

RC SUPERIOR
12275 El Camino Real
Suite 100
San Diego, CA 92130

Vested Rights:
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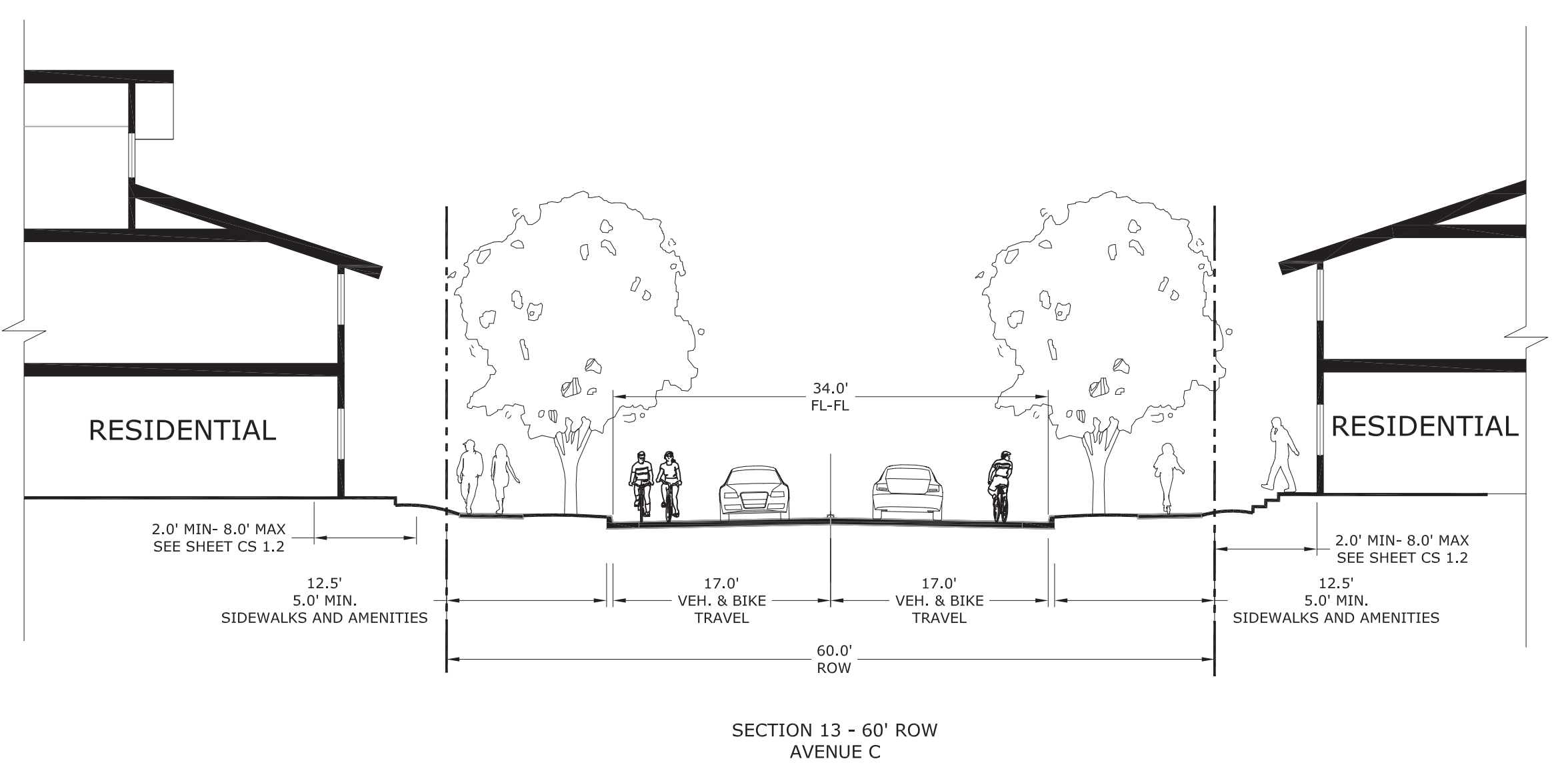
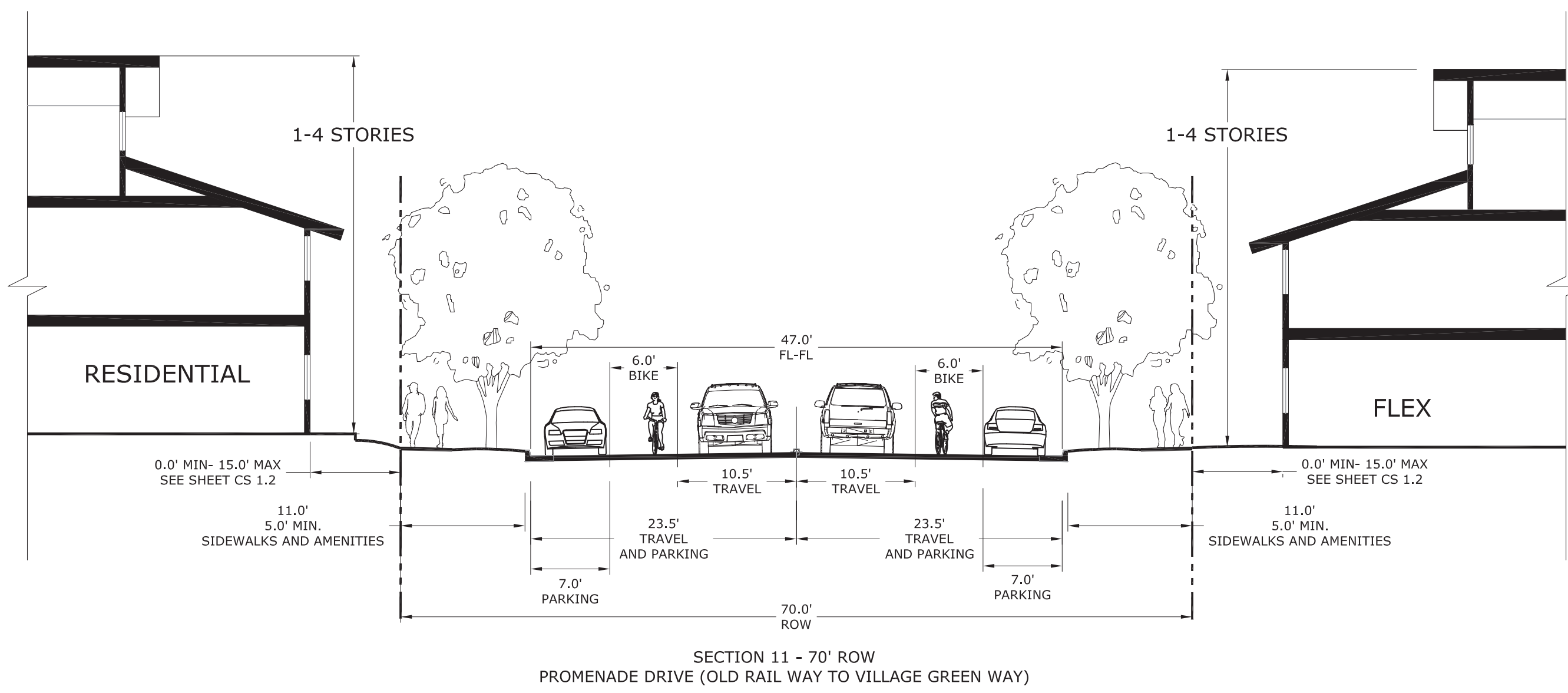
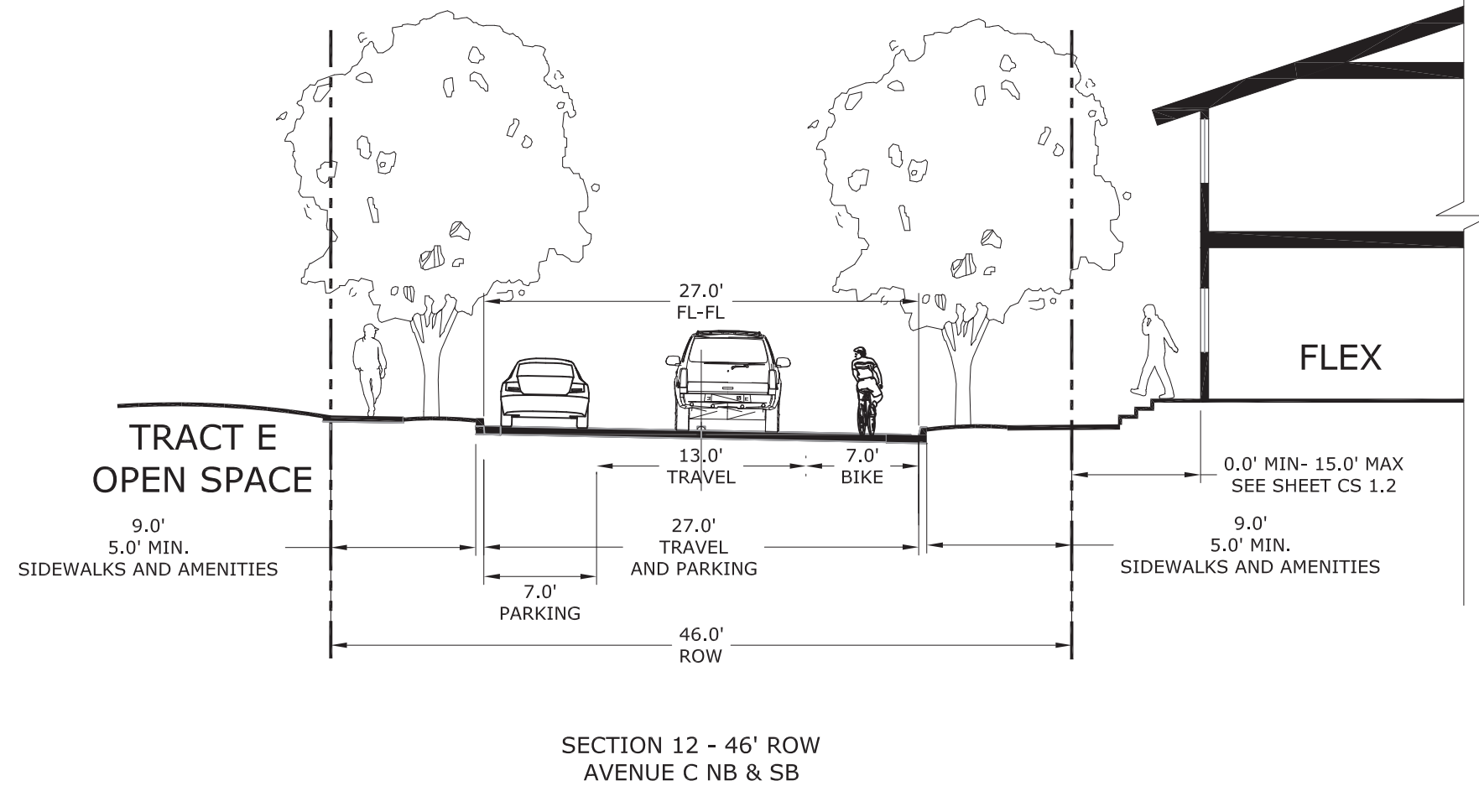
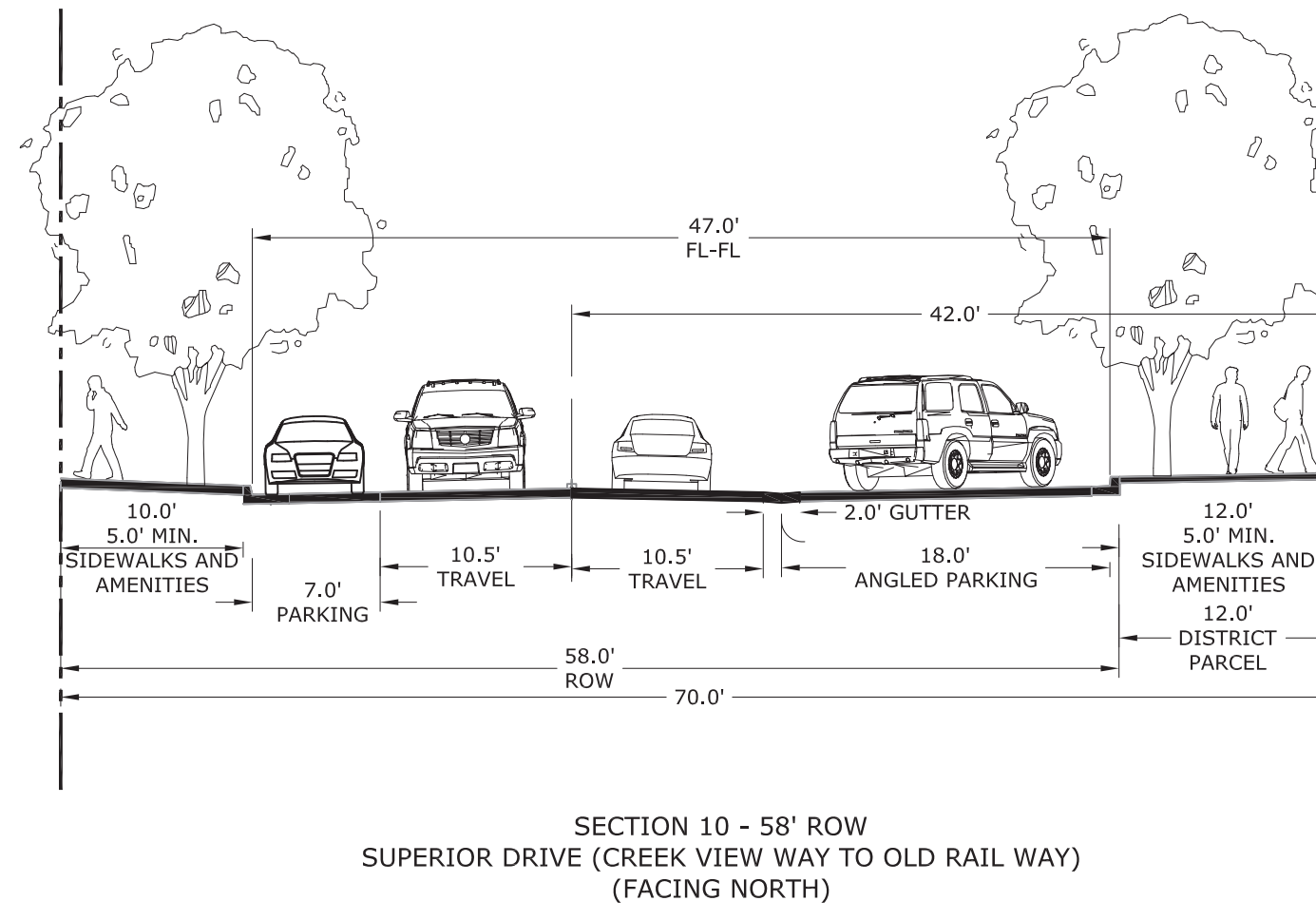
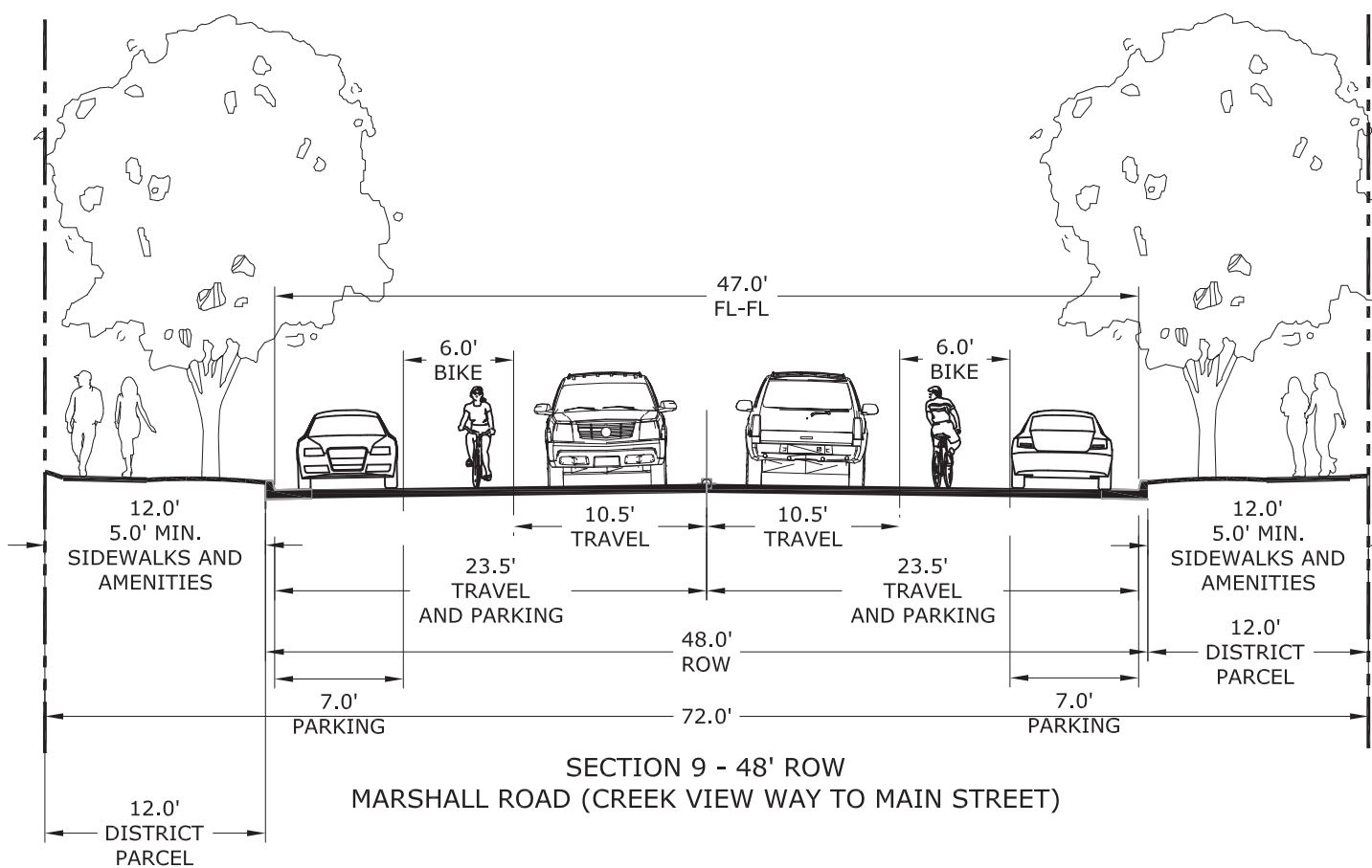
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**SUPERIOR TOWN CENTER
PD AMENDMENT #4**

