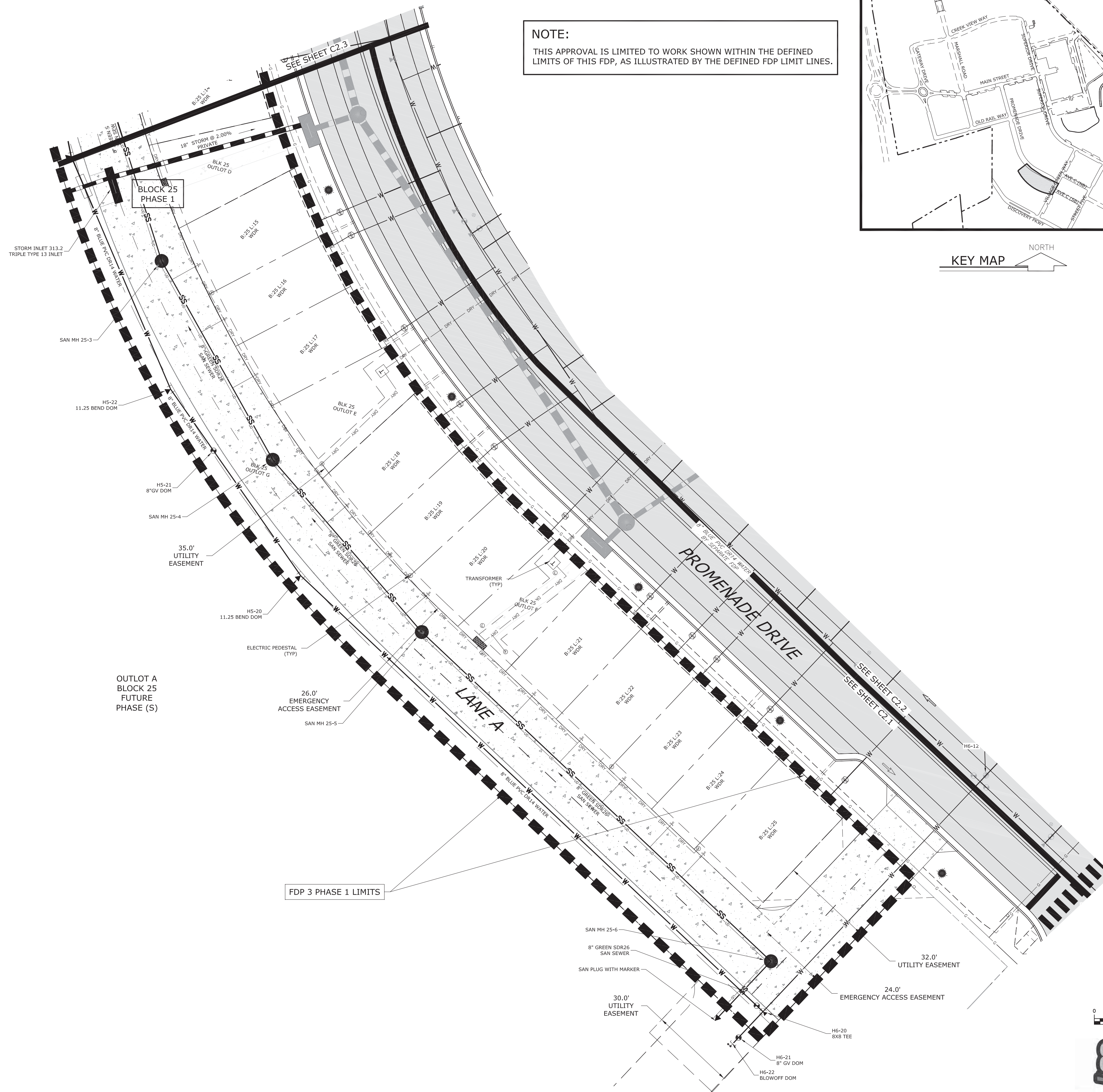


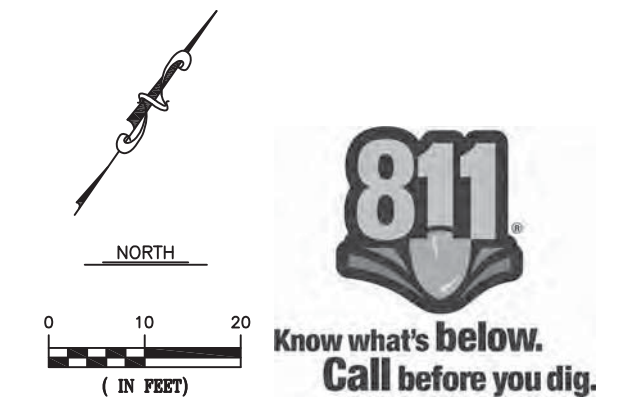
