

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AMENDMENT FOR SUPERIOR MEDICAL OFFICE BUILDING

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.
North & East Parking Gage Building Elevations

VESTING RIGHTS:

THIS PLAN CONSTITUTES AS SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq. C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE. AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON _____ DAY OF _____, 20__.

Civil Engineer:
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Civil Engineering, Structural Engineering
Land Planning, Construction Management

Applicant:
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a Delaware Limited Liability Company
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San Diego, CA 92121

Property Owner:
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Prepared For:
DSP Builders, Inc.

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Revisions:

No.	Date	Description
1	07/27/16	Date of Preparation
2	07/27/16	1st Submittal Comments
3	04/29/16	2nd Submittal Comments
4	05/10/16	3rd Submittal Comments
5	05/25/16	PC Resolution Comments
6	06/30/16	Rev. Clerk Certificate
7	07/27/16	Rev. Per Staff Comments
8	10/08/18	Rev. Per Staff Comments

Project Title:

**SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT PLAN
FOR SUPERIOR
MEDICAL OFFICE
BUILDING**

SHEET DATA:

H. SCALE: 1/8"=1'-0"
V. SCALE: N/A
DRN. BY: ADB
DSN. BY: ADB
CHK. BY: SFW

Date **07/27/16**

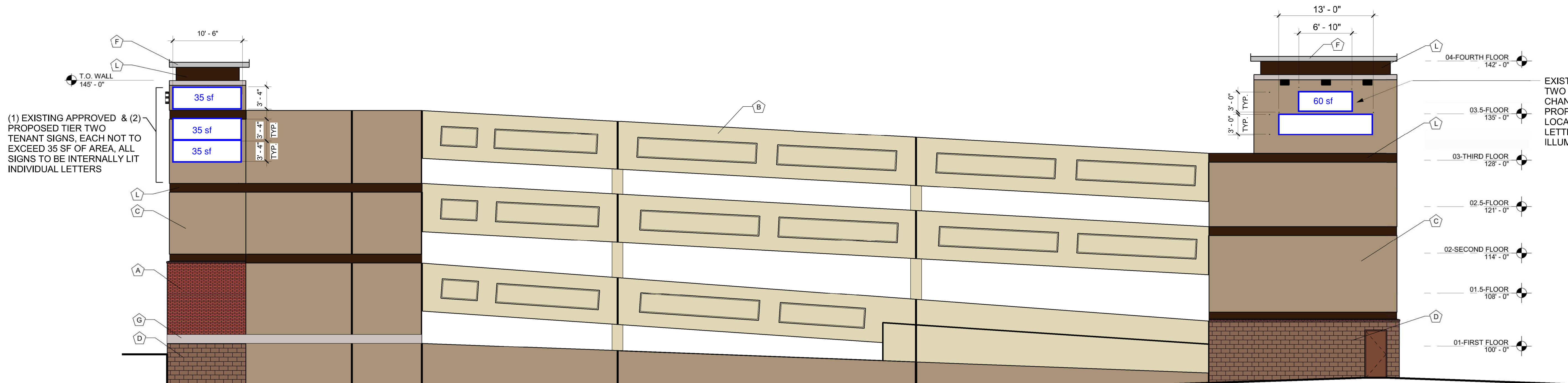
Sheet Title:

**NORTH & EAST
GARAGE ELEVATIONS**

Sheet No.

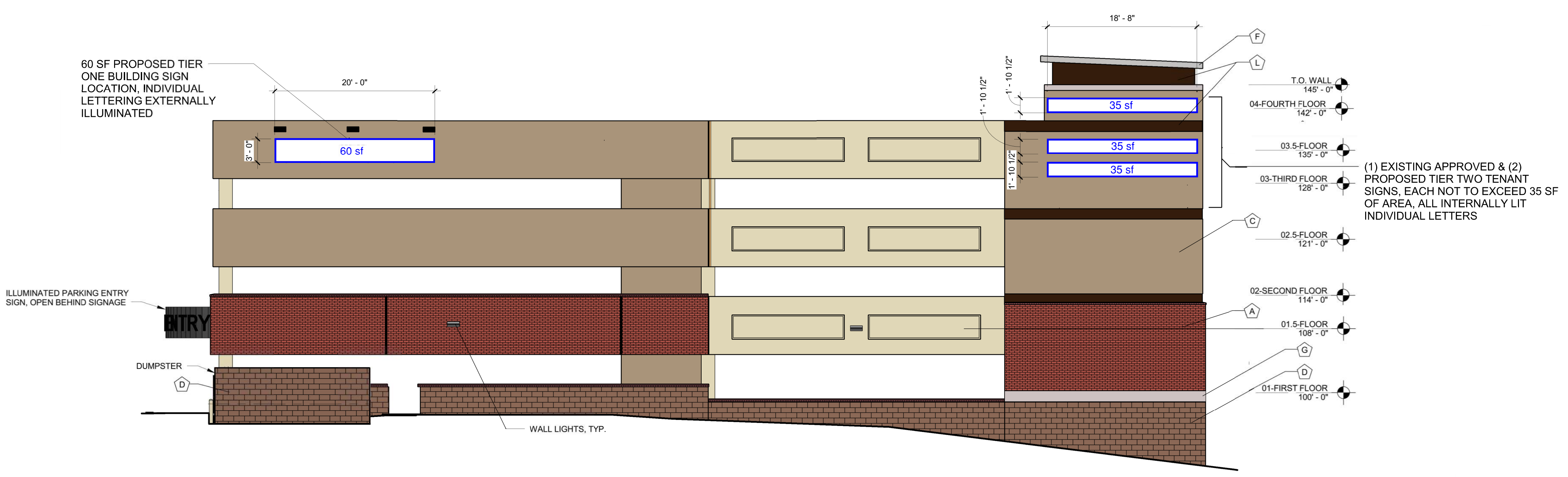
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Project No. WB0661-2



NORTH GARAGE ELEVATION

SCALE: 1/8" = 1'-0"



EAST GARAGE ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND				
SYM.	PATTERN	DESCRIPTION	MANUFACTURER / COLOR	FACADE AREA %
A	[Brick Pattern]	BRICK	LAKEWOOD BRICK - RED GRAIN	10.3%
B	[Paint Pattern]	PAINT 1 MATCHING EIFS - 1	DRYVIT - #108 MANOR WHITE	81.2%
C	[Paint Pattern]	PAINT 2 MATCHING EIFS - 2	DRYVIT - #381 MONASTERY BROWN	
D	[CMU Block Pattern]	CMU BLOCK SPLIT FACE	BORAL BEST BLOCK - PADRE REDSTONE SPLIT FACE	7.3%
E	[Brake Metal Pattern]	BRAKE METAL CLADDING	CLEAR ANODIZED	.3%
G	[Precast Concrete Pattern]	PRECAST CONCRETE FINISH	LIGHT GRAY	.3%
L	[Brake Metal Pattern]	BRAKE METAL CLADDING	MATCH DARK BRONZE STOREFRONT COLOR	.6%

Notes:

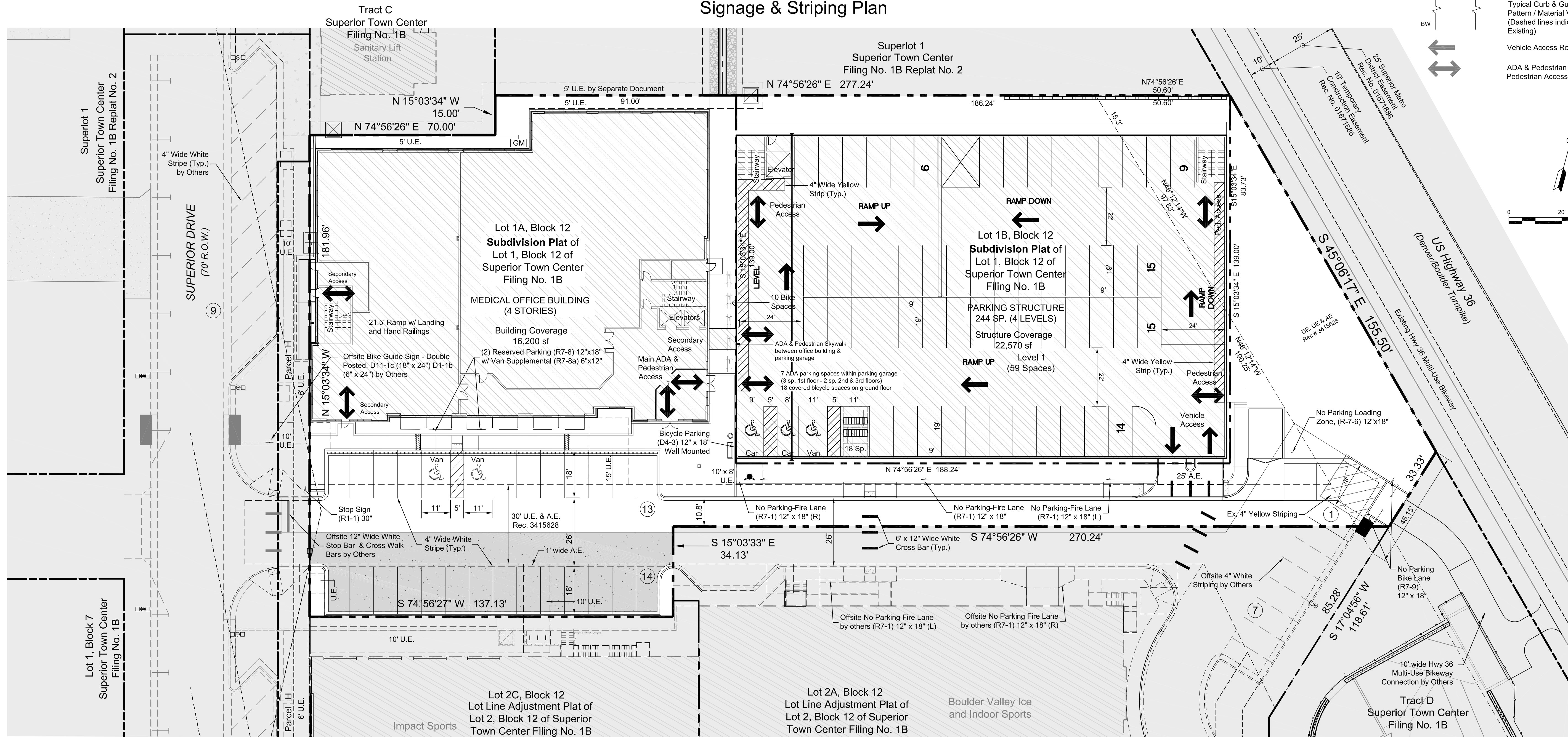
- All signs will require a Town of Superior sign permit prior to being constructed and must comply with all applicable requirements of Section 11 of the Superior Town Center Design Guidelines.
- Signs will be complimentary to the architecture of the building. Cabinet signs will not be permitted.
- All requested illuminated signs subject to this application shall turn on no earlier than dusk and shall turn off thirty minutes after close of individual business.

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Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.

