



ORIGINAL TOWN R-M REGULATIONS

Marshall Fire Rebuilding Resources

AUGUST 5, 2022

This document may be updated as necessary.



BUILDING CODES

Homes lost in the Marshall Fire are eligible to rebuild under the following building codes:

- 2018 IRC
- 2018 IECC
- 2020 NEC

* Owners of detached single-family homes lost in the Marshall Fire are eligible to rebuild under the 2018 IECC Codes and can receive an exemption from the 2018 IRC P2904 Sprinkler Code by signing [Marshall Fire Rebuild Affidavit](#).

For more information:



[Building Department Website](#)



superiorinspections@safebuilt.com

TOWN OF SUPERIOR PLANNING DEPARTMENT



[Planning Department Website](#)



planning@superiorcolorado.gov



303-499-3675

ORIGINAL TOWN R-M REGULATIONS SUMMARY

This document is intended to aid property owners and design professionals understand the regulations applicable to Original Town. Please review the [Superior Municipal Code Chapter 16](#) for more complete information. For additional Marshall Fire-specific information go to the Town of Superior's [Marshall Fire Community Planning and Rebuilding Effort](#) page.

To assist homeowners impacted by the Marshall Fire, the Superior Town Board has passed several ordinances concerning the R-M Zone District in the Original Town neighborhood:

[Ordinance 1](#) : Waive Building Permit Fees and Rebate Use Tax

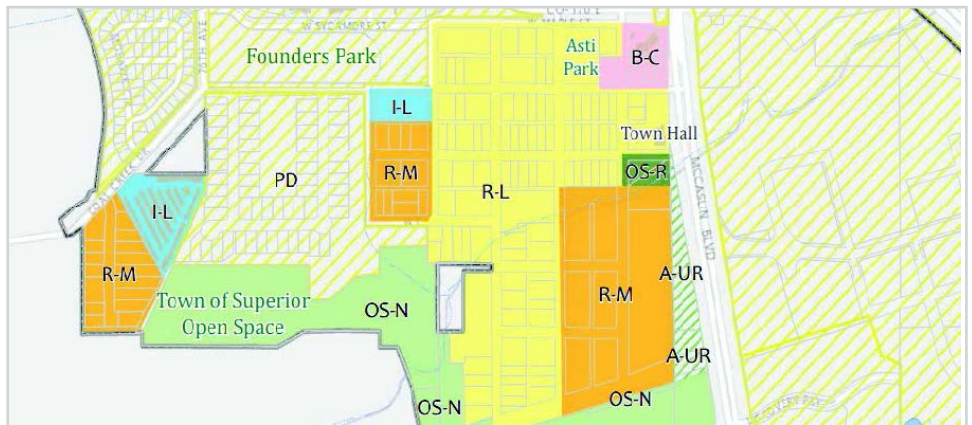
[Ordinance 2](#) : 2021 IECC Opt-Out Provision

[Ordinance 3](#) : R-L Zone District Amendments

[Ordinance 4](#) : Accessory Dwelling Unit Amendment

[Ordinance 8](#) : 2018 Automatic Fire Sprinklers Opt-Out Provision

VICINITY MAP



ALLOWED USES

USE	PERMITTED	PROHIBITED
Single-family dwellings (including modular or manufactured homes on permanent foundations)	X	
Two- and multi-family dwellings (≤ 6 units/lots)	X	
Two- and multi-family dwellings (≥ 6 units/lots)	X (by special use review)	
Recreation vehicles (used as living quarters)		X
Mobile homes (no permanent foundation)		X

USE	PERMITTED	PROHIBITED
Accessory dwelling unit (1 unit per single-family or two-family dwelling)	X	

DEVELOPMENT STANDARDS

Shaded letters correspond to the district illustrations on page 4.

SITE CHARACTERISTICS	
Density limits	8 dwelling units per acre
Minimum lot area	6,000 sf
A Minimum lot width	50'
Maximum lot coverage	40% (2,400 sf for a 6,000 sf lot)
MAXIMUM BUILDING HEIGHT	
B Principal structure	32' (2-story maximum)
C Accessory structure	10' (exception, detached garages maximum of 2 stories and 32' height)
Maximum lot width	50'
Maximum lot coverage	40%
PARKING REQUIRED PER BEDROOM	
≤ 1 bedroom	1.5 spaces
2 bedrooms	2 spaces
3 bedrooms	3 spaces
4 bedrooms	3.5 spaces



PERMIT REQUIREMENTS

Below are items to complete in advance of applying for a building permit:

- Stamped and signed [Plot Plan](#) by Licensed Professional
- Marshall Fire [Debris Removal and Demolition Process](#)
- [Grading and Drainage Plan](#)


DRAINAGE REQUIREMENTS

A grading and drainage plan is required for each rebuilt house. Specific requirements and methodologies vary by location. Refer to the Grading and Drainage handout for neighborhood-specific guidance.

