



SAGAMORE REGULATIONS

Marshall Fire Rebuilding Resources

OCTOBER 30, 2023

This document may be updated as necessary.



SAGAMORE REGULATIONS SUMMARY

BUILDING CODES

Current Building Codes:

- 2018 IRC*
- 2021 IECC*
- 2020 NEC

* Owners of detached single-family homes lost in the Marshall Fire are eligible to rebuild under the 2018 IECC Codes and can receive an exemption from the 2018 IRC P2904 Sprinkler Code by signing [Marshall Fire Rebuild Affidavit](#).

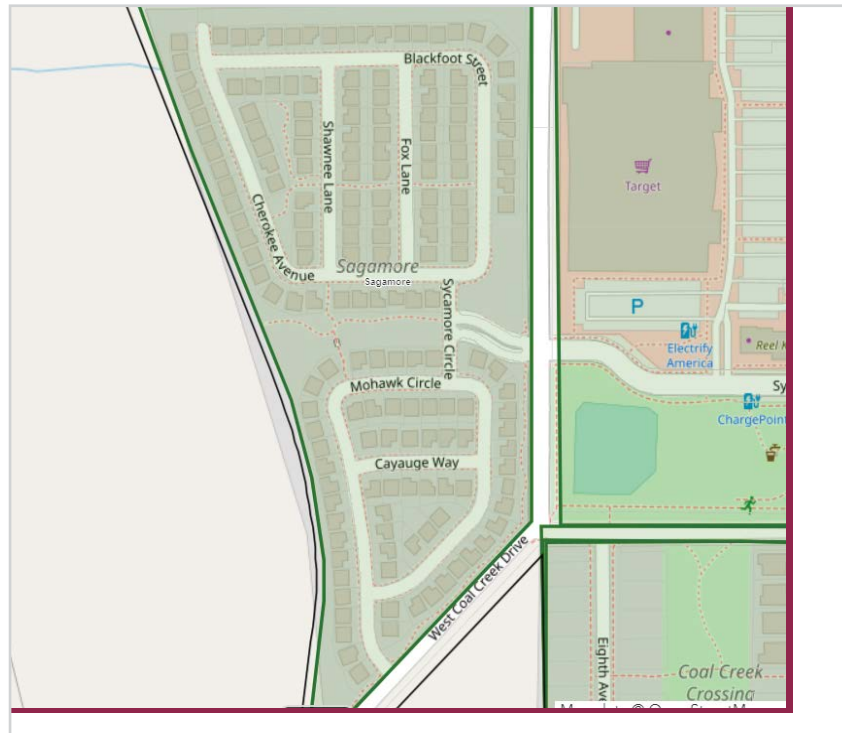
For more information:

- [Building Codes Website](#)
- superiorinspections@safebuilt.com

This document is intended to aid property owners and design professionals understand the regulations applicable to the Sagamore development. Please review the [Amended Final Development Plan](#) for more complete information. For additional Marshall Fire-specific information go to the Town of Superior's [Marshall Fire Community Planning and Rebuilding Effort](#) page.

To assist homeowners impacted by the Marshall Fire, the Superior Town Board has passed several ordinances concerning the Sagamore neighborhood:

- [Ordinance 1](#) : Waive Building Permit Fees and Rebate Use Tax
- [Ordinance 2](#) : 2021 IECC Opt-Out Provision
- [Ordinance 5](#) : Amendment of the Planned Development for Sagamore
- [Ordinance 8](#) : 2018 Automatic Fire Sprinklers Opt-Out Provision
- [Ordinance 13](#) : Adoption of Requirements to Reduce Wildfire Risk
- [Ordinance 6](#) : Modify Regulations for Fencing Requirements



TOWN OF SUPERIOR PLANNING DEPARTMENT

- [Planning Department Website](#)
- planning@superiorcolorado.gov
- 303-499-3675 x188

VICINITY MAP

ALLOWED USES

USE	PERMITTED	PROHIBITED
Single-family detached dwellings (not including modular or manufactured homes on permanent foundations)	X	
Recreation vehicles (used as living quarters)		X



USE	PERMITTED	PROHIBITED
Mobile homes (no permanent foundation)		X
Two- and multi-family dwellings		X