Signage & Striping Plan



Line Type Legend

Line Type	Description
---	Boundary Line
- - -	Property Line
- · - · -	Easement Line
FL	Typical Curb & Gutter, Pattern / Material Varies. (Dashed lines indicate Existing)
BW	Vehicle Access Route
↔	ADA & Pedestrian or Pedestrian Access Route

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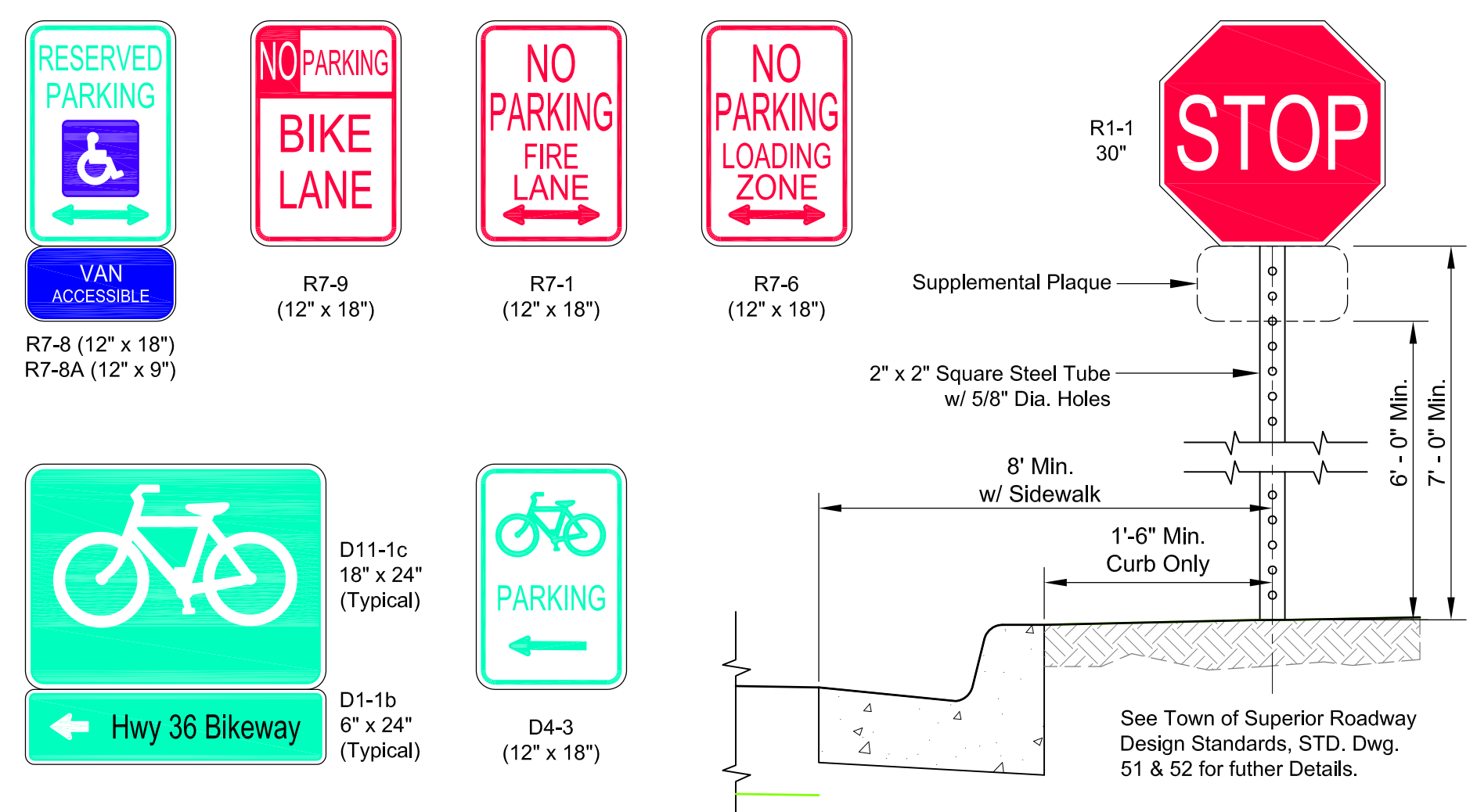
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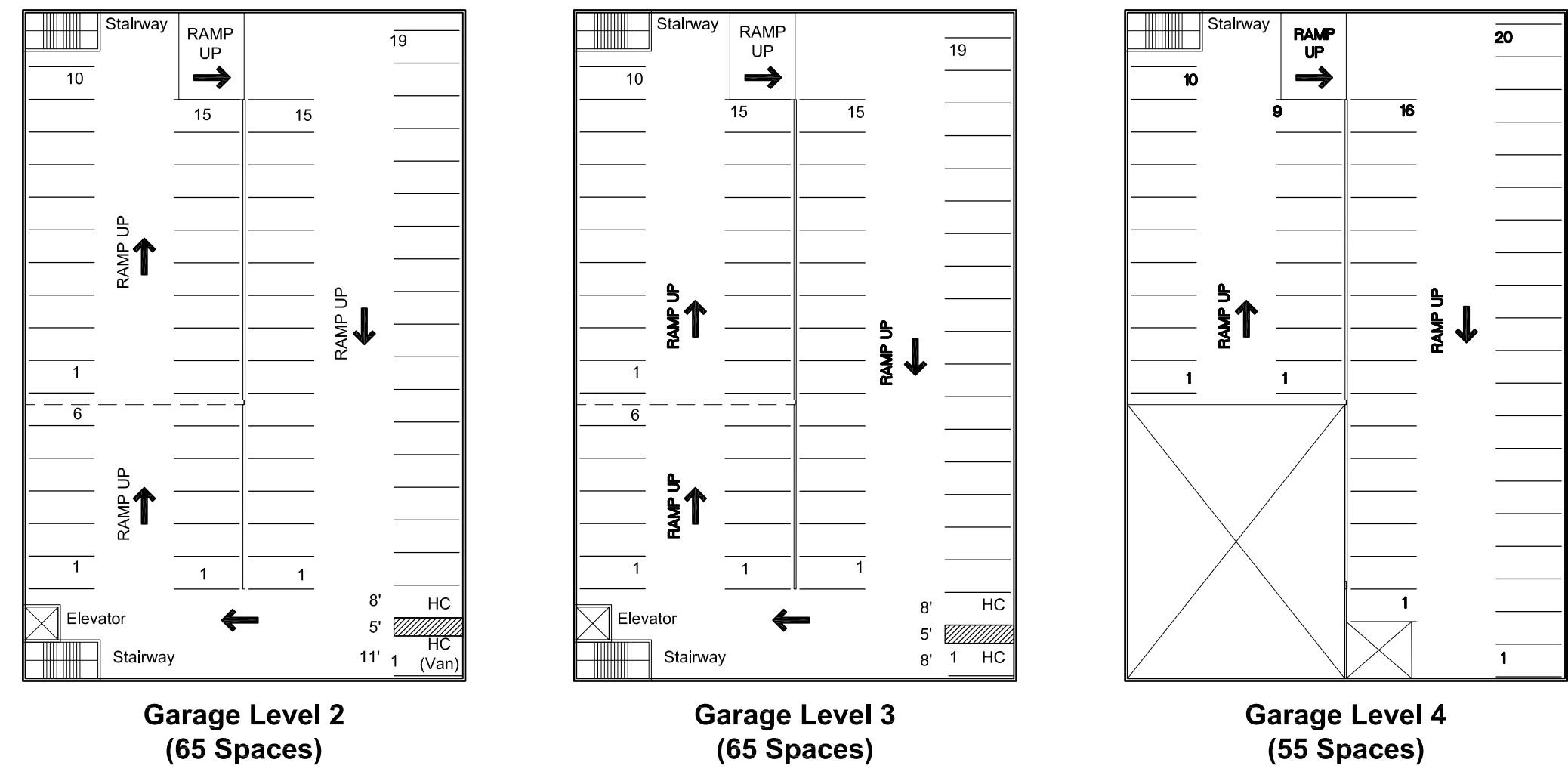
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Regulatory & Destination Signage Details



Garage Level 2, 3 and 4 Floor Plans



Signage & Striping Notes:

- All signs and other traffic control devices shall be installed in accordance with the most current edition of The Manual on Uniform Traffic Control Devices (MUTCD).
- Parking lot pavement markings shall be White - 4" wide Stripes. Stop Bars shall be White and a minimum of 12" wide.
- Signs shall be mounted on 2.25" x 2.25" square galvanized steel tubing with all four sides punched with 3/8" holes at 1" centers and installed with a 2.25" x 3 feet four punch tubing driven into the ground flush to within 1" of ground level. Aluminum blanks of 0.080 gauge is standard.
- The height to bottom of the sign assembly shall be at least 8 feet above the adjacent roadway crown elevation. Post caps and crosses shall have five-inch by one-fourth inch slots for plates.
- All ADA Parking dimensions shall conform to the 2010 ADA Standards, Chapter 5, Sections 502.2 & 502.3. Minimum Car Width 96" w/ 60" aisle, Minimum Van Width 132" w/ 60" aisle.

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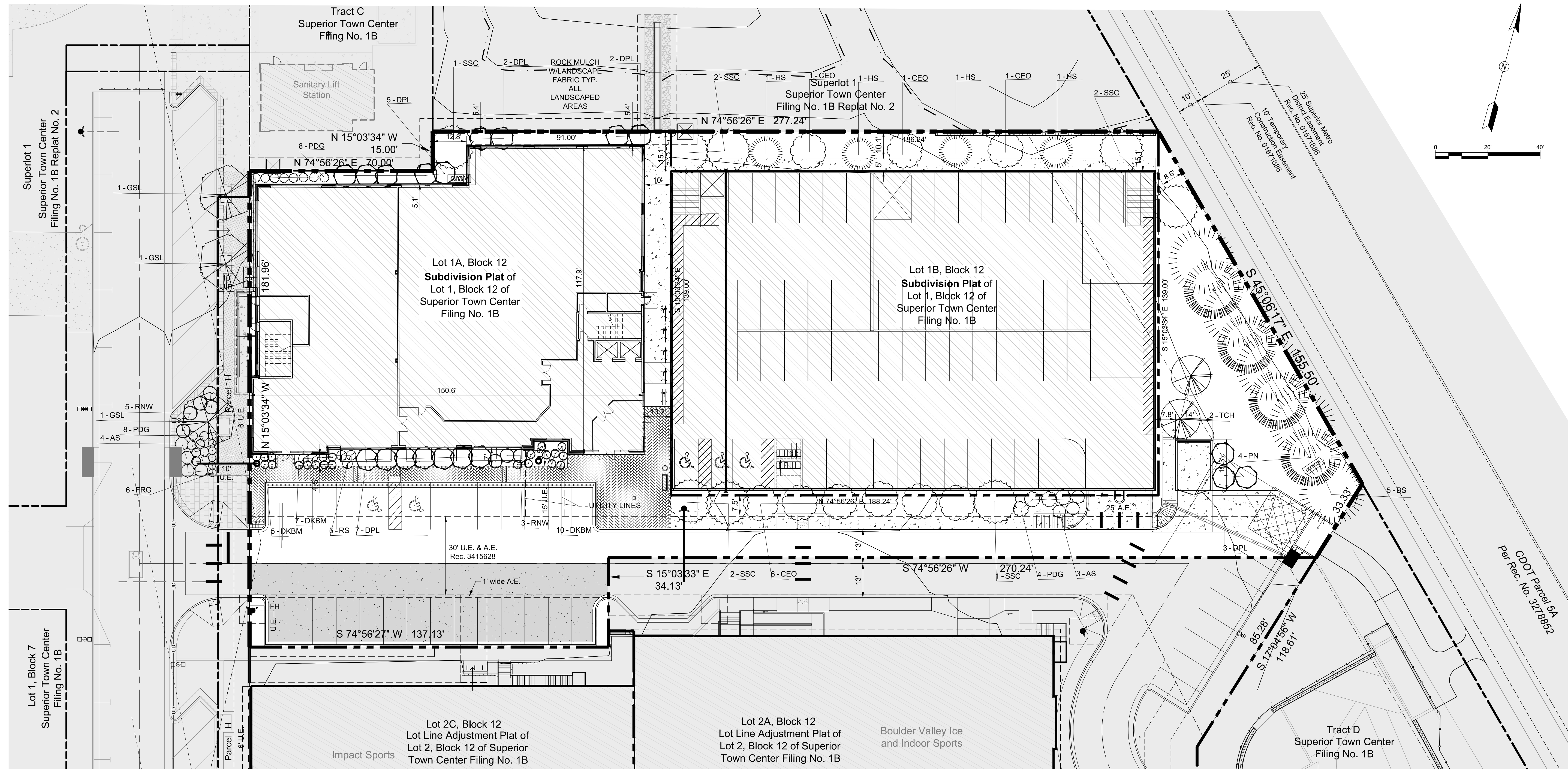
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SIGNAGE & STRIPING PLAN

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Landscape Plan



Easement Abbreviations

D.A.U.E.	Drainage, Access & Utility Easement
A.E.	Access Easement
D.E.	Drainage Easement
U.E.	Utility Easement
P.U.E.	Private Utility Easement

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Sheet Title:
LANDSCAPE PLAN

Sheet No.: 11 of 17

Project No.: WB0661-2

Line Type Legend

Line Type	Description
	Existing / Interim Grading Contour - Anticipated Grade at Time of Lot Delivery to Builder
	Proposed Grading Contour
	Property Line
	Center Line
	Easement Line
	Detention 100 yr WSEL
	Typical Curb & Gutter, Pattern / Material Varies. (Dashed lines indicate Existing)