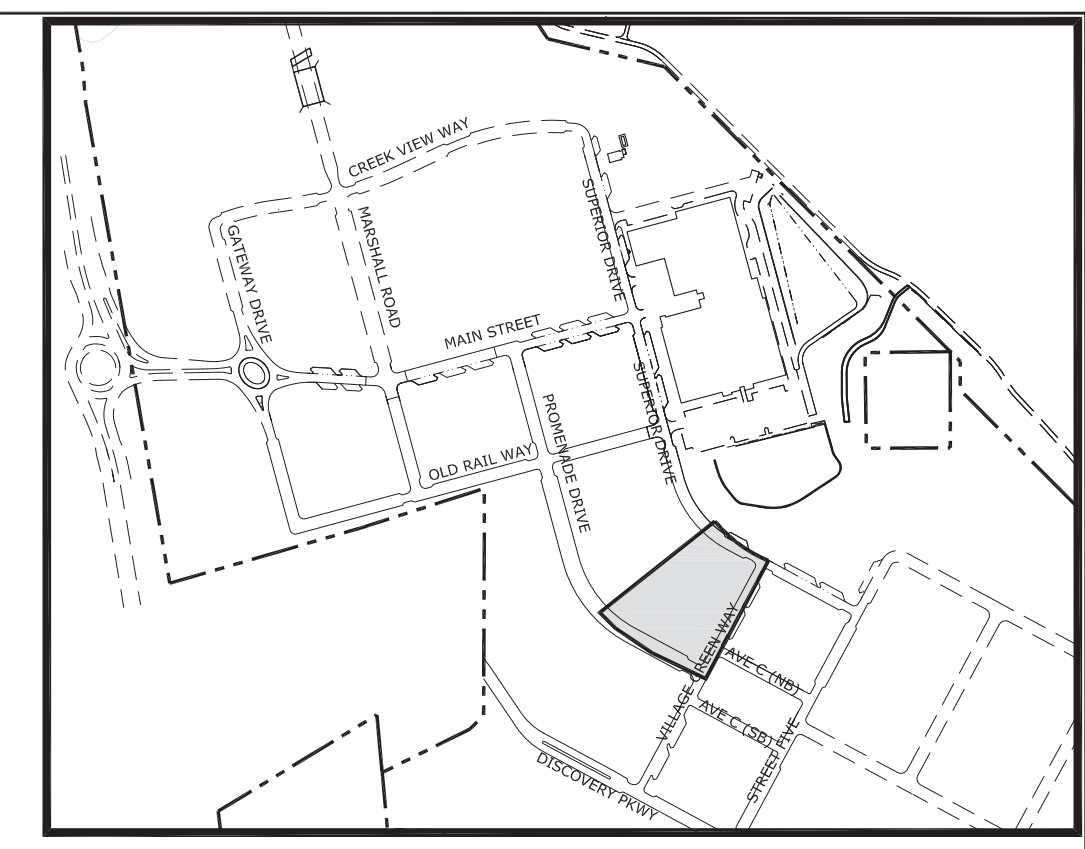
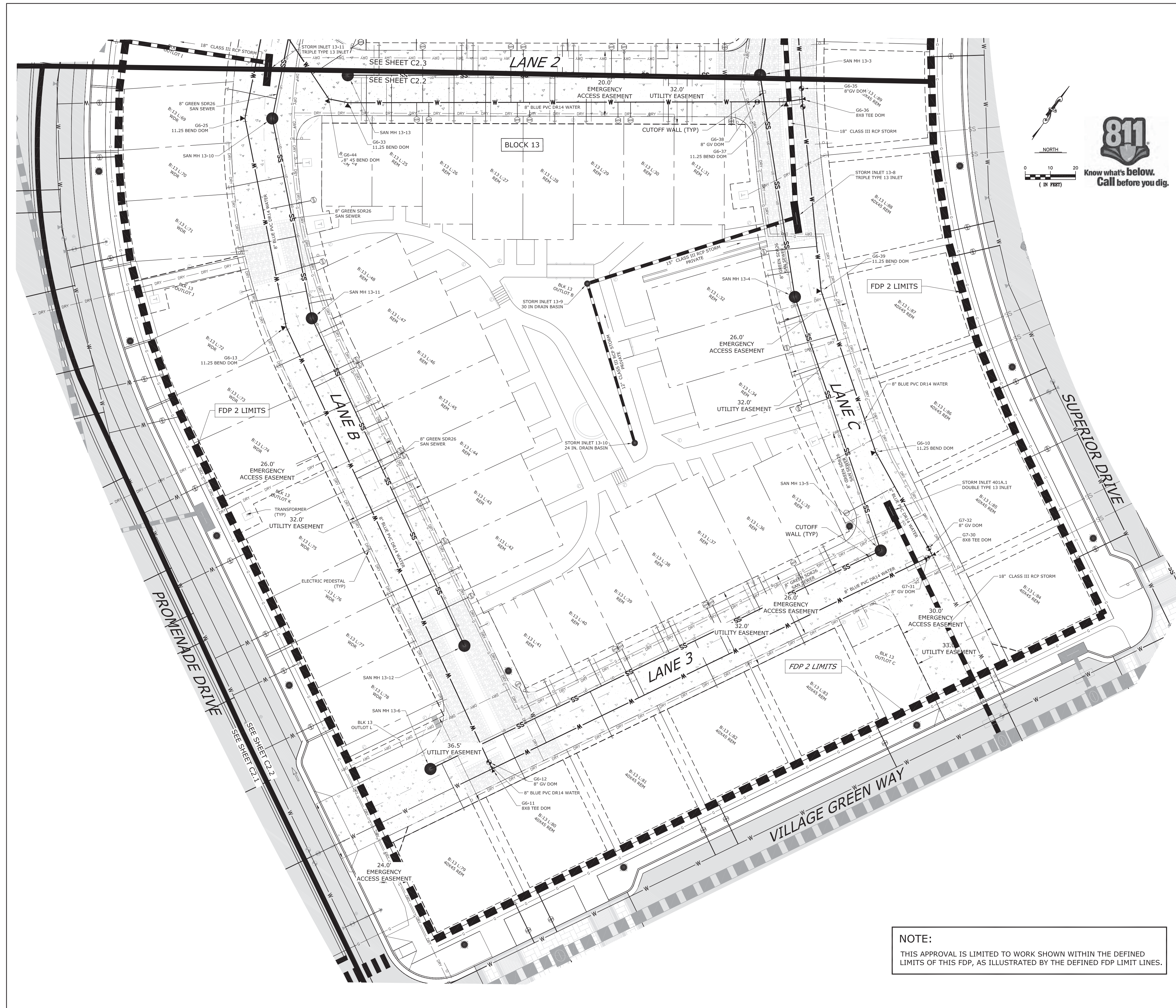
KEY MAP
NORTH