DEVELOPMENT STANDARDS

BUILDING HEIGHT	
Maximum building height	32' with limitations (See Design Standards)
LOT SIZE	
Minimum	2,997 square feet
Maximum	5,993 square feet* *Lot mergers exceeding the maximum square footage require Planning Commission and Town Board approval
Maximum Lot Coverage	61%
MINIMUM FRONT SETBACK	
From garage	20'
From living space	15'
Front setback exceptions	Concrete or wood porches (covered or uncovered) and/or steps may protrude into the front area setback not more than 6', and second story cantilevers may protrude in the front area setback no more than 4'.
MINIMUM REAR SETBACK	
To park or open space	9'
To adjacent lot	18'

SETBACK FLEXIBILITY

Staff may administratively approve modifications to the minimum front, side, and rear building setbacks to allow up to 20% of encroachment into the applicable setbacks to allow for 35'x39' building footprints.

Rear setback exceptions	Lots abutting open space or landscaping tracts shall be permitted to have concrete patios, wood decks, and deck covers not closer than 5' from the rear property line, and other lots shall be permitted to have concrete patios not closer than 5' from the rear property line while wood decks and deck covers shall remain at least 10' from the property line.
-------------------------	--

MINIMUM SIDE AND CORNER SETBACK

Side or corner	5'
Side setback exceptions	Building features and appurtenances such as roof eaves, chimneys, stairs, bay windows may protrude into side setback no more than 1', and counter forts and concrete patios may protrude into side setback no more than 3'.

DESIGN STANDARDS

Garages	Buildings shall have an attached garage.
Windows	Building shall have at least 15% window coverage in the front.
Massing	No more than 50% of the building footprint shall be allowed to extend above 28'.
Stories	Buildings Shall have up to 2 finished floors above grade.
Rooftop Decks	Rooftop deck allowance for rear half of building.

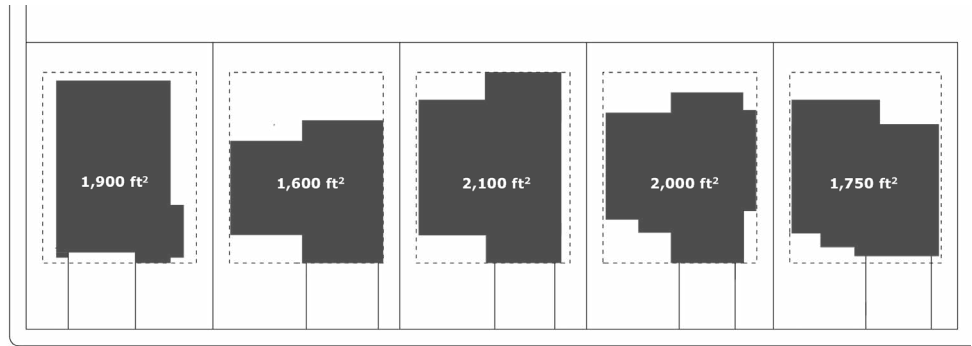


RULES OF MEASUREMENT FOR SAGAMORE

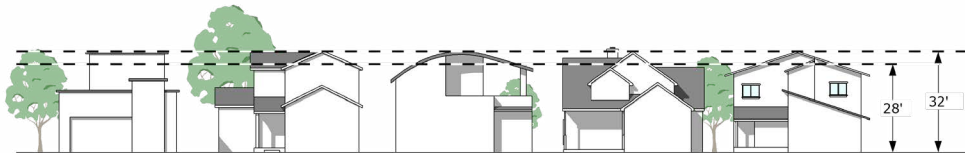
Building Height

As defined by Sec. 16-1-70 of the Municipal Code, height means a standard of measurement defining the vertical elevation of a structure from grade to the top or highest point of the structure or accessory appurtenance. Excepted appurtenances are chimneys, spires, utility ventilation pipes and lightning rods.

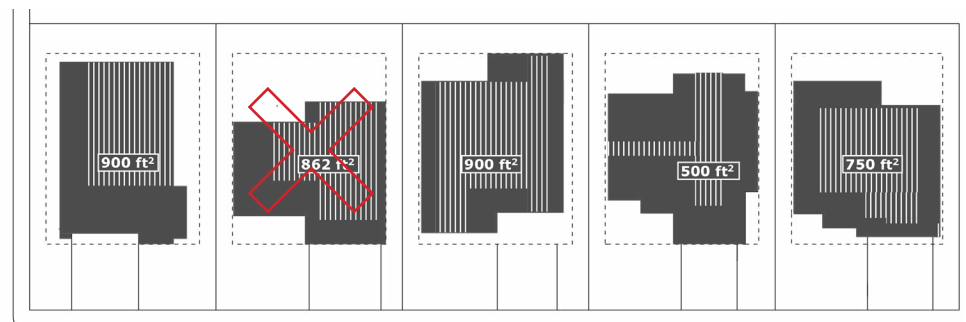
The following approach shall be used for the purposes of calculating the percent of the building footprint that extends above 28 feet:



Step 1: Calculate the total building footprint in square feet.