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Landscape Schedules

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LANDSCAPE AREA	SUPERIOR TOWN CENTER COMMERCIAL/RETAIL OFFICE - REQUIRED		SUPERIOR TOWN CENTER COMMERCIAL/RETAIL OFFICE - PROVIDED		
	TREES	SHRUBS	S.F. OR L.F.	TREES	SHRUBS
OPEN SPACE LANDSCAPE REQUIREMENTS (DEVELOPED LANDSCAPE)	1/1150 S.F. 12,493 S.F./ 1150=11	1/100 S.F. 12,493 S.F./ 100=125	12,493 S.F.	35 PROVIDED	88 PROVIDED
OPEN SPACE LANDSCAPE REQUIREMENTS (NATURALIZED LANDSCAPE)	1/4000 S.F.	1/500 S.F.	NOT REQ'D OR PROVIDED	-	-
DETENTION POND EDGE LANDSCAPES	1/50 L.F. OF TOP EDGE OF EMBANKMENT	5/50 L.F. OF TOP EDGE OF EMBANKMENT	-	-	-
FOUNDATION PLANTINGS	-	1/4 L.F. 539 + 614/ 4 = 288	1,153 L.F.	-	88 PROVIDED
BUFFER ADJACENT TO SINGLE FAMILY USES	1/20 L.F.	-	-	N/A	-
BUFFER ADJACENT TO MULTI-FAMILY USES	1/20 L.F.	-	-	N/A	-
BUFFER ADJACENT TO COMMERCIAL, RETAIL, AND OFFICE USES	1/40 L.F.	-	-	N/A	-
STREET ROW'S	1/40 L.F. 182/40=5	-	182 L.F.	3 PROVIDED	-
PARKING LOT ISLANDS LESS THAN 360 SF	1/180 S.F. 441/180=3 REQUIRED	-	441 S.F.	1 PROVIDED	-

PLANTING NOTES

- ALL SHRUB BED AREAS SHALL BE EDGED WITH 1/8"x4" INTERLOCKING ROLLED-TOP TUPE STEEL EDGING SET LEVEL WITH TOP OF SOD. ALL EDGING SHALL BE FASTENED WITH A MINIMUM OF 4 PINS/10FT SECTION.
- ALL SHRUB BED AREAS SHALL BE MULCHED WITH 3-6" RIVER ROCK TO A MINIMUM DEPTH OF 3-INCHES.
- ALL TREES PLANTED IN LAWN AREAS SHALL HAVE A 6-FOOT DIAMETER MULCH RING. MULCH SHALL CONSIST OF A 4-INCH DEPTH OF ASPEN MULCH OR EQUAL.
- ALL PLANTING PITS SHALL BE 2 TIMES THE WIDTH OF THE PLANT ROOT BALL WITH SCARIFIED WALLS. THE BACKFILL SOIL SHALL CONSIST OF A MINIMUM OF 1/3 PEAT MOSS OR OTHER ORGANIC MATTER HOMOGENEOUSLY MIXED INTO BACKFILL ALONG WITH OSMOCOTE 14-14-14 FERTILIZER AT A RATE PER MANUFACTURER'S RECOMMENDATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE DESIGNER.
- ALL TREES SHALL BE STAKED WITH NEW 6-FT GREEN STEEL "T" POSTS AND GUYED WITH #12 GALVANIZED WIRE THROUGH CANVAS TREE STRAPS FOR A MINIMUM OF 1 YEAR. THE CONTRACTOR MAY SUBSTITUTE "T" POSTS WITH "DUCK BILL" GUYING SYSTEM. ALL GUY WIRES SHALL BE FLAGGED WITH FLORESCENT TAPE 12-18 INCHES LONG FOR SAFETY.
- ALL TREES, SHRUBS, PERENNIALS, SOD, AND/OR SEED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12 MONTH PERIOD AFTER FINAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12 MONTHS. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR. ALL CONTROLLERS FOR IRRIGATION SYSTEMS SHALL BE CONNECTED TO AUTOMATIC SHUTOFF RAIN SENSORS.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK FOR NUMBER ONE GRADE".
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL AT A MINIMUM, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE HANDBOOK FOR LANDSCAPE CONTRACTORS PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
- THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR DELAYS, PERSONAL INJURIES, PLANT MORTALITY, OR PROPERTY DAMAGE RESULTING FROM OR ASSOCIATED WITH THE IMPLEMENTATION OF THIS PLAN.
- THE ENTIRE LANDSCAPED AREA IS IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM. CARE SHOULD BE TAKEN TO NOT CUT EXISTING UTILITY LINES. REPAIR AS NECESSARY.
- MINIMUM BRANCH HEIGHT OF DECIDUOUS TREES AT INSTALLATION SHALL BE 6'

PLANTING SCHEDULE:

Symbol	Key	Scientific Name	Common Name	Size	Quantity	
	GSL	Tilia cordata 'Greenspire'	Greenspire Linden	2.5'-Cal	3	
	CEO	Quercus Robur Fastigiata	Columnar English Oak	2.5'-Cal	9	
ORNAMENTAL TREES						
	TCH	Crataegus crusgalli 'Inermis'	Thornless Cockspur Hawthorn	2'-Cal	2	
	SSC	Malus 'Spring Snow'	Spring Snow Crabapple	2'-Cal	8	
CONIFEROUS TREES						
	PN	Pinus Nigra	Austrian Pine	10 feet	4	
	BS	Picea pungens	Colorado Blue Spruce	10 feet	5	
	HS	Picea pungens 'Hoopsii'	Hoopsii Spruce	10 feet	4	
					TOTAL	35
DECIDUOUS SHRUBS						
	DKBM	Corydalis x clandonensis 'Dark Knight'	Dark Knight Blue Mist Spirea	5-Gal	22	
	RS	Perovskia atriplicifolia	Russian Sage	5-Gal	5	
	RNW	Rosa x Meiland Scarlet	Meiland Scarlet Shrub Rose	5-Gal	8	
	DPL	Syringa vulgaris 'Ludwig Spoeth'	Dark Purple Lilac	5-Gal	19	
DECIDUOUS SHADE SHRUBS						
	GDP	Potentilla 'Gold Drop'	Potentilla fruticosa 'Gold Drop'	5-Gal	20	
CONIFEROUS SHRUBS						
	AS	Juniperus sabinia 'Scandia'	Juniper Scandia	5-Gal	8	
					TOTAL	82
ORNAMENTAL GRASSES						
	FRG	Calamagrostis acutiflora 'Karl Foerster's'	Feather Reed Grass 'Karl Foerster's'	1-Gal	6	
					TOTAL	6