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

UTILITY LEGEND:

- FDP LIMIT LINES
- ASPHALT
- CONCRETE
- FUTURE PHASES
- WATER LINE - THIS FDP
- DRY ELECTRIC - THIS FDP (TELECOM LOCATIONS PENDING SERVICE PROVIDER DESIGN)
- STORM SEWER - THIS FDP
- SANITARY SEWER WITH UNDERDRAIN - THIS FDP
- GAS LINE - THIS FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- SANITARY MANHOLE - THIS FDP
- WATER VALVE - THIS FDP
- WATER LINE - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- WATER VALVE - BY SEPARATE FDP
- ELECTRIC PEDESTAL
- GAS METER
- WATER METER
- TRANSFORMER
- BOLLARD LIGHT
- LIGHT POLE





KEY MAP

UTILITY LEGEND:

	FDP LIMIT LINES
	ASPHALT
	CONCRETE
	PATTERNED & COLORED CONCRETE
	FUTURE PHASES
	WATER LINE - THIS FDP
	DRY ELECTRIC - THIS FDP (TELECOM LOCATIONS PENDING SERVICE PROVIDER DESIGN)
	STORM SEWER - THIS FDP
	SANITARY SEWER WITH UNDERDRAIN - THIS FDP
	GAS LINE - THIS FDP
	STORM MANHOLE - THIS FDP
	STORM INLET - THIS FDP
	SANITARY MANHOLE - THIS FDP
	WATER VALVE - THIS FDP
	WATER LINE - BY SEPARATE FDP
	STORM SEWER - BY SEPARATE FDP
	REUSE WATER - BY SEPARATE FDP
	STORM MANHOLE - BY SEPARATE FDP
	STORM INLET - BY SEPARATE FDP
	WATER VALVE - BY SEPARATE FDP
	LIGHT POLE
	ELECTRIC PEDESTAL
	GAS METER
	WATER METER
	TRANSFORMER
	BOLLARD LIGHT