For more information:

 [Public Works Department Website](#)

 pwu@superiorcolorado.gov

 303-499-3675 ext. 110



MINIMUM SETBACKS

Shaded letters correspond to the district illustrations on page 4.

PERTINENT DEFINITIONS

Setback means the horizontal distance between a lot line and the nearest extremity of any building or structure.

Setbacks are measured at ground level to face of nearest building wall (typically a foundation).

FRONT SETBACK FOR PRINCIPAL & ACCESSORY USES AND STRUCTURES

D	From garages	20'
E	From living space: single-family dwelling	15' (6' encroachment allowed for porches)
F	From living space: multifamily dwelling	25'

FRONT SETBACK FOR PRINCIPAL & ACCESSORY USES AND STRUCTURES

G	To interior lot line: single-family dwelling	5'
H	To interior lot line: multifamily dwelling	10'
I	To abutting street or alley, including a corner lot	8'

GARAGE SIDE-TO-STREET SETBACKS FOR PRINCIPAL & ACCESSORY USES AND STRUCTURES

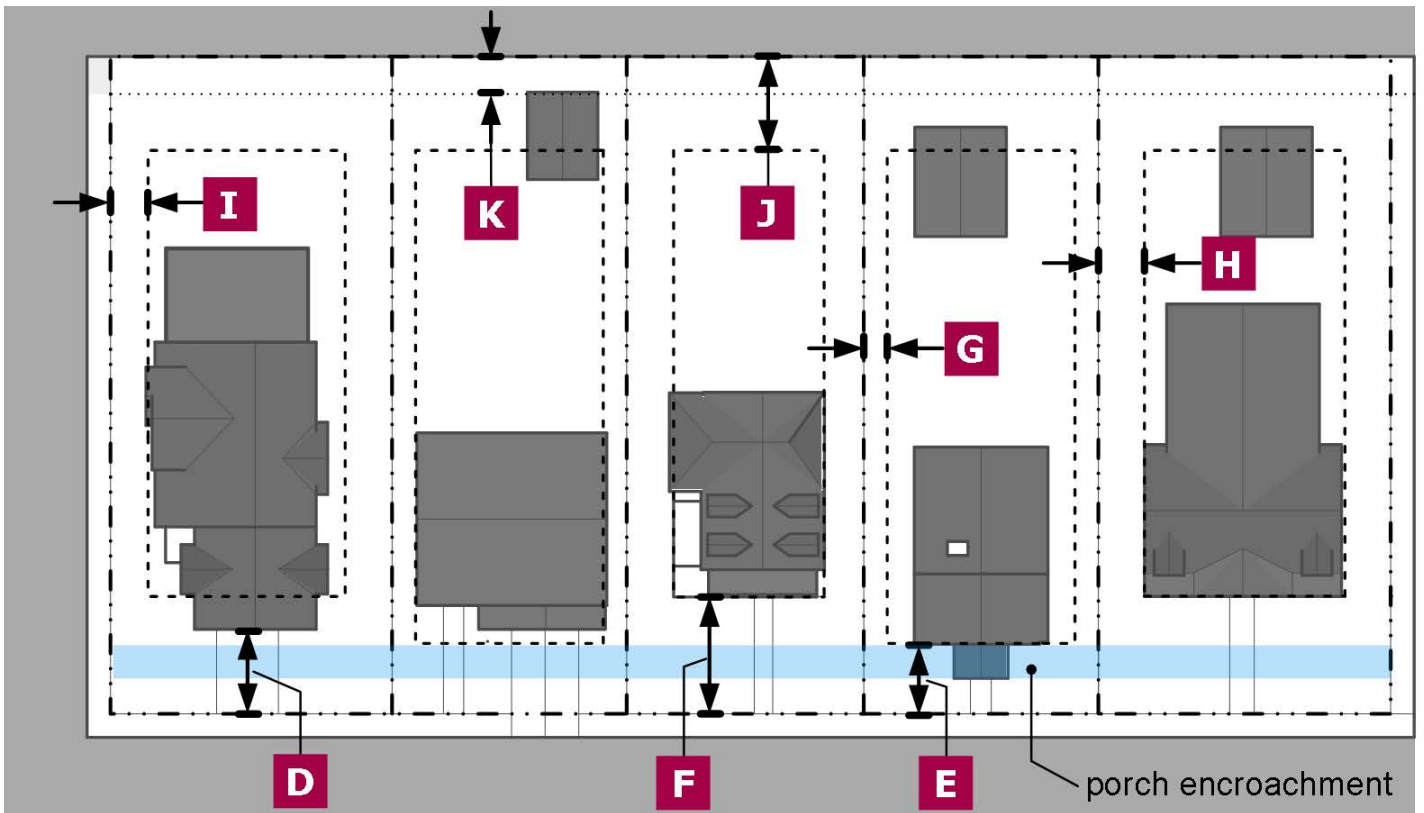
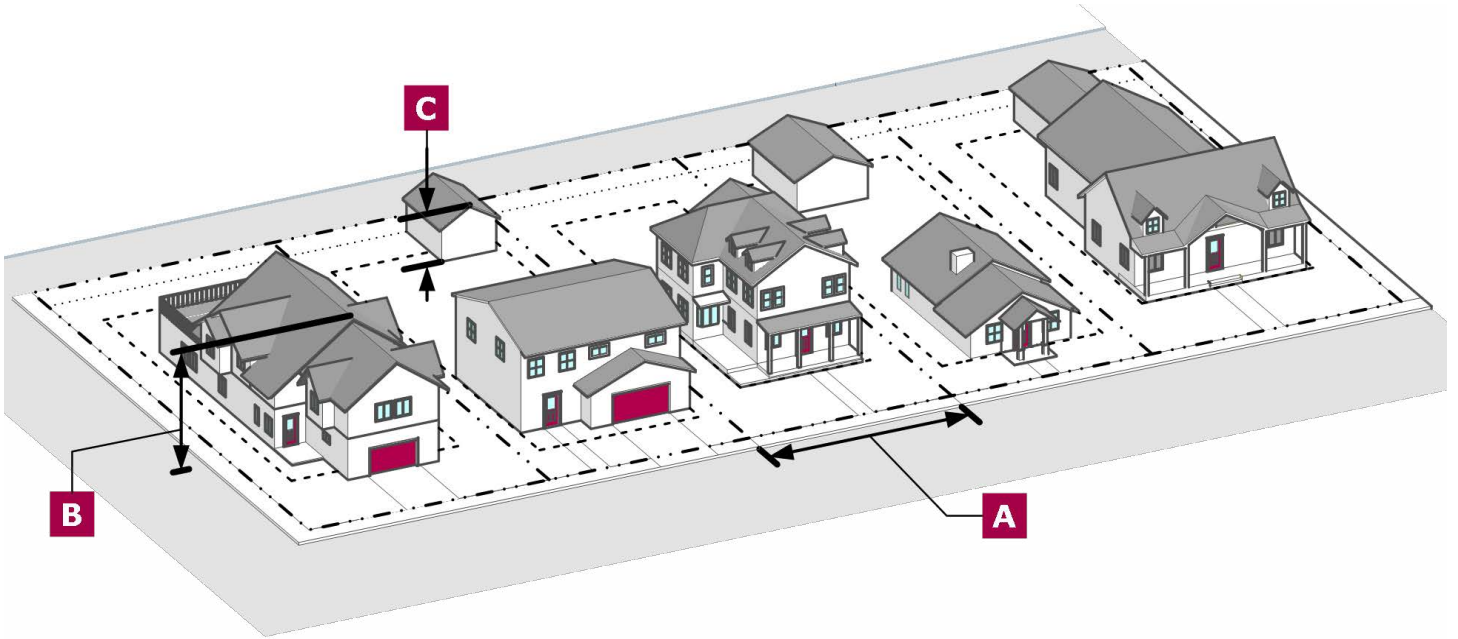
	Where additional off-street parking spaces are proposed/required	20'
	Where no additional off-street parking spaces are proposed/required	6'

REAR SETBACK

J	Principal uses and structures	20'
K	Rear setback for detached accessory uses and structures - no alley	10'
K	Rear setback for detached accessory uses and structures - abutting street or alley	8'

CREEK SETBACK

	Principal and accessory uses and structures	30'
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ACCESSORY DWELLING UNITS (ADU)



PERTINENT DEFINITIONS

Accessory dwelling unit (ADU) means an attached or detached dwelling unit that is accessory in character and lesser in size and character to a principal building situated on the same lot or parcel, and that otherwise satisfies the requirements specified in Sec. 16-6-160.



DID YOU KNOW?

Certificates of Occupancy (COs) for ADUs will typically follow COs for principal residences. However, a dwelling unit constructed before the principal single-family home, which meet the ADU criteria, may be converted to an accessory dwelling unit following the construction of a new principal dwelling unit.

- Limited to 500-800 sf based on size of principal dwelling unit
- Accessory setbacks apply (see above)
- Property owner must occupy ADU or principal dwelling unit
- Utilities may be tied to principal dwelling
- May not be sold separately from principal dwelling unit
- Modular or manufactured homes may be used as an ADU, mobile homes may not
- Subject to same development standards as principal dwelling