Step 2: Identify the points on the structure that are at least 28 feet in height and draw a line horizontally between those points on each elevation.



Step 3: In plan view, shade the resulting area and calculate the percentage of the total building footprint that exceeds 28 feet in height.

PERMIT REQUIREMENTS

[Application Checklist](#) for Residential Building Permits

Further document guidance:

- Sagamore [Grading Plan](#) (includes lot-by-lot corner and highpoint elevations to be replicated)
- [Plot Plan](#) requirements (must be Stamped and signed by Licensed Professional)

DRAINAGE REQUIREMENTS

A grading and drainage plan is required for each rebuilt house. Specific requirements and methodologies vary by location. Refer to the [Grading and Drainage requirements](#) for neighborhood-specific guidance.

For more information:

[Public Works Department Website](#)

pwu@superiorcolorado.gov

303-499-3675 ext. 110

Setbacks

Setback means the horizontal distance between a lot line and the nearest extremity of any building or structure.

Setbacks are measured from the right-of-way at ground level to the face of nearest building wall (typically a foundation). In Sagamore, right-of-way for front and side setbacks begins at the back of sidewalk.

Window Coverage

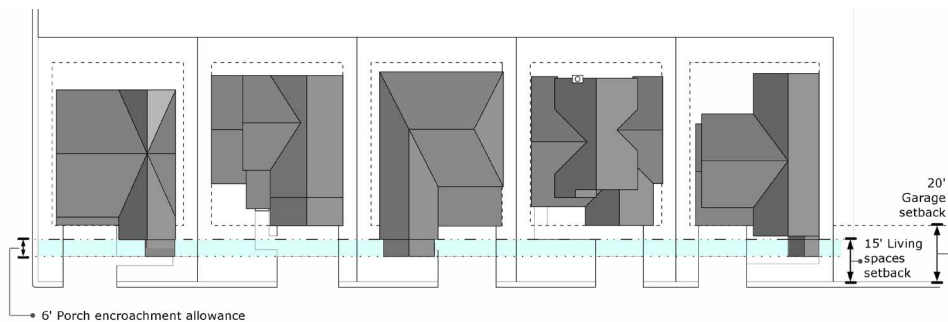
Window coverage shall be calculated as the ratio of the combined

PERTINENT DEFINITIONS

Setback means the horizontal distance between a lot line and the nearest extremity of any building or structure.

Building features and appurtenances such as roof eaves, chimneys, stairs, bay windows may protrude into side setback no more than 1', and counter forts and concrete patios may protrude into side setback no more than 3'.

Setbacks are measured at ground level to face of nearest building wall (typically a foundation).

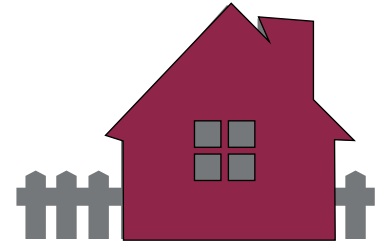


window area to the gross above grade wall area (excluding garage doors and eaves).



FENCING REQUIREMENTS

Effective June 8, 2023, the Town Board approved updates to original [Sagamore PD fencing requirements](#). The new requirements stipulate that Sagamore residents may elect to either install or not install a fence on their respective properties. For those who elect to install a fence, the fence must be non-combustible. The previously prescribed fence typologies have been eliminated. Fence types will largely be at the property owner's discretion; however, both [municipal](#) and building code requirements for fencing will apply. For fences meeting Town Code, no permit is required for fence installation.



WILDLAND-URBAN INTERFACE (WUI) REQUIREMENTS

Effective August 24, 2022, the Town Board adopted [Wildland-Urban Interface requirements](#) for the Sagamore neighborhood. The WUI provisions are specifically designed to mitigate the risks from wildfire to life and property through the regulation of construction material and methods in such a way to resist ignition from wildfires for a safer and more resilient development. Homeowners whose homes were destroyed in the Marshall Fire can [opt-out](#) of the adopted WUI requirements.