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SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

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DESIGNED BY: JAB DATE: 4/1/2016
DRAWN BY: CAL SCALE: 1"=20'
CHECKED BY: JAB
JOB NO.: 228.001.04
DWG NAME: BLK13_PUT_2.DWG

PARTIAL UTILITY PLAN 2

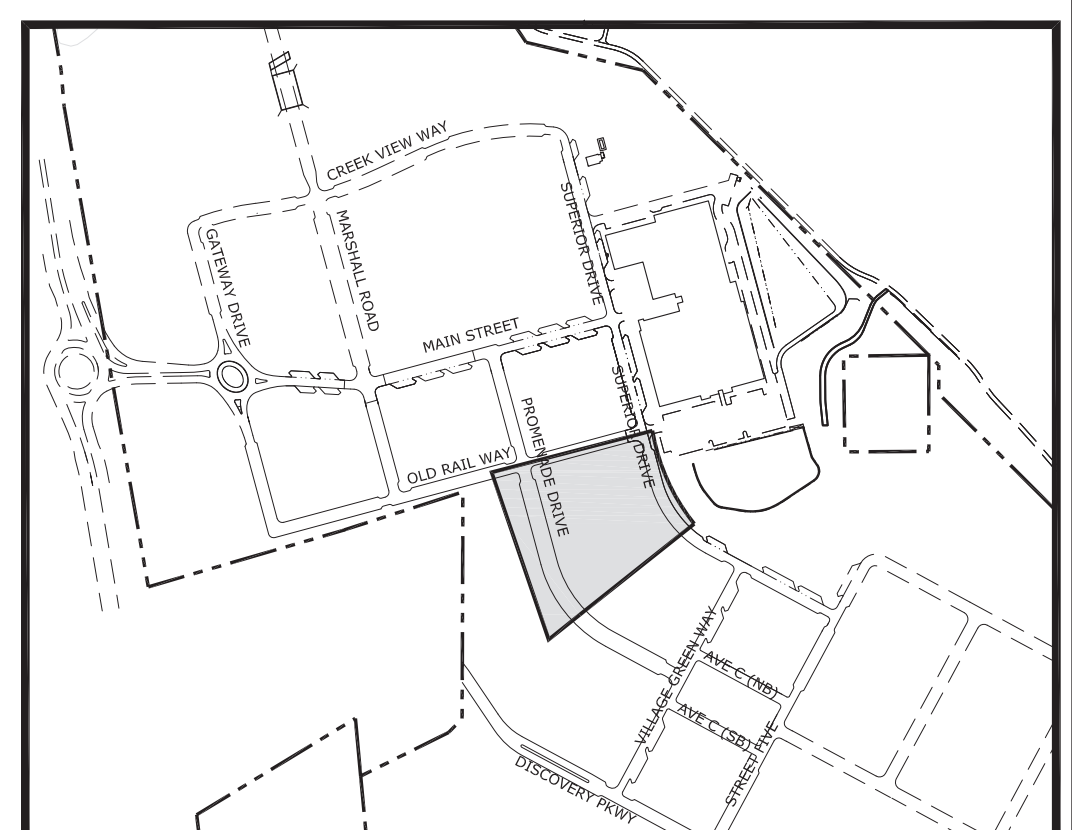
SHEET:
C2.2

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

UTILITY LEGEND:

- FDP LIMIT LINES
- ASPHALT
- CONCRETE
- PATTERNED & COLORED CONCRETE
- FUTURE PHASES**
- WATER LINE - THIS FDP
- DRY ELECTRIC - THIS FDP (TELECOM LOCATIONS PENDING SERVICE PROVIDER DESIGN)
- STORM SEWER - THIS FDP
- SANITARY SEWER WITH UNDERDRAIN - THIS FDP
- GAS LINE - THIS FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- SANITARY MANHOLE - THIS FDP
- WATER VALVE - THIS FDP
- WATER LINE - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- REUSE WATER - BY SEPARATE FDP
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- WATER VALVE - BY SEPARATE FDP
- LIGHT POLE
- ELECTRIC PEDESTAL
- GAS METER
- WATER METER
- TRANSFORMER
- BOLLARD LIGHT
- EXISTING REUSE LINE
- EXISTING SANITARY SEWER WITH UNDERDRAIN
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING INLET
- EXISTING MANHOLE

NOTE:
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SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