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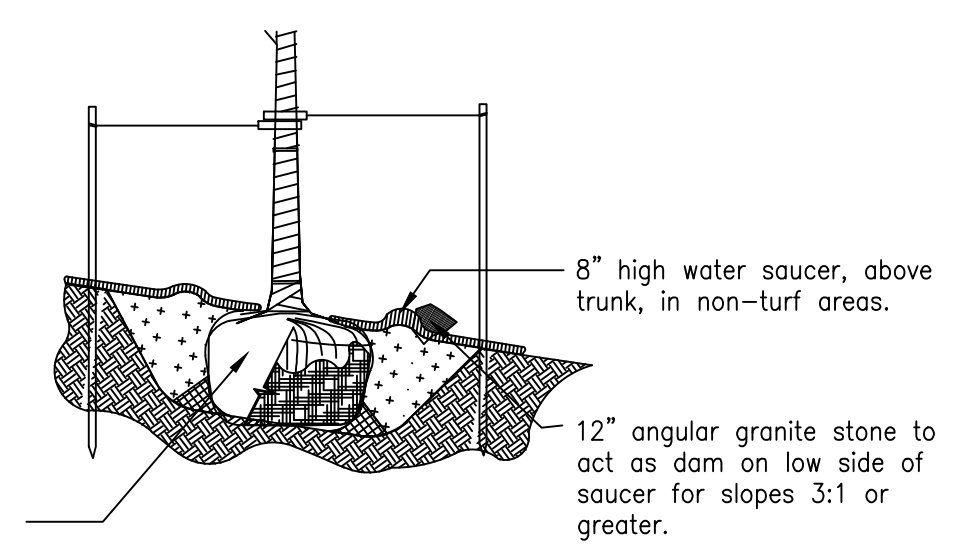
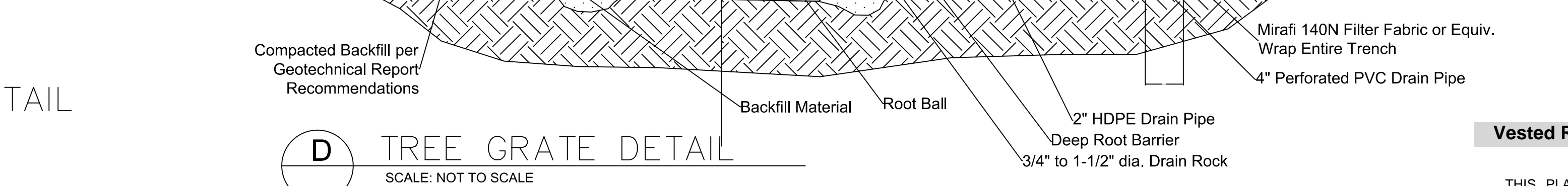
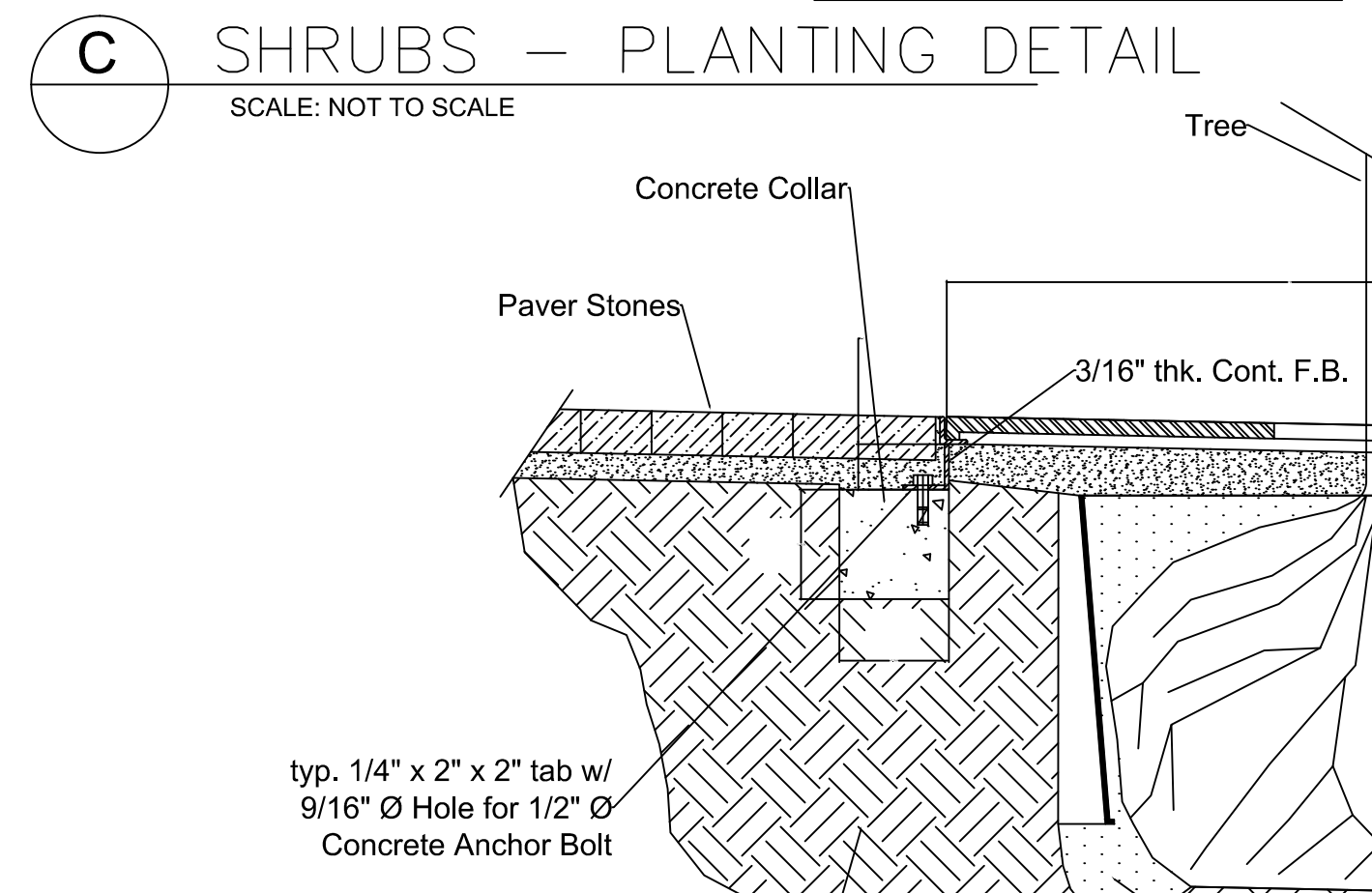
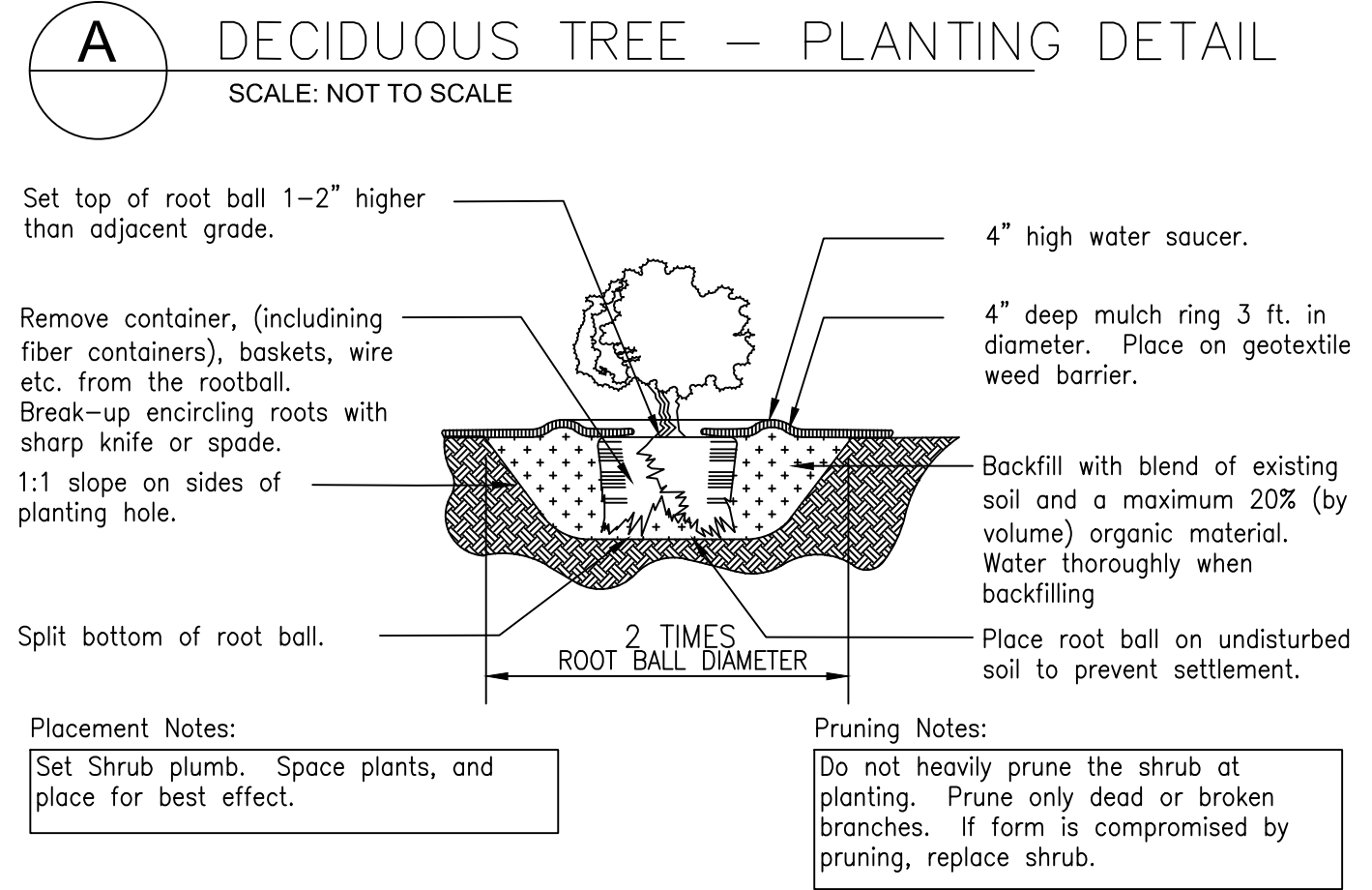
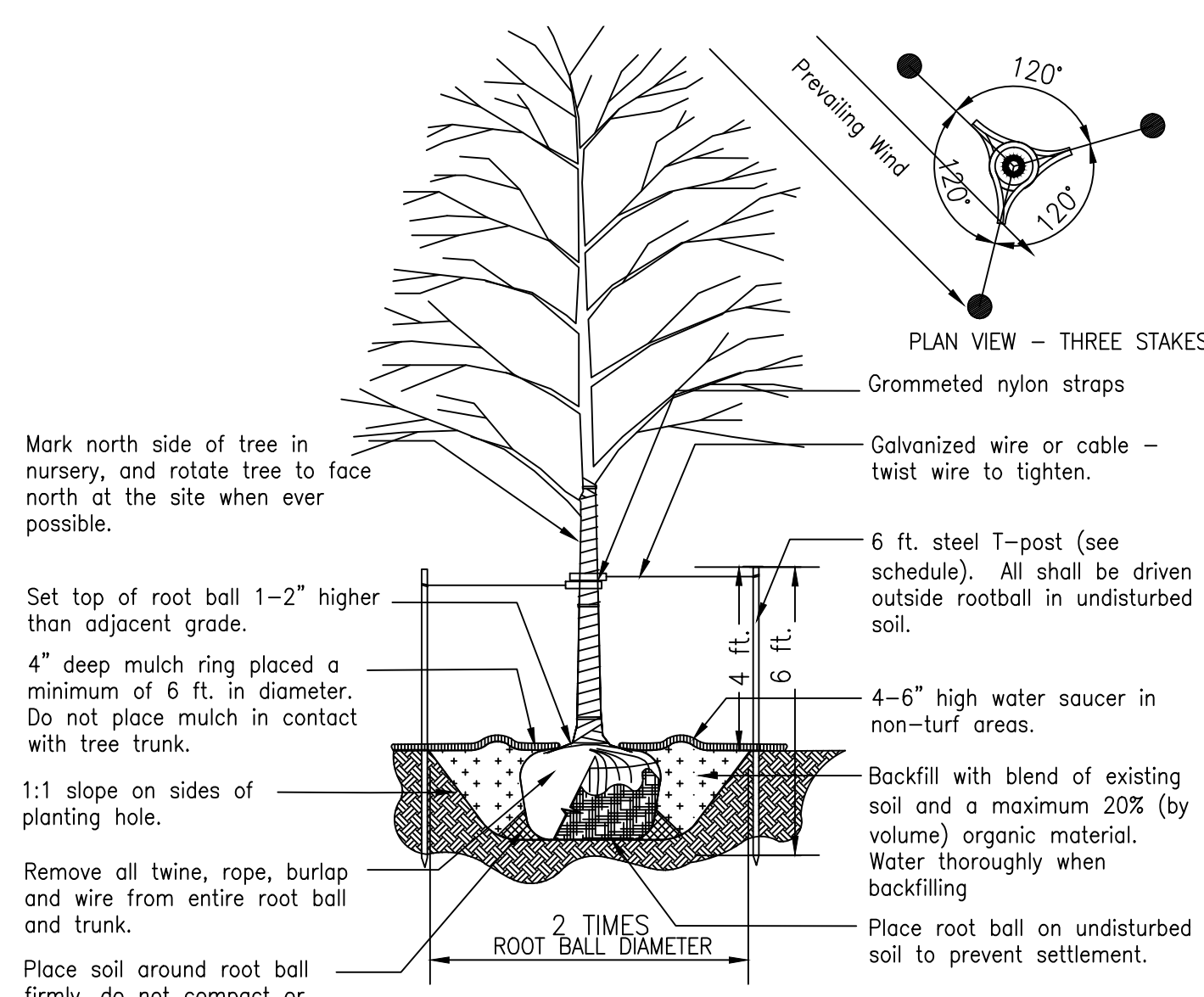


Diagram E: DECIDUOUS TREE - SLOPED WATER SAUCER
SCALE: NOT TO SCALE

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Diagram B: EVERGREEN TREE - PLANTING DETAIL
SCALE: NOT TO SCALE

Pruning Notes:
Do not heavily prune the tree at planting. Prune only crossover limbs, co-dominant leaders and broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of buds of branches that extend to the edge of the crown.

Staking Notes:
Stake trees per following schedule, then remove at end of first growing season, follows:
1-1/2" Caliper size - Min. 1 stake on side of prevailing wind (generally N.W. side).
1-1/2" - 3" Caliper size - Min. 2 stakes - one on N.W. side, one on S.W. side.
3" caliper size and larger - 3 stakes per diagram
Wire or cable shall be min. 12 gauge. Tighten wire or cable only enough to keep from slipping. Allow for some trunk movement. Nylon straps shall be long enough to accommodate 1-1/2" of growth and buffer all branches from wire.