PROJ. NO.
DRAWN:
CHECKED:
APPROVED: APRIL 10 2018
DATE:
SUBMITTALS:
04.03.2018 PLANNING COMMISSION
04.10.2018 TOWN BOARD APPROVAL
06.06.2018 FINAL SUBMISSION

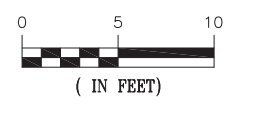
SHEET TITLE:
**ILLUSTRATIVE
STREET
SECTIONS
2/FIGURE C.2**

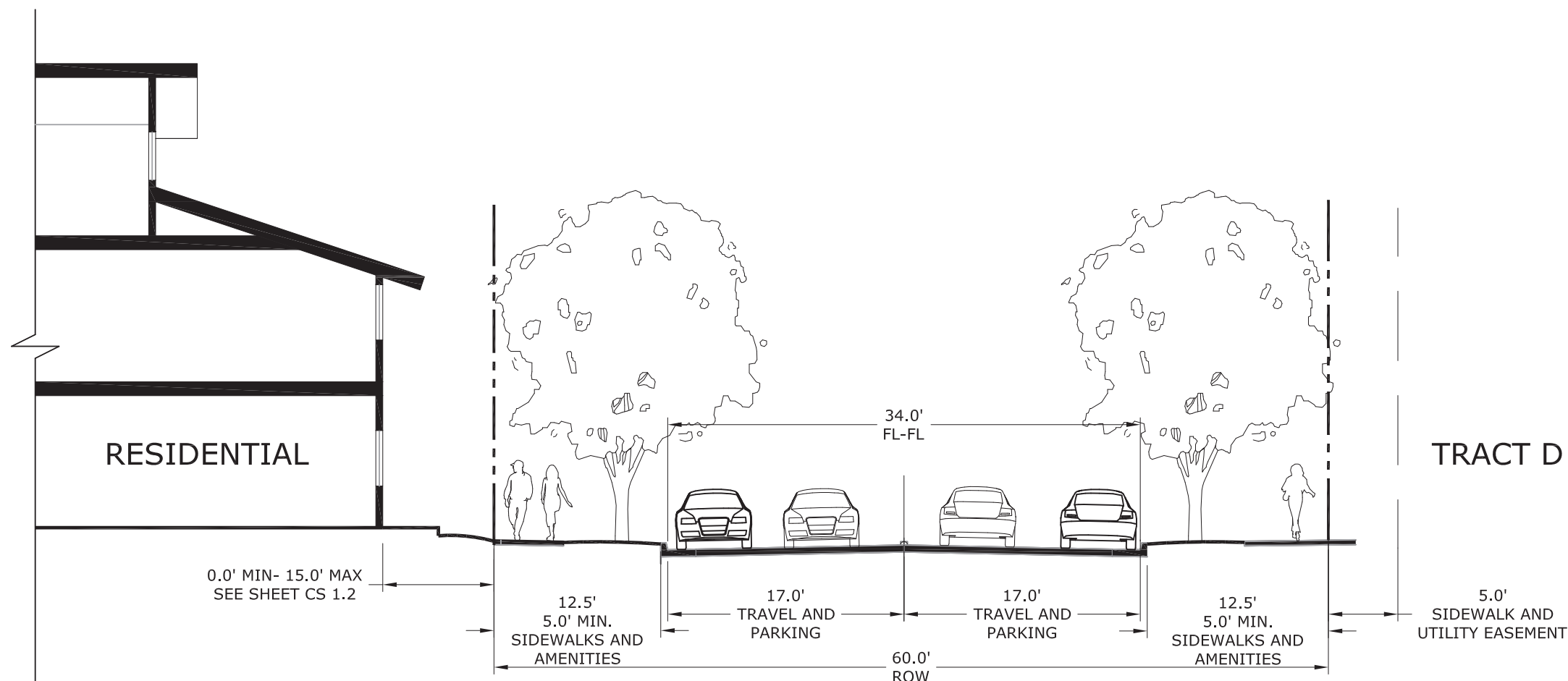
SCALE:
SHEET NUMBER
**SP2.0b/
FIGURE C.2**



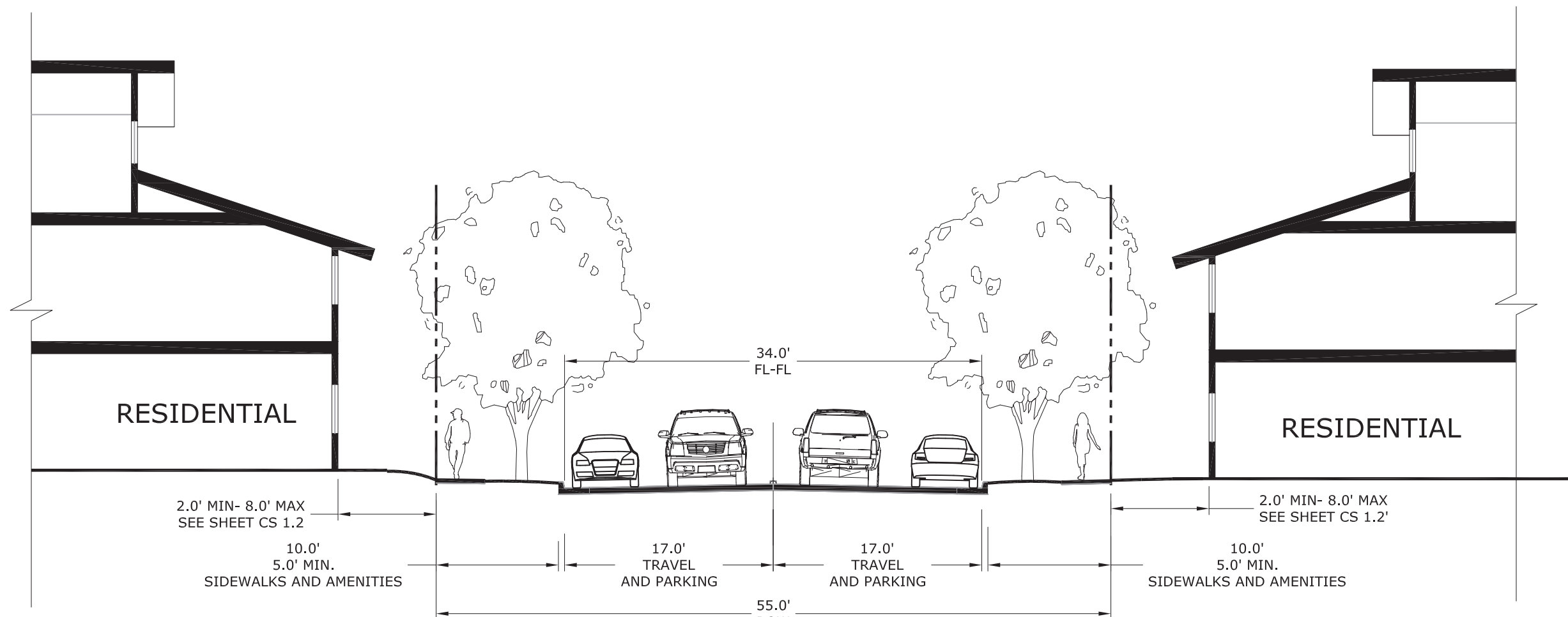
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2. ALL CONCRETE AND ASPHALT PAVEMENT SECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH TOWN OF SUPERIOR ROADWAY DESIGN CRITERIA AND STANDARDS.

ORDINANCE - NO. O-6, SERIES 13
ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET WIDE, OR GREATER IF INDICATED HEREON.

