



ORIGINAL TOWN R-L REGULATIONS

Marshall Fire Rebuilding Resources

AUGUST 5, 2022

This document may be updated as necessary.



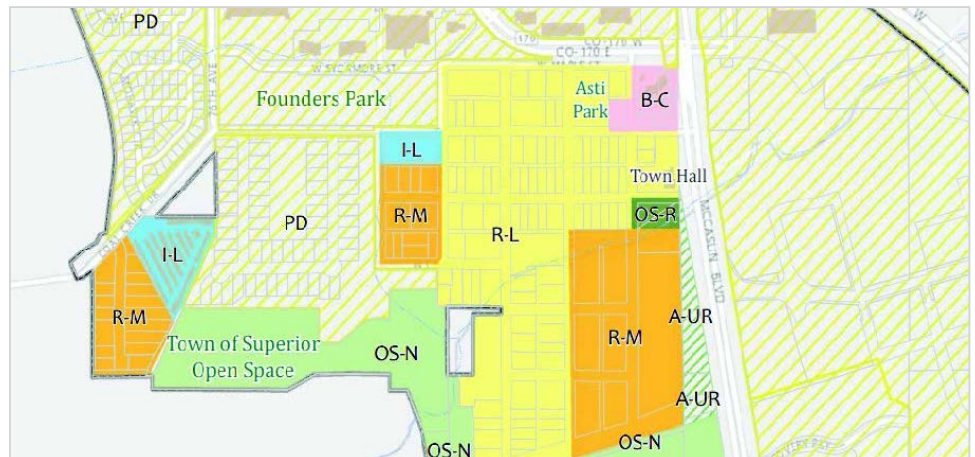
ORIGINAL TOWN R-L REGULATIONS SUMMARY

This document is intended to aid property owners and design professionals understand the regulations applicable to Original Town. Please review the [Superior Municipal Code Chapter 16](#) for more complete information. For additional Marshall Fire-specific information go to the Town of Superior's [Marshall Fire Community Planning and Rebuilding Effort](#) page.

To assist homeowners impacted by the Marshall Fire, the Superior Town Board has passed several ordinances concerning the R-L Zone District in the Original Town neighborhood:

- [Ordinance 1](#) : Waive Building Permit Fees and Rebate Use Tax
- [Ordinance 2](#) : 2021 IECC Opt-Out Provision
- [Ordinance 3](#) : R-L Zone District Amendments
- [Ordinance 4](#) : Accessory Dwelling Unit Amendemnt
- [Ordinance 8](#) : 2018 Automatic Fire Sprinklers Opt-Out Provision

VICINITY MAP



BUILDING CODES

Homes lost in the Marshall Fire are eligible to rebuild under the following building codes:

- 2018 IRC
- 2018 IECC
- 2020 NEC

* Owners of detached single-family homes lost in the Marshall Fire are eligible to rebuild under the 2018 IECC Codes and can receive an exemption from the 2018 IRC P2904 Sprinkler Code by signing [Marshall Fire Rebuild Affidavit](#).

For more information:

- [Building Department Website](#)
- superiorinspections@safebuilt.com

TOWN OF SUPERIOR PLANNING DEPARTMENT

- [Planning Department Website](#)
- planning@superiorcolorado.gov
- 303-499-3675

ALLOWED USES

USE	PERMITTED	PROHIBITED
Single-family dwellings (including modular or manufactured homes on permanent foundations)	X	
Recreation vehicles (used as living quarters)		X
Mobile homes (no permanent foundation)		X
Two- and multi-family dwellings		X
Accessory dwelling unit	X	

DEVELOPMENT STANDARDS

Shaded letters correspond to the district illustrations on page 4.

SITE CHARACTERISTICS	
Density limits	6 dwelling units per acre
Minimum lot area	7,000 sf
A Minimum lot width	50'
Maximum lot coverage	40% (2,800 sf for a 7,000 sf lots)

MAXIMUM BUILDING HEIGHT	
B Principal structure	32' (2-story maximum)
C Accessory structure	10' (exception, detached garages maximum of 2 stories and 32' height)

PARKING REQUIRED PER BEDROOM	
≤ 1 bedroom	1.5 spaces
2 bedrooms	2 spaces
3 bedrooms	3 spaces
4 bedrooms	3.5 spaces



PERMIT REQUIREMENTS




Below are items to complete in advance of applying for a building permit:

- Stamped and signed [Plot Plan](#) by Licensed Professional
- Marshall Fire [Debris Removal and Demolition Process](#)
- [Grading and Drainage Plan](#)

DRAINAGE REQUIREMENTS

A grading and drainage plan is required for each rebuilt house. Specific requirements and methodologies vary by location. Refer to the Grading and Drainage handout for neighborhood-specific guidance.