Diagram A: DECIDUOUS TREE - PLANTING DETAIL
SCALE: NOT TO SCALE

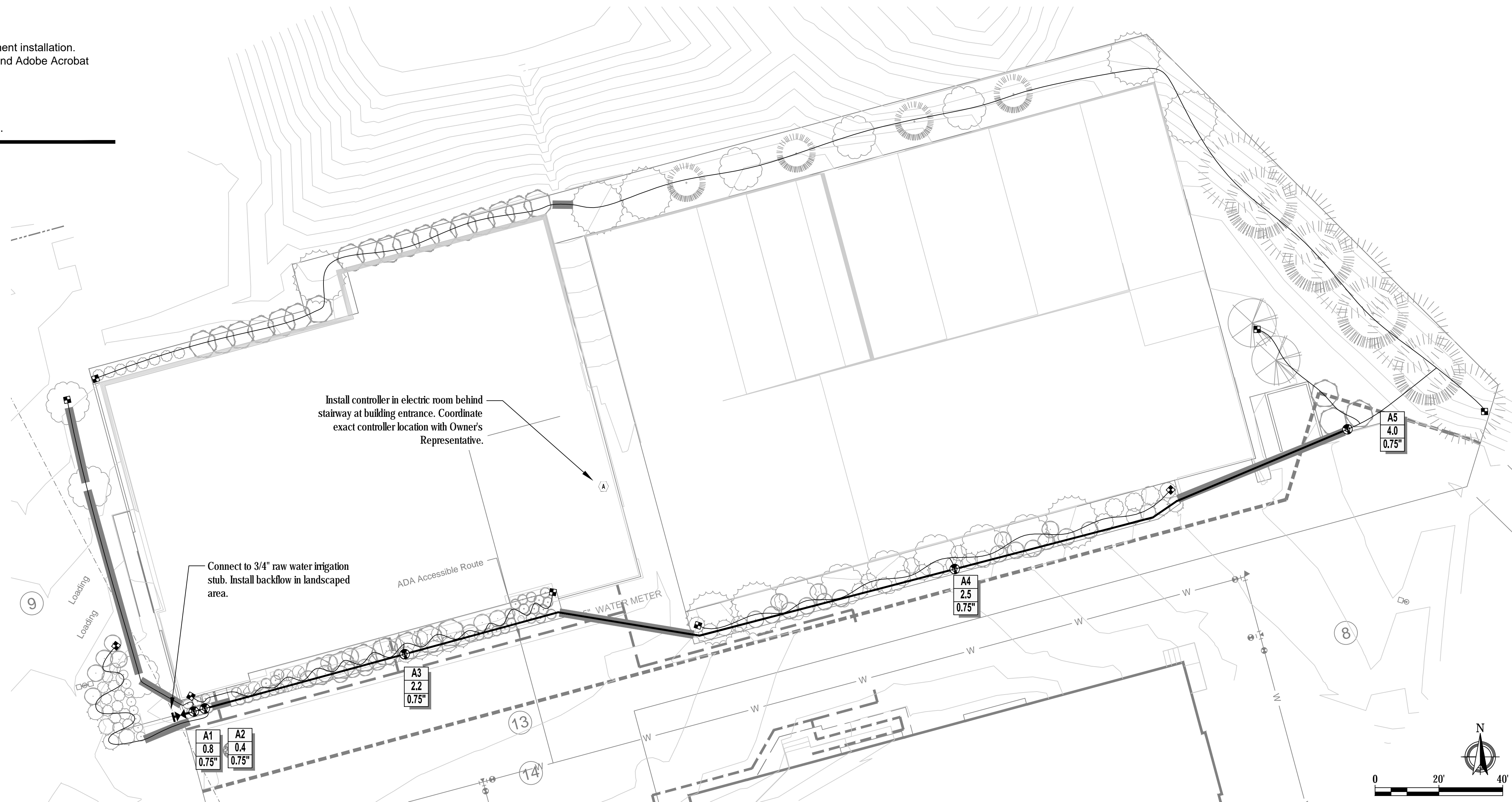
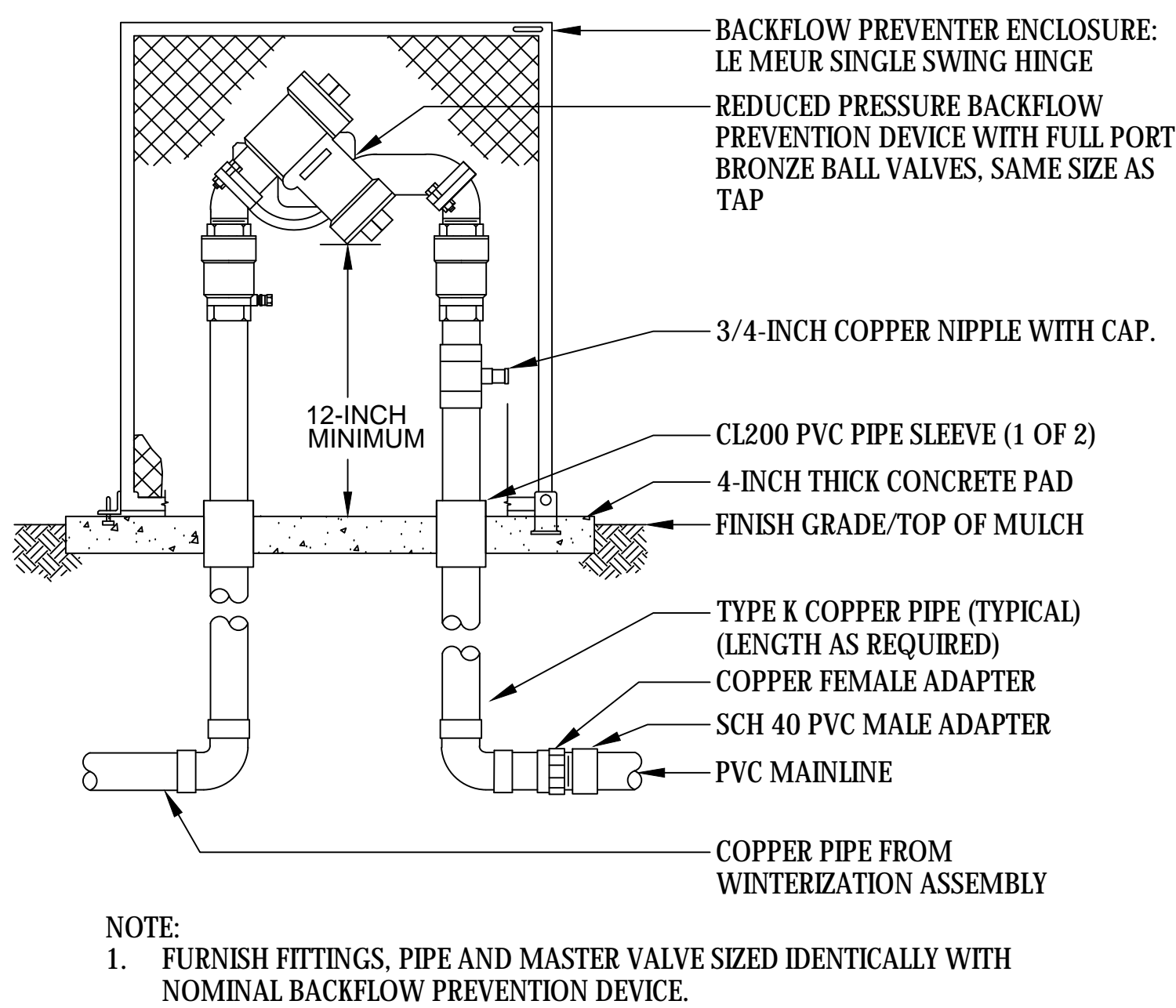
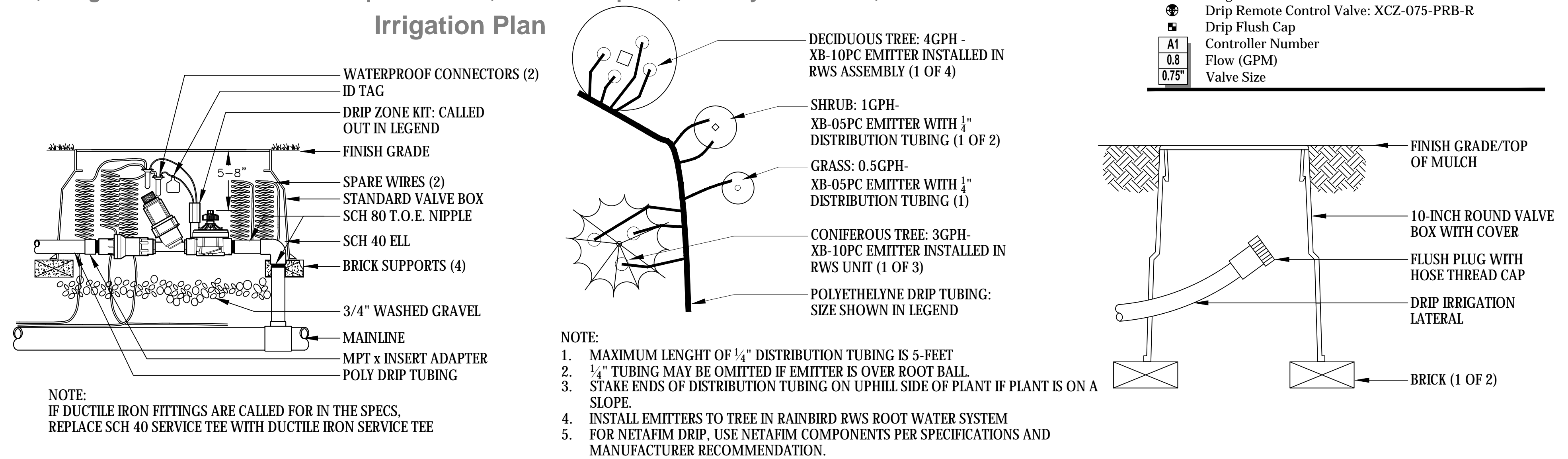
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GENERAL NOTES

1. Water source will be to raw water system adjacent to building.
2. System is designed for a dynamic pressure of 50 PSI at 12 GPM. Verify dynamic pressure onsite before installation of system.
3. The entire installation shall fully comply with all local and state laws and ordinances and with all the established applicable codes.
4. Utility Locates ("Call Before You Dig"): Arrange for and coordinate with general contractor and local authorities the location of all underground utilities. Call 1-800-849-2476.
5. Warranty irrigation system for one (1) year from the date of final acceptance of work.
6. Do not proceed with the installation of irrigation components when it is obvious in the field that obstructions or grade differences exist that were not considered in the engineering. If discrepancies in the construction documents or field conditions exist, bring them to the attention of the Owner's Representative.
7. Sleeving will be installed by the irrigation contractor. Sleeves are required for both piping and control wiring at each hardscape crossing. Size sleeves to be twice the size of the pipe or wire bundle that is carried in said sleeve.
8. Mainline Pipe:
 - a. Use Class 200 SDR 21 NSF approved rigid PVC pipe.
 - b. Use solvent weld pipe.
 - c. Use Schedule 40, Type 1, PVC solvent weld fittings. Use primer approved by the pipe manufacturer.
 - d. Mainline pipe is 1" nominal size unless indicated otherwise.
 - e. Pipe to be buried with 18-inches of cover.
 - f. Conduct a mainline pressure test of available pressure over two hours, allowable pressure drop is 5 PSI.
10. Drip Tubing:
 - a. Use 3/4", 60 PSI UV resistant PE Tubing
 - b. Use Barb fittings w/ stainless steel clamps.
 - c. Drip tubing to be buried with 4" cover.
11. Compact trenches in 6-inch lifts to 90% proctor density. Puddling of trenches is not allowed.
12. Provide two (2) operating keys for each type of manually operated valve.
13. Furnish accurate reproducible "as-built" drawings showing field changes in layout and equipment installation. As-Built drawings to be plotted out full scale also include an electronic copies in AutoCAD and Adobe Acrobat (PDF) format on CD.
14. Clean up all debris related to the job, and leave the site in a clean tidy condition.
15. Test and demonstrate to the Owner's Representative the satisfactory operation of the system.

Irrigation Plan



Vested Rights:

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Civil Engineering, Structural Engineering
Land Planning, Construction Management

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King Surveyors, Inc.

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Contact:

Revisions

No.	Date	Description
1	03/28/16	Date of Preparation
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SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

H. SCALE: 1" = 20'
V. SCALE: N/A
DRN. BY: TG
DSN. BY: TG
CHK. BY: TG

Date **07/27/2016**

IRRIGATION PLAN

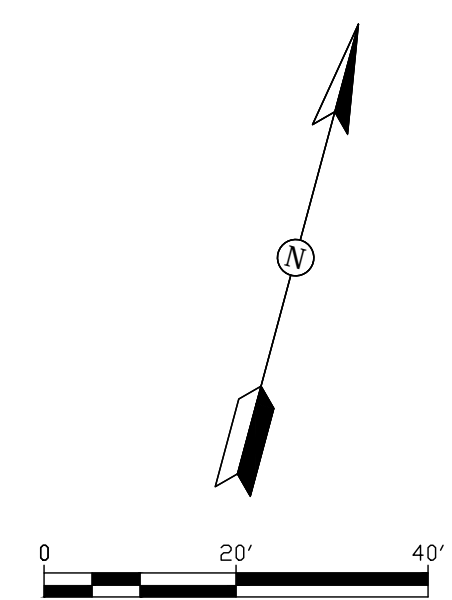
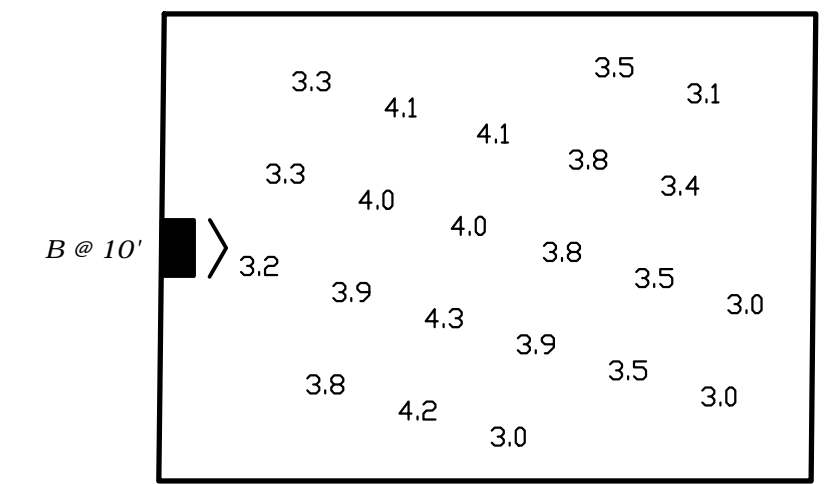
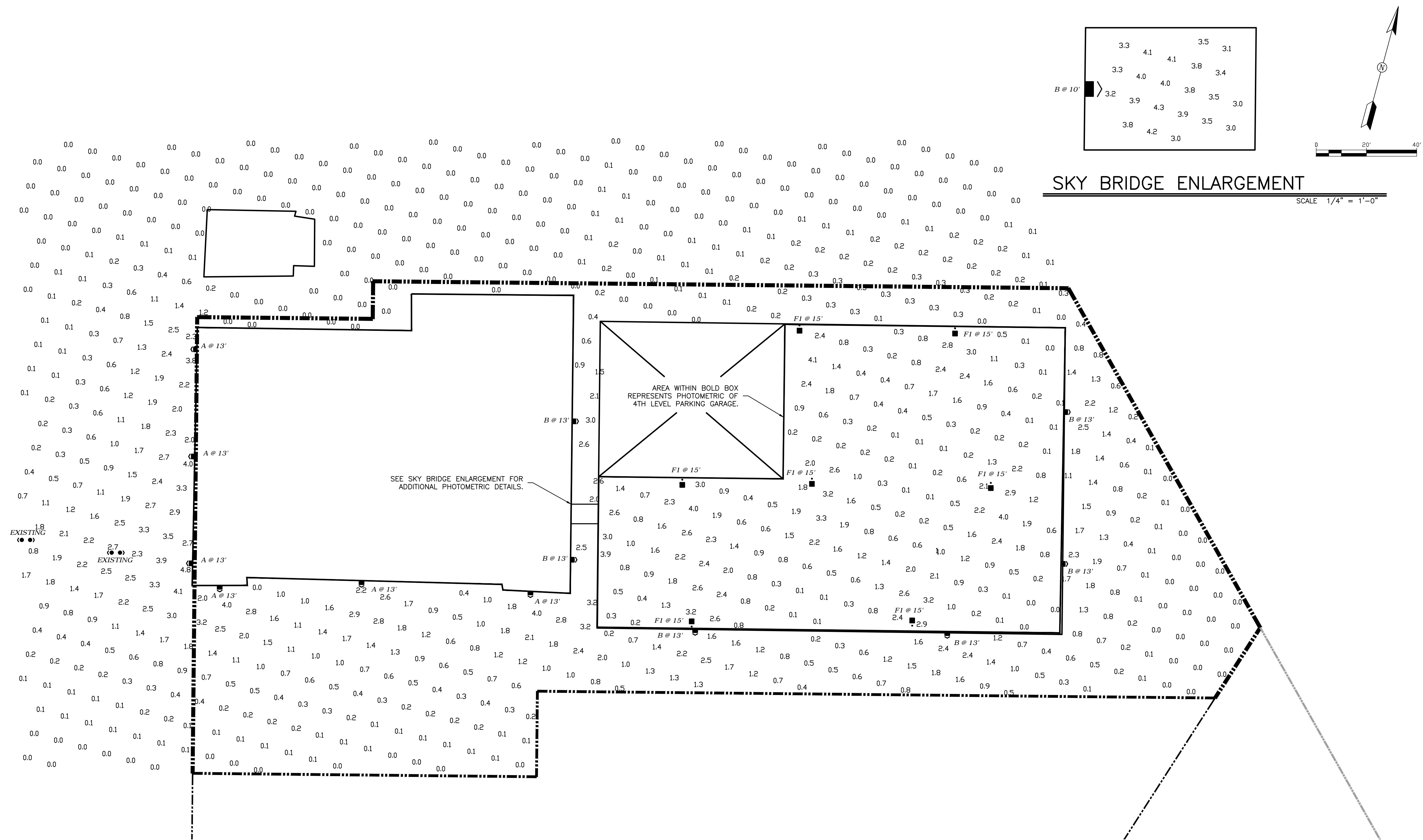
13 of 17

Project No. WB0661-2

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AMENDMENT FOR SUPERIOR MEDICAL OFFICE BUILDING

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.