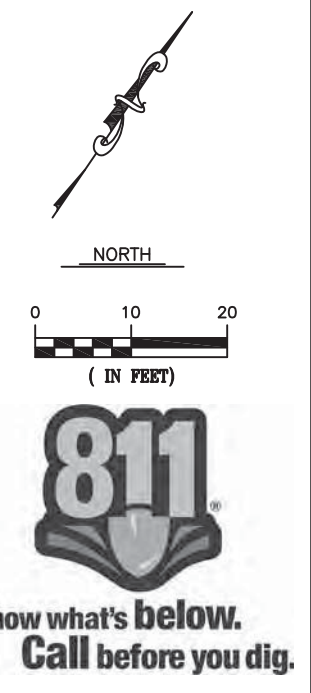
REVISIONS		
NO.	DESCRIPTION	DATE
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4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

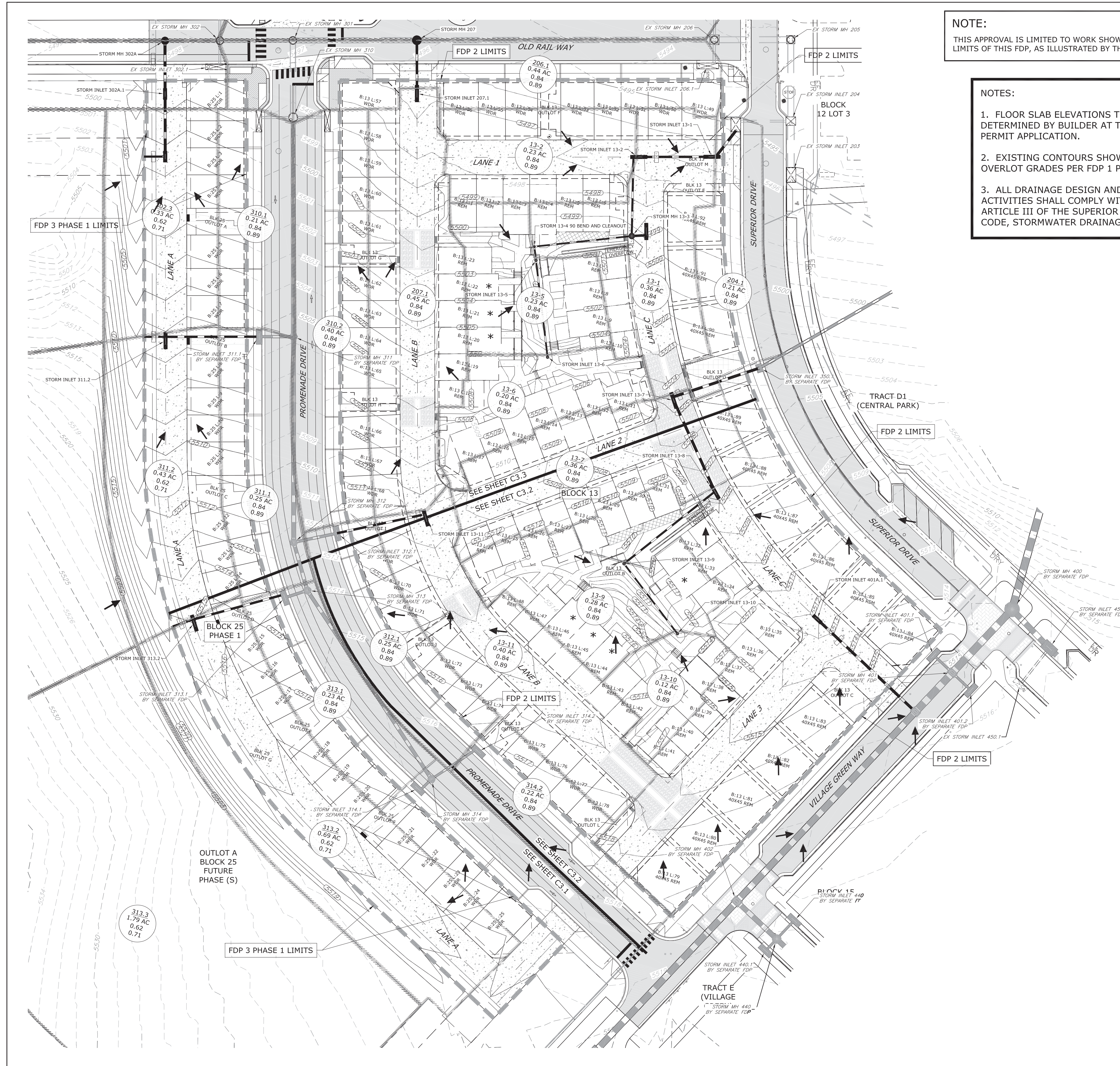
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DESIGNED BY: JAB	DATE: 4/1/2016
DRAWN BY: CAL	SCALE: 1"=20'
CHECKED BY: JAB	
JOB NO.: 228.001.04	
DWG NAME: BLK13_PUT_1.DWG	