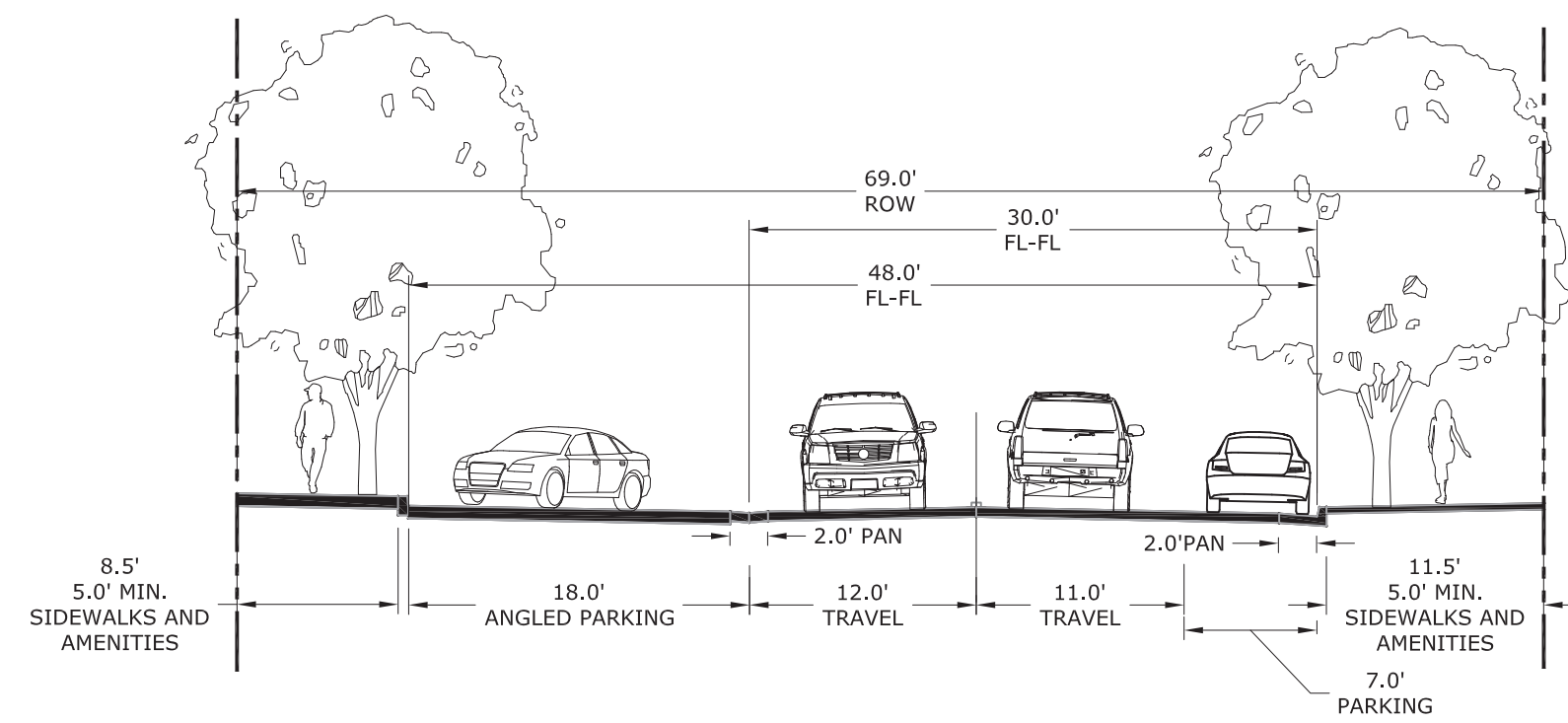




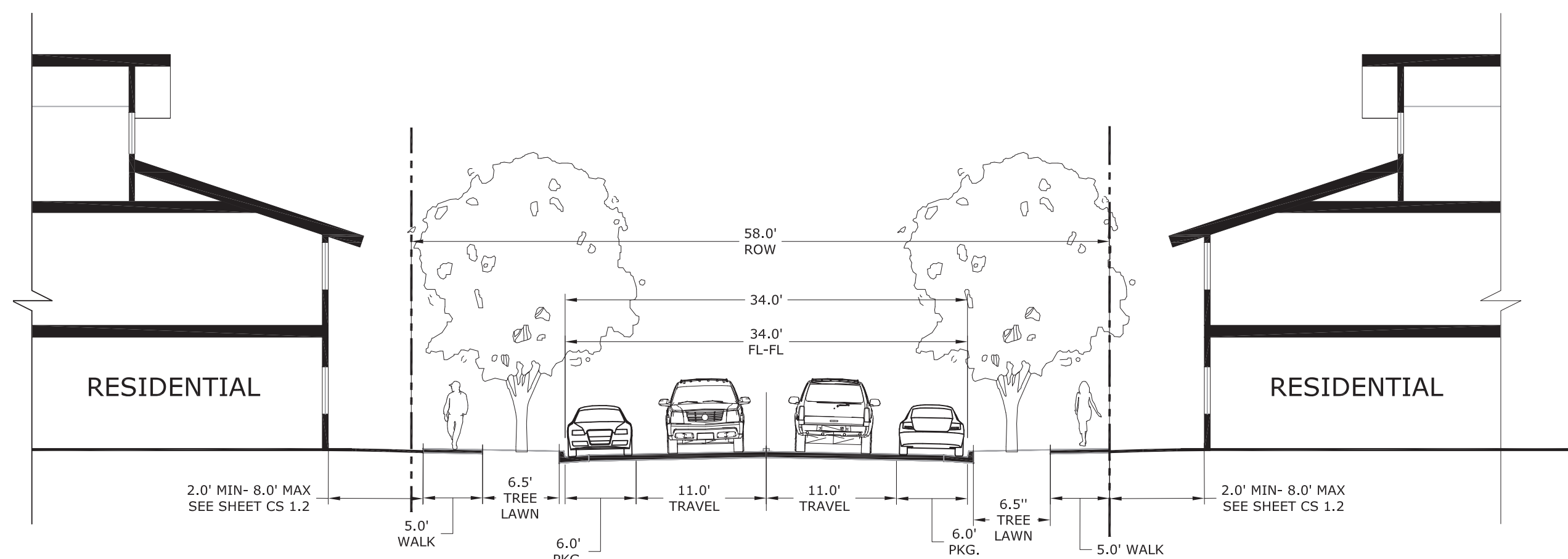
SECTION 14 - 60' ROW
SUPERIOR DRIVE (OLD RAIL WAY TO VILLAGE GREEN WAY, FACING NORTH)



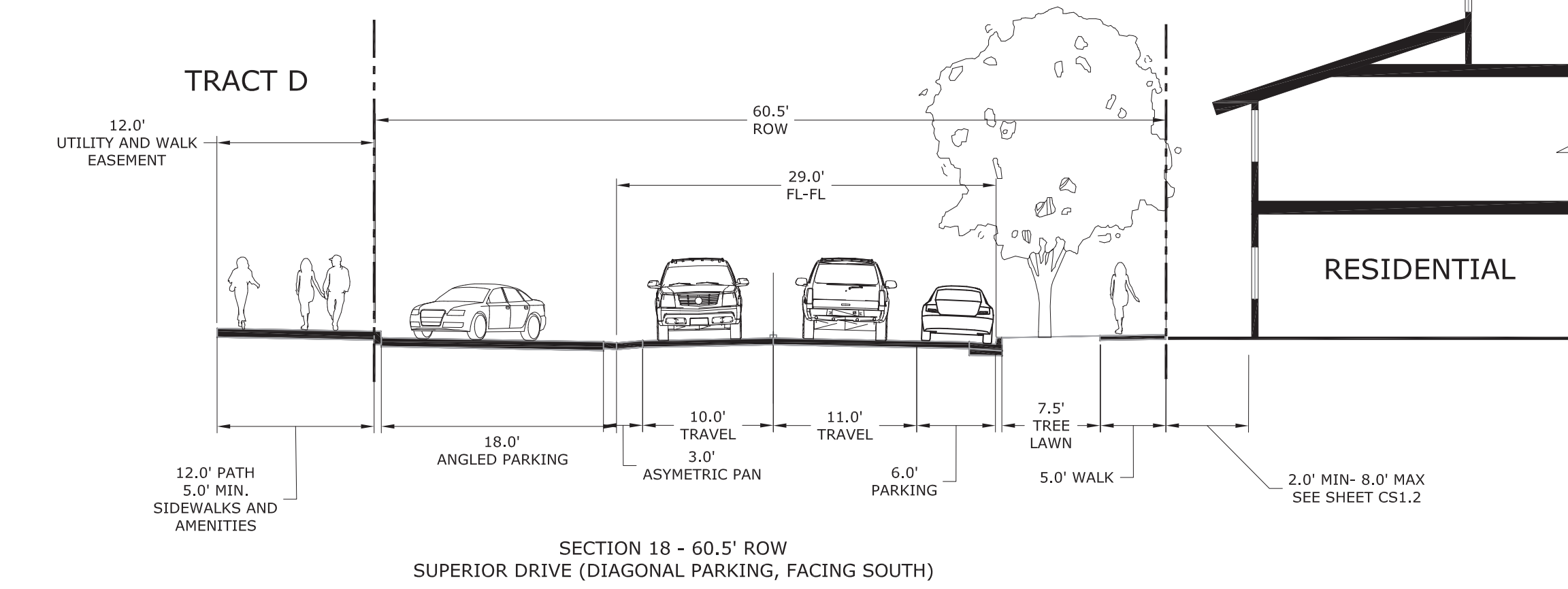
SECTION 15 - 55' ROW
STREET 6, STREET 7, STREET 8 AND AVENUE E



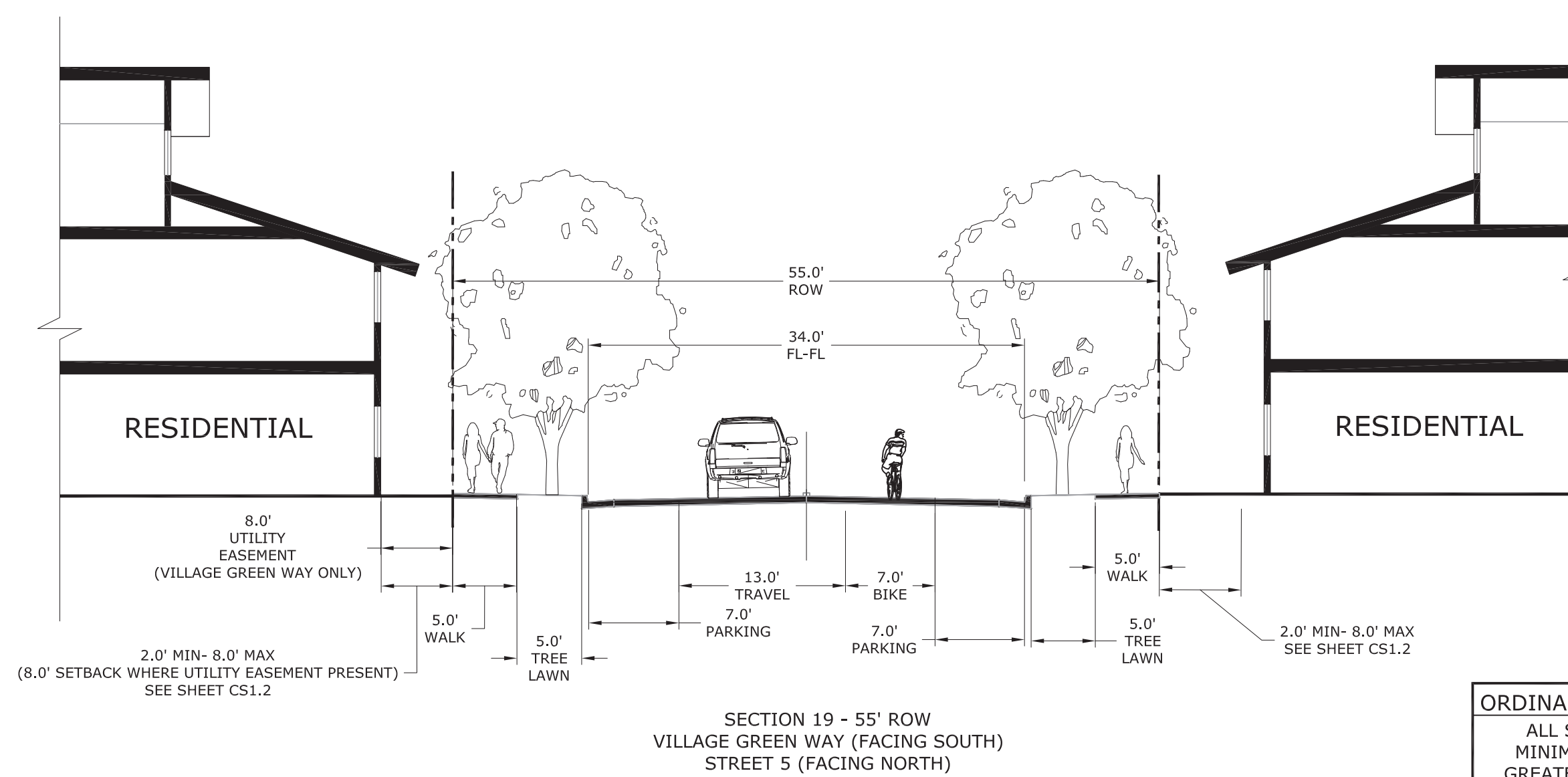
SECTION 16 - 69' ROW
CREEK VIEW WAY (GATEWAY DRIVE TO SUPERIOR DRIVE, FACING EAST)



SECTION 17 - 58' ROW
DISCOVERY PARKWAY (FACING SOUTH)

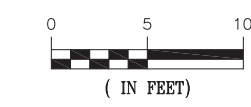


SECTION 18 - 60.5' ROW
SUPERIOR DRIVE (DIAGONAL PARKING, FACING SOUTH)



SECTION 19 - 55' ROW
VILLAGE GREEN WAY (FACING SOUTH)
STREET 5 (FACING NORTH)