Lighting Plan



SKY BRIDGE ENLARGEMENT
SCALE 1/4" = 1'-0"

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Project Title:
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

SHEET DATA:

H. SCALE: 1" = 20'
 V. SCALE: N/A
 DRN. BY: ADB
 DSN. BY: ADB
 CHK. BY: SFW

Date: 07/27/16

Sheet Title:
LIGHTING PLAN

Sheet No.: 14 of 17

Project No.: WB0661-2

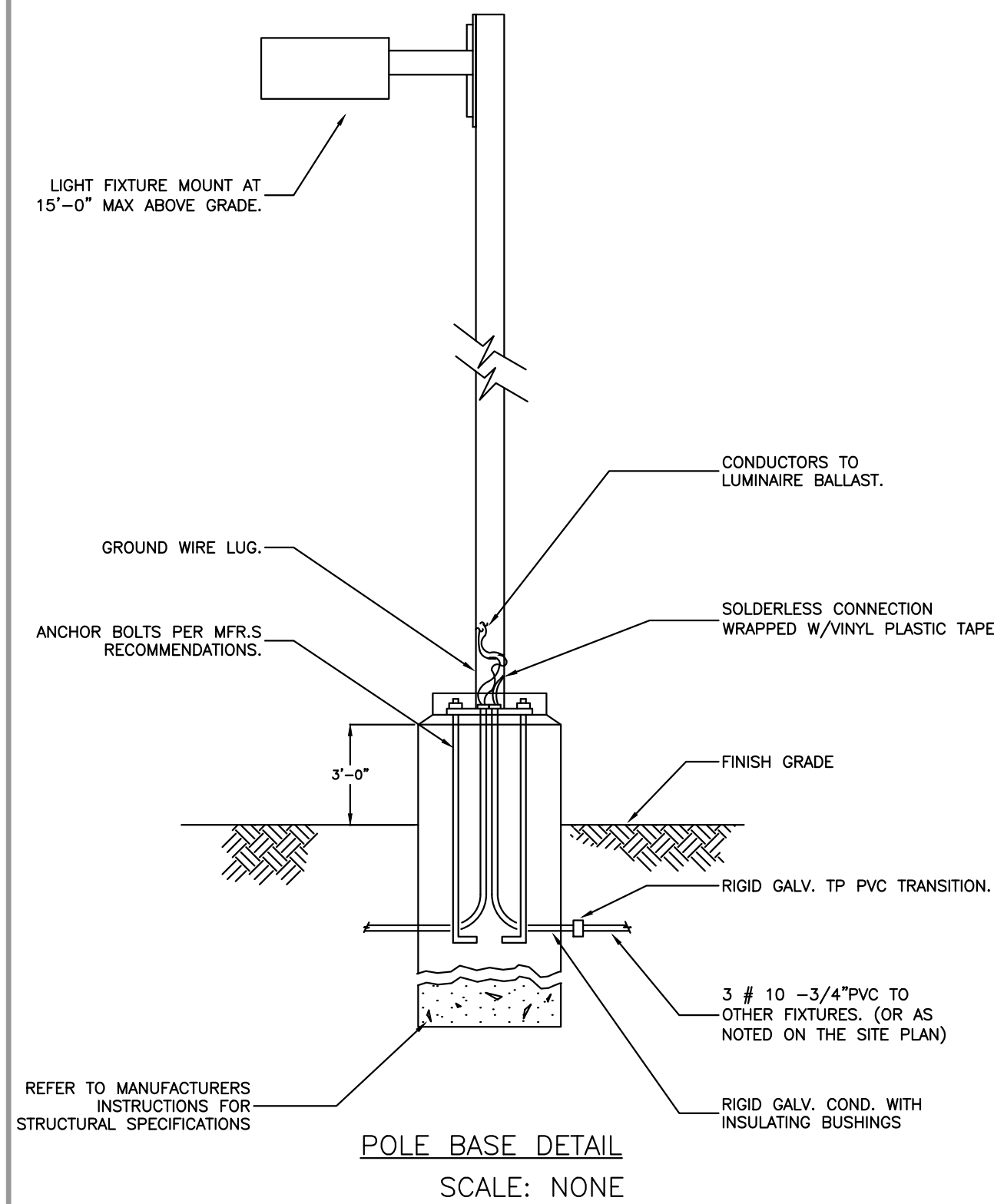
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SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AMENDMENT FOR SUPERIOR MEDICAL OFFICE BUILDING

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Heights (ft)
	A	6	Lithonia Lighting	DSXW2 LED 20C 700 40K TFTM MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 700mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	LED	1	DSXW2_LED_20C_700_40K_TFTM_MVOLT.ies	4323.825	1	47	13'
	B	9	Lithonia Lighting	DSXW2 LED 20C 350 40K T2M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 350mA DRIVER, 4000K LED, TYPE 2 MEDIUM OPTIC	LED	1	DSXW2_LED_20C_350_40K_T2M_MVOLT.ies	2908.113	1	25	10',13'
	F1	7	Lithonia Lighting	KAD 70M R4	Area Luminaire, 70W MH, R4 Reflector, Full Cutoff, MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 70-WATT CLEAR E-17 METAL HALIDE, HORIZONTAL POSITION.	1	KAD_70M_R4.ies	5600	1	88	15'

Description	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Exterior Lighting	0.5 fc	4.8 fc	0.0 fc	N/A	N/A	0.1:1
Parking Garage (Top Floor)	1.1 fc	4.1 fc	0.0 fc	N/A	N/A	0.3:1
Parking Garage Bridge	3.7 fc	4.2 fc	3.0 fc	1.4:1	1.2:1	0.9:1



D-Series Size 2 LED Wall Luminaire

Specifications Luminaire
 Width: 18-1/2" (47.0 cm) | Weight: 21 lbs (9.5 kg)
 Depth: 10" (25.4 cm) | Back Box (BBW) Width: 5-1/2" (14.0 cm) | BBW Weight: 1 lbs (0.5 kg)
 Height: 7-5/8" (19.4 cm) | Depth: 1-1/2" (3.8 cm) | Height: 4" (10.2 cm)

Introduction
 The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 75% in energy savings over comparable 400W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Shipped included	Shipped installed
DSXW2 LED	20	700mA	3000K	T25 Type II Short	120V	(flat) Surface mounting bracket	PE Photostatic c/1, button type*	PER NEMA twist-lock receptacle only (no controls)
	20	350mA	4000K	T25 Type II Short	240V	DMG 0-10V dimming driver (no controls)	DCR Dimmable and controllable with ROMAN® (no controls)	PRH 180° motion/ambient light sensor, 0-15' mounting height, ambient sensor enabled at 14'
	20	350mA	4000K	T25 Type II Medium	277V	BBW Surface-mounted back box (for outdoor entry)	PRHFCV Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 14'	
	20	350mA	4000K	T25 Type II Medium	480V			

Other Options	Finish required
Shipped installed	DDDD Dual bronze
SF Single face (120, 277, 347V)*	DDSD Sandstone
DF Double face (208, 240, 480V)*	DDSDT Textured dual bronze
PD Power tray†	DDSDT Textured dual bronze
PER NEMA twist-lock receptacle only (no photocell)	DDSDT Textured dual bronze
QRS Quartz retrace system†	DDSDT Textured dual bronze
QSDS Quartz time delay†	DDSDT Textured dual bronze
WTB Terminal wiring block†	DDSDT Textured dual bronze

Accessories
 BL12CF 1.5A Photocell - 55 min lock (120-277V)
 BL18CF 1.5A LB Photocell - 55 min lock (240V)
 SC1 Switch cap †
 SOWMSU Side-mount sensor
 SOWMSU1 Side-mount sensor
 SOWMSU2 Side-mount sensor
 SOWMSU3 Side-mount sensor
 SOWMSU4 Side-mount sensor
 SOWMSU5 Side-mount sensor
 SOWMSU6 Side-mount sensor
 SOWMSU7 Side-mount sensor
 SOWMSU8 Side-mount sensor
 SOWMSU9 Side-mount sensor
 SOWMSU10 Side-mount sensor

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS
INTENDED USE - Ideal for parking areas, street lighting, walkways and car lots.
CONSTRUCTION - Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die-cast door frame has impact-resistant tempered glass lens that is fully gasketed with one-piece tubular silicone. Finish: Standard finish is dark bronze (DB) polyester powder finish, with other architectural colors available.
OPTICS - Anodized aluminum reflectors: ES full cutoff distributions R2 (asymmetric), R3 (symmetric), R4 (forward throw) and R5 (square) are interchangeable. High performance anodized, segmented aluminum reflectors ES full cutoff distributions S12 (symmetric), S13 (asymmetric) and S14X (forward throw, sharp cutoff). High performance reflectors attach with tool-less fasteners and are replaceable and interchangeable.
ELECTRICAL - Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCM" not required. Constant wattage autotransformer for 175-400W. Super CWFL (pulse start ballast), 88% efficient and EISA legislation compliant. Is required for metal halide 151-400W (SCWA option) for US shipments only. CSA, NEMA or IHLI required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory tested.
Socket: Paraleln, horizontally oriented medium base socket for 70-150W. Mogul base socket for 175W and above, and 70-400W, with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.
LISTINGS - UL Listed (standard), CSA Certified (see Options). UL listed for 25° ambient and wet locations. IFC listed in accordance with standard E5 520.
WARRANTY - 1 year limited warranty. Complete warranty terms located at www.lithonia.com/CustomResources/terms_and_conditions.aspx.
 Note: Specifications subject to change without notice.

Series	Wattage	Distribution	Voltage	Ballast	Mounting*	Arm length	
KAD	100W	208°	277	240°	04	4' arm	
	150W	300M*	705	100M/1K*	06	6' arm	
	175W	350M*	1005	100M/1K*	09	9' arm	
	200W	400M*	1505	150M/1K*	12	12' arm	
	250W	480°	2505	250M/1K*			
	400W	480°	4005	400M/1K*			
	CSA	CSA Certified	PE3 NEMA twist-lock PE (240V)	120	(blank) Magnetic ballast	Ships in fixture carton	
	IHLI	Available for probe start shipping outside the U.S.	PE4 IES type II asymmetric*	240°	CWL Constant wattage ballast†	SPD... Square pole	
	REGC	California Title 20, effective 1/1/2010	PE5 IES type III asymmetric*	277	WWD... Wood on pole wall	RPD... Round pole	
	SC	Shunting cap for PER option	PE6 IES type IV forward throw	347	SCWA Super CWFL pulse-start ballast	WPD... Wood on pole wall	

Notes
 1 Not available with SCWA.
 2 Not available with REGC.
 3 These wattages do not comply with California Title 20 regulations.
 4 Must be ordered with SCWA.
 5 These wattages require the REGC option to be chosen for shipments into California for Title 20 compliance. 200W REGC is not available in SF or 480V.
 6 Reduced power LED required for S12, S13 and S14X optics.
 7 House-side shield available.
 8 High performance reflectors not available with DBSD.
 9 Must specify CWL for use in Canada.
 10 Optional metal cap (L10, 208, 240, 277V) in Canada: L10, L20, L30, L40, L50.
 11 Custom factory for available wattages.
 12 12' arm is required when two or more luminaires are oriented on a 90° drilling pattern.
 13 May be ordered as an accessory.
 14 Must specify finish when ordered as an accessory.
 15 Available with SP04 and SP05.
 16 Blue space reflector, HLI with TB.
 17 Only available with S12, S13 and S14X optics.
 18 Blue aluminum venting lamp included.
 19 Pole with HLI when ordered as an accessory.
 20 See www.lithonia.com/catalog for additional options.
 21 Must be specified. LALP not available with HIC.
 22 Must use RPD05.

