



ROCK CREEK RANCH REGULATIONS

Marshall Fire Rebuilding Resources

JANUARY 29, 2024

This document may be updated as necessary.



ROCK CREEK RANCH REGULATIONS SUMMARY

BUILDING CODES

Homes lost in the Marshall Fire are eligible to rebuild under the following building codes:

- 2018 IRC
- 2018 IECC
- 2020 NEC

* Owners of detached single-family homes lost in the Marshall Fire are eligible to rebuild under the 2018 IECC Codes and can receive an exemption from the 2018 IRC P2904 Sprinkler Code by signing [Marshall Fire Rebuild Affidavit](#).

For more information:

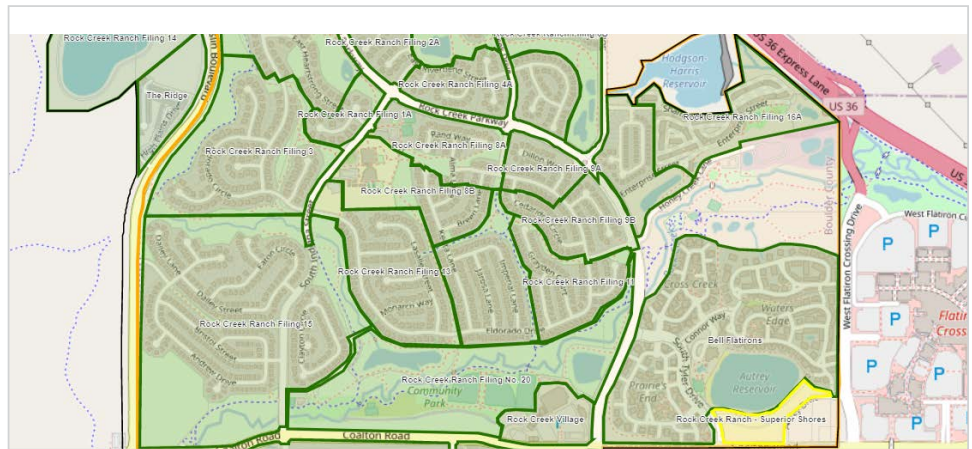
- [Building Department Website](#)
- superiorinspections@safebuilt.com

This document is intended to aid property owners and design professionals understand the regulations applicable to Rock Creek Ranch. Please review the [Final Development Plan](#) for more complete information. For additional Marshall Fire-specific information go to the Town of Superior's [Marshall Fire Community Planning and Rebuilding Effort](#) page.

To assist homeowners impacted by the Marshall Fire, the Superior Town Board has passed several ordinances concerning the R-M Zone District in the Original Town neighborhood:

- [Ordinance 1](#) : Waive Building Permit Fees and Rebate Use Tax
- [Ordinance 2](#) : 2021 IECC Opt-Out Provision
- [Ordinance 8](#) : 2018 Automatic Fire Sprinklers Opt-Out Provision

VICINITY MAP



TOWN OF SUPERIOR PLANNING DEPARTMENT

- [Planning Department Website](#)
- planning@superiorcolorado.gov
- 303-499-3675

ALLOWED USES

USE	PERMITTED	PROHIBITED
Single-family dwellings (including modular or manufactured homes on permanent foundations)	X	
Recreation vehicles (used as living quarters)		X
Mobile homes (no permanent foundation)		X
Two- and multi-family dwellings		X
Accessory dwelling unit		X

DEVELOPMENT STANDARDS

Shaded letters correspond to the district illustrations on page 4.

MAXIMUM BUILDING HEIGHT	
B Principal structure	35'
PARKING REQUIRED	
Off-street parking per lot	2 spaces
ACCESSORY STRUCTURES	
Permitted if integrated with main structure and architecturally compatible with adjacent buildings and/or with the building it serves.	
EXTERIOR DESIGN	
The colors and textures of materials shall vary throughout single development areas to provide individuality and avoid monotony.	
Individual homes should have one dominant building material. Where material accents are brick and stone, their placement should be designed to end on inside corners. Materials consisting of reflective aluminum or glass shall be prohibited on residential structures. External material color shall be muted tones although accent colors may be used judiciously.	



PERMIT REQUIREMENTS




Below are items to complete in advance of applying for a building permit:

- Stamped and signed [Plot Plan](#) by Licensed Professional
- Marshall Fire [Debris Removal and Demolition Process](#)
- [Grading and Drainage Plan](#)

DRAINAGE REQUIREMENTS

A grading and drainage plan is required for each rebuilt house. Specific requirements and methodologies vary by location. Refer to the Grading and Drainage handout for neighborhood-specific guidance.

For more information:

-  [Public Works Department Website](#)
-  pwu@superiorcolorado.gov
-  303-499-3675 ext. 110



PERTINENT DEFINITIONS:

Setback means the horizontal distance between a lot line and the nearest extremity of any building or structure. Eaves, awnings and other architectural projections may project no more than thirty (30) inches into the setback space, and fences may project into any setback space a total of two (2) feet. Setbacks are measured at ground level to face of nearest building wall (typically a foundation).

ROCK CREEK HOA INFORMATION:

- [Marshall Fire](#)
- [General](#)

*In addition to compliance with Town of Superior regulations, any improvements to the property may require review and approval by the HOA to ensure conformance with its rules and regulations.

MINIMUM SETBACKS

Shaded letters correspond to the district illustrations on page 4.

FRONT SETBACK		
D	From garages	20'
E	From living space	20'
SIDE SETBACK FOR PRINCIPAL AND ACCESSORY USES AND STRUCTURES		
F	To interior lot line	5'
G	For corner lots and when abutting side streets	10'
REAR SETBACK		
H	Principal uses and structures	20'
I	Patios, decks and other ancillary structures	10'
ALLOWABLE ENCROACHMENT INTO SETBACKS		
A 30" encroachment into setbacks is allowed for special architectural elements such as cornices, eave belt courses, roof overhangs, sills, canopies, bay or box windows, fire places, vertical projection or the like provided 7' spacing between adjacent structures.		