PARTIAL UTILITY PLAN 3

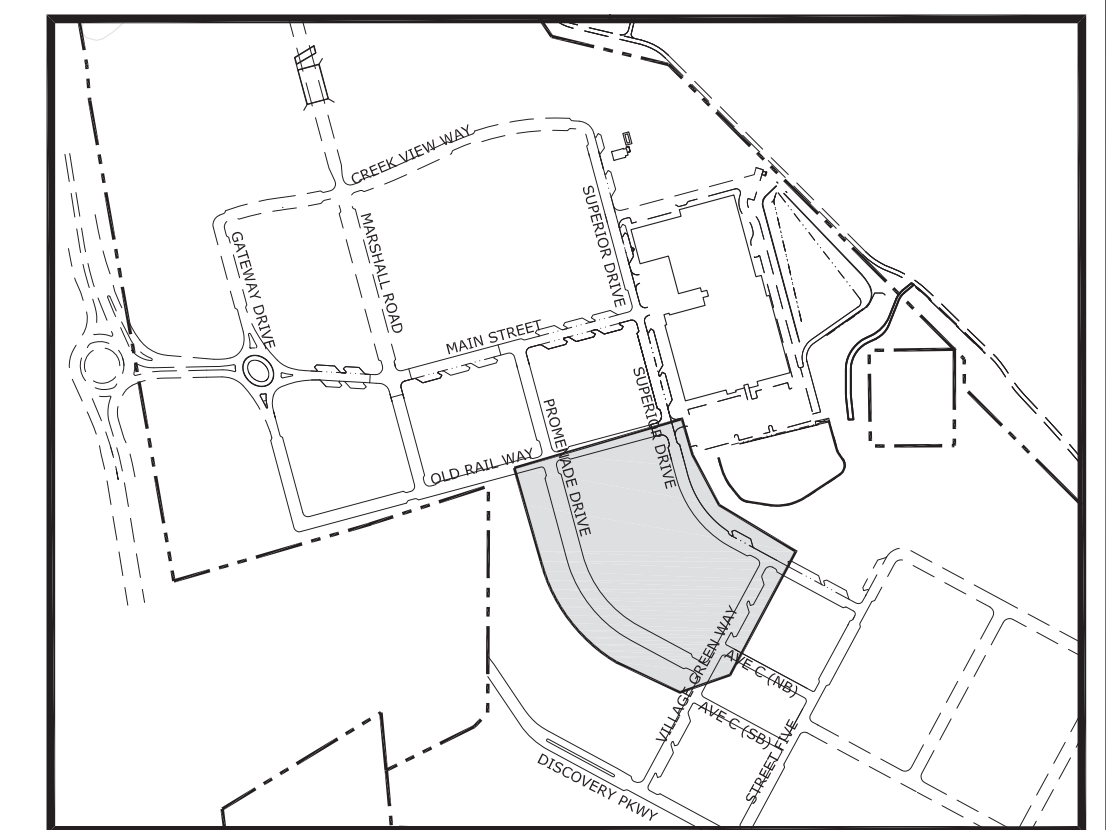
SHEET:
C2.3





NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

- NOTES:**
1. FLOOR SLAB ELEVATIONS TO BE DETERMINED BY BUILDER AT TIME OF BUILDING PERMIT APPLICATION.
 2. EXISTING CONTOURS SHOWN ARE DESIGN OVERLOT GRADES PER FDP 1 PHASE 2.
 3. ALL DRAINAGE DESIGN AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER II, ARTICLE III OF THE SUPERIOR MUNICIPAL CODE, STORMWATER DRAINAGE.