INDY SIGN LIGHTER LED

SLT SERIES / SHEPHERD HOOK INDOOR/OUTDOOR DOMED AND FLAT CANOPY HOUSINGS

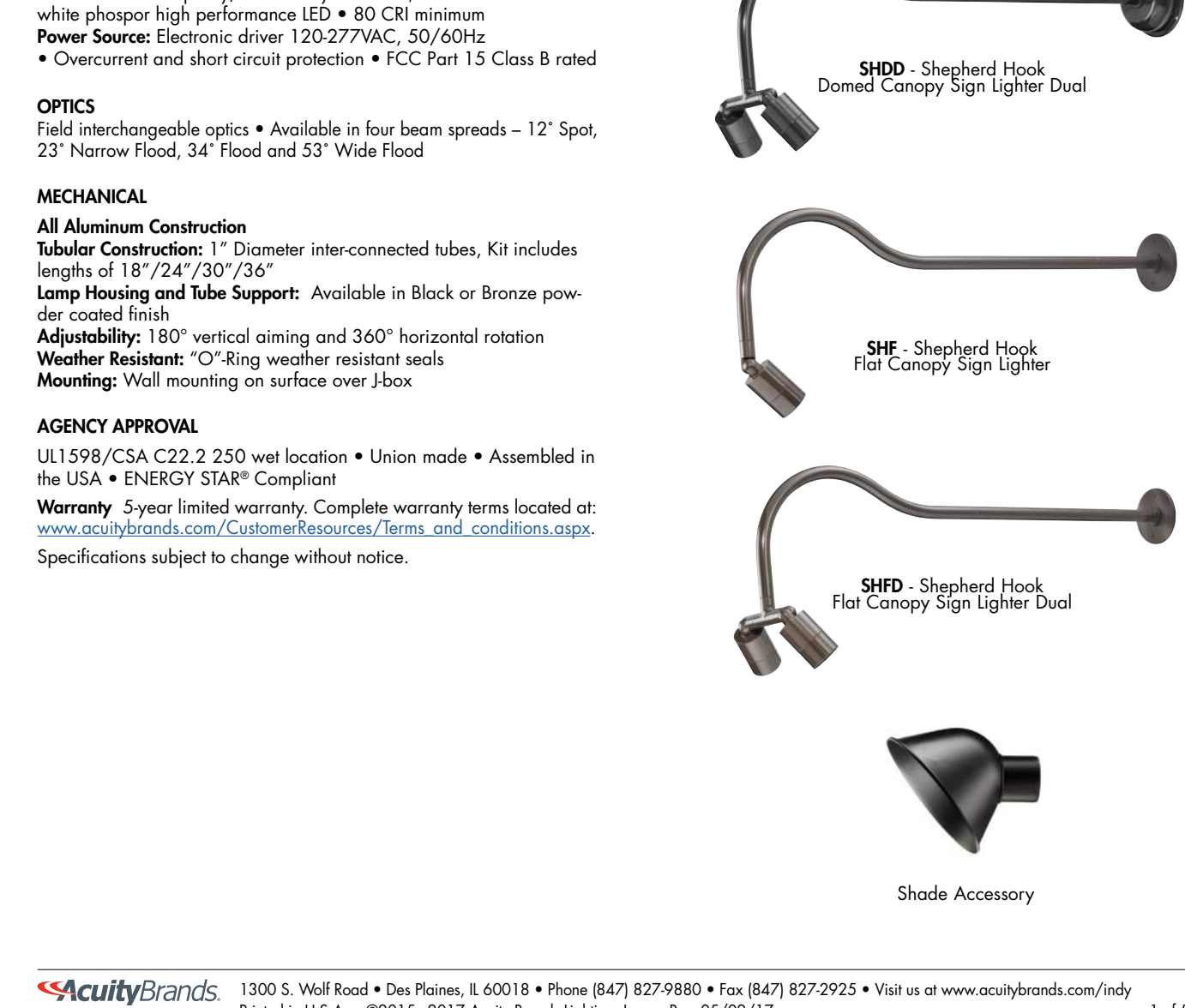
Type: _____
 Catalog No.: _____
 Project: _____
 Notes: _____

PRODUCT DESCRIPTION
 LED sign lighter that is adjustable to fit most sign lighting applications. Each complete Sign Lighter Kit includes: 18" fixture, 12" extension, 6" extension, integral driver, mounting hardware and instructions. Sealed assembly for indoor or outdoor use • Easy to assemble, modular extensions • Each head will accept one lens accessory • Available in black or bronze powder painted finishes. Canopy Diameter: 6-1/2"

PRODUCT SPECIFICATIONS
LED Lamp: High Performance LEDs provide outstanding reliability, performance and color quality/consistency • 2700K, 3000K or 4000K white phosphor high performance LED • 90 CRI minimum
Power Source: Electronic driver 120-277VAC, 50/60Hz
 • Overcurrent and short circuit protection • FCC Part 15 Class B rated

MECHANICAL
All Aluminum Construction
Tubular Construction: 1" Diameter inter-connected tubes, Kit includes lengths of 18"/24"/30"/36"
Lamp Housing and Tube Support: Available in Black or Bronze powder coated finish
Adjustability: 180° vertical aiming and 360° horizontal rotation
Weather Resistant: "O" Ring weather resistant seals
Mounting: Wall mounting on surface over J-box

AGENCY APPROVAL
 UL 1598/CSA C22.2 250 wet location • Union made • Assembled in the USA • ENERGY STAR® Compliant
Warranty: 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomResources/terms_and_conditions.aspx.
 Specifications subject to change without notice.



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Project Title:
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

SHEET DATA:
 H. SCALE: 1" = 20'
 V. SCALE: N/A
 DRN. BY: ADB
 DSN. BY: ADB
 CHK. BY: SFW

Date: **07/27/16**

Sheet Title:
LIGHTING CUTSHEETS AND DETAILS

Sheet No.:
15 of 17
 Project No.: WB0661-2

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Streetscape Plan

Easement Abbreviations

D.A.U.E. Drainage, Access & Utility Easement
 A.E. Access Easement
 D.E. Drainage Easement
 U.E. Utility Easement
 P.U.E. Private Utility Easement

Civil Engineer:

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Project Title:

**SUPERIOR TOWN
 CENTER FINAL
 DEVELOPMENT PLAN
 FOR SUPERIOR
 MEDICAL OFFICE
 BUILDING**

SHEET DATA:

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Date **07/27/16**

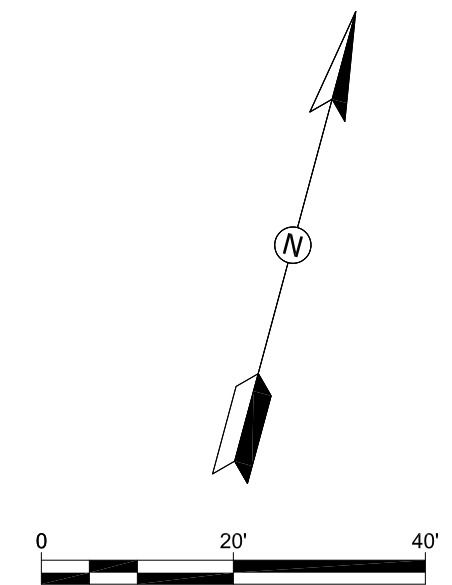
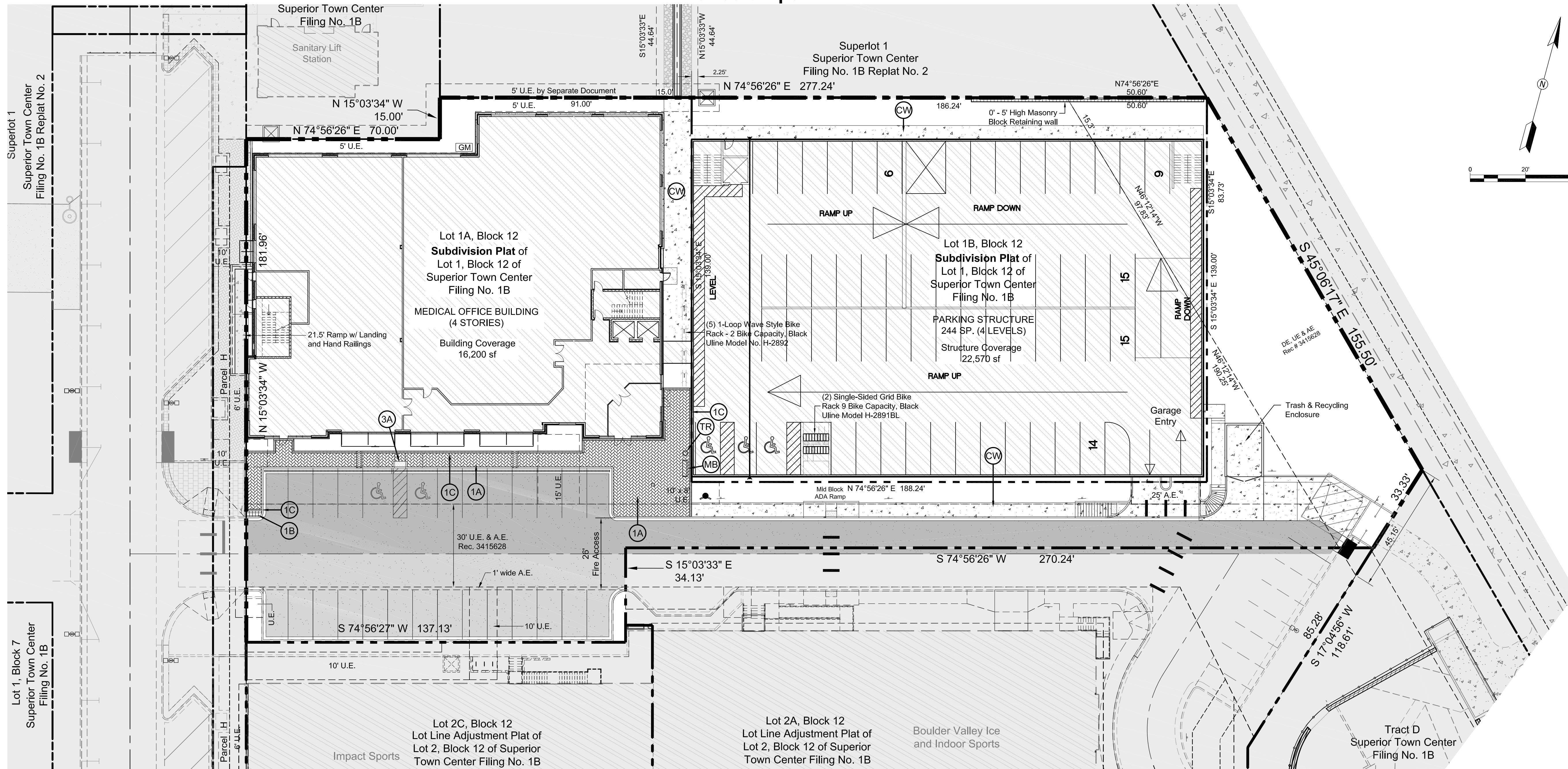
Sheet Title:

STREETSCAPE PLAN

Sheet No.

16 of 17

Project No. WB0661-2



Line Type Legend

Line Type	Description
---	Center Line
- - - -	Easement Line
FL	EOA
TBC	Typical Curb & Gutter, Pattern / Material Varies. (Dashed lines indicate Existing)
BW	

Symbol Legend

Symbol	Description
[Hatched Box]	Property Outside Development Application
[Dark Grey Box]	Asphalt Pavement
[Light Grey Box]	Asphalt Pavement - Existing
[Hatched Box]	Buildings / Structures
(1C)	Material Symbol - Onsite
[Arrow]	Vehicle Entry & Ramp Direction

Plan Notes:

- Hardscapes shown westerly of the easterly curb line along Superior Drive are "Not Part" of this Final Development Plan. These Hardscapes are shown for informational purposes and may not accurately depict final materials or placement by Superior Town Center (STC).
- Concrete Pavers listed are manufactured by Pavestone, LLC, Denver CO., Approved equal Manufacturer colors and materials may be substituted for these products.