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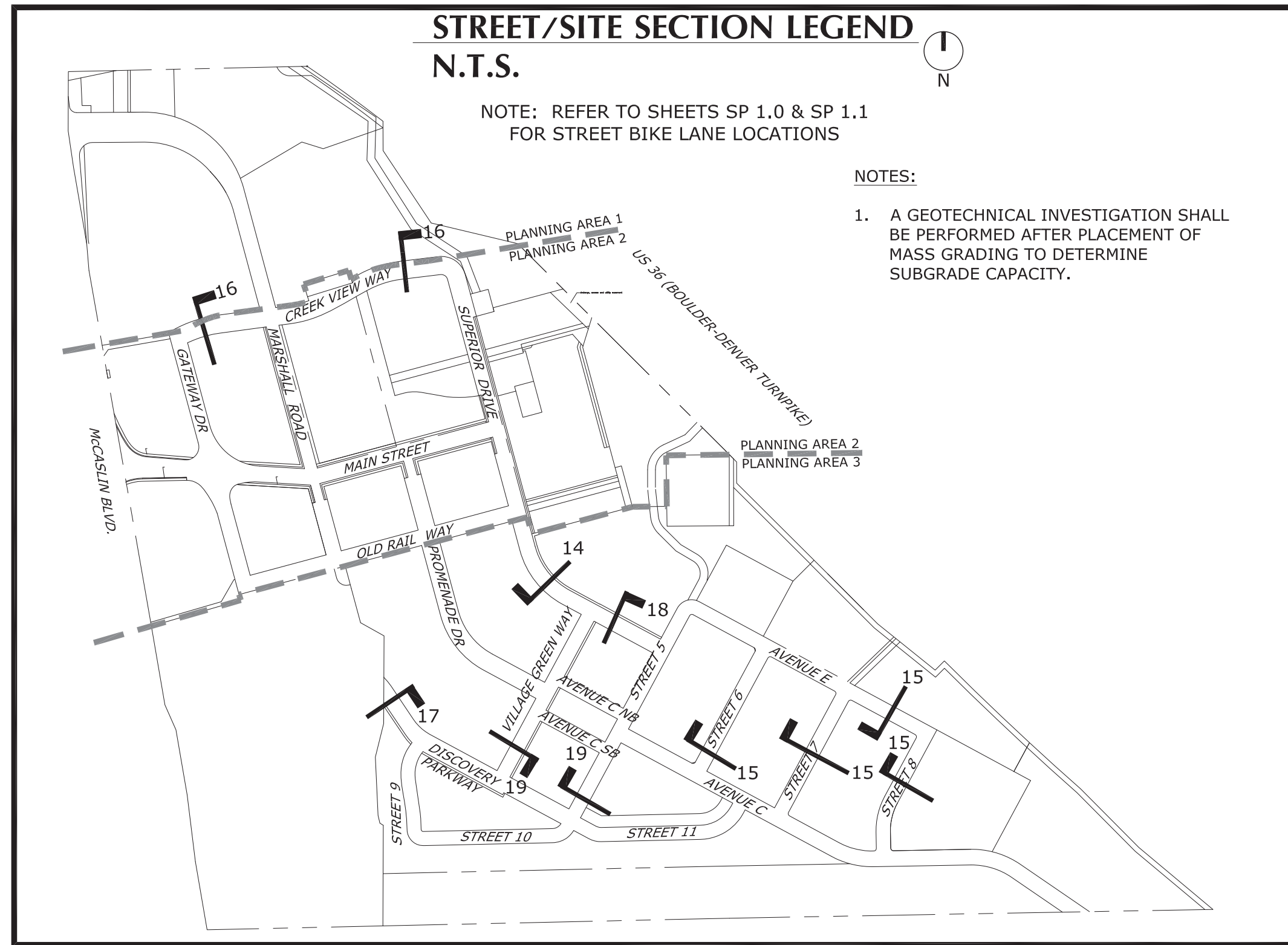


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STREET/SITE SECTION LEGEND
N.T.S.

NOTE: REFER TO SHEETS SP 1.0 & SP 1.1
FOR STREET BIKE LANE LOCATIONS



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SUPERIOR TOWN CENTER
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06.06.2018 FINAL SUBMISSION

SHEET TITLE:

ILLUSTRATIVE
STREET
SECTIONS 3

SCALE:
SHEET NUMBER

SP2.1a/
FIGURE C.3

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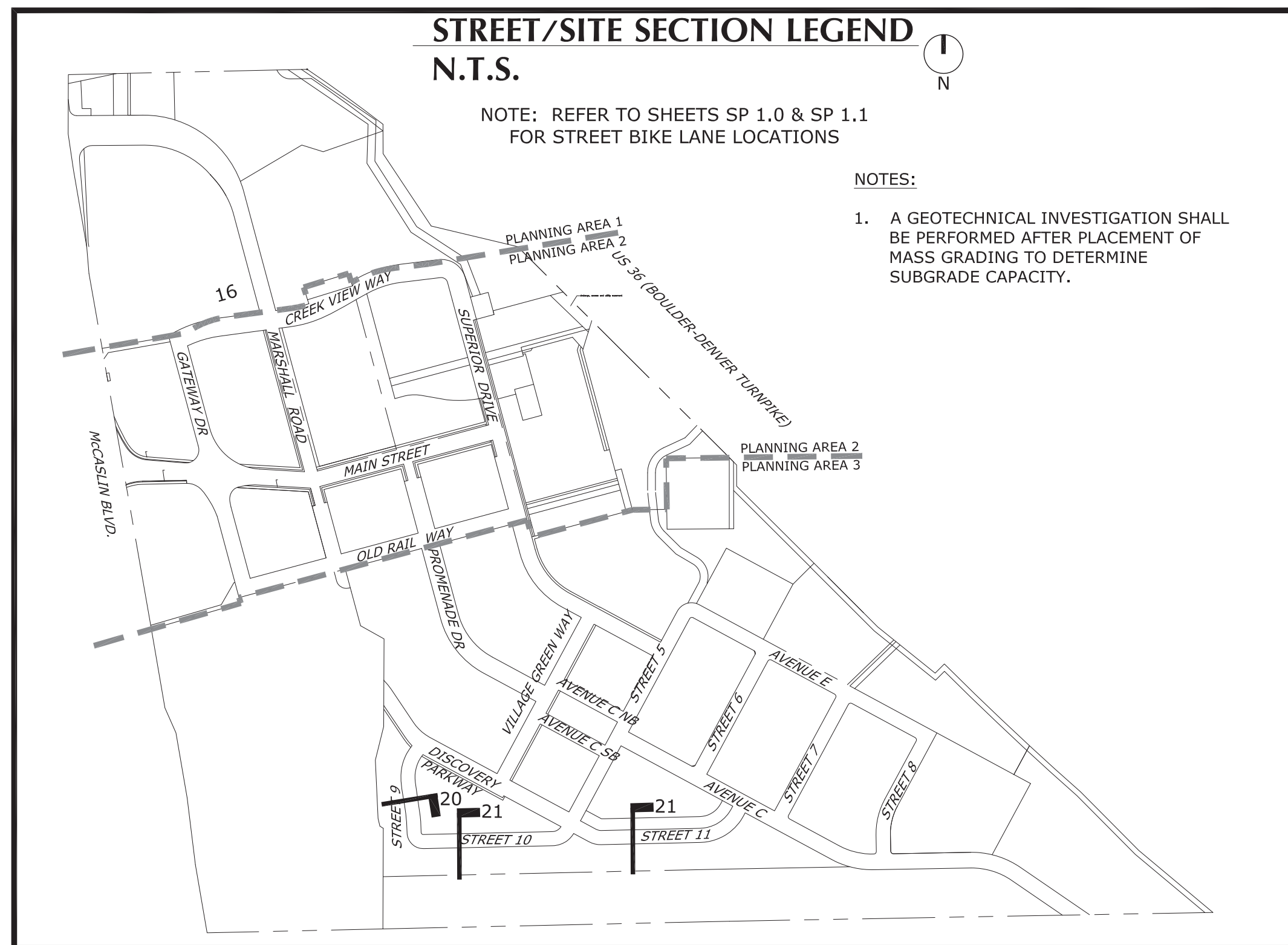
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SECTIONS 4**

SCALE:
SHEET NUMBER
**SP2.1b/
FIGURE C.4**



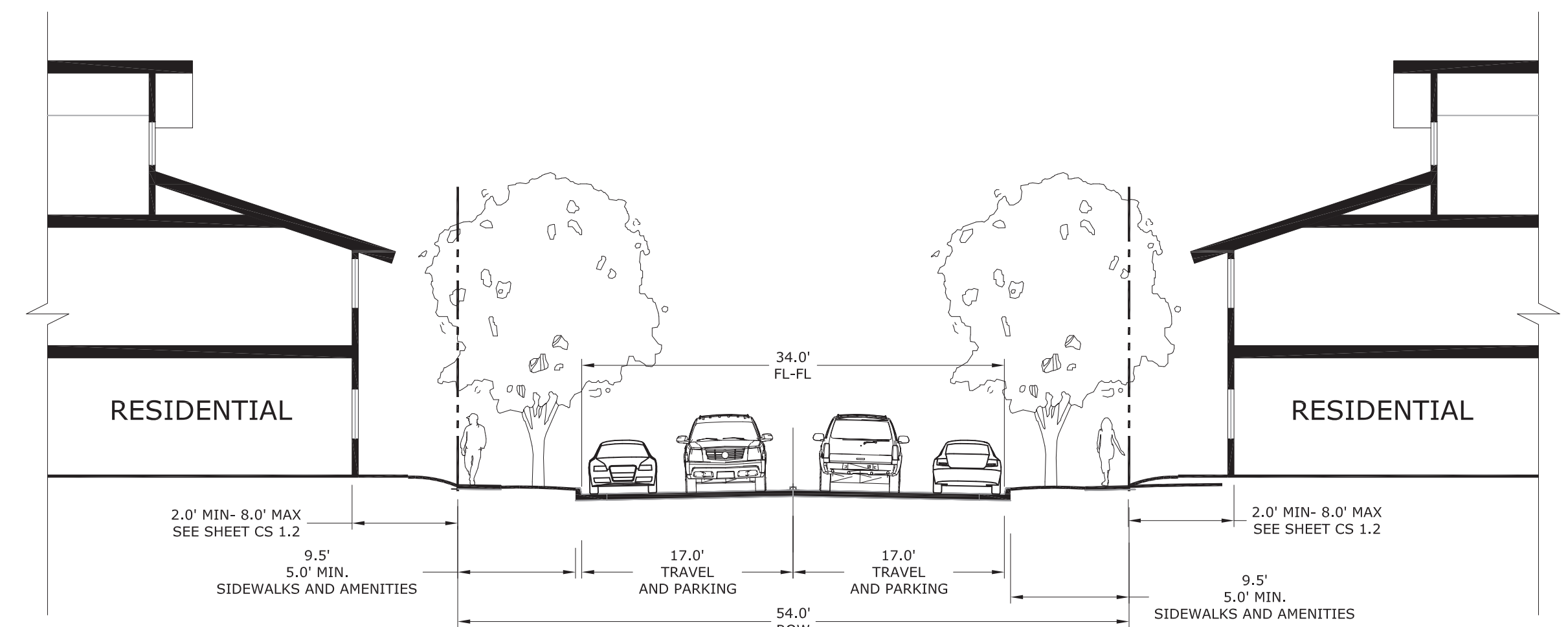
STREET/SITE SECTION LEGEND

N.T.S.

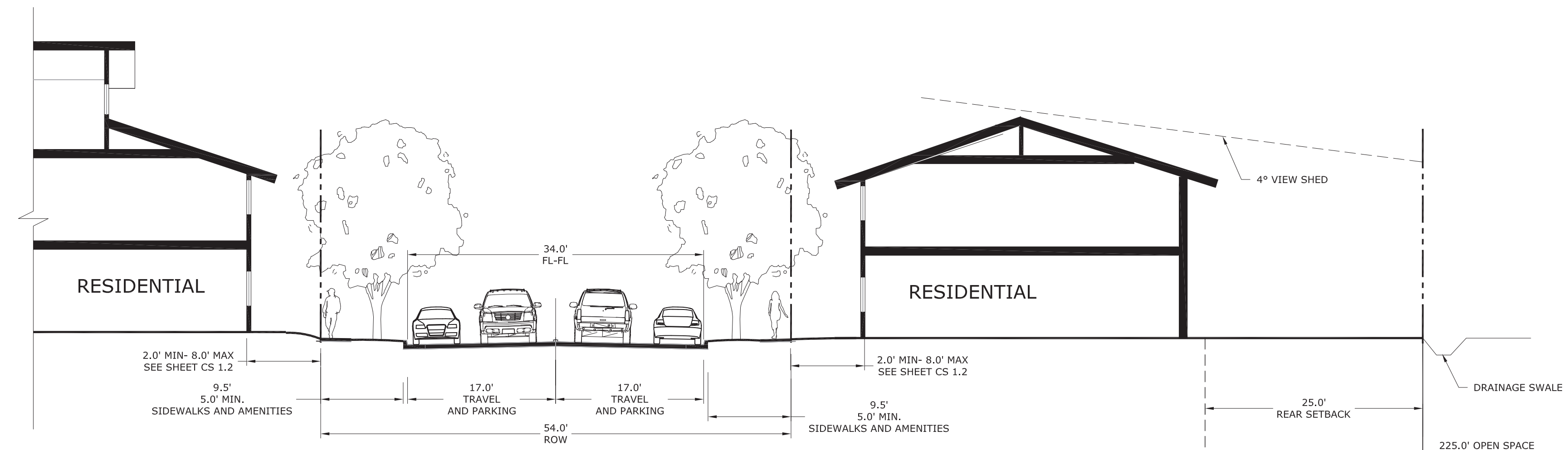
NOTE: REFER TO SHEETS SP 1.0 & SP 1.1 FOR STREET BIKE LANE LOCATIONS

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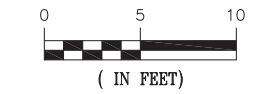


SECTION 20 - 54' ROW
STREET 9



SECTION 21 - 54' ROW
STREETS 10 & 11
FACING EAST

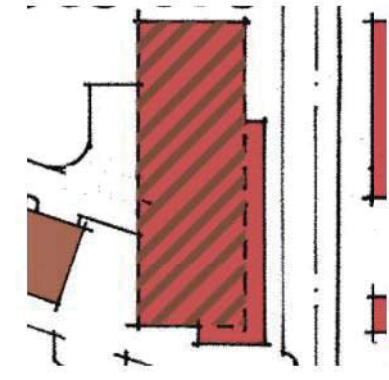
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PLANNING AREA 02

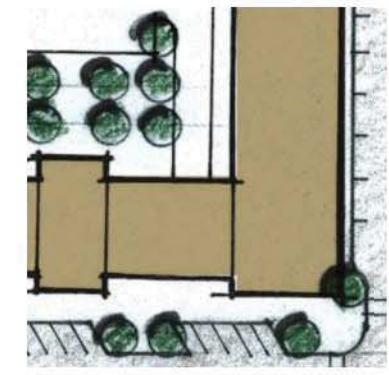


A. FLEX APARTMENT OVER RETAIL:

Unit Sizes: Range: 900 s.f. - 1,100 s.f.