KEY MAP

DRAINAGE LEGEND:

- FDP LIMIT LINES
- ASPHALT
- CONCRETE
- PATTERNED & COLORED CONCRETE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- BASIN BOUNDARIES
- BASIN IDENTIFICATION
- BASIN AREA (AC)
- 10-YR AND 100-YR RUNOFF COEFFICIENTS
- FLOW ARROW
- SANITARY MANHOLE
- INLET
- EXISTING STORM SEWER
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- STORM SEWER - THIS FDP
- EXISTING INLET



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SUPERIOR TOWN CENTER
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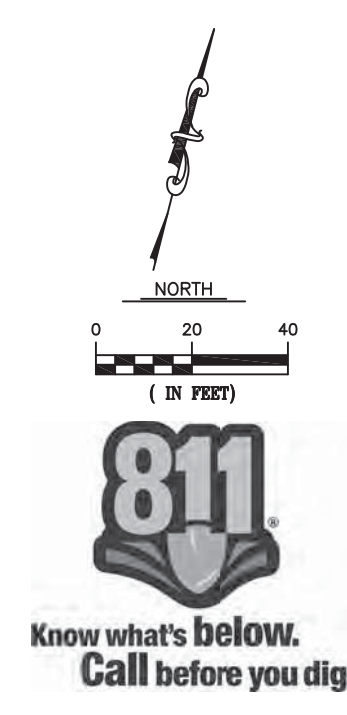
REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/14/16
4	STAFF COMMENTS	07/29/16
5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

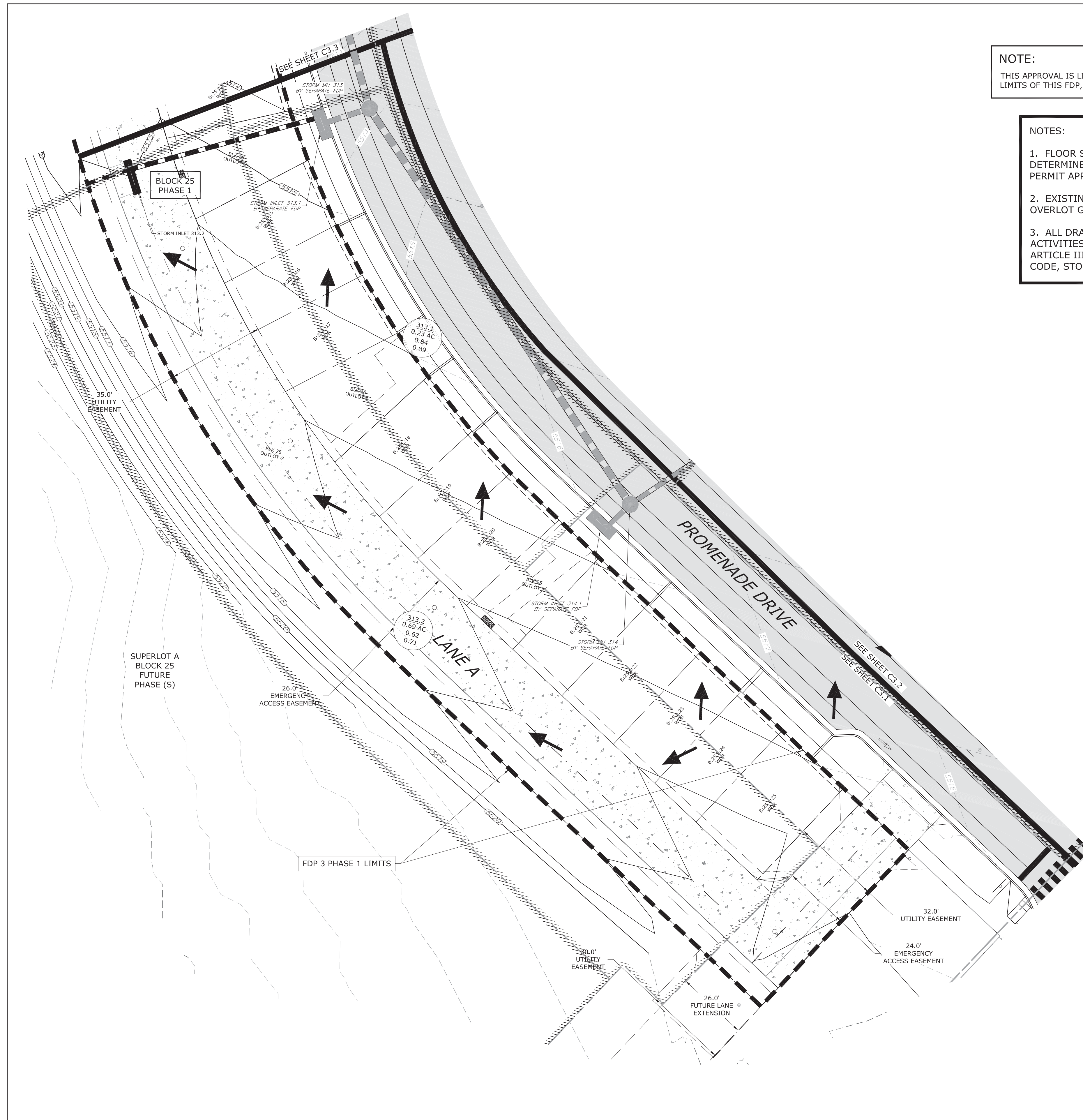
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DESIGNED BY: JAB	DATE: 4/1/2016
DRAWN BY: CAL	SCALE: 1"=40'
CHECKED BY: JAB	
JOB NO.: 228.001.04	
DWG NAME: BLK13_OGP.DWG	