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Material and Color Schedule

Symbol	Materials & Color	Locations
(1A)	Type 1A: Concrete Unit Paver (Holland Stone Series, 4" x 8" Herringbone Pattern / Color: Winter Blend), 60 mm (2-3/8")	Pedestrian Areas
(1B)	Type 1B: Concrete Unit Paver (City Stone III Series, 12" x 12" Stack Pattern / Color: Light Brown), 60 mm (2-3/8")	Pedestrian/Curb/Tree Grate Band Areas
(1C)	Type 1C: Concrete Unit Paver (Holland Stone Series, 4" x 8" Soldier Pattern / Color: Light Brown), 60 mm (2-3/8")	Pedestrian/Curb/Tree Grate Band Areas
(3A)	Type 3A: ADA Compliant Paver 3-7/8" x 7-13/16" ADA - Parquet Pattern / Color: River Red), 60 mm (2-3/8")	Crosswalk Approach
(BR)	Type BR: 2 Bicycle Rack; Manufacturer: MadRax, Style: 'UX' Rack (with Lean Bar), Color: Black Powder Coat or Equiv.	As Shown on Plan
(BR)	Type BR: 9 or 18 Sp. Rack; Manufacturer: MadRax, Style: Gridrac, Color: Black Powder Coat or Equiv.	As Shown on Plan
(CW)	Type CW: Standard Concrete Sidewalk	Internal Sidewalks
(MB)	Type MB: , Color: Black Powder Coat or Equiv.	Pedestrian Areas
(TR)	Type TR: Receptacle - Manufacturer: DuMor Style: 148	Pedestrian Areas

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN AMENDMENT FOR SUPERIOR MEDICAL OFFICE BUILDING

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Streetscape Details



TR - Trash Receptacle
Manufacturer: DuMor Style: 148,
Color: Black Powder Coat or Equivalent



MB - Metal Seat Bench - 72"
Manufacturer: Dumor Style: 58,
Color: Black Powder Coat or Equivalent



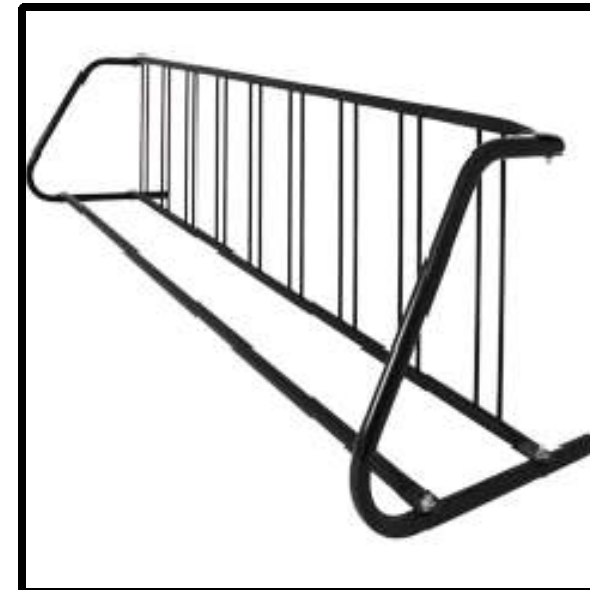
Masonry Block Retaining Wall
Wall Height Varies - See Drainage Plan for Wall Height.
Structural Design may vary at time of construction.



1A & 2A - Holland Series Paver - Winter Blend
Pavestone or Equivalent



1B & 2B - City Stone III Series, 12" x 12" - Light Brown
Pavestone or Equivalent



9 or 18 Sp. Rack: Manufacturer: MadRax,
Style: Gridrac, Color: Black Powder Coat or Equiv.



2 Bicycle Rack: Manufacturer: MadRax,
Style: 'UX' Rack (with Lean Bar), Color: Black Powder Coat or Equiv.

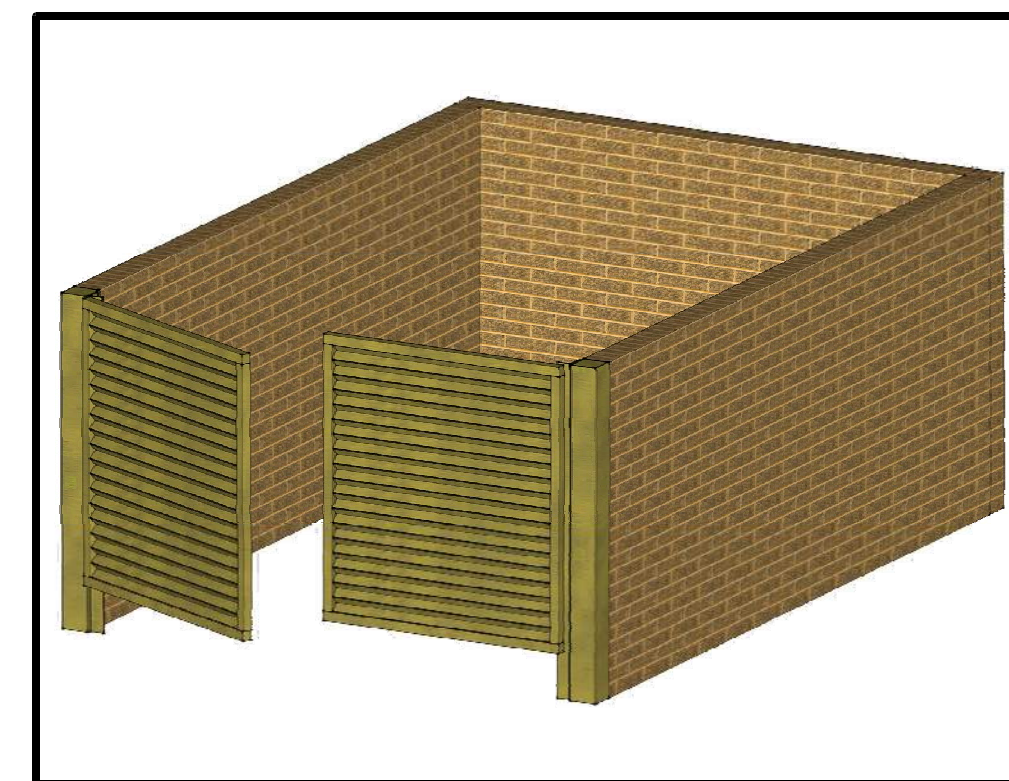
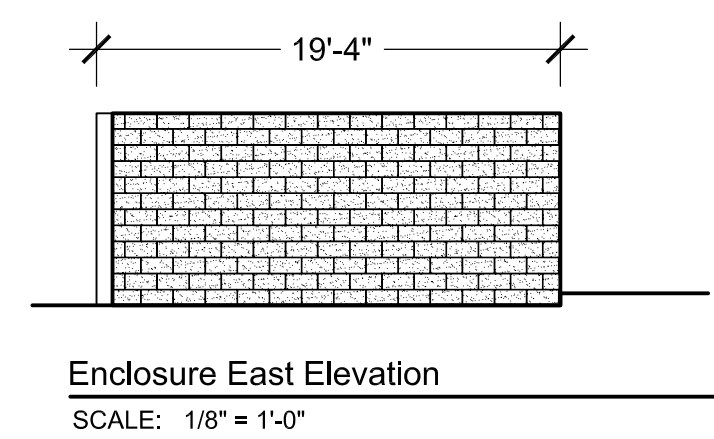
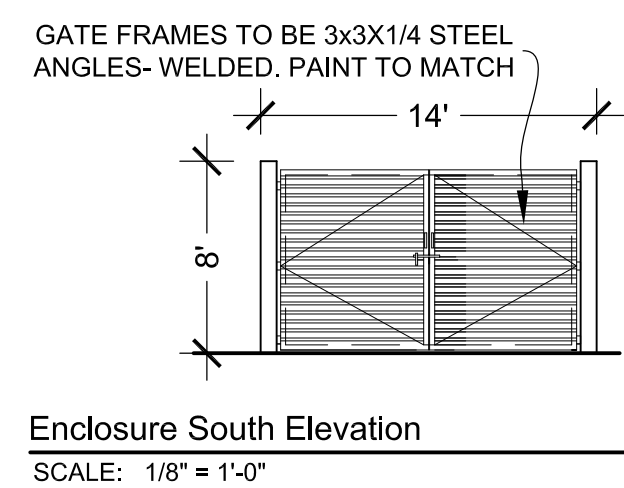
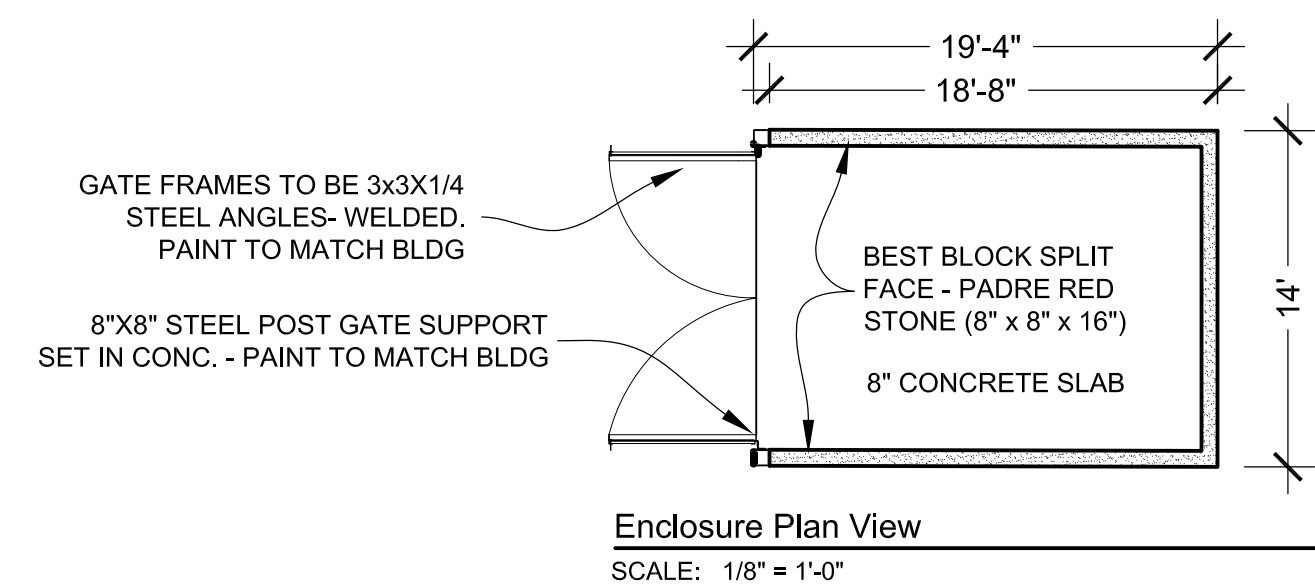
BR - Bicycle Rack Styles



1C - Holland Series Paver - Light Brown
Pavestone or Equivalent



3A - ADA Pavers - River Red
Pavestone or Equivalent



Enclosure Prospective View

Trash and Recycling Enclosure

Vested Rights:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON _____ DAY OF _____, 20_____.

Civil Engineer:
WBC Engineering & CM, LLC

P.O. Box 460625
Aurora, CO, 80046-0625
303-365-9825 office
303-365-9827 fax
www.wbceng.com
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Managing Member
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Civil Engineering, Structural Engineering
Land Planning, Construction Management

Applicant:

HSRE Superior MOB, LLC

HSRE Superior MOB, LLC
a Delaware Limited Liability Company
3394 Carmel Mountain road #200
San Diego, CA 92121

Property Owner:

HSRE Superior MOB, LLC

HSRE Superior MOB, LLC
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Prepared For:

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Revisions:

No.	Date	Description
1	07/27/16	Date of Preparation
2	07/27/16	1st Submittal Comments
3	04/29/16	2nd Submittal Comments
4	05/10/16	3rd Submittal Comments
5	05/25/16	PC Resolution Comments
6	06/30/16	Rev. Clerk Certificate
7	07/27/16	Rev. Per Staff Comments
8	10/08/18	Rev. Per Staff Comments

Project Title:

**SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT PLAN
FOR SUPERIOR
MEDICAL OFFICE
BUILDING**

SHEET DATA:

H. SCALE:	N/A
V. SCALE:	N/A
DRN. BY:	ADB
DSN. BY:	ADB
CHK. BY:	SFW

Date **07/27/16**

Sheet Title:

**STREETSCAPE
DETAILS**

Sheet No.

17 of 17

Project No. WB0661-2