For more information:

-  [Public Works Department Website](#)
-  pwu@superiorcolorado.gov
-  303-499-3675 ext. 110



MINIMUM SETBACKS

Shaded letters correspond to the district illustrations on page 4.

PERTINENT DEFINITIONS:

Setback means the horizontal distance between a lot line and the nearest extremity of any building or structure.

Setbacks are measured at ground level to face of nearest building wall (typically a foundation).

FRONT SETBACK FOR PRINCIPAL & ACCESSORY USES AND STRUCTURES

D	From garages	20'
E	From living space	15' (6' encroachment allowed for porches)

SIDE SETBACK FOR PRINCIPAL & ACCESSORY USES AND STRUCTURES

F	To interior lot line	5'
G	To abutting street or alley, including a corner lot	8'

GARAGE SIDE-TO-STREET SETBACKS FOR PRINCIPAL & ACCESSORY USES AND STRUCTURES

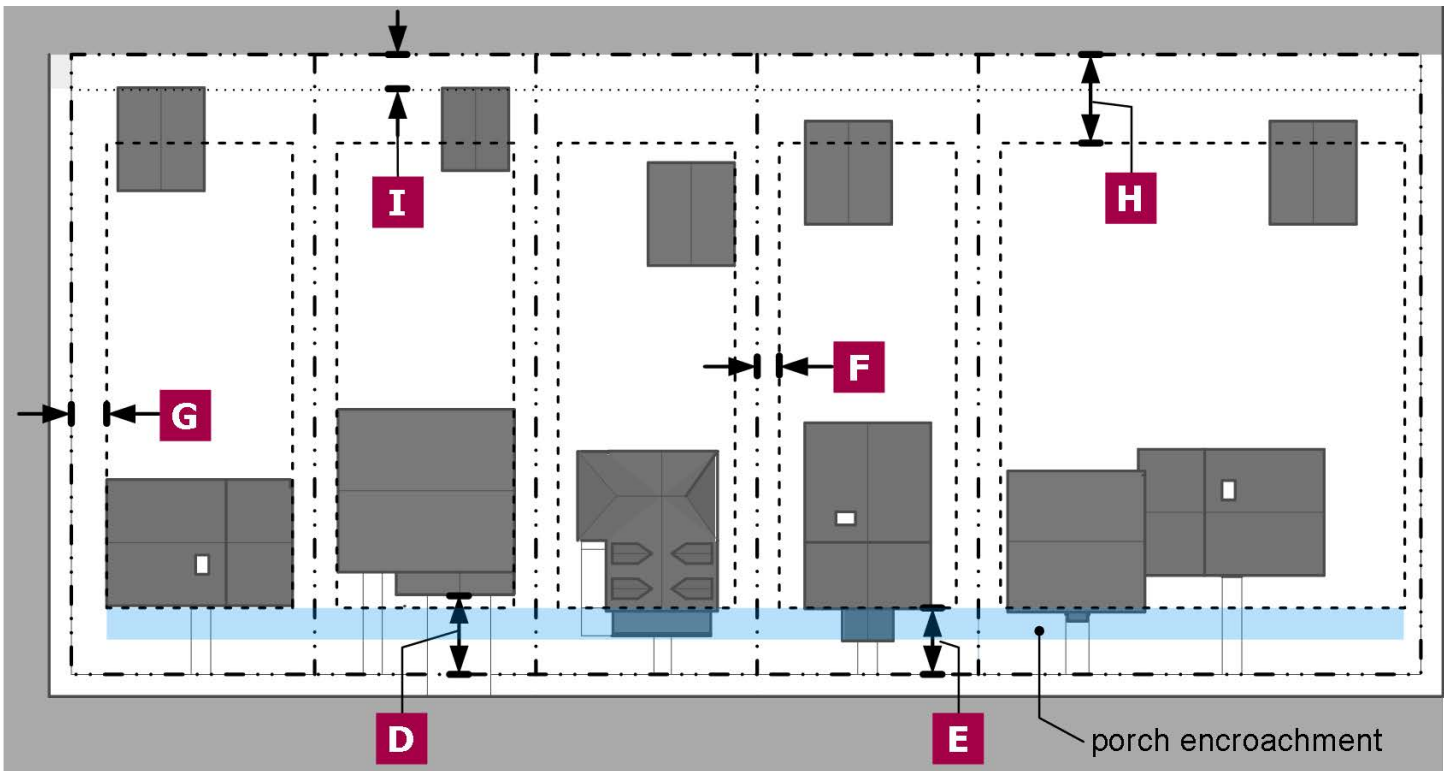
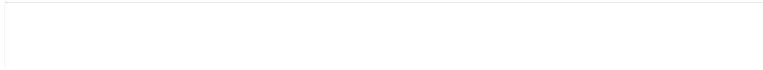
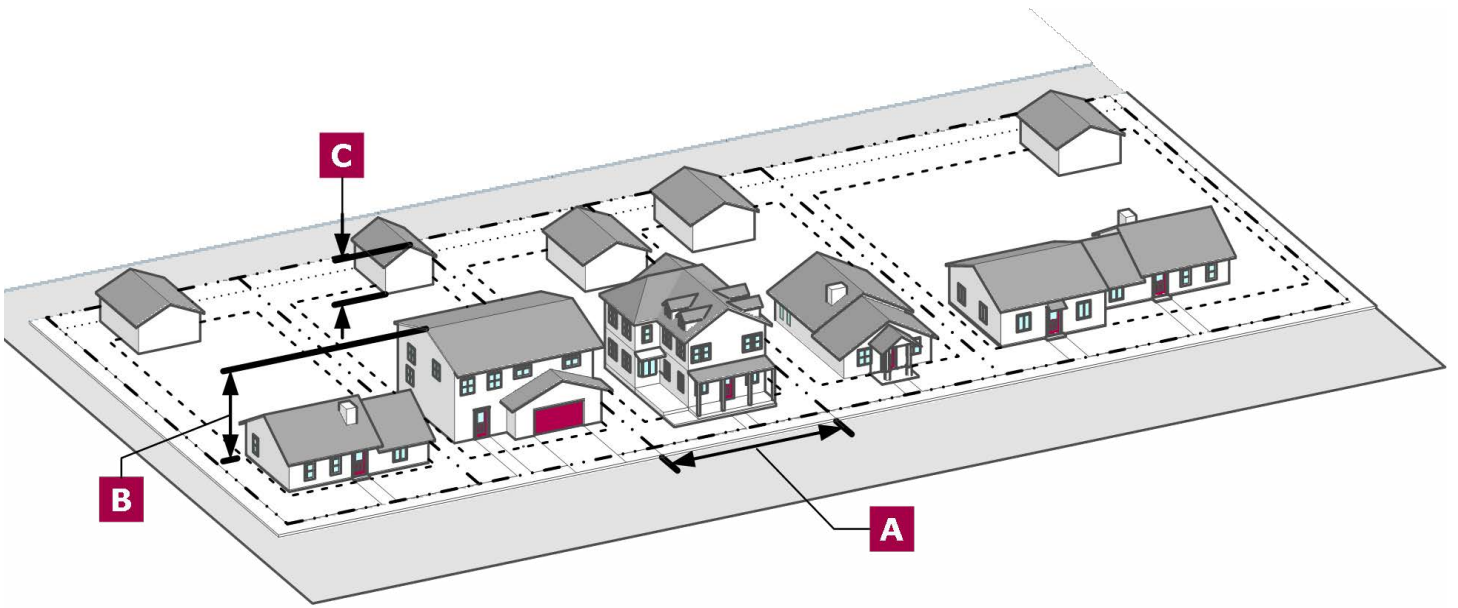
	Where additional off-street parking spaces are proposed/required	20'
	Where no additional off-street parking spaces are proposed/required	6'

REAR SETBACK

H	Principal uses and structures	20'
I	Rear setback for detached accessory uses and structures - no alley	10'
I	Rear setback for detached accessory uses and structures - abutting street or alley	8'

CREEK SETBACK

	Principal and accessory uses and structures	30'
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ACCESSORY DWELLING UNITS (ADU)



PERTINENT DEFINITIONS

Accessory dwelling unit (ADU) means an attached or detached dwelling unit that is accessory in character and lesser in size and character to a principal building situated on the same lot or parcel, and that otherwise satisfies the requirements specified in Sec. 16-6-160.

DID YOU KNOW?

Certificates of Occupancy (COs) for ADUs will typically follow COs for principal residences. However, a dwelling unit constructed before the principal single-family home, which meet the ADU criteria, may be converted to an accessory dwelling unit following the construction of a new principal dwelling unit.

- 1 unit per lot
- Limited to 500-800 sf based on size of principal dwelling unit
- Accessory setbacks apply (see above)
- Property owner must occupy ADU or principal dwelling unit
- Utilities may be tied to principal dwelling
- May not be sold separately from principal dwelling unit
- Modular or manufactured homes may be used as an ADU, mobile homes may not
- Subject to same development standards as principal dwelling