Parking: Shared Structured Parking From Midblock

Description: The Flex Apartment Over Retail product will provide a high density, urban living residential model. Envisioned to provide a variety of flexible configurations, these units will be arranged around a central corridor and be supported with centralized shared structured parking (above or below grade). A variety of unit types ranging from "micro-apartments" to one and two bedroom high efficiencies will provide a diverse mix within the vibrant Village Core. A range of projecting balconies and Juliet balconies will animate the facades and provide diversity of expression. A Juliet balcony allows for a large glazed door opening to be located on an upper floor with a variety of railing types to prevent falls. This type of balcony allows for more sunlight to enter into the homes. Stair entrances will be provided along the edges and a range of private, semi-private and community elevator entries will be located throughout the buildings. Primary massing within this product will be limited to three stories above retail podium with special Board approvals required for fourth floor residential above retail. In some cases a stepped back 3rd or 4th floor will animate the building form and add variety to the silhouette. Building massing will be regulated to limit unarticulated horizontal massing, in favor of stepped façades. Open space will be provided within shared ground floor courtyards, internal to block.

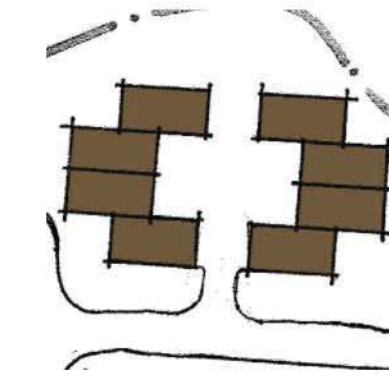


B. HIGH DENSITY RESIDENTIAL FLATS:

Unit Sizes: Range: 1,100 s.f. – 1,600 s.f.

Parking: Shared Structured Parking accessed from midblock.

Description: This residential product will provide for a high density urban configuration. Envisioned as a multi-story condominium configuration, this product will appeal to the urban dweller. These units will gain access to individual units through a common elevator lobby and through a common double loaded corridor. Unit sizes will vary from larger one-bedroom through small three-bedroom units. Primary building massing within this product will be limited to three stories above retail podium with special Board approvals required for fourth floor residential above retail. Building massing will be located along energetic sub-areas within the Village Core and designed to hold the street edge at floors one – three and provide the desired density within the central core. In some cases, 5th level mezzanines (lofts) will animate the skyline and provide a further stepped back massing. Balconies within this product type will be a combination of projected and subtracted forms from the primary massing. Building entrances will be articulated at the ground floor with shared elevator lobby configurations fronting the public way. Parking will be accommodated with on-site structured (above and/ or below grade) configurations. Outdoor space will be shared by residents within centralized plazas and courtyards, internal to blocks.

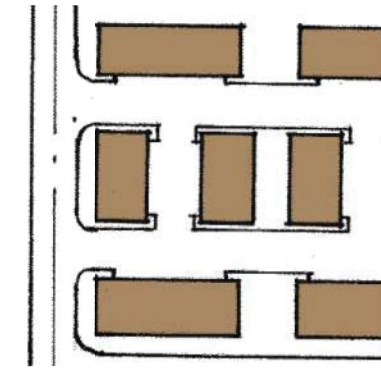


C. CLUSTER DUPLEX / TOWNHOMES:

Unit Sizes: Range: 1,750 s.f. - 2,500 s.f.

Parking: Shared auto court access with self-park tuck under garage.

Description: This product type is envisioned as two - unit duplex Townhomes arranged around a central auto entry court. Leveraging the natural beauty of the adjacent open space and views, these units will provide up to four bedrooms and private exterior courtyards and terraces. Parking within this product type will provide a 2-car side-by-side garage per unit accessed from shared auto-court. Building massing will be limited to three stories with accessible rooftop terraces & small (up to 15% of floor area) fourth floor amenities allowed. Individual unit articulation is envisioned through material differentiation, building siting and individual unit entrances to encourage a more independent SFR impression. Open space will be a combination of shared entry courts and private, individualized exterior spaces.

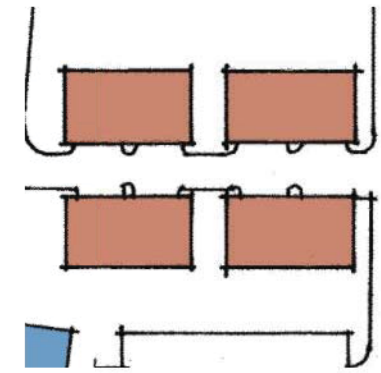


D. ATTACHED ROWHOME:

Unit Sizes: Range: 1,500 s.f. - 1,800 s.f. plus 250 s.f. ground floor use.

Parking: Self Park, tuck under accessed from shared internal driveway

Description: This product type is envisioned as a semi-detached row-home. The ground floor will hold the street edge and provide a welcoming first impression. Each unit will provide an individual front door and porch as well as approximately 250 s.f. of ground floor home office / bedroom, etc. and a self-park, tuck-under configuration accessed from internal driveways within the block. In some cases the upper floors will detach providing three individual vertical unit articulations. This configuration will allow for windows, porches and balconies to be introduced at the upper floors of each unit. In other cases, the upper floors may remain attached to present a denser, urban edge along higher density sub-areas. Building massing will be limited to three story primary massing with up to 15% of floor area allowable for a fourth floor program expansion. Roof terraces, balconies are allowed. Street fronting upper floor balconies are encouraged and may project within 5' of front property line.

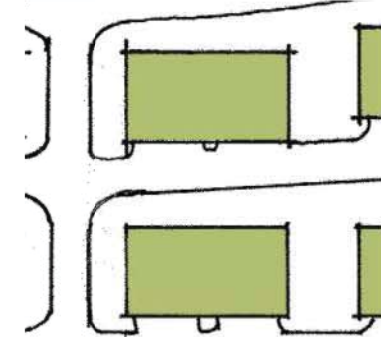


E. HIGH DENSITY ATTACHED (6-UNIT FLATS):

Unit Sizes: Range: 1,250 s.f. – 1,600 s.f.

Parking: Self Park, tuck under accessed from shared internal driveway

Description: This product type is envisioned as a medium-high density, single level living product concentrated close to the Village Core. Individual units are accessed through a central shared ground floor, street fronting elevator lobby providing access to a total of six one + den and two bedroom flats (two per floor). Parking is accessed from a secured ground floor self-park, tuck under configuration with internal driveways within the block. Building massing is limited to four stories (three residential floors above ground floor parking) plus up to 33% of floor area for fifth floor loft. Individual unit balconies and terraces are encouraged within this product. The overall character of the massing will be rendered as a single primary mass with stacking units. Top floor articulation will be presented with a variety of roof forms, balconies and terraces. Outdoor space will be shared by residents within this block configuration through internalized ground floor paseos and courtyards.



F. TOWNHOME WITH PENTHOUSE FLOOR (6 Units / Building):

Unit Sizes: Townhome: 2,100 s.f. (floors 2-3) (4 units)

Penthouse: 1,950 s.f. (floor 4 + mezzanine / loft) (2 units)

Parking: Self Park, tuck under accessed from shared internal driveway

Description: This product type provides for slightly larger units with four (4) two-story, three bedrooms + den Townhomes and two (2) top floor, three bedroom penthouses + loft to meet the needs of homeowners who prefer luxurious living on a single level. Parking is accommodated with a self-park, tuck-under configuration accessed from internal driveways. Townhome and penthouse access is provided by individual stairs from garage and/ or (private or shared) elevator access. Large private decks are provided (60-90sf) for each Townhome unit. Building massing is envisioned to be rendered as a singular form for the lower levels with the penthouses detaching from the lower floor massing to be individually articulated. Private roof terraces, accessed from top floor loft are encouraged. Open space is shared between buildings through generous mid-block greenbelts, courtyards and pedestrian amenities.

PLANNING AREA 03

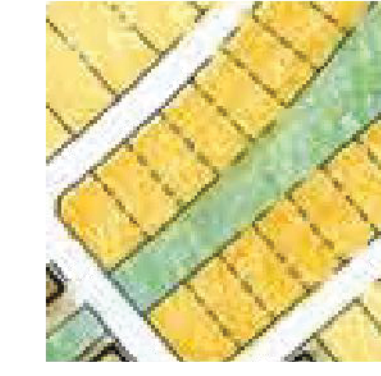


G. COTTAGES:

Unit Sizes: Range: 1,200 s.f. - 3000 s.f.

Parking: Parking is provided at the alley in the form of private garages.

Description: Cottages are 1 to 3 story, single-family detached buildings. Half-stories refer to lower plate heights with dormers and scissor trusses on the upper stories and are very common in the region. These houses usually have a narrow, deep lots and attached garages with alley access. Cottages should be designed with an open side and a closed side in order to maximize the usability of side yards. Cottages will determine the character of the streetscape in the majority of Planning Area 3. Providing large porches will be very effective in creating inviting, walkable streets. This typology may also include single-story, ranch -style patio homes.

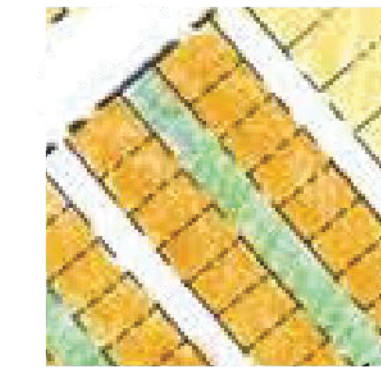


H. VILLAS:

Unit Sizes: Range: 1,500 s.f. - 2,400 s.f.

Parking: Parking is provided at the alley in the form of private garages.

Description: The larger Villas are compact residential buildings that can be located on shallow lots. Typically, the main living space is located on the second floor above the garage. Second and third-story setbacks are encouraged. Front porches and second-story balconies provide interest and variety.



I. URBAN VILLAS:

Unit Sizes: Range: 1,200 s.f. – 1,900 s.f.

Parking: Parking is provided at the alley in the form of private garages.

Description: The smaller Urban Villas are compact residential buildings that can be located on shallow lots. Typically, the main living space is located on the second floor above the garage. Second and third-story setbacks are encouraged. Front porches and second-story balconies provide interest and variety.

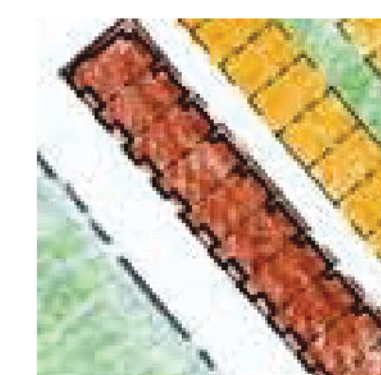


J. TOWNHOMES:

Unit Sizes: Range: 1,200 s.f. - 2,500 s.f.

Parking: Parking is provided at the alley in the form of private garages.

Description: Townhomes create strong building presence along the street. In Planning Area 03, townhomes will provide a transition from the more urban building products in the core to the smaller-scale residential cottages. Therefore, the use of porches and articulation of individual units will be important. Access to the units is provided via attached garages along the alleys.



K. LIVE / WORK TOWNHOMES:

Unit Sizes: Range: 1,600 s.f. - 2,000 s.f.

Parking: Parking is provided at the alley in the form of private garages.

Description: Allowed in the Residential, Flex Space and Commercial zones shown on Figure A and encouraged along Main Street and the Village Green. This live/work townhome product type is a compact, attached building with a street front orientation and design that reflects and allows a transition from residential to commercial uses over time. These units provide for commercial space on the ground floor that is designed to be flexible with residential or commercial uses on the floors above. Tuck under or rear loaded garages to accommodate the residential occupant parking demand and separate or multiple entrances for the residential portion of the unit are common elements of the design for these units. For example, two Main Street entries will be allowed -- one for a commercial space and one for residential. These units will be allowed to be further subdivided in the future to separate the commercial and residential space as well as allowing a portion of the space within any individual unit to be sub-leased. Such flexibility will allow the ground floor space to be consolidated into larger spaces as the character and opportunities in the project mature.