OVERALL DRAINAGE PLAN

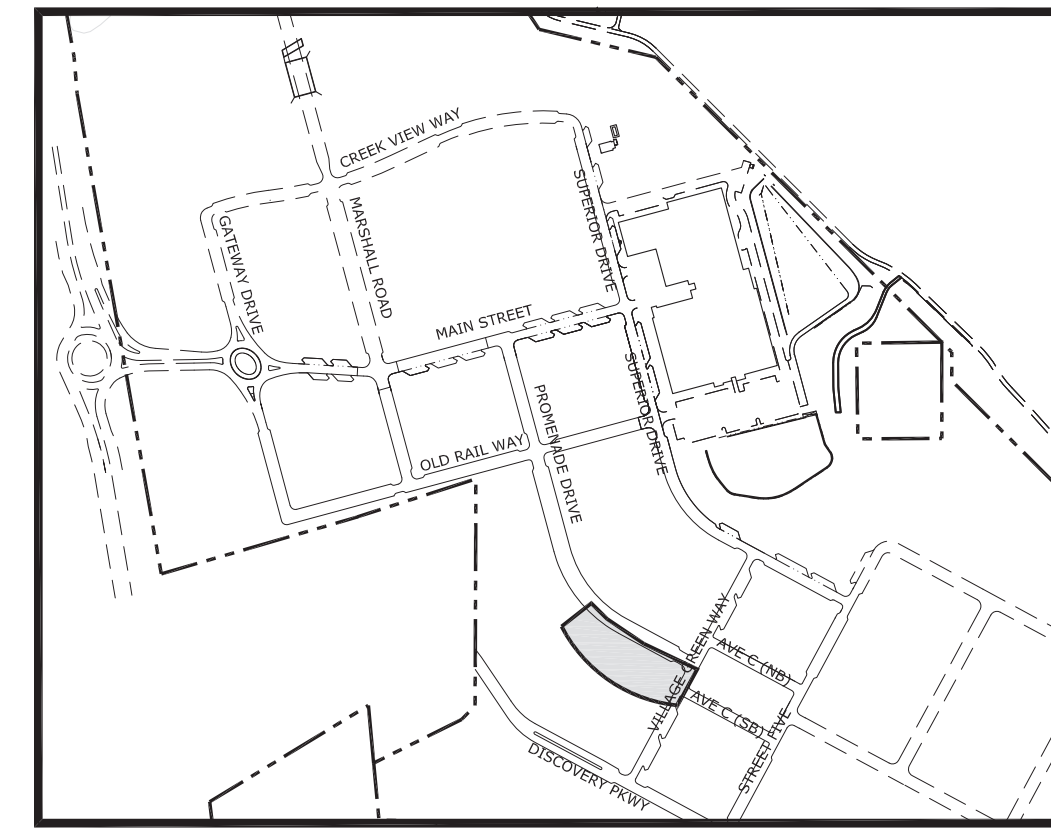
SHEET:
C3.0





NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

- NOTES:**
1. FLOOR SLAB ELEVATIONS TO BE DETERMINED BY BUILDER AT TIME OF BUILDING PERMIT APPLICATION.
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KEY MAP

DRAINAGE LEGEND:

	FDP LIMIT LINES
	ASPHALT
	CONCRETE
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	BASIN BOUNDARIES
	BASIN IDENTIFICATION
	BASIN AREA (AC)
	10-YR AND 100-YR RUNOFF COEFFICIENTS
	FLOW ARROW
	STORM MANHOLE - BY SEPARATE FDP
	STORM INLET - BY SEPARATE FDP
	STORM SEWER - BY SEPARATE FDP
	STORM INLET - THIS FDP
	STORM SEWER - THIS FDP



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REVISIONS		
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5	STAFF COMMENTS-MYLAR PRINTING	08/17/16

Vested Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 4/1/2016
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: BLK25_OGP.DWG

PARTIAL DRAINAGE
PLAN 1

SHEET:
C3.1