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SHEET TITLE:

RESIDENTIAL
TYPOLOGIES

SCALE:

SHEET NUMBER

SP2.2 /
FIGURE G.3

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**SHEET TITLE:
ARCHITECTURAL
PRECEDENTS
(CORE AREA)**

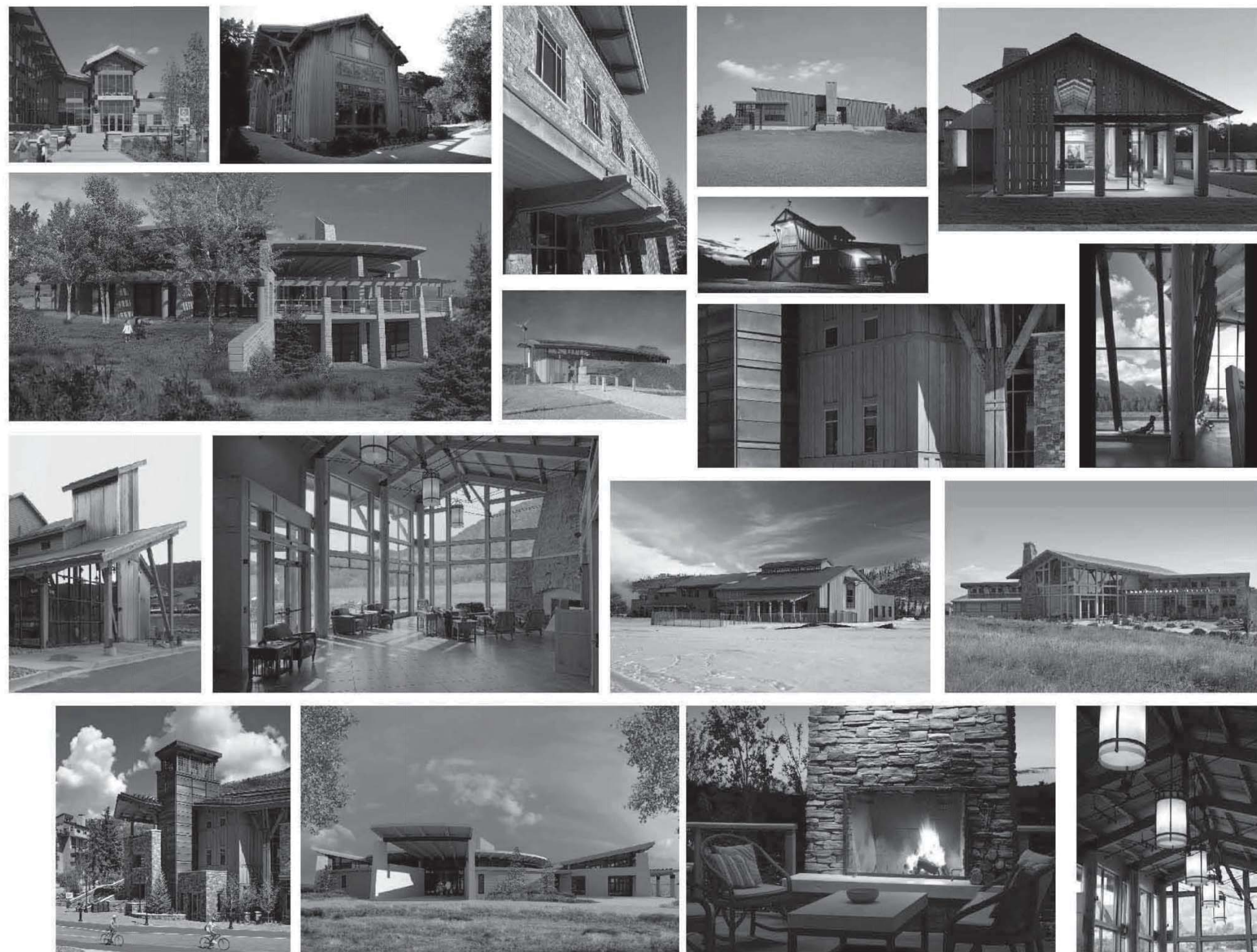
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**A1.1 /
FIGURE G.1**



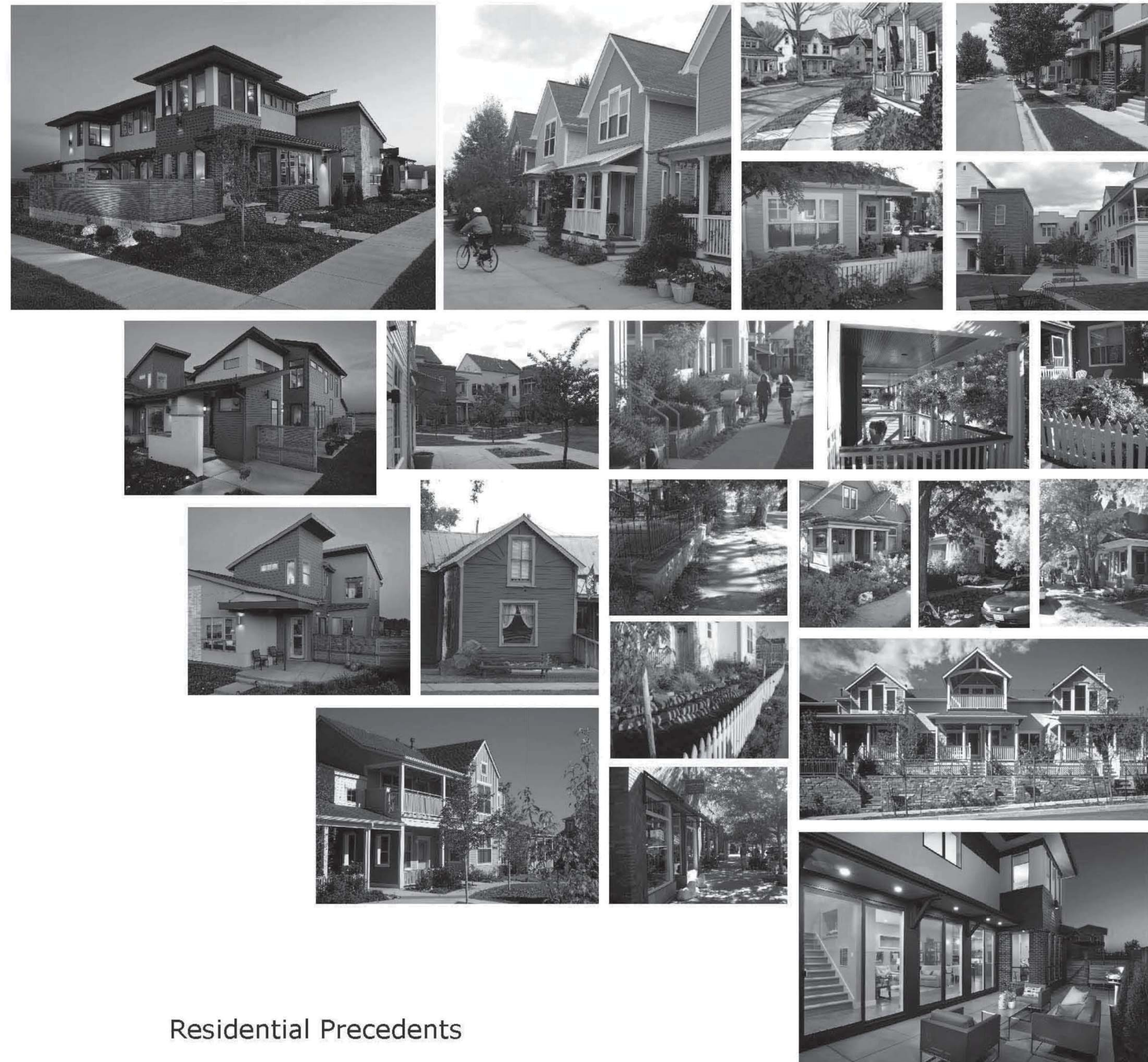
Architectural Precedents - Core Area (Planning Area 2)



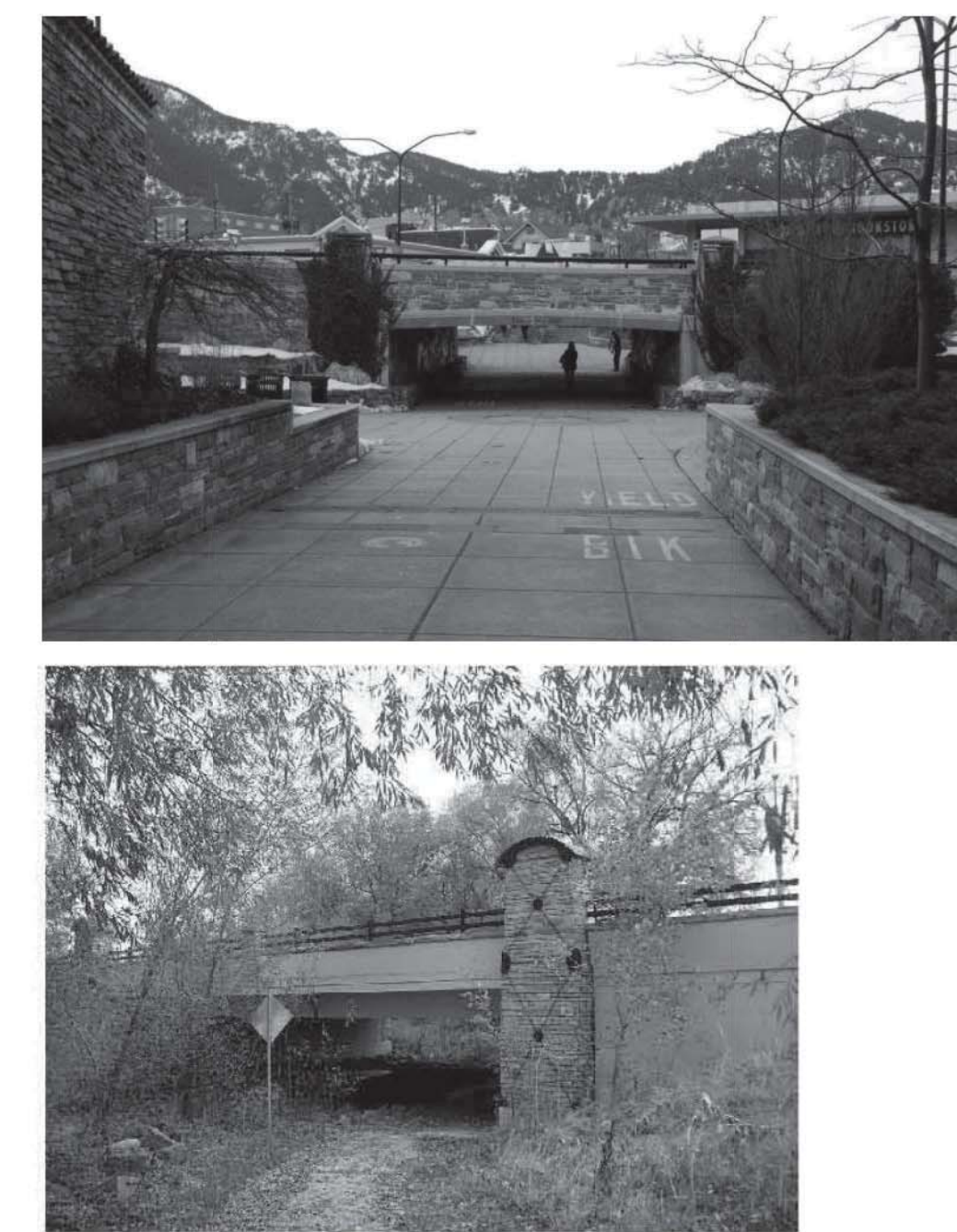
Freestanding Office Precedents



Civic Building Precedents



Residential Precedents



Underpass Precedents

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04.10.2018 TOWN BOARD APPROVAL
06.06.2018 FINAL SUBMISSION

SHEET TITLE:
**ARCHITECTURAL
PRECEDENTS
(CORE AREA)**

SCALE:
SHEET NUMBER
**A1.2 /
FIGURE G.2**



RESIDENTIAL ABOVE GROUND FLOOR "FLEX" RETAIL AT MAIN STREET

FREE STANDING
RETAIL/ FLEX SPACE
PAVILION

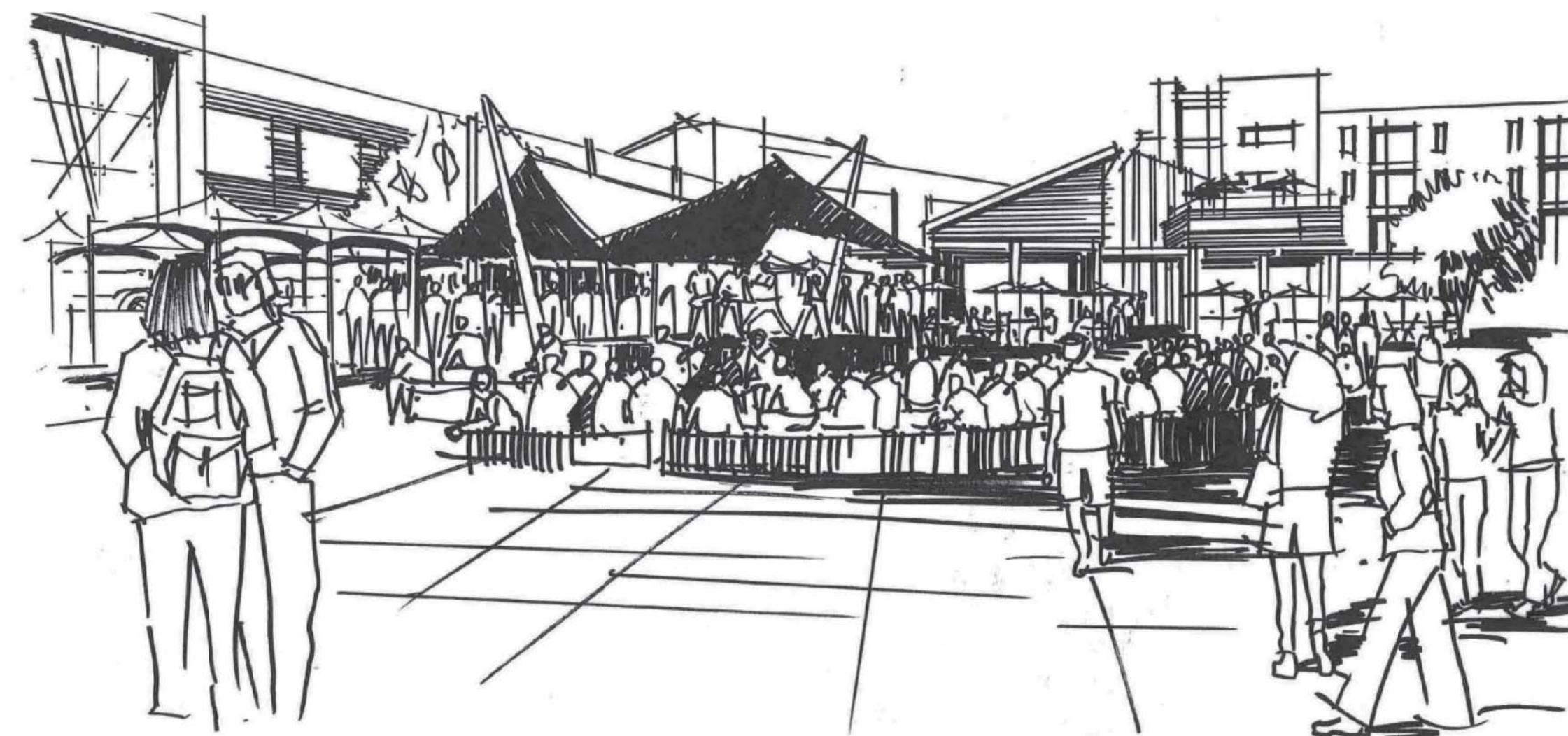


LOOKING WEST INTO TOWN SQUARE FROM MAIN STREET

FLAT UNITS
OVER FLEX SPACE
TYPE A

SECOND FLOOR
FLEX SPACE

GROUND FLOOR
RETAIL



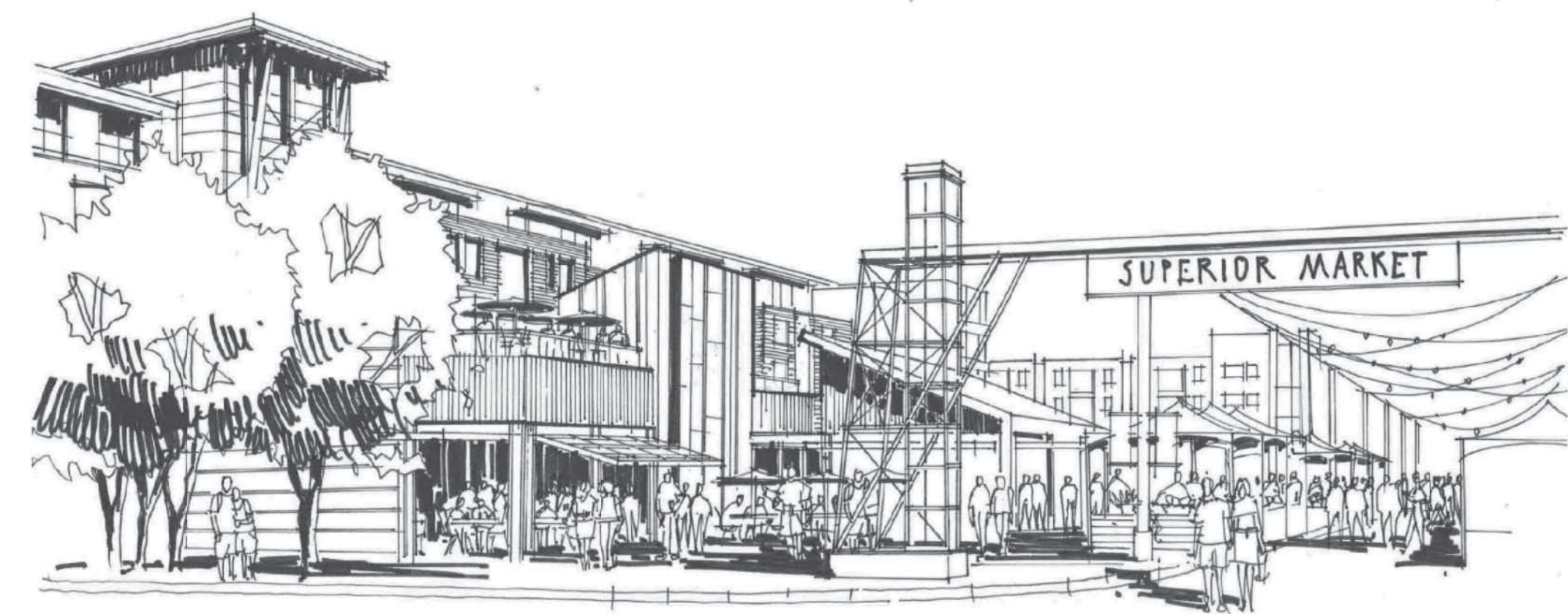
FLEXIBLE EVENT SPACE WITHIN TOWN SQUARE - SUMMER CONCERTS

MIXED USE BUILDING
COMMERCIAL/FLEX/
RESIDENTIAL
TYPE A & B

TYPE A FLATS
OVER CIVIC / FLEX SPACE



MAIN STREET CHARACTER ALONG TOWN SQUARE LOOKING WEST



FLEXIBLE EVENT SPACE ALONG MAIN STREET - FARMERS MARKET



RC SUPERIOR
12275 El Camino Real
Suite 100
San Diego, CA 92130

Vested Rights:
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NOTES:
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2. In the event of a conflict between the Design Guidelines Supplement and this plan sheet, this plan sheet shall control.

**SUPERIOR TOWN CENTER
PD AMENDMENT #4**

PROJ. NO.
DRAWN:
CHECKED:
APPROVED: APRIL 10 2018
DATE:
SUBMITTALS:
04.03.2018 PLANNING COMMISSION
04.10.2018 TOWN BOARD APPROVAL
06.06.2018 FINAL SUBMISSION

SHEET TITLE:
**ARCHITECTURAL
PRECEDENTS
(CORE AREA)**

SCALE:
SHEET NUMBER
**A1.3 /
FIGURE G.4**



CIVIC / COMMUNITY BUILDING CHARACTER STUDY
PLANNING AREA 1



HOTEL CHARACTER STUDY - LOOKING EAST ALONG MARSHALL ROAD
PLANNING AREA 1



RESIDENTIAL CHARACTER STUDY - LOOKING EAST ALONG COAL CREEK DRIVE TO STREET 3



LOOKING FROM RECREATIONAL FIELDS TO PEDESTRIAN PROMENADE
PLANNING AREA 1

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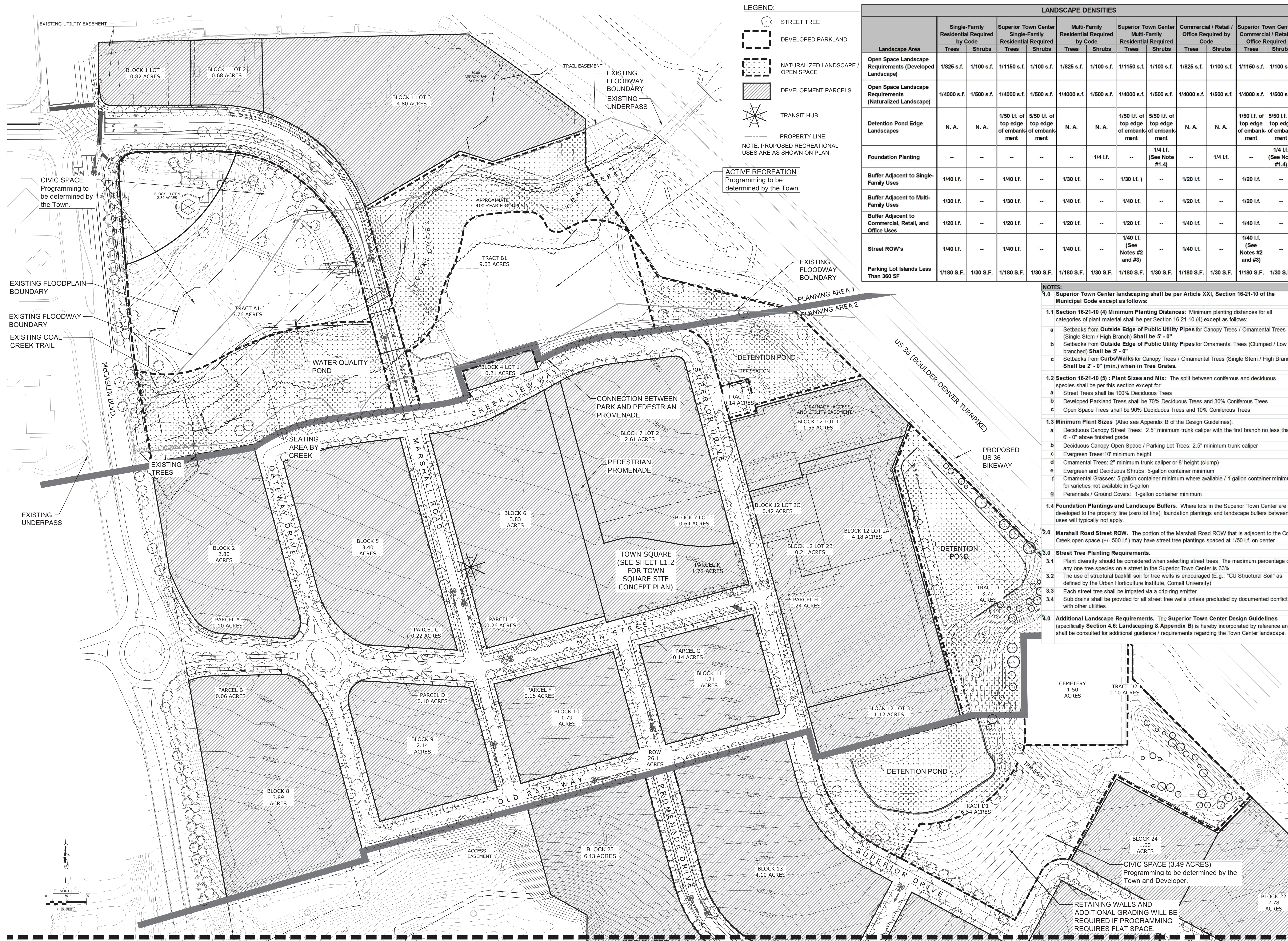
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**SUPERIOR TOWN CENTER
PD AMENDMENT #4**

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SUBMITTALS:
04.03.2018 PLANNING COMMISSION
04.10.2018 TOWN BOARD APPROVAL
06.06.2018 FINAL SUBMISSION

SHEET TITLE:
**ARCHITECTURAL
PRECEDENTS
(CORE & NORTH AREA)**

SCALE:
SHEET NUMBER
**A1.4 /
FIGURE G.5**



LEGEND:

- STREET TREE
- DEVELOPED PARKLAND
- NATURALIZED LANDSCAPE / OPEN SPACE
- DEVELOPMENT PARCELS
- TRANSIT HUB
- PROPERTY LINE

NOTE: PROPOSED RECREATIONAL USES ARE AS SHOWN ON PLAN.

Landscape Area	Single-Family Residential Required by Code		Superior Town Center Single-Family Residential Required		Multi-Family Residential Required by Code		Superior Town Center Multi-Family Residential Required		Commercial / Retail / Office Required by Code		Superior Town Center Commercial / Retail / Office Required	
	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs
Open Space Landscape Requirements (Developed Landscape)	1/825 s.f.	1/100 s.f.	1/1150 s.f.	1/100 s.f.	1/825 s.f.	1/100 s.f.	1/1150 s.f.	1/100 s.f.	1/825 s.f.	1/100 s.f.	1/1150 s.f.	1/100 s.f.
Open Space Landscape Requirements (Naturalized Landscape)	1/4000 s.f.	1/500 s.f.	1/4000 s.f.	1/500 s.f.	1/4000 s.f.	1/500 s.f.	1/4000 s.f.	1/500 s.f.	1/4000 s.f.	1/500 s.f.	1/4000 s.f.	1/500 s.f.
Detention Pond Edge Landscapes	N. A.	N. A.	1/50 l.f. of top edge of embankment	5/50 l.f. of top edge of embankment	N. A.	N. A.	1/50 l.f. of top edge of embankment	5/50 l.f. of top edge of embankment	N. A.	N. A.	1/50 l.f. of top edge of embankment	5/50 l.f. of top edge of embankment
Foundation Planting	--	--	--	--	--	1/4 l.f.	--	1/4 l.f. (See Note #1.4)	--	1/4 l.f.	--	1/4 l.f. (See Note #1.4)
Buffer Adjacent to Single-Family Uses	1/40 l.f.	--	1/40 l.f.	--	1/30 l.f.	--	1/30 l.f.	--	1/20 l.f.	--	1/20 l.f.	--
Buffer Adjacent to Multi-Family Uses	1/30 l.f.	--	1/30 l.f.	--	1/40 l.f.	--	1/40 l.f.	--	1/20 l.f.	--	1/20 l.f.	--
Buffer Adjacent to Commercial, Retail, and Office Uses	1/20 l.f.	--	1/20 l.f.	--	1/20 l.f.	--	1/20 l.f.	--	1/40 l.f.	--	1/40 l.f.	--
Street ROW's	1/40 l.f.	--	1/40 l.f.	--	1/40 l.f.	--	1/40 l.f. (See Notes #2 and #3)	--	1/40 l.f.	--	1/40 l.f. (See Notes #2 and #3)	--
Parking Lot Islands Less Than 360 SF	1/180 S.F.	1/30 S.F.	1/180 S.F.	1/30 S.F.	1/180 S.F.	1/30 S.F.	1/180 S.F.	1/30 S.F.	1/180 S.F.	1/30 S.F.	1/180 S.F.	1/30 S.F.

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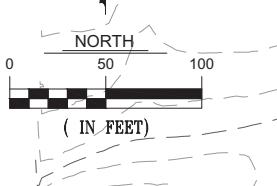
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SUPERIOR TOWN CENTER PD AMENDMENT #4

- 1.0 Superior Town Center landscaping shall be per Article XXI, Section 16-21-10 of the Municipal Code except as follows:**
- Section 16-21-10 (4) Minimum Planting Distances:** Minimum planting distances for all categories of plant material shall be per Section 16-21-10 (4) except as follows:
 - Setbacks from **Outside Edge of Public Utility Pipes for Canopy Trees / Ornamental Trees (Single Stem / High Branch) Shall be 5' - 0"**
 - Setbacks from **Outside Edge of Public Utility Pipes for Ornamental Trees (Clumped / Low branched) Shall be 5' - 0"**
 - Setbacks from **Curbs/Walks for Canopy Trees / Ornamental Trees (Single Stem / High Branch) Shall be 2' - 0" (min.) when in Tree Grates.**
 - Section 16-21-10 (5) : Plant Sizes and Mix:** The split between coniferous and deciduous species shall be per this section except for:
 - Street Trees shall be 100% Deciduous Trees
 - Developed Parkland Trees shall be 70% Deciduous Trees and 30% Coniferous Trees
 - Open Space Trees shall be 90% Deciduous Trees and 10% Coniferous Trees
 - Minimum Plant Sizes (Also see Appendix B of the Design Guidelines):**
 - Deciduous Canopy Street Trees: 2.5" minimum trunk caliper with the first branch no less than 6' - 0" above finished grade.
 - Deciduous Canopy Open Space / Parking Lot Trees: 2.5" minimum trunk caliper
 - Evergreen Trees: 10' minimum height
 - Ornamental Trees: 2" minimum trunk caliper or 8' height (clump)
 - Evergreen and Deciduous Shrubs: 5-gallon container minimum
 - Ornamental Grasses: 5-gallon container minimum where available / 1-gallon container minimum for varieties not available in 5-gallon
 - Perennials / Ground Covers: 1-gallon container minimum
 - Foundation Plantings and Landscape Buffers.** Where lots in the Superior Town Center are developed to the property line (zero lot line), foundation plantings and landscape buffers between uses will typically not apply.
- 2.0 Marshall Road Street ROW.** The portion of the Marshall Road ROW that is adjacent to the Coal Creek open space (+/- 500 l.f.) may have street tree plantings spaced at 1/50 l.f. on center
- 3.0 Street Tree Planting Requirements.**
- Plant diversity should be considered when selecting street trees. The maximum percentage of any one tree species on a street in the Superior Town Center is 33%
 - The use of structural backfill soil for tree wells is encouraged (E.g.: "CU Structural Soil" as defined by the Urban Horticulture Institute, Cornell University)
 - Each street tree shall be irrigated via a drip-ring emitter
 - Sub drains shall be provided for all street tree wells unless precluded by documented conflicts with other utilities.
- 4.0 Additional Landscape Requirements.** The Superior Town Center Design Guidelines (specifically Section 4.6: Landscaping & Appendix B) is hereby incorporated by reference and shall be consulted for additional guidance / requirements regarding the Town Center landscape.

PROJ. NO.
 DRAWN:
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 04.03.2018 PLANNING COMMISSION
 04.10.2018 TOWN BOARD APPROVAL
 06.06.2018 FINAL SUBMISSION

SHEET TITLE:
 PRELIMINARY
 MASTER
 LANDSCAPING
 PLAN / OPEN
 SPACE & PARKS
 PLAN (NORTH)
 SCALE: 1" = 100'-0"
 SHEET NUMBER
 L1.0 /
 FIGURE E.1



SEE SHEET L1.1

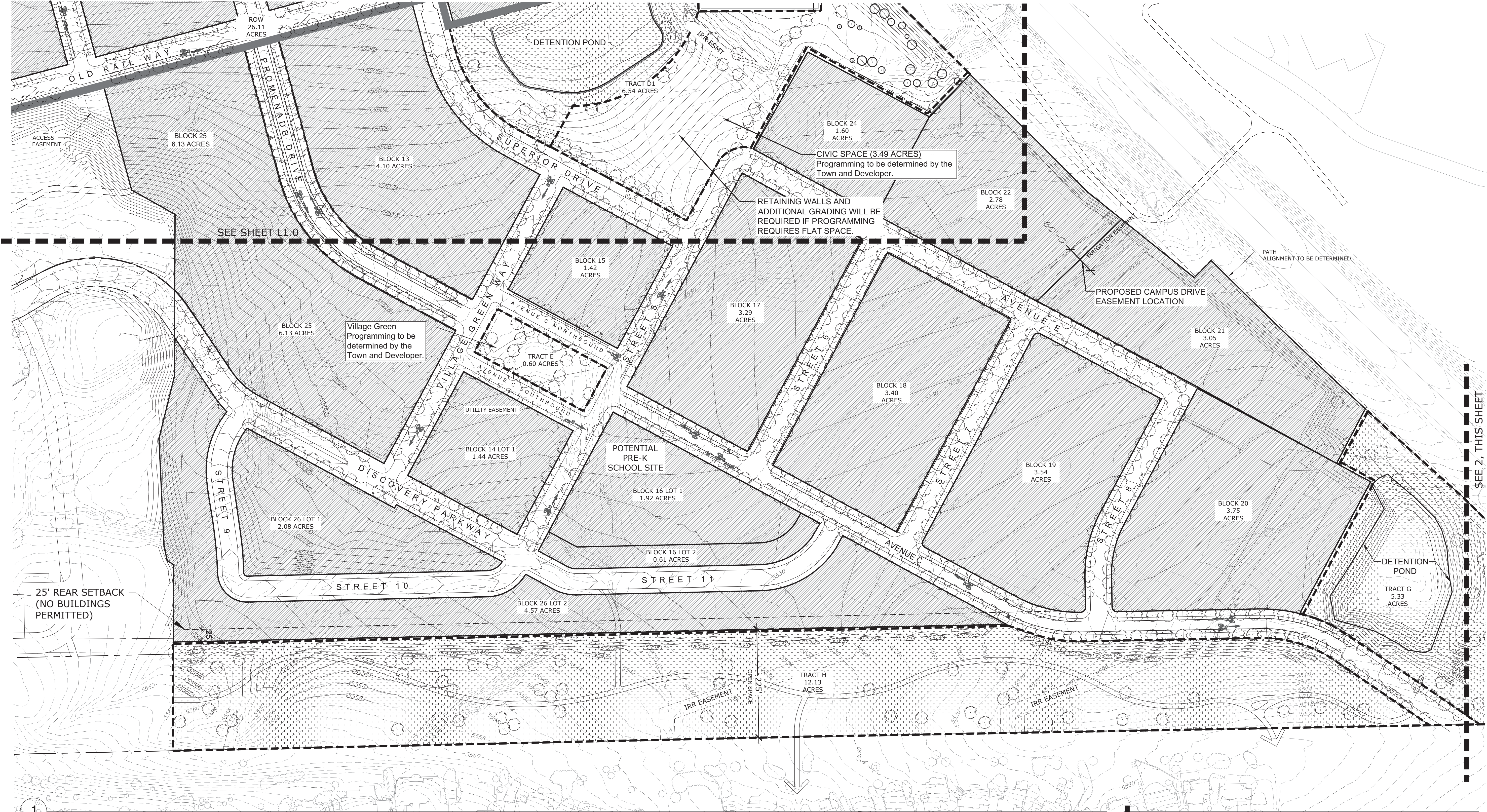
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**SUPERIOR TOWN CENTER
PD AMENDMENT #4**

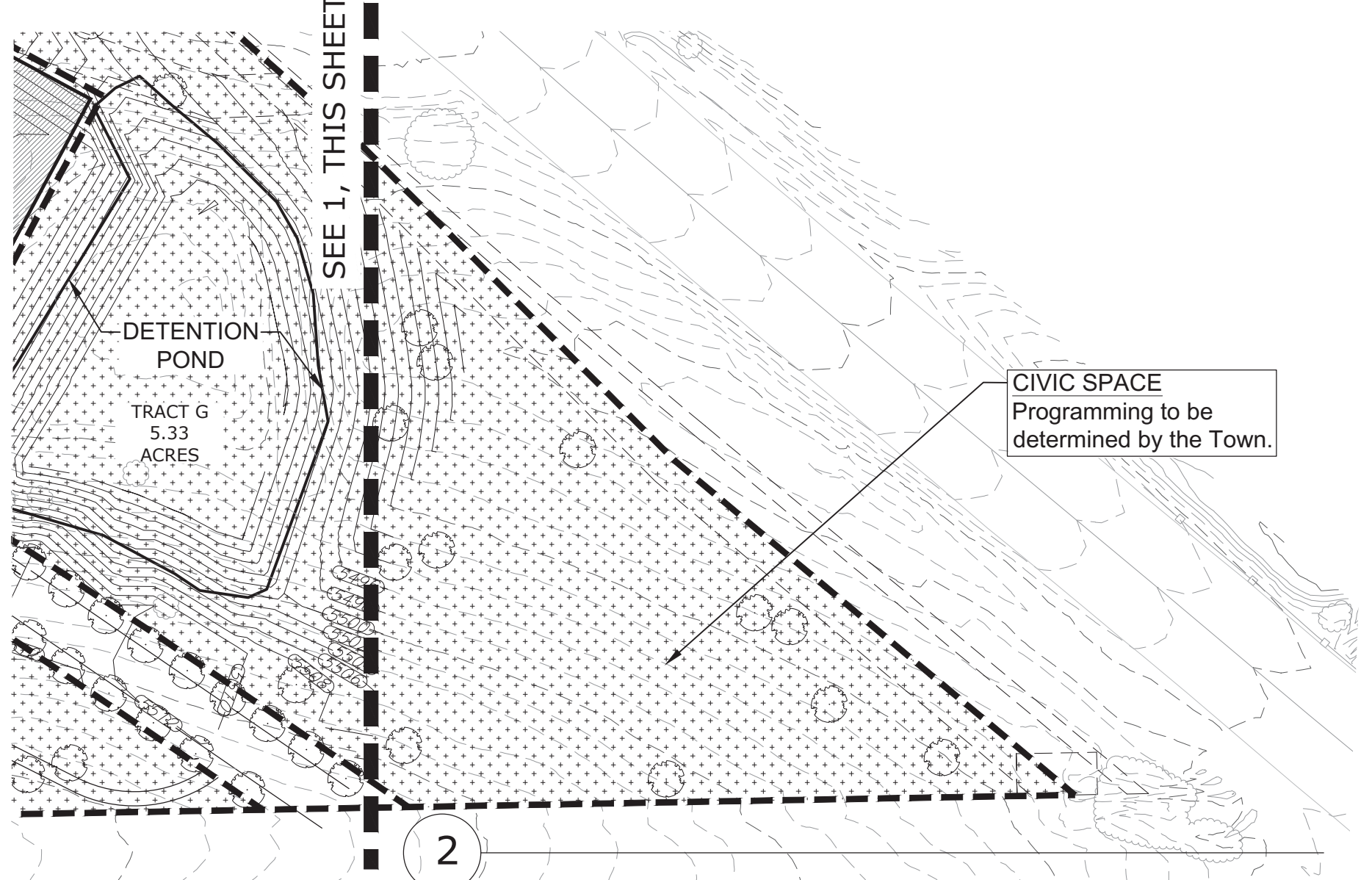
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SHEET TITLE:
**PRELIMINARY
MASTER
LANDSCAPING
PLAN / OPEN
SPACE & PARKS
PLAN (SOUTH)**
SCALE: 1" = 100'-0"
SHEET NUMBER
**L1.1 /
FIGURE E.2**



ESTIMATED OPEN SPACE IRRIGATION WATER DEMAND				
Landscape Type	Quantity	Unit	Gallons Per Unit / Year by Landscape Type	Irrigation Water Demand Per Year by Type (Gallons)
Developed Landscapes				
-- Developed Parkland	14.06	Acres	780,590	10,975,095
-- Town Square Plaza/Promenade (Assumes 15% in Irrigated Tree wells, Shrub Beds, and Planters)	1	Total Landscape	7,710	7,710
-- Street Trees in Tree Grates (Based on +/- 48 SF Tree Well)	475	EA	900	427,500
-- ROW Tree Lawns and Medians (Includes 850 Street Trees Located in Tree Lawns)	4.55	Acres	814,600	3,708,786
Naturalized Landscapes / Open Space	27.07	Acres	450,841	12,204,266
TOTAL ESTIMATED OPEN SPACE IRRIGATION WATER DEMAND				27,698,041

- LEGEND:**
- STREET TREE
 - DEVELOPED PARKLAND
 - NATURALIZED LANDSCAPE / OPEN SPACE
 - DEVELOPMENT PARCELS
 - PROPERTY LINE
- NOTE: PROPOSED RECREATIONAL USES ARE AS SHOWN ON PLAN.



1

2

